



KUNA PLANNING AND ZONING COMMISSION
Agenda for March 14, 2017

Kuna City Hall ▪ Council Chambers ▪ 751 W. 4th St. ▪ Kuna, Idaho

1. CALL TO ORDER AND ROLL CALL

Chairman Lee Young
Vice Chairman Dana Hennis
Commissioner Cathy Gealy
Commissioner Ron Herther
Commissioner Stephen Damron

2. CONSENT AGENDA

- a) Planning and Zoning Commission meeting minutes for February 28, 2017.
- b) **16-09-AN** (Annexation); **Michael Robinson**: Recommending approval to City Council to annex an approximately 1.0-acre parcel into Kuna city limits. The subject parcel is located at 1420 W. Hubbard Road, Kuna as an 'R-2' (Low Density Residential) zoning designation. -**Findings of Fact and Conclusions of Law.**

3. NEW BUSINESS

- a) **17-02-DRC** (Design Review) – **Keith Clow/Lock-N-Roll Storage**; Applicant seeks Design Review approval for a storage facility office building, commercial storage buildings, parking lot and landscaping. The site has no assigned address and is located on the east side of N. Meridian Road, south of E. Meadowview Road and north of E. Kuna Road, Kuna, Idaho.
- b) **16-19-DR** (Design Review) – **TNT Subdivision**; AllTerra Consulting, representing Greg Bullock requesting design review approval for a new residential subdivision (see associated Public Hearing item 4.a).

4. PUBLIC HEARING

- a) **16-04-S** (Subdivision) – **TNT Subdivision**; A request from Jaylen Walker, from AllTerra Consulting, representing Greg Bullock for preliminary plat approval for a new residential subdivision. Applicant proposes a 10 lot, 13 multi-family buildings for a total of 52 units, with the existing home remaining on site over approximately 4.76 acres already zoned R-12 in Kuna City.
- b) **17-01-CPMA** (Comp Plan Map Amendment) - Applicant, **Teco One, LLC** requests approval to amend the Kuna Comprehensive Plan Map (Comp Plan Map) designation for the subject property (5.9 +/- acres) from Medium Density Residential to Commercial (C-1). The subject site is currently zoned RUT (Rural Urban Transition) in Ada County. No annexation or development applications accompany this request. The site is located at the northwest corner (NWC) of Deer Flat Road and Ten Mile Road.

5. COMMISSION DISCUSSION AND REPORTS

6. ADJOURNMENT

**CITY OF KUNA
PLANNING & ZONING COMMISSION**

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PZ COMMISSION MEMBER	PRESENT	CITY STAFF PRESENT:	PRESENT
Chairman Lee Young	X	Wendy Howell, Planning Director	X
Commissioner Dana Hennis	X	Troy Behunin, Senior Planner	X
Commissioner Cathy Gealy	X	Trevor Kesner, Planner II	
Commissioner Ron Herther	X		
Commissioner Stephen Damron	X		

6:00 pm – COMMISSION MEETING & PUBLIC HEARING

Call to Order and Roll Call

Chairman Young called the meeting to order at **6:00 pm**.

1. CONSENT AGENDA

- a. Planning and Zoning Commission meeting minutes for February 14, 2017.
- b. **15-05-S** (Subdivision) and **15-08-DR** (Design Review) – **Silvertrail Addition Subdivision**; A request from Viper Investments, LLC, for preliminary plat approval and design review for a new residential subdivision. Applicant proposes 421 single family homes and 56 common lots (approximately 8.68 ac.) on 130.55 acres already zoned R-6 in Kuna City. – **Findings of Fact and Conclusions of Law.**
- c. **16-12-AN** (Annexation) – **Renascence Farm and Mason Creek Farms**; Applicants, Renascence Farm, LLC, Spaulding and Anderson and Mason Creek Farm, LLC, requests approval to annex approximately 165 +/- acres into the City of Kuna. Applicant requests the R-6 (Medium Density Residential) for all properties. 139 acres of the application are located between Ten Mile and Black Cat Roads, south of Amity Road. Approximately 26 acres are located near the NEC of Ten Mile and Lake Hazel Roads, east of Ten Mile and north of Lake Hazel. – **Findings of Fact and Conclusions of Law.**

Commissioner Hennis motions to approve the consent agenda; Commissioner Herther Seconds, all aye and motion carried 4-0.

Chairman Young stated that he must recuse himself from any consideration of New Business item 2.a: Case No's. 17-01-DR and 17-03-SN because the firm he is employed by was involved with the Bi-Mart project.

Vice Chairman, Dana Hennis is now acting as Planning and Zoning Interim Chair

2. NEW BUSINESS

- a. **17-01-DR** (Design Review) and **17-03-SN** (Sign): **SSW Engineers representing Bi-Mart Corporation** requests approval from the Planning and Zoning Commission (acting as Design Review Committee) for a new 32,000 square foot commercial building to house a new Bi-mart store, accompanying landscaping, parking lot, and signage within the *future* Ridley's Family Center No. 2, Commercial subdivision.

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John Scanlin: My name is John Scanlin, I am the **inudible** manager for Bi-Mart Corporation. My address is 220 S. Seneca Way, Eugene, Oregon, 97042. Thank you for your time and allowing us to be here. I think you all have the packet for what we are proposing. I will give you a quick synopsis of Bi-Mart and who we are; and I am here with Becky Wilson with SSW Engineers and she'll be happy to answer your questions in regard to the building. But Bi-Mart is a 60-year old retail company based in Eugene, Oregon. It started in Yakima in the 1950's. We have 78 locations in Oregon, Washington and currently 2 in Idaho. This will be our third outlet here in the state and we are very excited to be a part of your community. Bi-Mart will hire a manager, an assistant manager and a first assistant we will send to training classes and then the remaining employees would be hired locally. We usually have 45-50 employees and about 80% of those are full-time. If you have any other questions specifically about Bi-Mart; we are a general merchandiser and we provide pretty much anything from a can of soda to a full pharmacy; approximately 40,000 to 60,000 SKU's ...so yeah, any more specific questions about us, just ask. I will turn it over to Becky, but thank you for the opportunity and we look forward to coming to Kuna. **C/Hennis:** Thank you.

Becky Wiltse: Good Evening. My name is Becky Wiltse. I am with SSW Engineers. I am the project manager. Our address is 2350 Oakmont Way, Ste. 105, in Eugene, Oregon. This project has been in the works for quite some time. We were considering the appropriate property for the site and we hope that it meets with your design criteria with parking, landscaping and all the appropriate stuff. So, you have everything in front of you so instead of me diving in, do you have any questions? **C/Damron:** You said this had been in the works for a while? **Becky Wiltse:** We have been in discussions with the property owner for about two years. **C/Damron:** And you have done your site survey knowing full well that there is a dairy right next to you? **Becky Wiltse:** Yes. **C/Damron:** OK, and the smell from that isn't going to bother anyone? **Becky Wiltse:** We don't have any problem with that. **C/Damron:** I am just questioning because when it gets hot, over 100 degree temperatures and that overflow pond fills, your air system is going to fill that store with Kuna's nice smell of 'money'. **laughter**. Sorry that is just the way I say it. **Becky Wiltse:** We will definitely let our HVAC people know that. If there are any possible filtrations that can be made to withstand that smell, we'll address that.

C/Damron: My main concern is as that increases, that we don't try to push the farmer out; the dairymen might get "we don't like your smell, it's ruining business" -you know, and try to push him out. That was my concern. **Becky Wiltse:** That discussion has not come up as one of those negative things as far as that is concerned. **C/Damron:** Ok. Thank you.

C/Hennis: Ok. Staff? **Troy Behunin:** Good evening Commissioners, for the record, Troy Behunin, Senior Planner for the City of Kuna. My address is 751 W. 4th Street, Kuna. I just received an updated grading plan for the site and I will pass that out to you.

DOCUMENT ENTERED INTO PUBLIC RECORD.

There is really not much change from what is in your packet. The applicant, Becky Wiltse have actually been talking for quite some time with a number of emails and inquiries about the architectural design book and the desired look for the city. I believe this is the third rendition. Here are the materials that are proposed to be used. It is a 32,000 Square Foot building and the applicant has supplied all items that staff have asked for. The site location is going to be directly west of the existing Ridley's market and Ace Hardware store. This will be another commercial lot within the forthcoming Ridley's Family Subdivision No. 2 which is close to finalizing the infrastructure and civil plans with the City Engineer. I expect that plat to be coming along in probably a couple of months. Possibly sooner. Their schedule is to speed that construction up because sidewalks, streetlights, curb, gutter, sewer, water... all have to be in place before a building can receive certificate of occupancy. The final plat will more than likely run in tandem with this development. Staff was unable to ascertain the location of the pylon sign on the plans, but I believe that is ongoing, but they have proposed the sign. There is discussion about that issue in the staff analysis. I did have a conversation with the project manager, Becky Wiltse, last week and she is prepared to answer any questions you might have. Our sign ordinance allows for this type of sign in this zone but because staff is aware of other commercial businesses coming, we want to avoid the visual impacts of sign pollution. We don't want a bunch of signs. Although this sign satisfies the sign ordinance, we would

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request that if they desire a pylon sign as proposed, that they consider, and perhaps be conditioned to work with other businesses who would like to add to their sign in the future so that there would be a space for every future commercial lot. Staff has no other concerns about the construction, the size and the materials of the building. As I said, this is the third iteration. They have modified it considerably from what was originally proposed. Other than that, I will stand for any questions you have.

The Commissioners had no questions.

C/Hennis: So that leaves us with our discussion since it is a design review and not a public hearing. Any thoughts or concerns? **C/Herther:** Well, I am glad to see it. **C/Damron:** It looks like the parking is going all the way back to the Ridley's or are they going to have a greenbelt between Ridley's and them? **C/Hennis:** It's not defined. **C/Damron:** Yeah, I didn't see it here. It would be nice to have a greenbelt between the two. **C/Hennis:** I think Ridley's is further over. **C/Damron:** Looking at the site map, I... **C/Hennis:** Yeah, see, I think that is further over. This isn't the Ridley's though. **C/Damron:** Yeah, how close are they to the Ridley's. **Troy Behunin:** Yeah, it is further over. **C/Damron:** Are they going to have a greenbelt between the two? **C/Hennis:** So the property that is kind of 'half-showing' on here... is a different parcel other than Ridley's? **Troy Behunin:** It is a different parcel within the second subdivision so it is still behind Ridley's. To answer your question Commissioner Damron; there is no requirement for a strip of green patch between any of these buildings, other than some of the required landscaping for islands between parking stalls, retention ponds and other things that are necessary, but nothing beyond what is required. **C/Hennis:** OK. The reason for that is this entire area which is Profile Ridge Subdivision from 2006. It is all zoned commercial (C-1), which, if it is a complementary zone, there is no need to put a landscape buffer in between the businesses. **C/Damron:** Ok, so we're going to have another business probably building between the two? **Troy Behunin:** Yes, and so the landscaping will be the parking islands or if there is a need, surface runoff collection. Other than that, there might be some more requirements. **C/Damron:** Ok. **C/Hennis:** What about to the west along the... **C/Gealy:** Along Sailer Place? **C/Hennis:** Yeah, because Deer Flat ...on this...it says 'landscaping by others' or number 6. **Troy Behunin:** Yes, so that is mislabeled. That will actually be the future Sailer Place which is in the staff report. That is a good question though. It will be landscaped by others, mainly by Mark Ridley and his group, when they complete the subdivision for Ridley's Family Center Subdivision No. 2. They will be required to do that. **C/Hennis:** Ok, so they are in agreement with that? They know about that? **Troy Behunin:** Yes, I have been in contact with them about it and their engineer. Actually, I have been talking to them recently about this issue. It won't be a surprise. Let's just put it that way. **C/Hennis:** Ok, good. Thank you. I mean landscaping seems appropriate for what is required for the site. Did you guys want to see the bigger one? **C/Damron:** Did it have landscaping on it? **C/Hennis:** The only thing that I have seen with regard to the architectural elevations: I like what they have got so far, however there is the one west elevation that is kind of long and flat. The south elevation has a lot of the pilaster break-up that we like. The north elevation is good and then the east elevation is going to have another building against it. But what I am looking at on the west elevation -I almost think we have too many reliefs on the back -the south elevation. Maybe move a couple of those to the west elevation? **C/Gealy:** To break up the rest? **C/Hennis:** Yes. You see those two lines that come down from the roof and steps down in transition? Maybe you bring them down to that point? **C/Gealy:** It appears there is some sort of awning anticipated. **C/Hennis:** Right. Towards the front of that. Sorry my iPad is having problems. So, the contrasting color that is between the green stripes horizontally, which is the different black -maybe we do something like that in between those pilasters? Actually, I like the same color in there. I like the block color that is between the stripe there, I wonder if we can do some sort of accent? A different color in those vertical strips because it goes, tan-green-tan-green. Becky; would you mind coming up to the podium again? And please just state your name and address for the record? **Becky Wiltse:** Sure. Becky Wiltse; address is 2350 Oakmont Way, Ste. 105, in Eugene, Oregon. **C/Hennis:** Thank you. So, as we are talking about this -not to increase any costs, but could we take a couple of these out, so there are not quite so many? And maybe put a couple on this elevation to maybe break up this elevation? Would you guys be opposed to that?

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Becky Wiltse: The ones on the south field are actual structural elements. We can remove the paint because that is what the green is; just paint. And we could move the paint to that other side. I mean it's just paint so yes, that can change, but to actually have that protrusion, I mean, anything could be done, but to have that architectural feature, we can move colors. **C/Hennis:** Yeah. **C/Damron:** Yeah, anything to break up that really long, flat... **Becky Wiltse:** Understood. We can definitely put more vertical stripes on the west side if that meets with your approval, we can definitely do it as if there were a pilaster there too. You wouldn't actually know it wasn't unless you walked up and touched it. **C/Hennis:** Right. You know, we just like to break up the long horizontal surfaces with some relief there. **Becky Wiltse:** Understood. **C/Hennis:** Right. Well, we can just put that as a condition that you work with staff to provide some architectural relief there. **C/Gealy:** It doesn't sound like it would save you any money to not have those ones along the south elevation. **Becky Wiltse:** Right and we would just be moving the paint instead, because the pilasters have to stay. **C/Gealy:** I mean, it doesn't bother me that there are as many as there are, but it would be nice on the south. You could leave it... **Becky Wiltse:** Yeah, but like you had mentioned, the way the roof steps down... **C/Gealy:** Right. Just something to break up that ... if you could break up that west side, just visually -that would be good. I mean, I don't see any reason for it on the east with another building right next to it in the future. **C/Hennis:** No, I don't either. Ok. Thank you. Any other thoughts? How about signage? **C/Damron:** If they do the signage, and coordinate with other businesses as they move in, we can have the one and they can just build downward on that same signage without having 4 or 5 different business signs. Visually, I think that would be the best way to do that. **C/Hennis:** Right. Well I thought we had an ordinance that kind of directed people toward that process, but I would say yes.

All Commissioners agreed.

C/Hennis: Ok, well if no one has anything else, I will stand for a motion.

Commissioner Gealy motioned to recommend approval of 17-01-DR (Design Review) and 17-03-SN (Sign); with the conditions as outlined in the staff report, and the additional condition that the applicant work with staff to visually break-up the west side elevation, and work with staff to develop a single pillar sign for this development and future developments within the forthcoming Ridley's Family Center Subdivision No. 2. Commissioner Herther Seconds, all aye and motion carried 3-0.

Acting as Chairman, Vice Chairman Hennis relinquished Planning and Zoning Commission Chairman duties back to Commissioner Chairman Lee Young

- b. **16-19-DR (Design Review) – TNT Subdivision;** AllTerra Consulting, representing Greg Bullock requesting design review approval for a new residential subdivision (see Public Hearing item 4.a).
-Staff Requests that this item be tabled until a date certain, so that the final ACHD staff report can be included with the packet for the Commissioners consideration.

C/Gealy asked if there was a date to be tabled to.

Planning staff suggested tabling to March 14th, 2017 would be appropriate.

C/Damron asked if staff would have enough time to prepare responses to comments from ACHD.

Planning staff confirmed that March 14th, 2017 was an appropriate date.

Commissioner Gealy motioned to table Case No. 16-19-DR (Design Review) for TNT Subdivision to the March 14th, 2017 Planning and Zoning Commission meeting; Commissioner Hennis Seconds, all aye and motion carried 4-0.

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3. PUBLIC HEARING

- a. **16-04-S (Subdivision) – TNT Subdivision;** A request from Jaylen Walker, from AllTerra Consulting, representing Greg Bullock for preliminary plat approval for a new residential subdivision. Applicant proposes a 10 lot, 13 multi-family buildings for a total of 52 units, with the existing home remaining on site over approximately 4.76 acres already zoned R-12 in Kuna City. ***-Staff Requests that this item be tabled until a date certain, so that the final ACHD staff report can be included with the packet for the Commissioners consideration.***

Commissioner Gealy motioned to table Case No. 16-19-S (Subdivision) for TNT Subdivision to the March 14th, 2017 Planning and Zoning Commission meeting; Commissioner Herther Seconds, all aye and motion carried 4-0.

4. ADJOURNMENT

*Commissioner Hennis motions to adjourn at **6:37 pm**; Commissioner Gealy Seconds, all aye and motion carried 4-0.*

Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST:

Wendy I. Howell, Planning and Zoning Director
Kuna Planning and Zoning Department



City of Kuna

P.O. Box 13
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Findings of Fact and Conclusions of Law

To: P&Z Commission

Case Number: 16-09-AN
(Annexation)

Location: 1420 W. Hubbard Rd.
Kuna, ID 83634

Planner: Nancy Stauffer,
Planner Technician

Hearing Date: January 24, 2017
Findings: March 14, 2017

Owner/Applicant: Michael Robinson
1420 W. Hubbard Rd.
Kuna, ID 83634



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A. Course of Proceedings

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states annexation is designated as a public hearing with the Planning and Zoning Commission as the recommending body and City Council as the decision-making body. This land use was given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Local Land Use Planning Act (LLUPA).

a. Notifications

- | | |
|---------------------------|-------------------|
| i. Neighborhood Meeting | August 19, 2016 |
| ii. Agencies Notified | November 23, 2016 |
| iii. 300' Property Owners | January 3, 2017 |
| iv. Kuna, Melba Newspaper | January 10, 2017 |
| v. Site Posted | January 3, 2017 |

4. **Services:**

- Future Sanitary Sewer –City of Kuna
- Future Potable Water – City of Kuna
- Irrigation District –New York Irrigation District
- Future Pressurized Irrigation – City of Kuna (KMID)
- Fire Protection – Kuna Fire District
- Police Protection – Kuna City Police (Ada County Sheriff's office)
- Sanitation Services – J&M Sanitation Services

5. **Existing Structures, Vegetation and Natural Features:** The subject site is currently used as the applicant's primary residence. The applicant has not indicated any intention to develop the property at this time.

6. **Transportation / Connectivity:** The parcel is currently not improved with any curb, gutter or sidewalks. The site is accessed directly off Hubbard road.

7. **Agency Responses:** The following agencies returned comments which are included as exhibits with this case file:

- Exhibit B-1: Central District Health Department (CDHD)
- Exhibit B-2: Kuna City Engineer
- Exhibit B-3: Idaho Department of Transportation (ITD)
- Exhibit B-4: Boise Project Board of Control

F. Staff Analysis:

The applicant requests to annex the 1.0-acre parcel into Kuna City limits with an R-2 zoning designation. Future development of the site or any portions thereof shall be in accordance with the provisions set forth in Kuna City Code (KCC). This includes the possibility that the applicant may sell the subject property to another party, who may intend to develop the site consistent with the adjacent developments.

Staff has determined this annexation application complies with Title 5 of the Kuna City Code; Idaho Statute §50-222; and the Kuna Comprehensive Plan; and forwards a recommendation of approval for Case # 16-09-AN, subject to the recommended conditions of approval.

G. Applicable Standards:

1. City of Kuna, Title 5 Zoning Ordinance: Annexations.
2. City of Kuna Comprehensive Plan and Future Land Use Map.
3. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act.

H. Comprehensive Plan Analysis:

The Kuna Planning and Zoning Commission, accepts the Comprehensive Plan components as described below.

1. The proposed applications for this site are consistent with the following Comprehensive Plan components:

GOALS AND POLICY – *Property Rights*

Goal 1: Ensure that the City of Kuna land use policies, restrictions, conditions and fees do not violate private property rights. Establish an orderly, consistent review process for the City of Kuna to evaluate whether proposed actions may result in private property “takings”.

Policy 1: As part of a land use action review, the staff shall evaluate with guidance from the City’s attorney; The Idaho Attorney General’s six criterion established to determine the potential for property taking.

I. Findings of Fact:

1. This request appears to be in compliance with all ordinances and laws of the City, including Kuna City Code (KCC).
2. The site is physically suitable for annexation.
3. The annexation is not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.
4. The annexation application is not likely to cause adverse public health problems.
5. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.
6. The existing street and utility services in proximity to the site appear to be adequate for the current use; however, any future site improvements as determined by the City Engineer and the Planning and Zoning Director, shall comply with the provisions set forth in Kuna City Code (KCC)
7. The Kuna Planning and Zoning Commission accepts the facts as outlined in the staff report, any public testimony and the supporting evidence as presented.
8. Based on the evidence contained in Case No. 16-09-AN, this proposal appears to comply with the Comprehensive Plan and the Kuna Comprehensive Future Land Use Map.
9. The Planning and Zoning Commission has the authority to recommend approval or denial for the annexation application.
10. The public notice requirements were adhered to and the public hearing was conducted within the guidelines of applicable Idaho Code and Kuna City Ordinances.

J. Conclusions of Law:

1. Based on the evidence contained in Case No 16-09-AN, the Kuna Planning and Zoning Commission finds Case No. 16-09-AN complies with Kuna City Code.
2. Based on the evidence contained in Case No 16-09-AN, the Kuna Planning and Zoning Commission finds Case No. 16-09-AN is consistent with Kuna’s Comprehensive Plan.
3. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and Kuna City Ordinances.

K. Decision by the Planning and Zoning Commission:

Note: This proposed motion is to recommend approval of this request to City Council. However, if the Commission wishes to recommend approval or denial of specific parts of the request as detailed in this report, they must be specified.

Based on the facts outlined in staff’s report and any public testimony at the public hearing, the Planning and Zoning Commission of Kuna, Idaho, hereby recommends *approval* of Case No. 16-09-AN, a request for annexation from Michael Robinson with the following conditions of approval:

1. The subject parcel has its own private water and sewer systems and currently does not require City services; however, city services are considered “reasonably available” to the property. With additional development, it will require municipal sewer and water services. The City Engineer recommends ultimate connection to City facilities when the existing systems fail or in connection with future development. Applicant will be required to abide by any relevant water or sewer reimbursement policies and agreements and is subject to any relevant connection fees.
2. All future development submittals are required to include the lighting, landscaping, drainage and development plans as required by Planning and Zoning. All site improvements are prohibited prior to approval of the following agencies. The applicant/owner shall obtain written approval on letterhead or may be written/stamped on the approved construction plans from the agencies noted:
 - a. Central District Health Department (CDHD).
 - b. The City Engineer shall approve the future sewer, water and irrigation and drainage construction plans.
 - c. The Kuna Fire District shall approve all site development and building plans.
 - d. The *New York Irrigation District* shall approve any modifications to the existing irrigation system in conjunction with City of Kuna assessments.
 - e. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to issuance of any building permits.
3. All public rights-of-way shall be dedicated to the City and/or Ada County Highway District. No public street construction may be commenced without the approval and permit from Ada County Highway District:
 - 2.1– With future development and as necessary, dedicate right-of-way in sufficient amounts to follow City and ACHD standards and widths.
4. All utilities shall be installed underground (see KCC 6-4-2-W).
5. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
6. Any site improvements shall require the property owner to comply with the provisions set forth in Kuna City Code (KCC).
7. The City Engineer recommends connection to City pressure irrigation facilities at the owner’s option. Connection to the City’s pressure irrigation system shall constitute an automatic petition for inclusion in the municipal irrigation system and an agreement to the pooling of this property’s water rights for delivery purposes appurtenant to the property as administered by the *New York Irrigation District*.
8. Applicant shall follow all staff, City engineer and any other agency recommended requirements as applicable.
9. Applicant shall abide by all applicable federal, state and local laws and ordinances.

DATED: This _____ day of _____, 2017.

Lee Young, Chairman
Kuna Planning & Zoning Commission

ATTEST:

Nancy Stauffer, Planning Technician
Kuna Planning and Zoning Department



City of Kuna

Design Review Staff Memo

P.O. Box 13
Kuna, ID 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.Id.gov

To: Planning and Zoning Commission (acting as Design Review Committee)

Case Numbers: 17-02-DRC (Design Review)

Location: HWY69/Meridian Road approximately 1050 feet North of Kuna Road, Kuna, ID

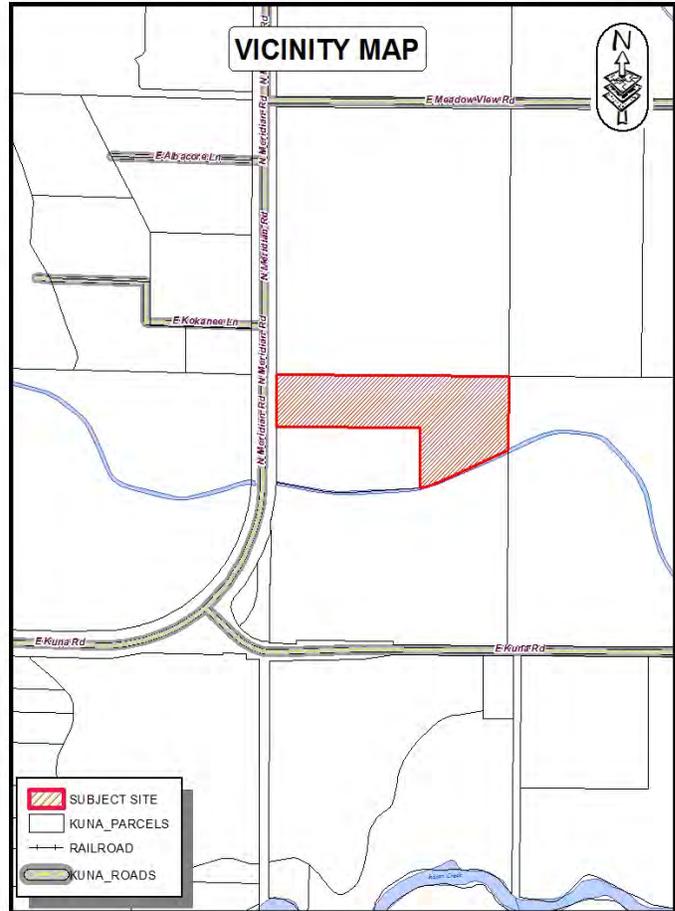
Planner: Trevor Kesner, Planner II

Meeting Date: March 14, 2017

Applicant: **Keith Clow**
1085 Glenway Avenue
Fruitland, ID 83619
208.407.7218
keithclow6@gmail.com

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A. Course of Proceedings:

1. Applicant proposes a new commercial storage facility office building, storage buildings and landscaping in an existing C-2 zone. Per Kuna City Code (KCC) Title 5, the applicant has submitted an application for review by the Planning and Zoning Commission acting as the Design Review Committee (DRC). As a public meeting item, this action requires no formal public noticing actions.

a. Notifications

- i. Agenda

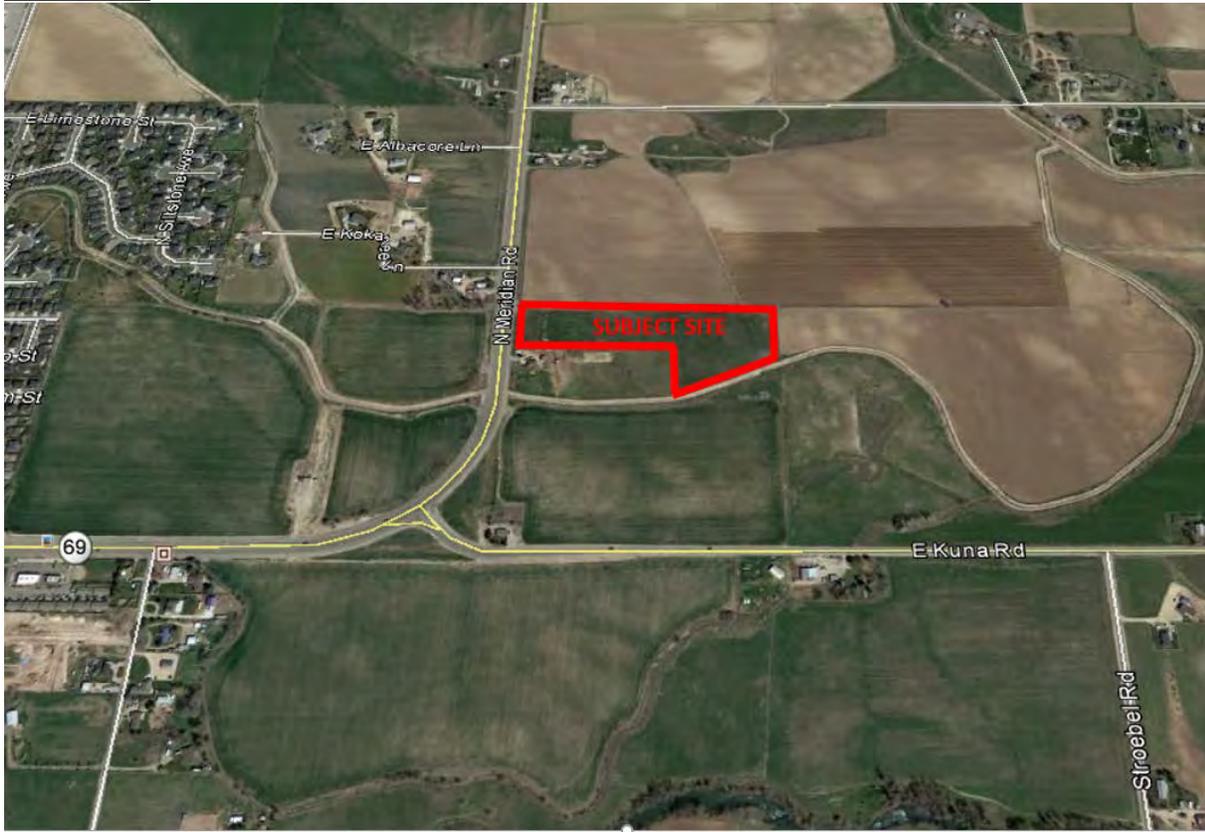
March 14, 2017

B. Applicants Request:

1. Request:

Applicant seeks Design Review approval for a storage facility office building, commercial storage buildings, parking lot and landscaping. The site has no assigned address and is located on the east side of North Meridian Road, south of East Meadowview Road and south of East Kuna Road, Kuna, Idaho.

C. Vicinity Map:



D. History: The property is in the City limits and is currently zoned C-2 (Area Business District). The land is vacant, bare ground. This parcel has historically been farmed.

E. General Projects Facts:

1. **Comprehensive Plan Designation:** The Future Land Use identifies this site as Commercial. Staff views this land use request to be consistent with the approved Future Land Use Map.

2. **Surrounding Land Uses:**

North	A	Agricultural – Kuna City
South	RUT	Rural Urban Transitional – Ada County
East	A	Agricultural – Kuna City
West	C-1	Neighborhood Business District – Kuna City

3. **Parcel Sizes, Current Zoning, Parcel Numbers:**

- 8.77 (approximate) total acres
- C-2, Commercial (Area Business District)
- Ada County Parcel No. S1419333400

4. **Services:**

- Sanitary Sewer– Private Septic System
- Potable Water – City of Kuna
- Irrigation District – Boise-Kuna Irrigation District
- Future Pressurized Irrigation – City of Kuna (KMID)
- Fire Protection – Kuna Rural Fire District

Police Protection – Kuna City Police (Ada County Sheriff's office)
Sanitation Services – J&M Sanitation

5. Existing Structures, Vegetation and Natural Features:

There are currently no structures situated on the subject site. The site's vegetation has been cleared and earth work for future development is underway.

6. Transportation / Connectivity:

The site's frontage is situated within the State Highway 69 overlay district. A 45-foot-wide future Ingress/Egress access point to the site is proposed on the northern portion of the site's frontage. Idaho Transportation Department (ITD) has reviewed and accepted a Traffic Impact Study (TIS) from the applicant and has approved the access approach.

7. Environmental Issues:

Staff is not aware of any environmental issues, health or safety conflicts. The site's topography is generally flat with a 0-2% slope.

F. Staff Analysis:

The applicant proposes to develop 130,000 square feet (sf) of storage building space and 1,033 sf of commercial office space for self-storage purposes. The application specifically proposes one commercial office building with parking stalls, 12 self-storage buildings and on-site landscaping. Applicant has permitted with Idaho Transportation Department for site access from Meridian Road/Highway 69.

Applicant wishes to employ a two-phased approach to develop the commercial office, storage units and future additional office buildings depending on the demand for self-storage services. Applicant has indicated that the main office and seven (7) of the unconditioned storage buildings would be built during the first phase. Applicant intends to construct wrought iron security fencing and apply landscaping adjacent to Highway 69/Meridian Road as a screening buffer, following proposed setbacks and other site design requirements for the Highway 69 overlay district as specified on the submitted landscape plan during the first phase of development. The additional five (5) unconditioned storage buildings will be constructed during the second phase of development. The applicant has indicated he may consider removal of one (1) of the storage buildings in order to accommodate vehicle storage on the site.

Staff has not yet received final comments from interim Fire Chief, Terry Gammel (Kuna Fire District [KFD]) regarding site circulation for Fire Vehicle maneuverability and the proposed storage building plans. Applicant has stated that he has been and will continue working with Kuna Fire District to accommodate their requirements.

Staff has determined this application complies with Title 5 of the Kuna City Code; Idaho Statute §50-222; and the Kuna Comprehensive Plan; and forwards a recommendation of approval for 17-02-DRC, subject to the recommended conditions of approval.

G. Applicable Standards:

1. City of Kuna Zoning Ordinance No. 230.
2. City of Kuna Design Review Ordinance, 2011-08.
3. City of Kuna Comprehensive Plan.
4. City of Kuna Overlay District Ordinance, 2011-06
5. City of Kuna Landscaping Ordinance, 2012-22
6. City of Kuna Parking Lot Ordinance, 2011-12

H. Factual Findings:

1. Based on the evidence contained in Case No. 17-02-DRC, the Kuna Planning and Zoning Commission finds Case No. 17-02-DRC, complies with Kuna City Code.

2. Based on the evidence contained in Case No. 17-02-DRC, the Kuna Planning and Zoning Commission finds Case No. 17-02-DRC is generally consistent with Kuna's Comprehensive Plan.
3. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

I. Proposed Decision by the Planning and Zoning Commission:

Note: This proposed motion is for approval or denial of this request. However, if the Commission wishes to approve or deny specific parts of the request as detailed in this report, they must be specified.

Based on the facts outlined in staff's report, the submitted application items and applicant testimony presented at the public meeting, the Planning and Zoning Commission of Kuna, Idaho, hereby (*approves / denies*) Case No. 17-02-DRC, a Design Review request from Keith Clow, (with or without) the following conditions of approval.

Conditions of Approval:

1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
 - a. The Idaho Transportation Department (ITD) shall approve any permits for working taking place within the right-of-way. The City Engineer shall approve the future sewer hook-ups.
 - b. The City Engineer shall approve the drainage and grading plans prior to the issuance of a building permit. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties". No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the grading and drainage plan.
 - c. The Kuna Fire District shall approve fire flow requirements, site circulation for Fire Vehicle maneuverability and/or building plans. Installation of fire protection facilities as recommended by Kuna Fire District is required.
 - d. The Boise Project Board of Control and the authorized Irrigation District shall approve any modifications to the existing irrigation system.
 - e. Approval from Ada County Highway District shall be obtained and Impact Fees must be paid prior to issuance of a building permit.
2. All public rights-of-way shall be dedicated and constructed to standards of the City, Ada County Highway District and Idaho Transportation Department. No public street construction may be commenced without the approval and permit from Ada County Highway District and/or Idaho Transportation Department.
 - 2.1- With future development and as necessary, dedicate right-of-way in sufficient amounts to follow City and ACHD standards and widths.
3. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see KCC 6-4-2-W.
4. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
5. Lighting within the site shall comply with Kuna City Code as stated in KCC 5-9-5-B.
6. Parking within the site shall comply with Kuna City Code. (Unless specifically approved otherwise).
7. Fencing within and around the site shall comply with Kuna City Code (specific to the Design Requirements set forth for storage facility development or as approved otherwise).
8. Signage within and on site shall comply with Kuna City Code (A sign permit Design Review is required prior to sign permitting and construction).
9. This development is subject to landscaping and building design review inspections and inspection fees shall be paid prior to staff inspection.
10. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to

meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property (ITD).

11. Submit a petition to the City (if necessary and requested by the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and requesting to annex the irrigation surface water rights appurtenant to the property to the Kuna Municipal Pressure Irrigation system of the City (KMID).
12. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the Commission, or seek amending them through the Design Review process.
13. The applicants submitted landscape plan (dated 02.14.2017 SHOWN AS PRELIMINARY – NOT FOR CONSTRUCTION) shall be considered a binding site plan, or as modified by the Commission. The applicant shall direct the landscape architect to affix his stamp/signature to the referenced plan above, and provide a copy to Planning & Zoning prior to installation of any plant materials. Inspections are required when construction is complete and landscaping is installed prior to the issuance of a Certificate of Occupancy.
14. Applicant shall follow staff, City engineer and other agency recommended requirements, as applicable.
15. Developer shall comply with all local, state and federal laws.

DATED: This 14th day of March, 2017.

Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST:

Trevor Kesner, Planner II
Kuna Planning and Zoning Department

RECEIVED
2-16-17



City of Kuna Design Review Application

P.O. Box 13
Kuna, Idaho 83634
(208) 922.5274
Fax: (208) 922.5989
Website: www.kunacity.id.gov

FILE NO.: 17-02-DRC - Keith Clow / Lock-N-Roll Storage

CROSS REF.: _____

FILES: 16-04-ZC & 16-06-SUP

The City of Kuna has adopted a Design Review process whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in the Design Review Ordinance No. 2007-02 and the Architecture and Site Design Booklet. Both of these documents can be found online (www.cityofkuna.com) or are picked up in the City's Planning and zoning department is located at 763 W Avalon, Kuna ID. Staff is glad to assist you with your application form.

The Design Review application applies to the following land use actions:

- ▶ Multi- family dwellings (3 or more)
- ▶ Commercial
- ▶ Industrial
- ▶ Institutional
- ▶ Office
- ▶ Common Area
- ▶ Subdivision Signage
- ▶ Proposed Conversions
- ▶ Proposed changes in land use and/or building use or exterior remodeling
- ▶ Exterior restoration, and enlargement or expansion of existing buildings, signs or sites.

Application Submittal Requirements

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	Date of pre- application meeting : <u>February 8, 2017</u> <i>Note: Pre-Applications are valid for a period of three (3) months.</i>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	A complete Design Review Application form <i>Note: It is the applicant's responsibility to use a current application.</i>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with Design Review standards.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	One (1) Vicinity Map (8 ½" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets.	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	One 8 ½" x 11" colored aerial photo depicting proposed site, street names, and surrounding area within five-hundred feet (500').	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	Copy of Deed; and, if the applicant is not the owner, an original notarized statement (affidavit of legal interest) from the owner (and all interested parties) stating the applicant is authorized to submit this application.	<input type="checkbox"/>

Exhibit
B-2



Detailed site, landscape, drainage plan, elevation and to scale. (No smaller than 1"=30', unless otherwise approved.)



One of each plan (site, landscape, drainage plan and elevations) is required to be submitted in the following plan sizes:

(2) 24" x 36" LARGE FORMAT PLANS

(1) 11" X 17" PLAN REDUCTIONS

(1) 8 1/2" x 11" PLAN REDUCTIONS



Provide a color rendering and material sample board specifically noting where each color and material is to be located on the structure.



Note: Provide photo of the colored rendering and material samples board to City Staff electronically in a JPG or PDF format.

The Applicant is obligated to provide a site plan that graphically portrays the site and includes the following features:

Site Plan

Applicant Use



North Arrow



To scale drawings



Property lines



Name of "Plan Preparer" with contact information



Name of project and date



Existing structures, identify those which are to be relocated or removed



On-site and adjoining streets, alleys, private drives and rights-of-way



Drainage location and method of on-site retention / detention



Location of public restrooms



Existing / proposed utility service and any above-ground utility structures and their location



Location and width of easements, canals and drainage ditches



Location and dimension of off-street parking



Locations and sizes of any loading area, docks, ramps and vehicle storage or service areas



Trash storage areas and exterior mechanical equipment, with proposed method of screening



Sign locations (a separate sign application must be submitted with this application)



On-site transportation circulation plan for motor vehicles, pedestrians and bicycles



Locations and uses of ALL open spaces



Locations, types and sizes of sound and visual buffers (Note: all buffers must be located outside the public right-of-way)



Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle



Locations of subdivision lines (if applicable)



Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles



Location of walls and fences and indication of their height and material of construction



Roofline and foundation plan of building, location on the site



Location and designations of all sidewalks



Location and designation of all rights-of-way and property lines

Staff Use



Landscape and Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscaped and streetscape plans must be colored. The Planning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Applicant Use

North Arrow

To scale drawings

Boundaries, property lines and dimensions

Name of "Plan Preparer" with contact information

Name of project and date

Type and location of all plant materials and other ground covers.

Please review the City's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of all proposed landscape materials at the time of planting, and at maturity. A list of acceptable trees is available upon request from City Planning Staff. If there are any questions, please contact the City Forester, Natalie Reeder, at 208.880.0953

Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed.

Method of irrigation.

Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance.

Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fences, fountains street/pathway furniture (benches, etc.), etc.

Sign locations

Note: A separate sign application must be submitted with this application

Locations and uses for open spaces

Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle

Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles

Location and designations of all sidewalks

Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved design review application, a detailed site grading and drainage plan, prepared by a registered professional engineer (PE) shall be submitted to the City for review and approval by the City Engineer.

Staff Use

Building Elevations

Applicant Use

Detailed elevation plans of each side of any proposed building(s) or additions(s)
Note: Four (4) elevations to include all sides of development and must be in color

Identify the elevations as to north, south, east, and west orientation

Staff Use

Colored copies of all proposed building materials and indication where each material and color application is to be located
Note: Submit as 11"x17" reductions

Screening/treatment of mechanical equipment

Provide a cross-section of the building showing any roof top mechanical units and their roof placement

Detailed elevation plans showing the materials to be used in construction of trash enclosures

Lighting Plan

Applicant
Use

Exterior lighting including detailed cut sheets and photometric plan (pedestrian, vehicle, security, decoration)

Staff
Use

Types and wattage of all light fixtures

Note: The City encourages use of "dark sky" lighting fixtures

Placement of all light fixtures shown on elevations and landscaping plans

Roof Plans

Applicant
Use

NA Size and location of all roof top mechanical units

Staff
Use

Design Review Application

Applicant: Lock N Roll Storage Phone: (208) 407-7218

Owner Representative Fax/Email: keithclow6@gmail.com

Applicant's Address: 1085 Glenway Ave

Fruitland, Idaho Zip: 83619

Owner: Keith Clow Phone: (208) 407-7218

Owner's Address: 1085 Glenway Ave Email: keithclow6@gmail.com

Fruitland, Idaho Zip: 83619

Represented By: *(if different from above)* N/A Phone: (208) 407-7218

Address: _____ Email: _____

Zip: _____

Address of Property: Meridian Road

Zip: _____

Distance from Major Cross Street: 980 feet North of Street Name(s): E Kuna Road

Please check the box that reflects the intent of the application

- BUILDING DESIGN REVIEW** **DESIGN REVIEW MODIFICATION**
 SUBDIVISION / COMMON AREA LANDSCAPE **STAFF LEVEL APPLICATION**

This Design Review application is a request to construct, add or change the following: *(Briefly explain the nature of the request.)*

Construction of self-storage facility

1. Dimension of Property: About 254 feet wide and about 1166 feet long

2. Current Land Use(s): Agricultural

3. What are the land uses of the adjoining properties?

North: Agricultural

South: Agricultural

East: Agricultural

West: Agricultural

4. Is the project intended to be phased, if so what is the phasing time period? Yes

Please explain: The size and time of future phases will depend on depend for the existing storage units.

5. The number and use(s) of all structures: _____

There will be an office building for management of the facility and seven metal storage unit buildings.

6. Building heights: 9 to 16 feet Number of stories: Single Story.

The height and width relationship of new structures shall be compatible and consistent with the architectural character of the area and proposed use.

Note: The maximum building height for each zoning district is as follows:

L-O: 35'	C-2: 60'	CBD: 80'	M-2: 60'	P: 60'
C-1: 35'	C-3: 60'	M-1: 60'	M-3: 60'	

7. What is the percentage of building space on the lot when compared to the total lot area? 32.5%

8. Exterior building materials & colors: (Note: This section must be completed in compliance with the City of Kuna Ordinance No. 2007-21A (as amended); found online at www.cityofkuna.com) under the City Code.

MATERIAL

COLOR

Roof: Office: Architectural Shingles/Storage: Metal / Office: Black/Storage: Galvanized

Walls: (State percentage of wall coverage for each type of building material below for each frontage wall) If there is not adequate space to identify the various building materials and applications, please list them on the attached sheet of this application. Please attach photos to support application types.

Office: Hardy Board siding/wood trim Storage: Metal

% of Wood application: Office will have wood trim / _____

% EIFS:

(Exterior Insulation Finish System)

% Masonry: about 10% Office Frontage / Tan rock facia

% Face Block: _____ / _____

% Stucco: _____ / _____

& other material(s): _____ / _____

List all other materials: Office: Concrete board siding; Storage: Metal siding and trim / Tan Brown

Windows/Doors: Office: DBCI Doors; Storage: Metal / Office: tan door; Storage: Dark Red

(Type of window frames & styles / doors & styles, material)

Soffits and fascia material: Office: wood / Storage: Metal / Office and Storage: Tan

Trim, etc.: _____ / Office and Storage: Tan

Other: _____ / _____

9. Please identify Mechanical Units: Heat Pump

Type/Height: 2.5 ton (about 4'x4'x4')

Proposed Screening Method: Plants

10. Please identify trash enclosure: (size, location, screening & construction materials) _____

Trash Can storage back behind building no dumpsters

11. Are there any irrigation ditches/canals on or adjacent to the property? _____

Yes (Teed Lateral)

If yes, what is the name of the irrigation or drainage provider? _____

Boise Project Board of Control Division 2

12. Fencing: (Please provide information about new fencing material as well as any existing fencing material) _____

Wrought Iron Fencing surrounding storage buildings with matching gate

Type: Wrought Iron
 Size: 6 feet tall
 Location: Perimeter

(Please note that the City has height limitations of fencing material and requires a fence permit to be obtained prior to installation)

13. Proposed method of On-site Drainage Retention/Detention:

Infiltration Swale

14. Percentage of Site Devoted to Building Coverage: 32%

% of Site Devoted to Landscaping: <i>(Including landscaped rights-of-way)</i>	<u>6%</u>	Square Footage:	<u>23,775</u>
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% of Site that is Hard Surface: <i>(Paving, driveways, walkways, etc.)</i>	<u>58%</u>	Square Footage:	<u>222,725</u>
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% of Site Devoted to other uses:	<u>4%</u>		
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Describe: Teed lateral easement south side of the property

% of landscaping within the parking lot (landscaped islands, etc.): 16%

15. For details, please provide dimensions of landscaped areas within public rights-of-way:

No landscaping in the public right-of-way

16. Are there any existing trees of 4" or greater in caliper on the property? *(Please provide the information on the site plans.)*

If yes, what type, size and the general location? *(The City's goal is to preserve existing trees with a four inch (4") or greater caliper whenever possible):*

No

17. Dock Loading Facilities:

Number of docking facilities and their location: NA

Method of screening: NA

18. Pedestrian Amenities: *(bike racks, receptacles, drinking fountains, benches, etc.)*

NA

19. Setbacks of the proposed building from property lines:

Front 52 -feet Rear 35 -feet Side 40 -feet Side 40 -feet

20. Parking requirements: 4 spaces

Total Number of Parking Spaces:	<u>4 spaces</u>	Width and Length of Spaces:	<u>9'x20'</u>
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Total Number of Compact Spaces 8'x17': None

21. Is any portion of the property subject to flooding conditions? Yes _____ No NO

IF THE PLANNING DIRECTOR OR DESIGNEE, THE DESIGN REVIEW BOARD AND/OR THE CITY COUNCIL DETERMINE THAT ADDITIONAL AND/OR REVISED INFORMATION IS NEEDED, AND/OR IF OTHER UNFORESEEN CIRCUMSTANCES ARISE, ANY DATES OUTLINED FOR PROCESSING MAY BE RE-SCHEDULED BY THE CITY. APPLICANT/REPRESENTATIVE MUST ATTEND THE DESIGN REVIEW BOARD MEETING/PLANNING AND ZONING MEETINGS.

The Ada County Highway District may also conduct public meetings regarding this application. If you have questions about the meeting date or the traffic that this development may generate or the impact of that traffic on streets in the area, please contact the Ada County Highway District at 208.387.6170. In order to expedite your request, please have ready the file number indicated in this notice.

Signature of Applicant Kristin Clow Date FEB 14 2017

City staff comments:

Signature of receipt by City Staff J. Kerner Date 2-16-17

FOR ADDITIONAL INFORMATION:
(Please list page number and item in reference)



City of Kuna
 Planning & Zoning
 Department
 P.O. Box 13
 Kuna, Idaho 83634
 208.922.5274
 Fax: 208.922.5989
 Website: www.kunacity.id.gov

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	17-02 DRC
Project name	Lock-N-Roll Storage
Date Received	2-16-19
Date Accepted/Complete	
Cross Reference Files	16-04-ZC 16-06-SUP
Commission Hearing Date	
City Council Hearing Date	N/A

Contact/Applicant Information

Owners of Record: <u>KEITH CLOW</u>	Phone Number: <u>208-407-7218</u>
Address: <u>1085 GLENWAY AVE</u>	E-Mail: <u>KEITHCLOW6@GMAIL</u>
City, State, Zip: <u>FRUITLAND ID 83669</u>	Fax #: _____
Applicant (Developer): _____	Phone Number: _____
Address: <u>N/A</u>	E-Mail: _____
City, State, Zip: _____	Fax #: _____
Engineer/Representative: <u>ADAM LYMAN</u>	Phone Number: <u>208-955-8126</u>
Address: <u>Nampa</u>	E-Mail: <u>A.LYMAN@ABCO-ENG.COM</u>
City, State, Zip: _____	Fax #: _____

Subject Property Information

Site Address: <u>MERIDIAN RD/ DEER FIAT - NORTH OF KUNARD</u>	
Site Location (Cross Streets): <u>C</u>	
Parcel Number (s): <u>2R/56495 PARCEL# 51419333 400 NORTH MERIDIAN RD</u>	
Section, Township, Range: <u>19 2N 1E</u>	
Property size: <u>8.74</u>	
Current land use: <u>C2 commercial</u>	Proposed land use: _____
Current zoning district: <u>C2</u>	Proposed zoning district: _____



Project Description

Project / subdivision name: _____
General description of proposed project / request: OFFICE / MINI STORAGE

Type of use proposed (check all that apply):
 Residential _____
 Commercial _____
 Office _____
 Industrial _____
 Other Storage

Amenities provided with this development (if applicable): LS

Residential Project Summary (if applicable)

Are there existing buildings? Yes No
Please describe the existing buildings: _____
Any existing buildings to remain? Yes No
Number of residential units: _____ Number of building lots: _____
Number of common and/or other lots: _____
Type of dwellings proposed:
 Single-Family _____
 Townhouses _____
 Duplexes _____
 Multi-Family _____
 Other _____
Minimum Square footage of structure (s): _____
Gross density (DU/acre-total property): _____ Net density (DU/acre-excluding roads): _____
Percentage of open space provided: _____ Acreage of open space: _____
Type of open space provided (i.e. landscaping, public, common, etc.): _____

Non-Residential Project Summary (if applicable)

Number of building lots: 3 MINI STORAGE/OFFICE Other lots: _____
Gross floor area square footage: _____ Existing (if applicable): _____
Hours of operation (days & hours): 8-5:30 Building height: OFFICES 24FT PAVK/STORAGE 10-25FT
Total number of employees: _____ Max. number of employees at one time: 12
Number and ages of students/children: _____ Seating capacity: _____
Fencing type, size & location (proposed or existing to remain): _____

Proposed Parking:
a. Handicapped spaces: 1 AT STORAGE Dimensions: _____
b. Total Parking spaces: _____ Dimensions: _____
c. Width of driveway aisle: 10'

Proposed Lighting: _____
Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): AS PER LANDSCAPE PLAN

Applicant's Signature: Kaiti Crew Date: FEB-24 2017

RECEIVED
2-27-17



February 24, 2017
Project No. 17-4469Z

City of Kuna
ATTN: City Staff
PO Box 13
Kuna, ID 83634

SUBJECT: Design Review Letter of Intent
Lock N Roll Storage

To Whom it May Concern,

The owner (Mr. Kieth Clow) would like to develop his property located on the east side of State Highway 69 about 980 feet north of the intersection of E Kuna Road. The property is about 8.8 acres and will be developed as a storage facility. The project will consist of constructing a 1,033 square foot office building for management of the facility and constructing 7 storage buildings. The storage buildings will be 160 feet long. building widths will be one building at 40 feet wide, three buildings at 45 feet wide, three buildings at 50 feet wide.

The east half of the property will be reserved for construction of additional storage buildings. The total square footage of the buildings is 78,000 square feet. 6 additional buildings are shown on the drawings, however the actual size and number of buildings will depend on demand, however the total square footage will not exceed 78,000 square feet

The area south of the office will be outside of the fenced storage building and will be reserved for future office buildings. The size and scope of any buildings in this area is unknown.

There will be one sign in the front of the property. The sign will be 8 feet wide and 12 feet tall.

The facility will be served by the following utilities:

- Water will be from the City of Kuna. A water main will be constructed by the facility to extend from developments on the west side of State Highway 69 north of the development.
- Sewer will be a septic system for the office building until the facility can connect to City of Kuna sewer services. The area reserved for future development south of the storage facility office will not be connected to the septic system and will not be developed until the City Sewer services are available.
- Idaho Power will provide underground power to the facility from overhead power lines along SH-69.
- Communications facilities are available underground along SH-69.

- Storm water will be retained on site and infiltrated into the subsurface soil. The storm water in this phase will be designed as if the entire site is constructed and paved. Future buildings and paving will not need to expand the storm drainage facility.

EXHIBIT A

A parcel of land located in Government Lot 4 in Section 19, Township 2 North, Range 1 East, Boise Meridian, Ada County, Idaho, lying North of the Teed Lateral, more particularly described as follows:

Commencing at the Northwest corner of said Government Lot 4, the South sixteenth corner, common to Section 19, Township 2 North, Range 1 East, Boise Meridian and Section 24, Township 2 North, Range 1 West, Boise Meridian, marked with a 5/8 inch pin with plastic cap;

Thence North 89°49'04" East, a distance of 60.00 feet to a 5/8 inch diameter by 30 inch long rebar with plastic cap on the Easterly side of State Highway 69, the Real Point of Beginning;

Thence South 00°30'25" East, a distance of 250.08 feet to a 1/2 inch diameter by 24 inch long rebar with plastic cap;

Thence North 89°49'04" East, a distance of 721.70 feet to a 1/2 inch diameter by 24 inch long rebar with plastic cap;

Thence South 00°30'25" East, a distance of 290.02 feet to a point at the centerline of the Teed Lateral, said point bearing South 00°30'25" East, a distance of 30.52 feet from a 1/2 inch diameter by 24 inch long rebar with plastic cap Witness Corner on the Northerly 30.00 feet Easement Line for the Teed Lateral;

Thence along the centerline of the Teed Lateral 135.06 feet along a curve to the left, said curve having a radius of 549.84 feet, an interior angle of 14°04'25" and a long chord of 134.72 feet with a chord bearing of North 72°08'14" East to a point;

Thence along the centerline of the Teed Lateral North 65°06'02" East, a distance of 344.65 feet to a point, said point bearing South 00°09'22" East, a distance of 33.03 feet from a 5/8 inch diameter by 30 inch long rebar with plastic cap Witness Corner on the Northerly 30.00 feet Easement Line for the Teed Lateral;

Thence along the Easterly line of said Government Lot 4, North 00°09'22" West, a distance of 355.23 feet to a 5/8 inch diameter by 30 inch long rebar with plastic cap, the Southwest Sixteenth Corner of said Section 19, Township 2 North, Range 1 East, Boise Meridian;

Thence along the Northerly line of said Government Lot 4, South 89°48'36" West, a distance of 1,166.35 feet to a 5/8 inch diameter by 30 inch long rebar with plastic cap at the Easterly side of State Highway 69, the Real Point of Beginning.

Exhibit

A-2d

RECEIVED
10.12.16



5680 E. Franklin Rd., Ste. 150
Nampa, ID 83687

ELECTRONICALLY RECORDED-DO NOT REMOVE THE COUNTY STAMPED FIRST PAGE AS IT IS NOW INCORPORATED AS PART OF THE ORIGINAL DOCUMENT

File No. 587622 CH/SK

ADA COUNTY RECORDER Christopher D. Rich
BOISE IDAHO Pgs=2 LISA BATT
PIONEER TITLE COMPANY OF ADA COUNTY

2016-063264
07/15/2016 11:31 AM
\$13.00

WARRANTY DEED

For Value Received Stephen J. Guinn, an unmarried person hereinafter referred to as Grantor, does hereby grant, bargain, sell, warrant and convey unto

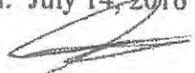
Keith Clow, a married man as his sole and separate property ^{K.C.} hereinafter referred to as Grantee, whose current address is 1085 Glenway Ave Fruitland, ID 83619

The following described premises, to-wit:

See Exhibit A attached hereto and made a part hereof.

To HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee(s), and Grantees(s) heirs and assigns forever. And the said Grantor(s) does (do) hereby covenant to and with the said Grantee(s), the Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee(s); and subject to U.S. Patent reservations, restrictions, dedications, easements, rights of way and agreements, (if any) of record, and current years taxes, levies, and assessments, includes irrigation and utility assessments, (if any) which are not yet due and payable, and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

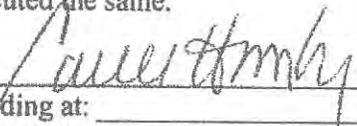
Dated: July 14, 2016



Stephen J Guinn

State of IDAHO, County of CANYON

On this 15 day of July in the year of 2016, before me, the undersigned, a Notary Public in and for said State, personally appeared Stephen J Guinn known or identified to me to be the person/persons whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she/they executed the same.


Residing at: _____
Commission Expires: _____



Residing at: Melba, ID
Commission Expires: 3/10/2021





RECEIVED
2-24-17

City of Kuna AFFIDAVIT OF LEGAL INTEREST

City of Kuna
P.O. Box 13
Kuna, Idaho 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
Kunacity.id.gov

State of Idaho)
) ss
County of Ada)

I, KEITH CLOW , 1085 GLENWAY AVE
Name Address
FRUITLAND ID , ID 83619
City State Zip Code

being first duly sworn upon oath, depose and say:

(If Applicant is also Owner of Record, skip to B)

- A. That I am the record owner of the property described on the attached, and I grant my
Permission to KEITH CLOW 1085 GLENWAY AVE FRUITLAND ID 83619
Name Address
to submit the accompanying application pertaining to that property.
- B. I agree to indemnify, defend and hold City of Kuna and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
- C. I hereby grant permission to the City of Kuna staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 24th day of FEBRUARY, 2017

Keith Clow

Signature

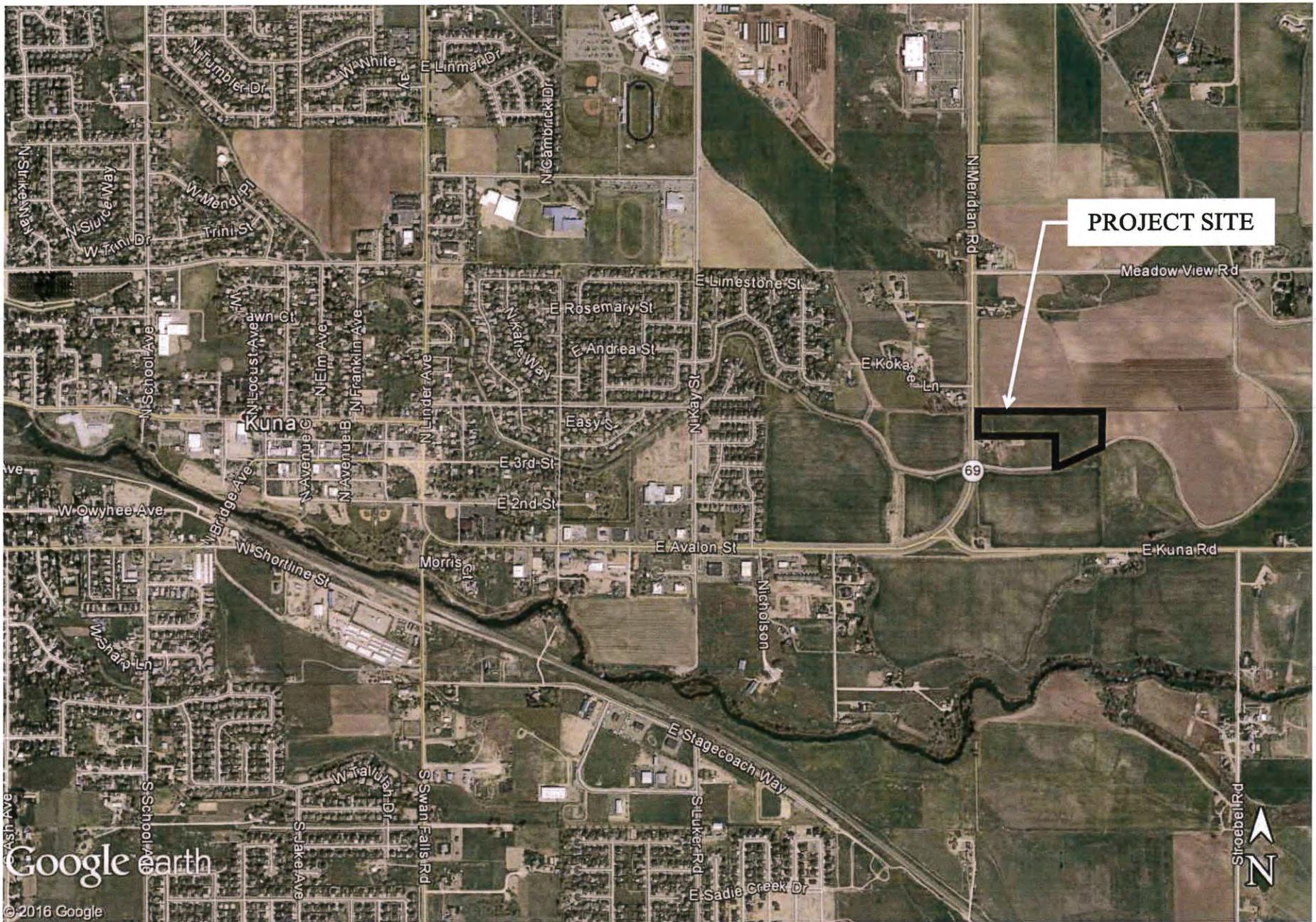
Subscribed and sworn to before me the day and year first above written.

Ariana Welker
Notary Public for Idaho

Residing at: Ada County

My commission expires: July 7, 2022





LOCK-N-ROLL STORAGE: PROJECT VICINITY MAP
KUNA, IDAHO

Exhibit
B-7

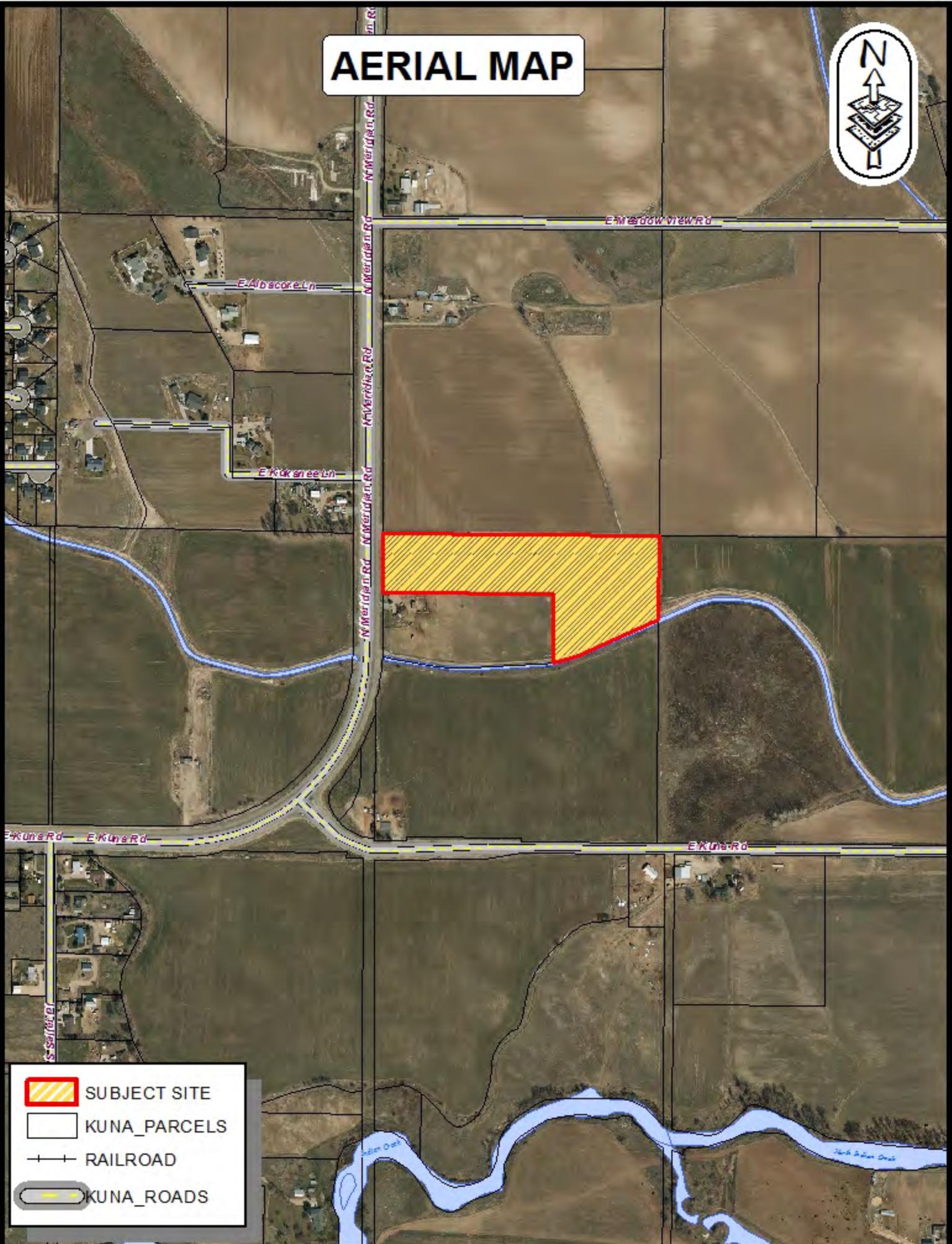


Google earth

feet
meters

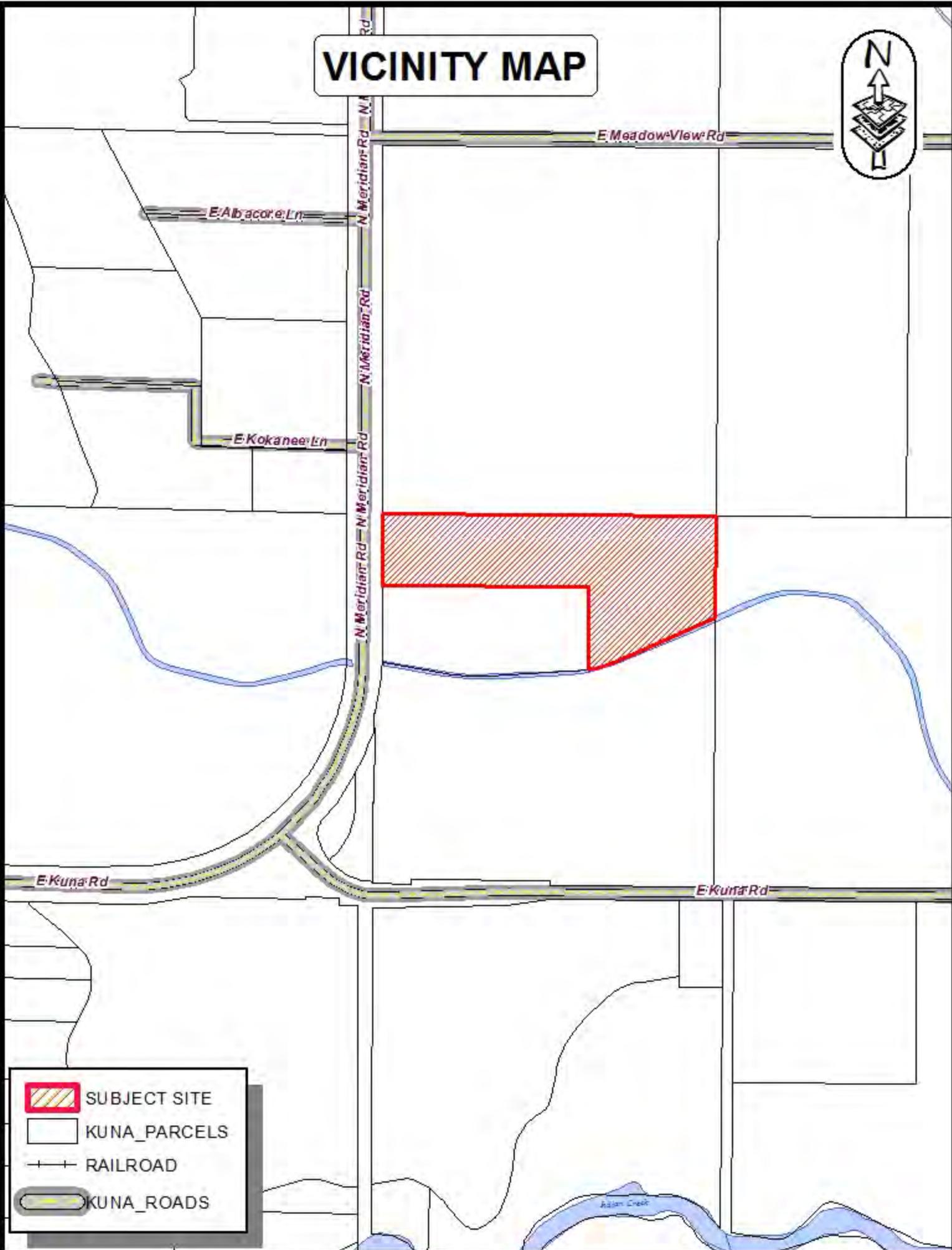


AERIAL MAP

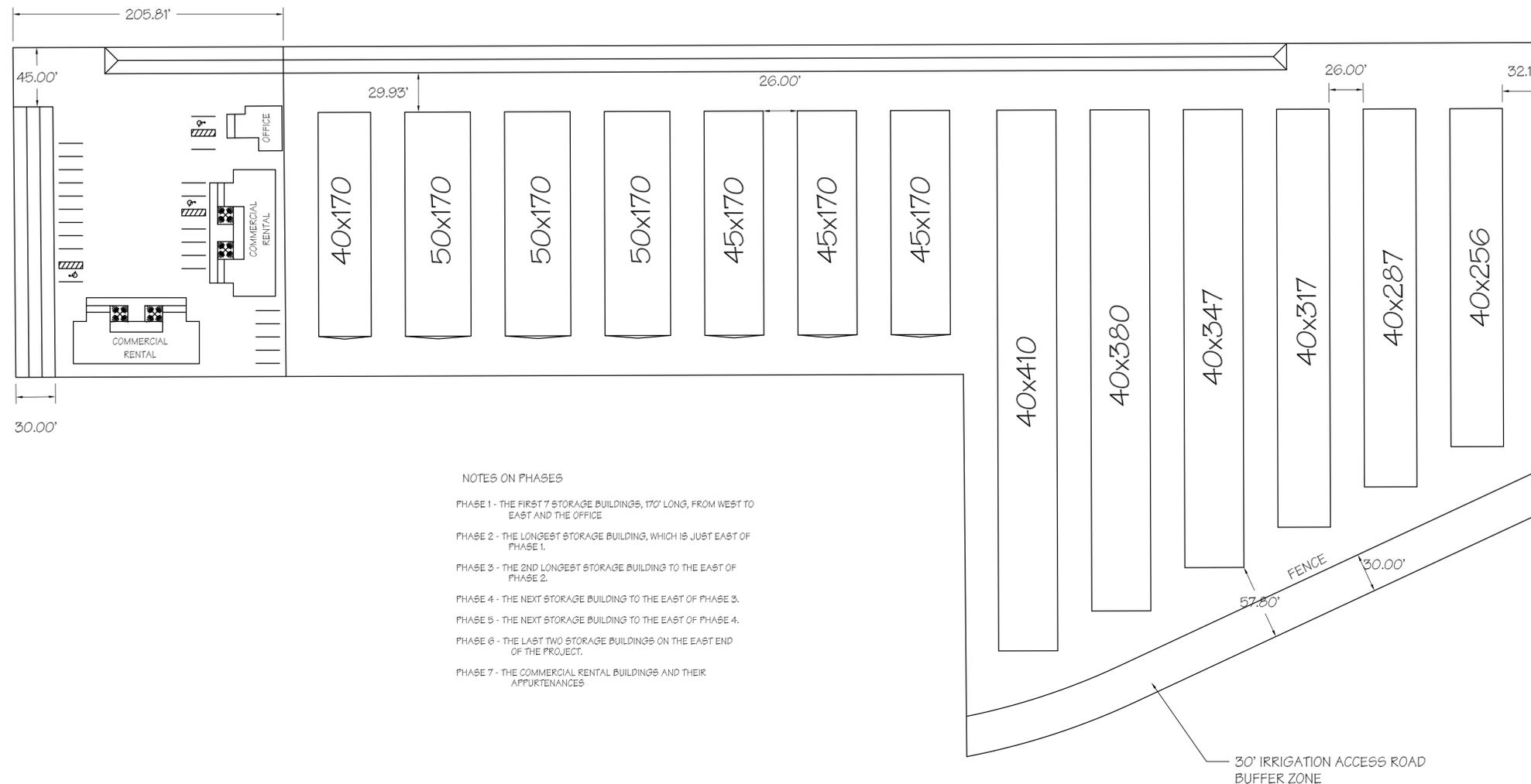


-  SUBJECT SITE
-  KUNA_PARCELS
-  RAILROAD
-  KUNA_ROADS

VICINITY MAP



	SUBJECT SITE
	KUNA_PARCELS
	RAILROAD
	KUNA_ROADS



- NOTES ON PHASES
- PHASE 1 - THE FIRST 7 STORAGE BUILDINGS, 170' LONG, FROM WEST TO EAST AND THE OFFICE
 - PHASE 2 - THE LONGEST STORAGE BUILDING, WHICH IS JUST EAST OF PHASE 1.
 - PHASE 3 - THE 2ND LONGEST STORAGE BUILDING TO THE EAST OF PHASE 2.
 - PHASE 4 - THE NEXT STORAGE BUILDING TO THE EAST OF PHASE 3.
 - PHASE 5 - THE NEXT STORAGE BUILDING TO THE EAST OF PHASE 4.
 - PHASE 6 - THE LAST TWO STORAGE BUILDINGS ON THE EAST END OF THE PROJECT.
 - PHASE 7 - THE COMMERCIAL RENTAL BUILDINGS AND THEIR APPURTENANCES

- NOTES
1. ENTIRE SITE IS SLOPED DOWN TO THE NORTH AT 1%.
 2. CROSS SLOPES FROM BUILDINGS TO BOTTOM OF SWALE IN THE AISLES IS AT 2%.
 3. BUILDING PADS ARE SLOPED AT 1% DOWN TO THE NORTH JUST LIKE THE REST OF THE SITE.
 4. AISLES WILL BE PAVED WITH ASPHALT.
 5. CONSTRUCTION WILL BE PHASED AS FUNDING ALLOWS.
 6. STORAGE UNIT BUILDINGS WILL BE FRAMES WITH METAL ROOFS AND SIDES
 7. LIGHTING WILL BE LED LIGHTS ALONG THE SIDES OF THE STORAGE UNIT BUILDINGS, APPROX 4 PER SIDE ON THE 170' BLDGS., AND ONE ON EACH END. THERE WILL ALSO BE SOFFIT LIGHTS AROUND THE OFFICE BUILDING AND A LIGHT FOR THE ACCESS KEYPAD.
 8. THERE IS A 30' LANDSCAPE BUFFER BETWEEN THE FUTURE PARKING LOT AND HWY 69. IT INCLUDES A 10' SIDEWALK, 10 TREES, AND 25 SHRUBS, WITH 60% OF THE TREES BEING EVERGREEN.
 9. THE OFFICE BUILDING WILL BE SINGLE-STORY WITH 10' WALLS AND AN 8:12 PITCH ROOF. THE ROOF WILL HAVE COMPOSITION ARCHITECTURAL SHINGLES.
 10. THE COMMERCIAL RENTAL BUILDINGS WILL BE BUILT WITH THE SAME STYLING AS THE OFFICE BUILDING.
 11. THERE WILL BE NO FENCING ALONG THE FRONT/WEST PROPERTY LINE. THE FIRST FENCE ENCOUNTERED AS YOU MOVE EAST WILL BE SET BACK FROM THE WEST LINE 205' AND WILL BE MIXED, CHAIN LINK WITH A WROUGHT IRON STYLE SECURITY ACCESS GATE. FROM WHERE THAT FENCE MEETS THE NORTH AND SOUTH PROPERTY LINES THE REST OF THE PERIMETER FENCING IS PROPOSED TO BE CHAIN LINK FOR SECURITY.

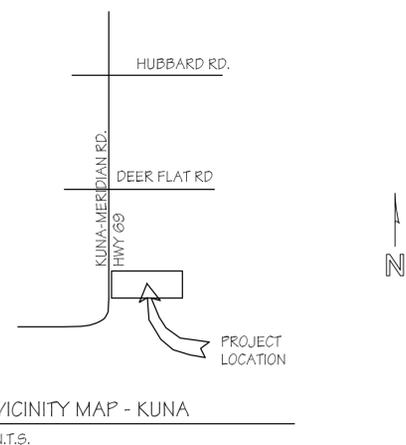
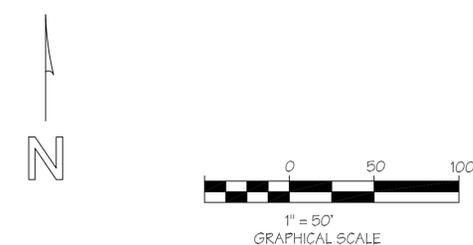


EXHIBIT A-4 (entered into record 11/22/2016)



STRUCTURAL * GEOTECHNICAL * CIVIL
P.O. Box 1381
CALDWELL, ID 83406
PHONE: 208-453-9356

ADVANTAGE
CONSULTING
ENGINEERS

**KEITH CLOW
STORAGE & COMMERCIAL
SITE CONCEPTUAL PLAN**

STAMPED ORIGINAL ON FILE

10-11-16

REVISIONS No.	REMARKS

SITE PLAN

DATE	10-11-16
JOB No.	16-111
DRAWN BY	LCP
SCALE	1"=50'
SHEET NUMBER	C1.0



SALES OFFICE



Lock n Roll Storage

KELLY DESIGN
 All dimensions to be site verified by all subcontractors - responsibility for construction rests solely with the General Contractor.
 Cell # - 313 5704
 email - Kelly@kellydesign.cc
 www.Kellydesign.cc

OFFICE SPACE -
 1093 sq ft
 PORCH - 131 sq.ft.

New Office for :
CLOW STORAGE

COVER PAGE

Drawn by
 KK
 SCALE
 1/4" = 1'
 PAGE
C-1
 of 10 pages
 DATE
 2/14/2017
 Stor-1000-O -
 17
 Draw #



R401.3 Drainage.
 Surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection so as to not create a hazard. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches (152 mm) within the first 10 feet (3048 mm).
 Exception: Where lot lines, walls, slopes or other physical barriers prohibit, 6 inches (152 mm) of fall within 10 feet (3048 mm) the final grade shall slope away from the foundation at a minimum slope of 5 percent and the water shall be directed to drains or swales to ensure drainage away from the structure. Swales shall be sloped a minimum of 2 percent when located within 10 feet (3048 mm) of the building foundation. Impervious surfaces within 10 feet (3048 mm) of the building foundation shall be sloped a minimum of 2 percent away from the building.

RS21.1 Premises Identification.
 Approved numbers or addresses shall be provided for all new buildings in such a position as to be plainly visible and legible from the street or road fronting the property.

FOLLOW PRESCRIPTIVE PATH FOR INSULATION
 or upgrade to below

Insulation Rating	R-Value
Ceiling / Roof	42.00
Wall	22.00
Floor / Foundation	30.00
Ductwork (unconditioned spaces):	8.00

Glass & Door Rating	U-Factor	SHGC
Window	0.30	0.30
Door	0.31	0.40

Heating & Cooling Equipment	Efficiency
Forced Hot Air Furnace	91 AFUE
Electric Central Air Conditioner	15 SEER
Water Heater:	

Name: _____ Date: _____
 Comments: _____

LEGEND

- Property pin
- Property Line
- Utility Easement
- Utility Easement
- Irrigation Easement
- Road Easement
- Setback line
- 220V
- Gas or Propane
- 100' Well Radius line
- Access Road

*** NOTES :**
 PROVIDE 3" GARAGE SLAB FROM HOUSE AT A MINIMUM OF 10' FOR SEATHR DRAINAGE.
 ALL DIMENSIONS FOR HOUSE PLACEMENT ON LOT ARE TAKEN FROM FOUNDATION - EYES ARE NOT CONSIDERED.

FLATWORK SCHEDULE

DRIVE WAY SLAB	40' X 30'
SHADE SLAB	100' X 10' FT.
PATIO SLAB	DECK
ENTRY SLAB	14' X 22'
SHADE ENTRY	8' X 10'
ENTRY WALK	8' X 24'
WALK SLAB	8' X 8'
PAVING TOP	400 SQ. FT.

LEGAL DESC.
 PARCEL ? ,
 KUNA, ADA
 COUNTY, IDAHO

ADDRESS
 UNKNOWN

Single Level

Space:
 Main floor 1,033 sq. ft.
 Entryway 131 sq. ft.
 Total - 1,033 - sq. ft.
 Conditioned space
 Garage N/A - sq. ft.

Office : 1
 Baths : 1

Draw # Stor-1000-0-117

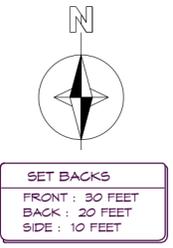
PLAN INDEX

PAGE #	SHEET Title	Other Information
C-1	COVER PAGE	
PL-1	PLOT PLAN	
S-1	FOUNDATION PLAN	
S-2	BRACED WALL LINE PLAN	
S-3	BRACED WALL PLAN Cont.	Misc. Notes
S-4	ROOF FRAMING PLAN	
S-5	SECTIONS & DETAILS	
A-1	FLOOR PLAN - MAIN FLOOR	
A-2	ELEVATIONS - ALL	
E-1	ELECTRICAL & HVAC PLAN	Schedules

ADDITIONAL INFORMATION PROVIDED BY DOCUMENT

ALL PUBLIC EASEMENTS ARE PERMANENT (TO INCLUDE UTILITIES, DRAINAGE, & IRRIGATION)

NOT LOCATED ON SURVEY, HENCE, EASEMENTS ARE SUBJECT CURRENT COUNTY ADOPTED STANDARDS AND REQUIREMENTS



KELLY DESIGN Assumes no liability for any use or misuse of these plans
 1. Prior to beginning construction - Purchaser and/or builder hereafter referred to as contractor - must obtain all necessary permits and must comply with all building codes and local regulations.
 2. Contractor is responsible for any adaptation of the design to suit local conditions and requirements.
 3. Exact design, size and reinforcement of all concrete piers, footings and foundations must be determined by local soil conditions and acceptable construction practice. If necessary, verify structural design with local engineer.
 4. Bottom of all footings must extend below frost line.
 5. Contractor is responsible for cost of the house. Caution must be exercised in making changes to this design as even minor changes in one area can have major impacts on others. Only qualified designers, architects, or engineers should attempt modifications to the design.

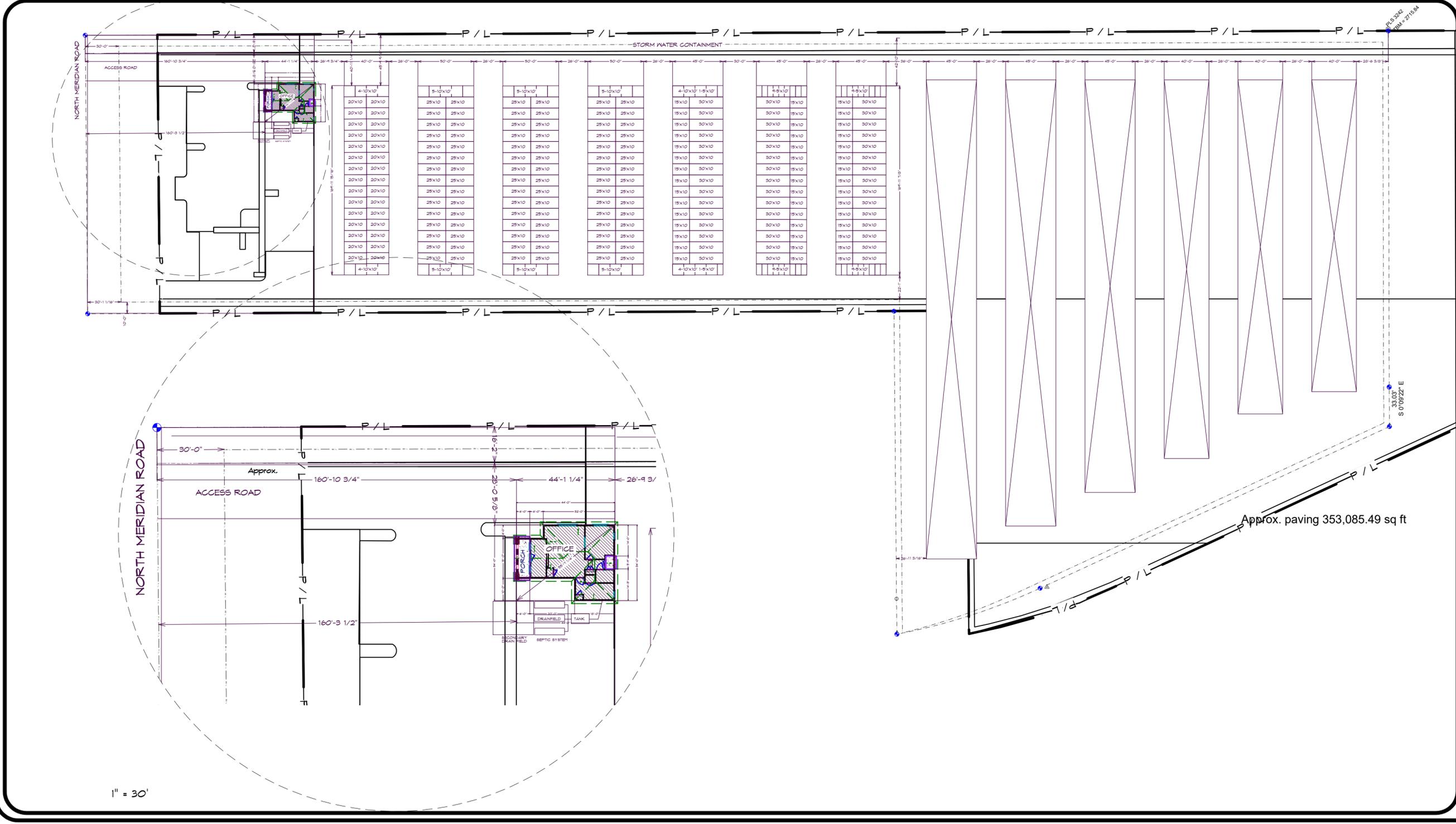
KELLY DESIGN
 All drawings to be site verified by all subcontractors - responsibility for construction rests solely with the general contractor.
 Kelly@kellydesign.cc
 www.kellydesign.cc

OFFICE SPACE - 1033 sq ft
 PORCH - 131 sq. ft.

New Office for :
CLOW STORAGE

PLOT PLAN

Drawn by KK
 SCALE
 1" = 60'
 PAGE
 PL1
 of 10 pages
 DATE
 2/14/2017
 Stor-1000-0-117
 Draw #



FOUNDATION NOTES:

1/2" X 10" ANCHOR BOLTS

Bolts shall be at least 1/2 inch (12.7 mm) in diameter and shall extend a minimum of 7 inches (178 mm) into masonry or concrete.

R403.1.6 Foundation anchorage.

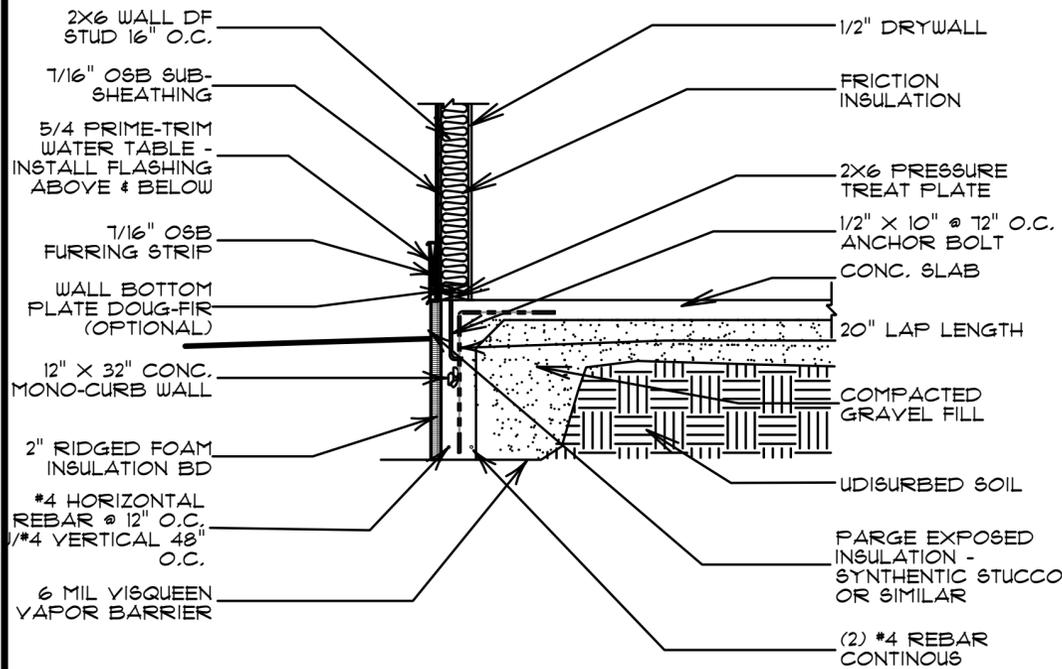
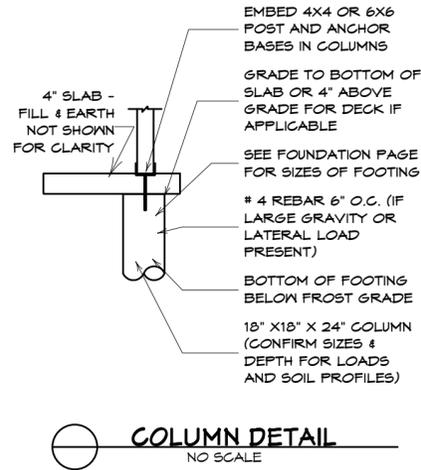
Sill plates and walls supported directly on continuous foundations shall be anchored to the foundation in accordance with this section. Wood sole plates at all exterior walls on monolithic slabs, wood sole plates of braced wall panels at building interiors on monolithic slabs and all wood sill plates shall be anchored to the foundation with anchor bolts spaced a maximum of 6 feet (1829 mm) on center. Bolts shall be at least 1/2 inch (12.7 mm) in diameter and shall extend a minimum of 7 inches (178 mm) into concrete or grouted cells of concrete masonry units. A nut and washer shall be tightened on each anchor bolt. There shall be a minimum of two bolts per plate section with one bolt located not more than 12 inches (305 mm) or less than seven bolt diameters from each end of the plate section. Interior bearing wall sole plates on monolithic slab foundation that are not part of a braced wall panel shall be positively anchored with approved fasteners. Sill plates and sole plates shall be protected against decay and termites where required by Sections R317 and R318. Cold-formed steel framing systems shall be fastened to wood sill plates or anchored directly to the foundation as required in Section R505.3.1 or R603.3.1.

Exceptions:

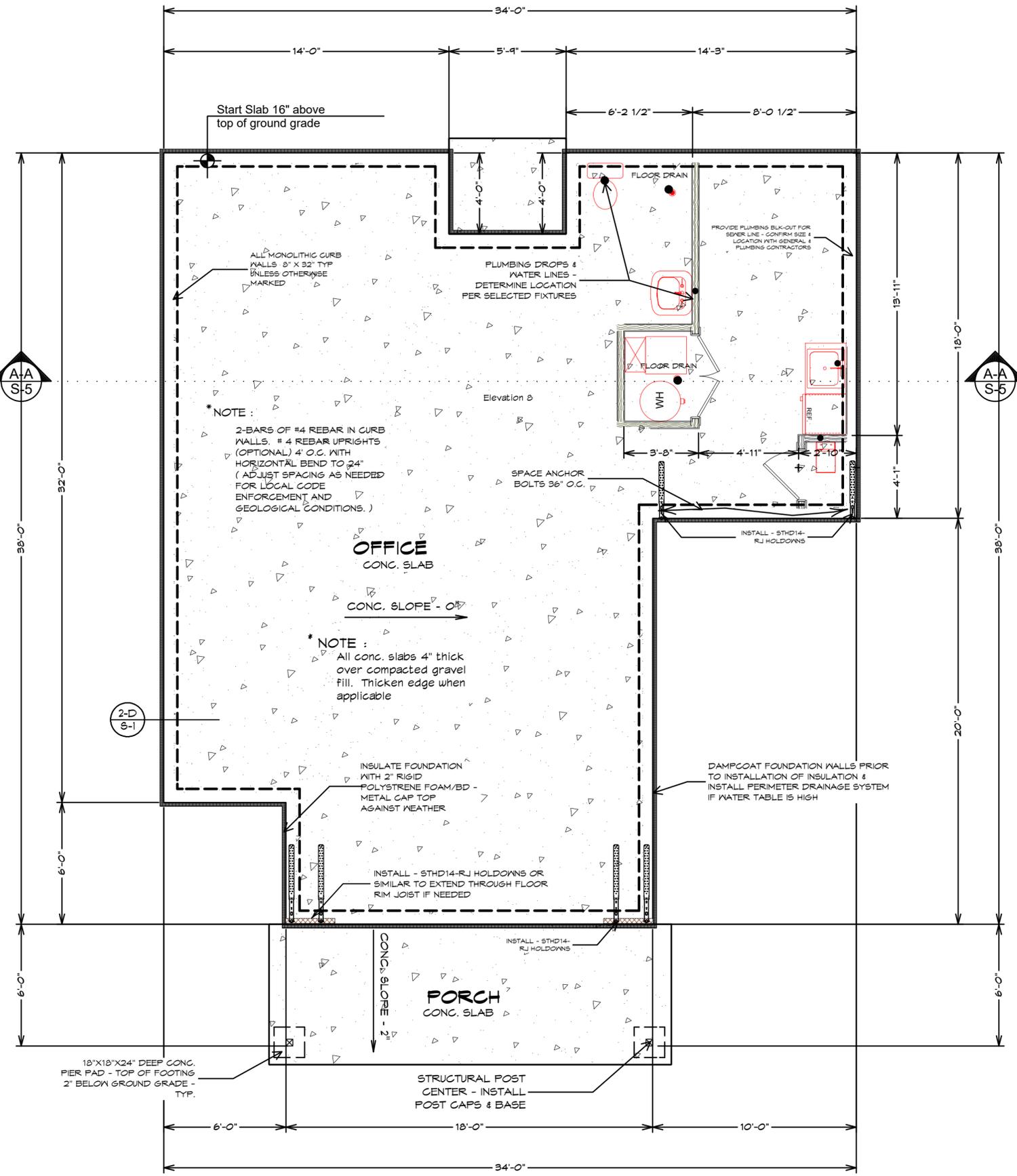
1. Foundation anchorage, spaced as required to provide equivalent anchorage to 1/2-inch-diameter (12.7 mm) anchor bolts.
2. Walls 24 inches (610 mm) total length or shorter connecting offset braced wall panels shall be anchored to the foundation with a minimum of one anchor bolt located in the center third of the plate section and shall be attached to adjacent braced wall panels at corners as shown in Figure R602.10.4.4(1).
3. Connection of walls 12 inches (305 mm) total length or shorter connecting offset braced wall panels to the foundation without anchor bolts shall be permitted. The wall shall be attached to adjacent braced wall panels at corners as shown in Figure R602.10.4.4(1).

R401.3 Drainage.

Surface drainage shall be diverted to a storm sewer conveyance or other approved point of collection so as to not create a hazard. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches (152 mm) within the first 10 feet (3048 mm). Exception: Where lot lines, walls, slopes or other physical barriers prohibit 6 inches (152 mm) of fall within 10 feet (3048 mm), the final grade shall slope away from the foundation at a minimum slope of 5 percent and the water shall be directed to drains or swales to ensure drainage away from the structure. Swales shall be sloped a minimum of 2 percent when located within 10 feet (3048 mm) of the building foundation. Impervious surfaces within 10 feet (3048 mm) of the building foundation shall be sloped a minimum of 2 percent away from the building.



2-D CONCRETE SLAB DETAIL
1/2" = 1'



FOUNDATION LAYOUT SQUARE
- 55' 7-1/4"
BASED ON 44' X 34' RECTANGLE

OFFICE SPACE - 1093 sq ft
PORCH - 131 sq ft.

New Office for:
CLOW STORAGE

FOUNDATION PLAN

GENERAL NOTES AND SPECIFICATIONS

DESIGN CRITERIA: 2012 IRC AND IBC

ROOF: 25 PSF ROOF LOAD
 *9 PSF TOP CHORD DL.
 *8 PSF BOTTOM CHORD DL.
 *5 PSF NET WIND UPLIFT.

FLOOR: 40 PSF LL.
 *12 PSF TOTAL DL.

SOIL: *1,500 PSF ALLOWABLE (ASSUMED). TO BE AT TIME OF EXCAVATION

FROST DEPTH: *2'-0"

SEISMIC ZONE: B

WIND: 90 MPH (90 MPH 3 SEC GUST), EXPOSURE SEE WALL CALCS.

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

LUMBER SPECIES:

- A. POSTS, BEAMS, HEADERS, JOISTS, AND RAFTERS TO BE DF-#2
- B. EXPOSED ARCH BEAMS TO BE DF-#1 OR BETTER
- C. SILLS, PLATES BLOCKING, AND BRIDGING TO BE DF-#2.
- D. ALL STUDS TO BE DF #STUD OR BETTER.
- E. PLYWOOD SHEATHING SHALL BE AS FOLLOWS:
 ROOF SHEATHING SHALL BE 1/2" PLYWOOD OR 7/16" OSB.
 WALL SHEATHING SHALL BE 1/2" INT-APA RATED 32/16 OR 7/16" OSB.
 FLOOR SHEATHING SHALL BE 7/8" T & G INT-APA RATED OSB.

NAILING NOTES: (PER IRC TABLE R602.3(1))

JOIST TO SILL OR GIRDER TOE NAIL (3)-8d
 BRIDGING TO JOIST TOE NAIL EA. END (2)-8d
 SOLE PLATE TO JOIST OR BLK'G FACE NAIL 16d @ 16" OC
 STUD TO SOLE PLATE TOE NAIL (4)-8d, END NAIL (2) 16d
 TOP PLATE TO STUD END NAIL (2)-16d

DOUBLE STUDS FACE NAIL 16d @ 24" OC
 DOUBLE TOP PLATES FACE NAIL 16d @ 16" OC
 CONTINUOUS HEADER, TWO PIECES 16d @ 16" OC ALONG EA. EDGE
 BUILT-UP HEADER, TWO PIECES
 W/ 1/2" SPACER 16d @ 16" OC ALONG EA. EDGE

TOP PLATES, LAPS AND INTERSECTIONS FACE NAIL (2)-16d

CEILING JOISTS TO PLATE TOE NAIL (3)-8d
 CONTINUOUS HEADER TO STUD TOE NAIL (4)-8d
 CEILING JOISTS, LAPS OVER PARTITIONS FACE NAIL (3)-10d
 CEILING JOISTS TO PARALLEL RAFTERS FACE NAIL (3)-10d
 RAFTER TO PLATE TOE NAIL (2)-16d
 1" BRACE TO EACH STUD AND PLATE FACE NAIL (2)-8d
 BUILT-UP CORNER STUDS 10d @ 24" OC
 2" PLANKS (2)-16d @ EA.BRG.

1/2" PLYWOOD ROOF AND WALL SHEATHING EDGES 8d @ 6" OC
 INTERMEDIATE 8d @ 12" OC

3/4" PLYWOOD SUBFLOOR EDGES 8d @ 6" OC
 INTERMEDIATE 8d @ 12" OC

2x MULTIPLE JOISTS - STAGGER @ 15" OC W/(2) @ EA. END OR SPLICE (3) OR FEWER 16d NAILS
 (4) OR MORE - 1/2" DIA M.B. W/ STANDARD NUT AND WASHERS

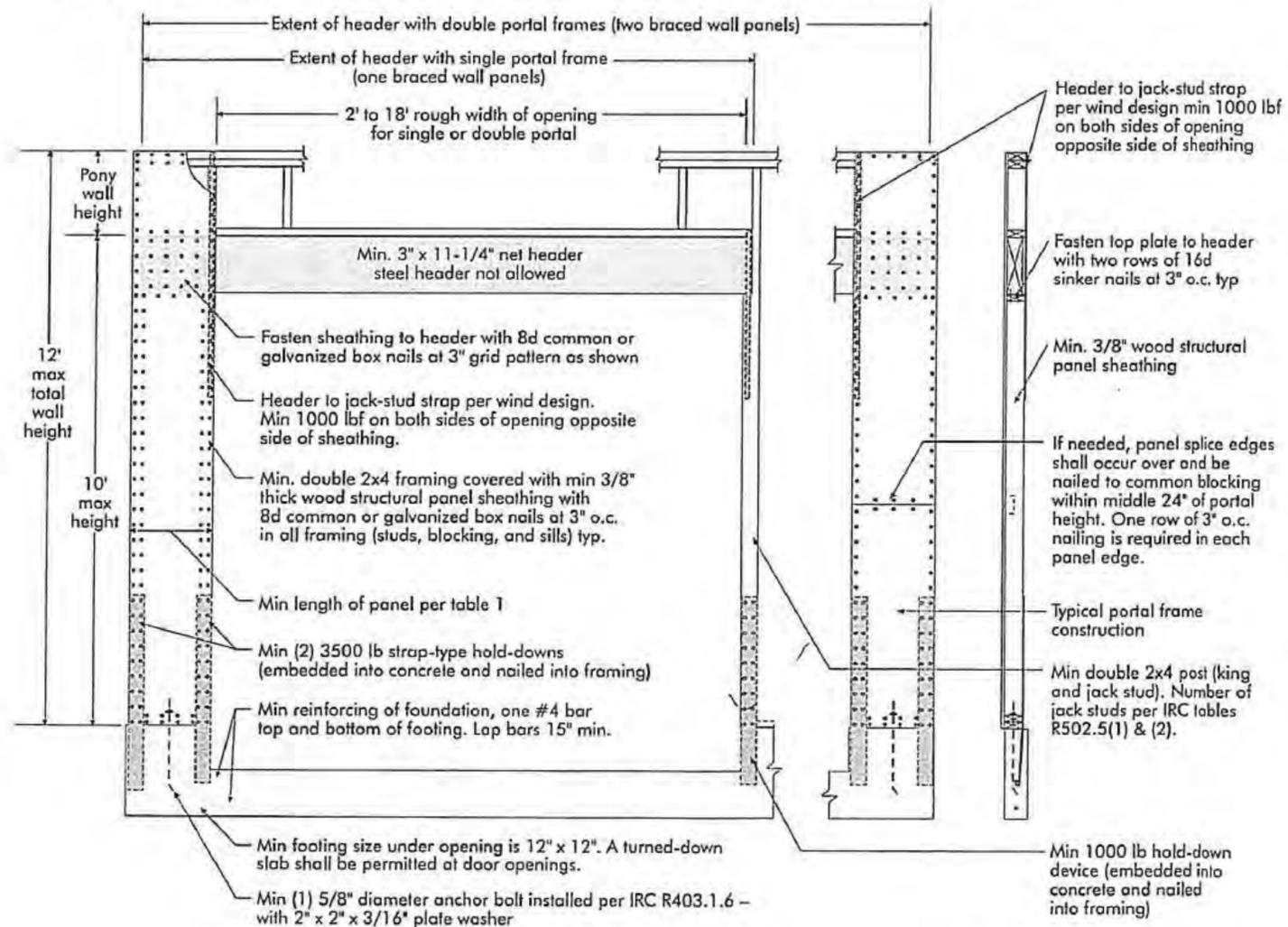
Table 1. Recommended Allowable Design Values for APA Portal Frame Used on a Rigid-Base

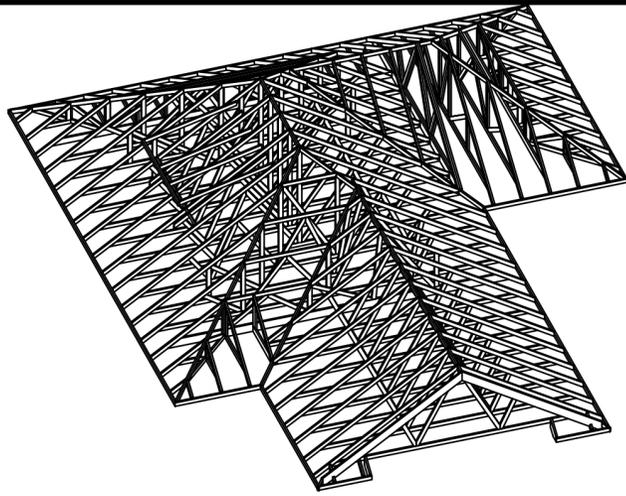
Minimum Width (in.)	Maximum Height (ft)	Allowable Design (ASD) Values per Frame Segment		
		Shear ^{(a),(f)} (lbf)	Deflection (in.)	Load Factor
16	8	850	0.33	3.09
	10	625	0.44	2.97
24	8	1,675	0.38	2.88
	10	1,125	0.51	3.42

Foundation for Wind or Seismic Loading^(a,b,c,d)

- (a) Design values are based on the use of Douglas-fir or Southern pine framing. For other species of framing, multiply the above shear design value by the specific gravity adjustment factor = (1 - (0.5 - SG)), where SG = specific gravity of the actual framing. This adjustment shall not be greater than 1.0.
- (b) For construction as shown in Figure 1.
- (c) Values are for a single portal-frame segment (one vertical leg and a portion of the header). For multiple portal-frame segments, the allowable shear design values are permitted to be multiplied by the number of frame segments (e.g., two = 2x, three = 3x, etc.).
- (d) Interpolation of design values for heights between 8 and 10 feet, and for portal widths between 16 and 24 inches, is permitted.
- (e) The allowable shear design value is permitted to be multiplied by a factor of 1.4 for wind design.
- (f) If story drift is not a design consideration, the tabulated design shear values are permitted to be multiplied by a factor of 1.15. This factor is permitted to be used cumulatively with the wind-design adjustment factor in Footnote (e) above.

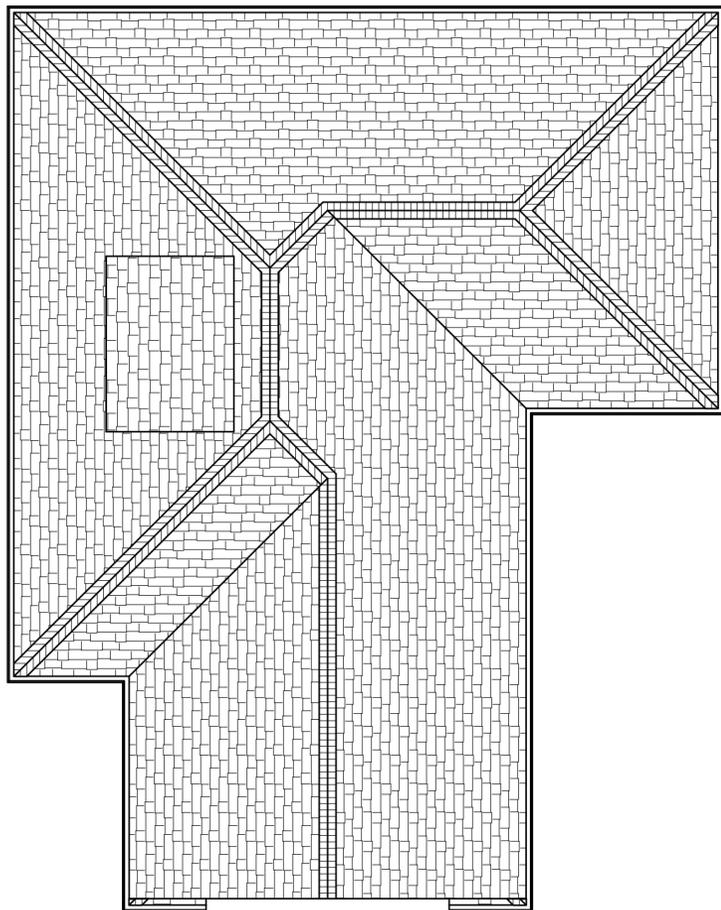
Figure 1. Construction Details for APA Portal-Frame Design with Hold Downs





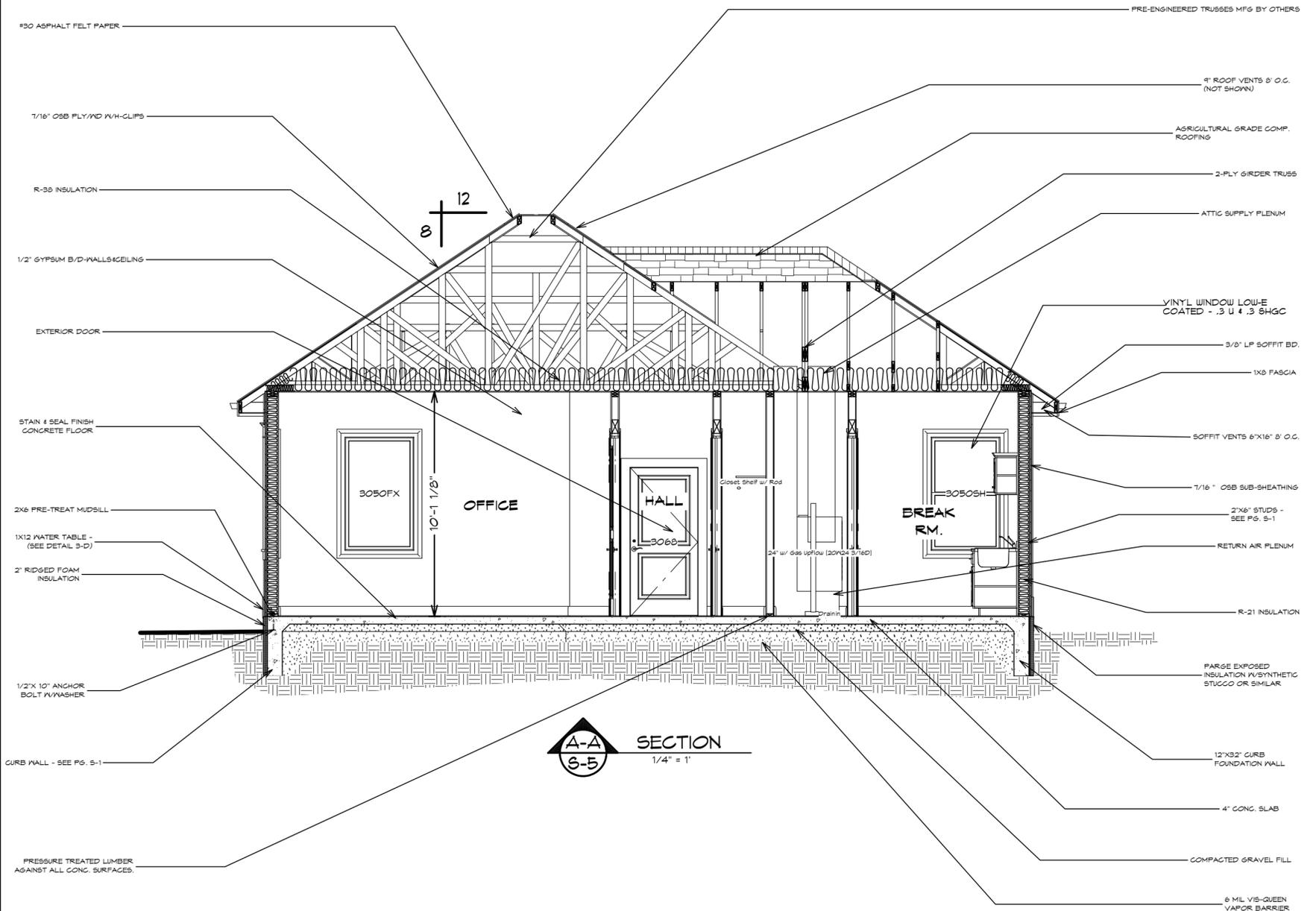
ROOF FRAMING OVERVIEW

No Scale



ROOF BIRDS-EYE OVERVIEW

No Scale



A-A SECTION
S-5
1/4" = 1'

ROOF FRAMING / TRUSS NOTES:

TRUSS DETAILS ARE FOR ILLUSTRATION ONLY TO AID IN TRUSS MFG. DESIGN PROCESS.

ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.

ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.

ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.

ALL OVERHANGS TO BE THE FOLLOWING:
DOWN SLOPE EVE 16" GABLE EVE 12"

ATTIC VENTILATION: REQUIRED ABOVE HOUSE.

MIN. GROUND SNOW LOAD 25 LBS PER SQUARE FOOT. WIND PRESURE TO BE CALCULATED AT 90 MPH, EXPOSURE B. SEISMIC DESIGN CATEGORY: B

WALL HEADERS: (SEE TABLE ON FLOOR FRAMING PAGE S-2)

ROOF & FLOOR TRUSS MANUFACTURER:

ATTIC VENTILATION:
AREA / 300

PROVIDE 1" MIN. AIR GAP AT EAVES WITH INSULATION BAFFLES TYP. AT ALL TRUSS BAYS.

PROVIDE GABLE VENTS ALL GABLE ENDS. UNLESS NOT SHOWN IN ELEVATION, AND/OR LESS THAN 18" CLEARANCE ABOVE ATTIC INSULATION

PROVIDE GALV. ROOF VENTS ON BACKSIDE OF ROOFLINE ABOVE CONDITIONED AREA, OR SUB CONTINUOUS RIDGE VENT

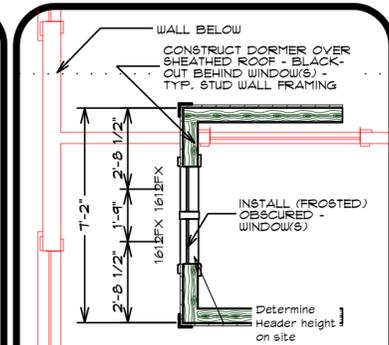
***NOTES:**

TRUSS MFG. MUST SITE VERIFY FOUNDATION FOR ROOF DIMENSIONS & PROVIDE ENGINEERING INFORMATION.

TRUSS MFG. TO ALSO SUPPLY ALL PERTINENT HOLD DOWN ANCHORS & TRUSS AND GIRDER HANGERS.

SEE TRUSS ELEVATIONS - ON DETAILS PAGE. NOTE THAT TRUSS ELEVATIONS ARE FOR REFERENCE ONLY

WALL HATCH INDICATES CHANGE IN WALL FRAMING HEIGHTS (See main Floor Plan) INFORM CONTRACTOR & FRAMERS OF ANY CHANGES BY TRUSS MFG.



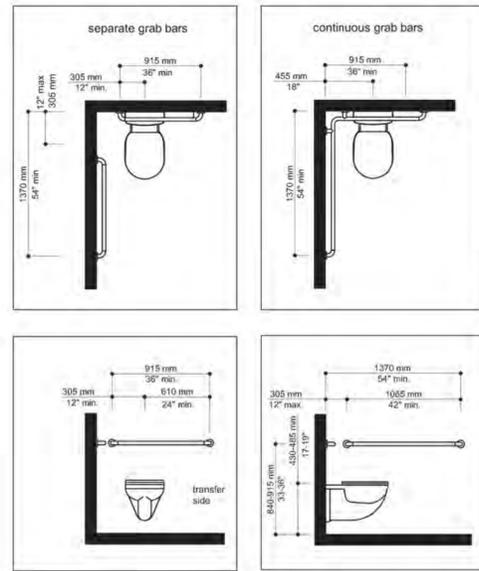
FALSE DORMER PLAN

OFFICE SPACE - 1093 sq ft
PORCH - 131 sq ft.

New Office for:
CLOW STORAGE

SECTIONS & DETAILS

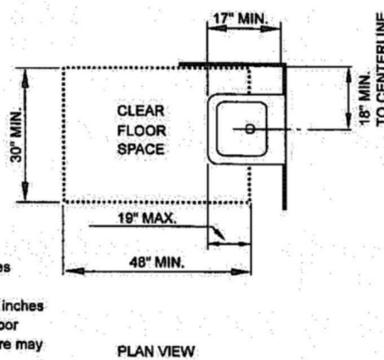
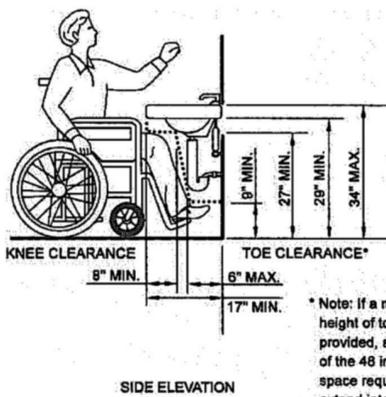
Function Area | Toilets
Mounting | Compliance



ADAAG refers to 5 types of toilet stalls:

- Standard 60" (1525 mm) min. width
- Standard alcove type 60" 1525 mm) min. width
- Alternate 36" (915 mm) width
- Alternate 48" (1220 mm) min. width
- Walk-in-stall 36" (915 mm) width

Grab bars must have a diameter between 1 1/4" and 1 1/2" (32 mm - 38 mm). Their mounting height must be between 33" and 36" (838 mm and 915 mm) and their structural strength 250 lbf (1112N).

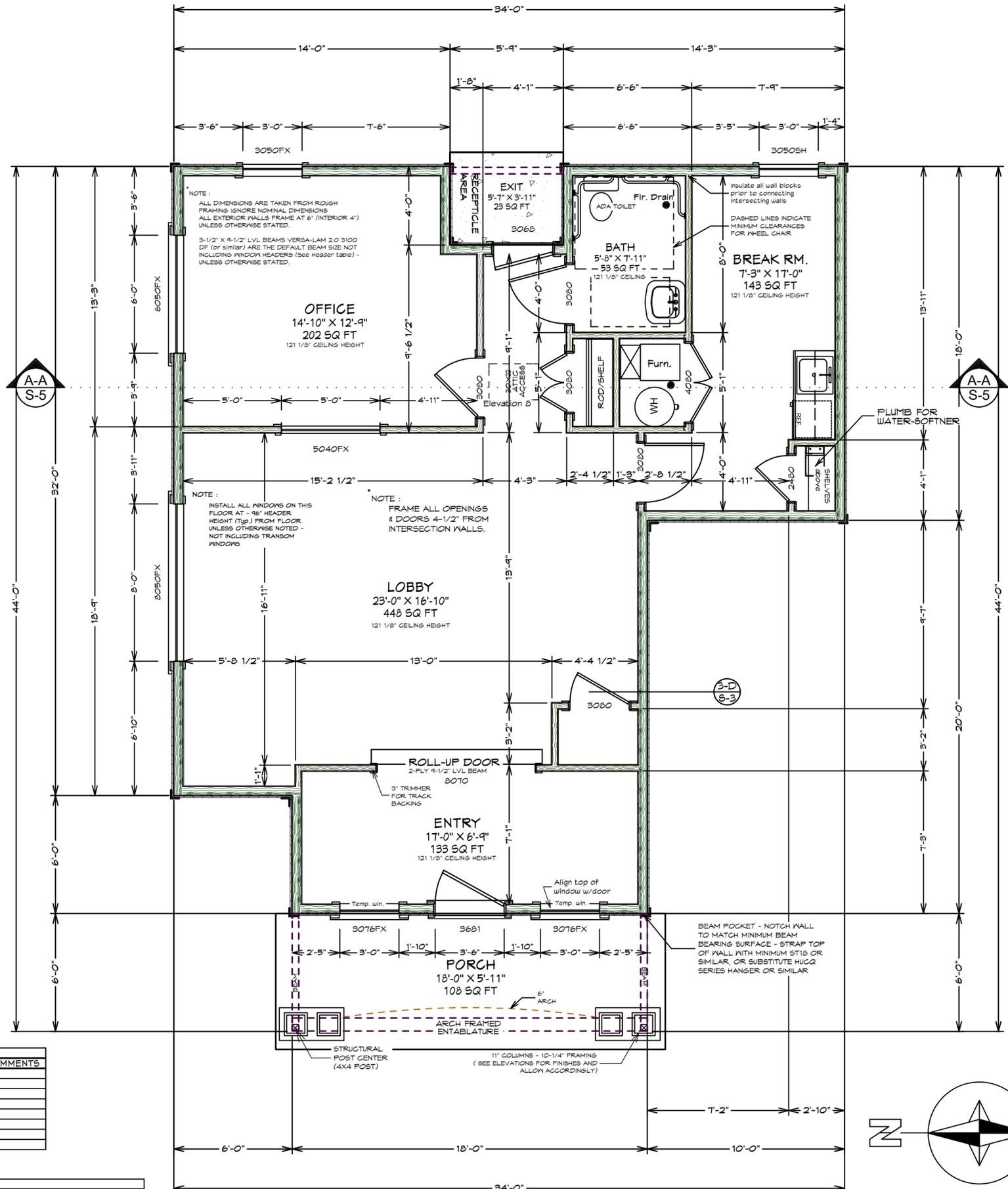


* Note: If a minimum 9 inches height of toe clearance is provided, a maximum of 6 inches of the 48 inches of clear floor space required at the fixture may extend into the toe space.

CABINET SCHEDULE										
NUMBER	QTY	FLOOR	DIMENSIONS	WIDTH	DEPTH	HEIGHT	DESCRIPTION	DRAWER PULL	DOOR PULL	HINGE
C01	1	1	24X12X32"	24"	12"	32"	WALL CABINET		KNOB	HIDDEN HINGE (2)
C02	1	1	30X12X21"	30"	12"	21"	WALL CABINET		KNOB (2)	HIDDEN HINGE (4)
C03	1	1	30X24X36"	30"	24"	36"	BASE CABINET	PULL	KNOB (2)	HIDDEN HINGE (4)

WINDOW SCHEDULE												
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	WIDTH	HEIGHT	EGRESS	TEMPERED	DESCRIPTION	ROOM NAME	ROOM NAME	COMMENTS
W01	1	1	20405H	24"X48"5H	24"	48"			SINGLE HUNG	BATH	BATH	
W02	1	1	3050FX	36"X60"FX	36"	60"			FIXED GLASS	OFFICE	OFFICE	
W03	1	1	30505H	36"X60"5H	36"	60"			SINGLE HUNG	BREAK RM.	BREAK RM.	
W04	2	1	3076FX	36"X90"FX	36"	90"	YES		FIXED GLASS	ENTRY/PORCH	ENTRY/PORCH	
W05	1	1	5040FX	60"X48"FX	60"	48"			FIXED GLASS	OFFICE/LOBBY	OFFICE/LOBBY	
W06	1	1	6050FX	72"X60"FX	72"	60"			FIXED GLASS	OFFICE	OFFICE	
W07	1	1	8050FX	96"X60"FX	96"	60"			FIXED GLASS	LOBBY	LOBBY	
W08	2	2	1612FX	18"X14"FX	18"	14"			FIXED GLASS			

DOOR SCHEDULE										
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	WIDTH	HEIGHT	DESCRIPTION	THICKNESS	HINGE	COMMENTS
D01	1	1	2580 L IN	24"X96"X1 3/8" L IN	24"	96"	HINGED-DOOR P04	1 3/8"	HINGE, HIDDEN (2)	
D02	1	1	3088 L EX	36"X80"X1 3/4" L EX	36"	80"	EXT. HINGED-DOOR P04	1 3/4"	HINGE, HIDDEN (2)	
D03	1	1	3088 L IN	36"X80"X1 3/8" L IN	36"	80"	HINGED-DOOR P04	1 3/8"	HINGE, HIDDEN (2)	
D04	1	1	3080 L/R IN	(2) 18"X96"X1 3/8" L/R IN	36"	96"	DOUBLE HINGED-DOOR P04	1 3/8"	HINGE, HIDDEN (4)	
D05	2	1	3080 R IN	36"X96"X1 3/8" R IN	36"	96"	HINGED-DOOR P04	1 3/8"	HINGE, HIDDEN (2)	
D06	1	1	3681 R EX	42"X94"X1 3/4" R EX	42"	94"	EXT. HINGED-GLASS	1 3/4"	HINGE, HIDDEN (3)	
D07	1	1	4080 L/R IN	(2) 24"X96"X1 3/8" L/R IN	48"	96"	DOUBLE HINGED-DOOR P04	1 3/8"	HINGE, HIDDEN (4)	



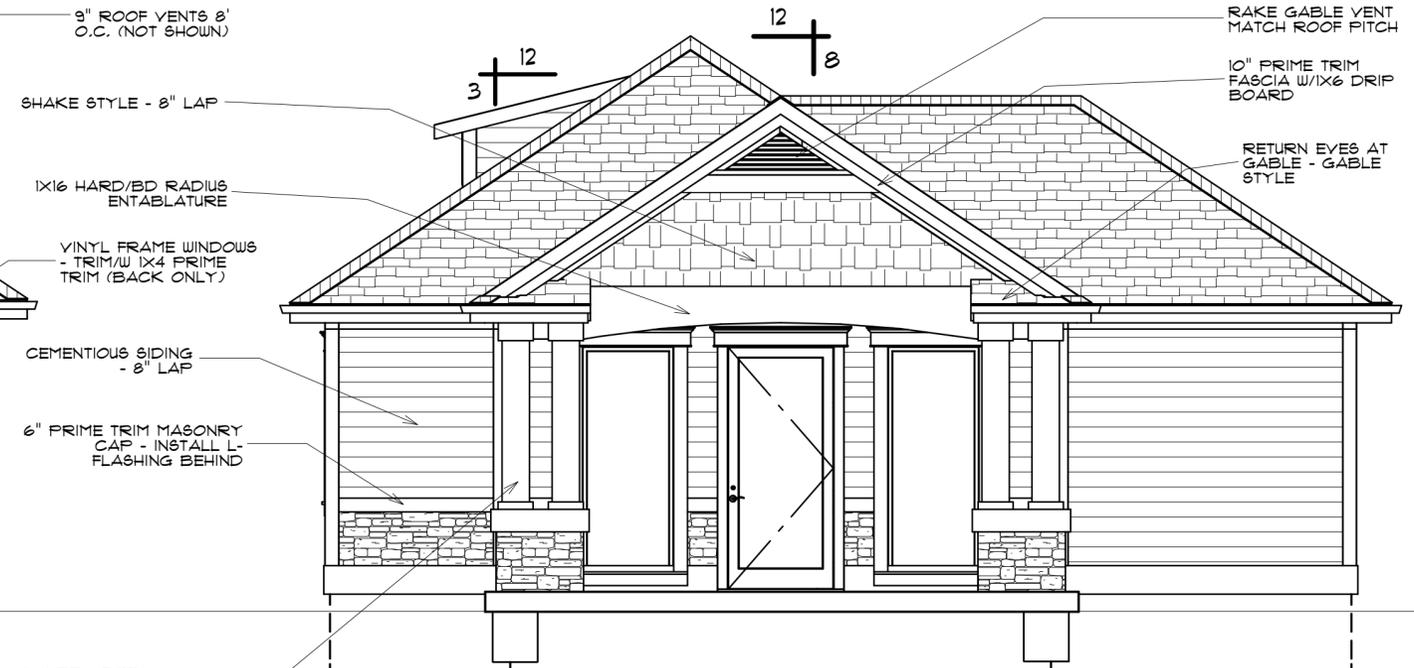
OFFICE SPACE - 1093 sq ft
PORCH - 131 sq ft.

New Office for:
CLOW STORAGE

FLOOR PLAN - MAIN FLOOR



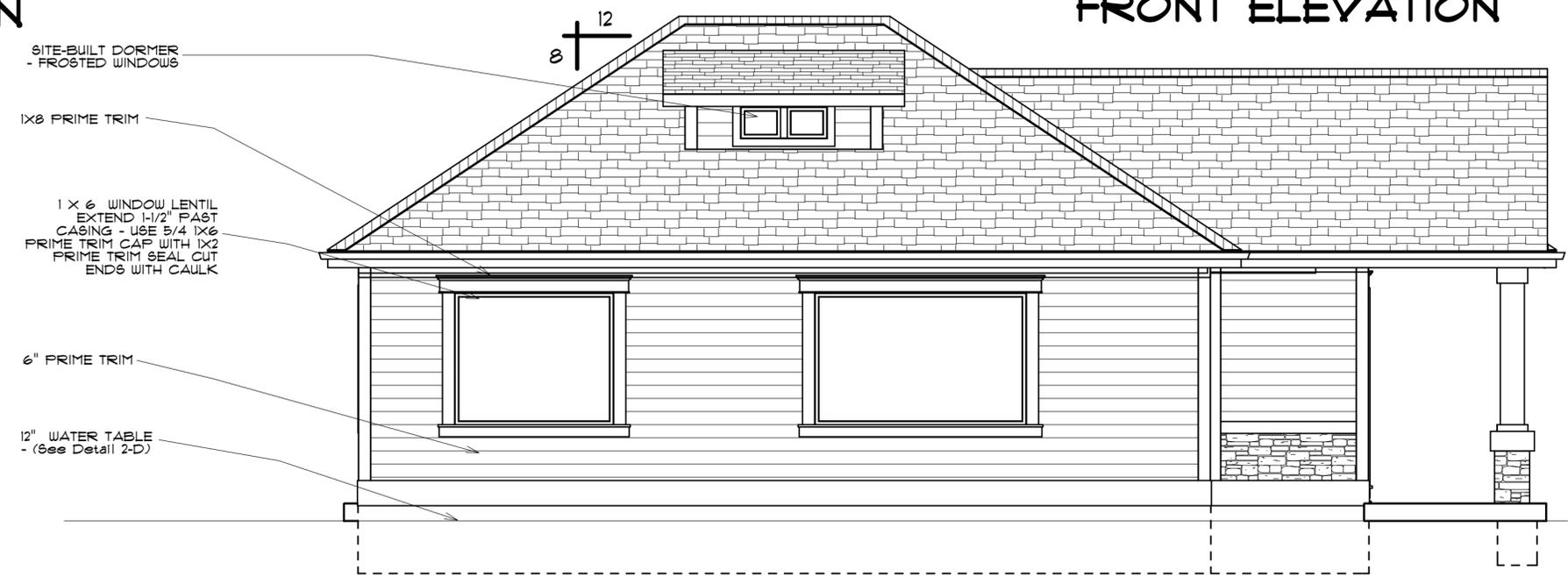
BACK ELEVATION



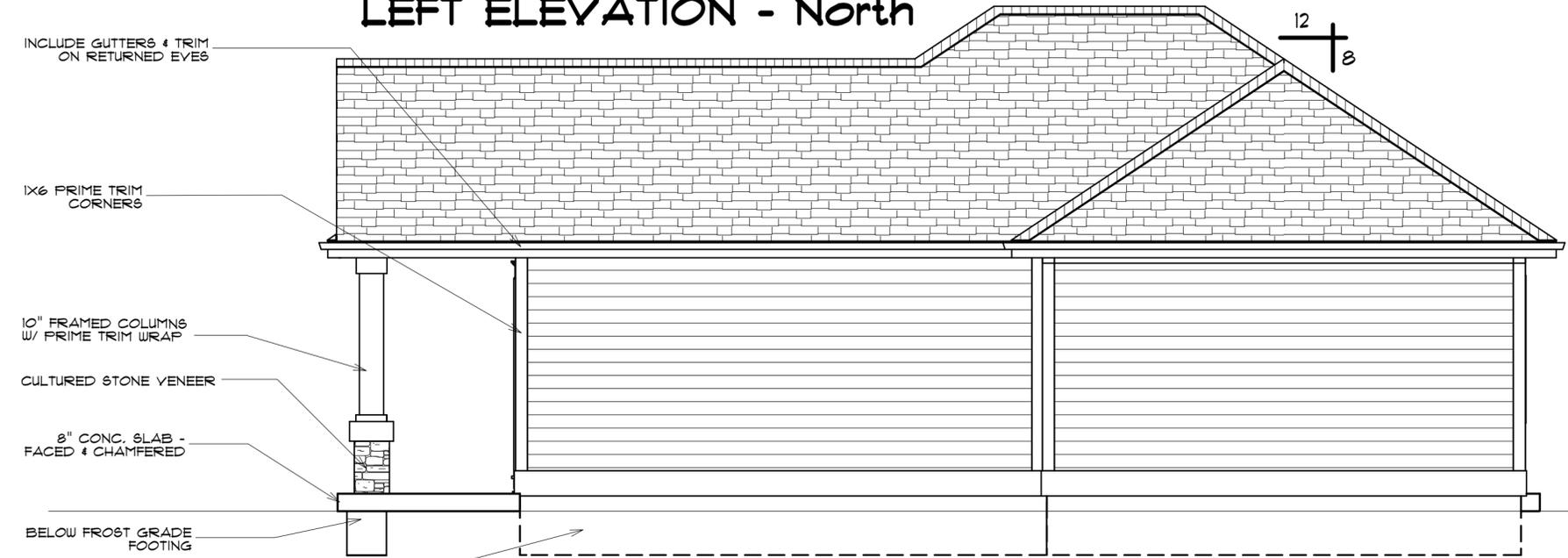
FRONT ELEVATION



ELEVATION OVERVIEWS No Scale



LEFT ELEVATION - North



RIGHT ELEVATION

- 3" ROOF VENTS 8' O.C. (NOT SHOWN)
- SHAKE STYLE - 8" LAP
- 1X16 HARD/BD RADIUS ENTABLATURE
- VINYL FRAME WINDOWS - TRIM/W 1X4 PRIME TRIM (BACK ONLY)
- CEMENTIOUS SIDING - 8" LAP
- 6" PRIME TRIM MASONRY CAP - INSTALL L-FLASHING BEHIND
- 1X12 PRIME TRIM
- SITE-BUILT DORMER - FROSTED WINDOWS
- 1X8 PRIME TRIM
- 1 X 6 WINDOW LENTIL CASING - EXTEND 1-1/2" PAST CASING - USE 5/4 1X6 PRIME TRIM CAP WITH 1X2 PRIME TRIM SEAL CUT ENDS WITH CAULK
- 6" PRIME TRIM
- 12" WATER TABLE - (See Detail 2-D)
- INCLUDE GUTTERS & TRIM ON RETURNED EYES
- 1X6 PRIME TRIM CORNERS
- 10" FRAMED COLUMNS W/ PRIME TRIM WRAP
- CULTURED STONE VENEER
- 8" CONC. SLAB - FACED & CHAMFERED
- BELOW FROST GRADE FOOTING
- FOUNDATION BELOW LAND GRADE

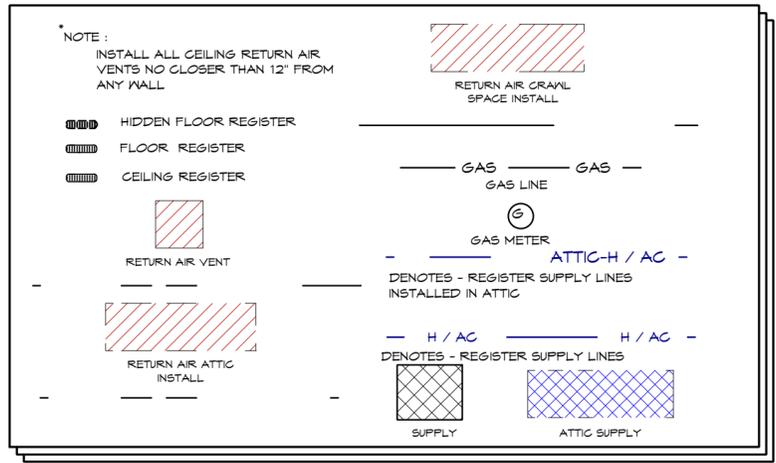
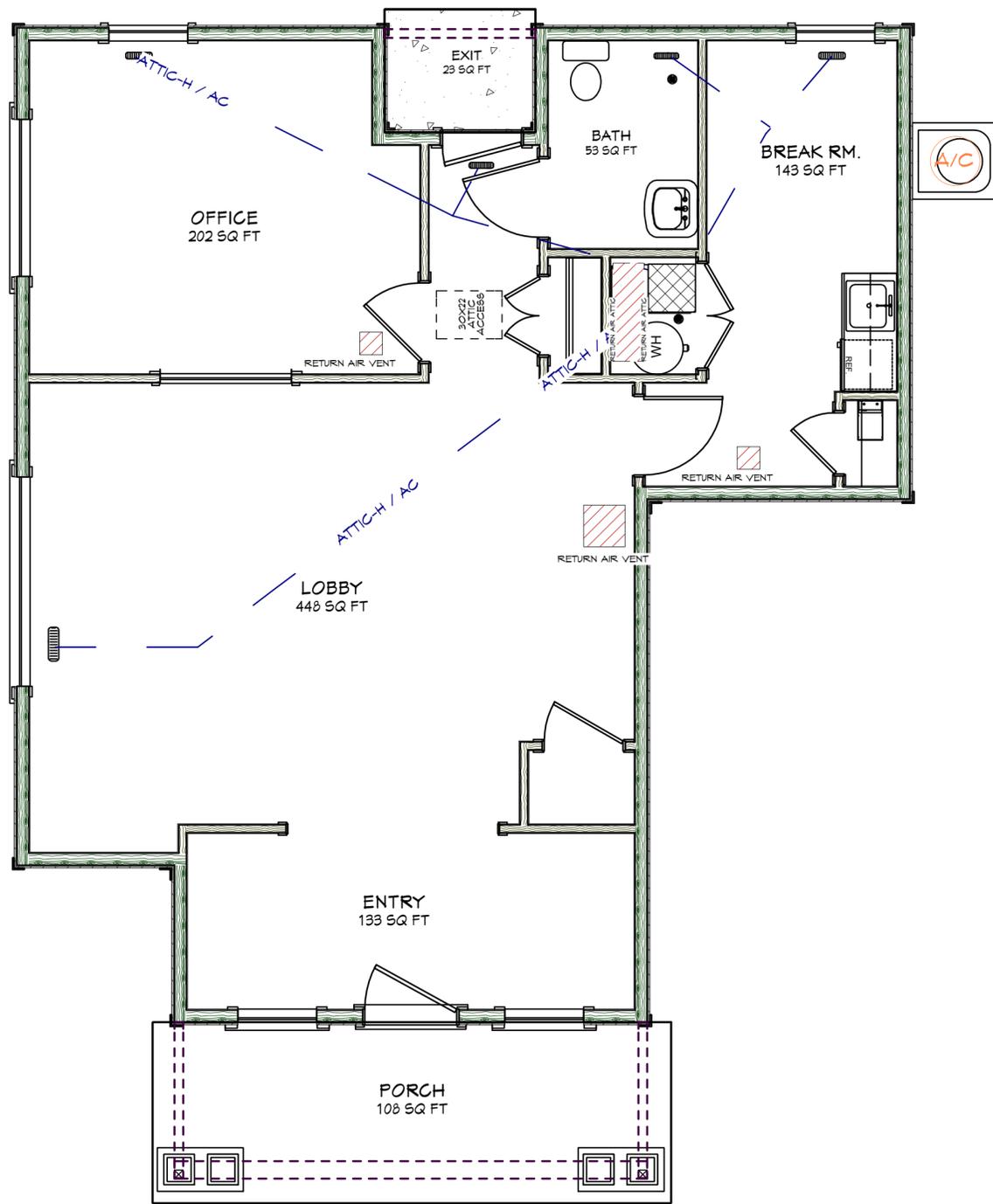
KELLY DESIGN
 All drawings to be site verified by all subcontractors - responsibility for construction rests solely with the general contractor.
 email: Kelly@kellydesign.cc
 cell #: 503-311-5704
 www.kellydesign.cc

OFFICE SPACE - 1093 sq ft
 PORCH - 131 sq ft.

New Office for:
CLOW STORAGE

ELEVATIONS - ALL

Drawn by KK
 SCALE 1/4" = 1'
 PAGE A-2
 of 10 pages
 DATE 2/14/2017
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 Draw #



HVAC PLAN

NOTE:
SEE ELECTRICAL PAGE FOR LOCATION OF THERMOSTATS.

SUPPLY AIR FOR MAIN FLOOR TO BE INSTALLED IN CRAWL SPACE (CRAWL SPACE IS UNCONDITIONED)

COORDINATE BETWEEN HVAC CONTRACTOR & TRUSS SUPPLIER FOR ANY CHANGES THAT MAY BE REQUIRED TO BE INTEGRATED INTO THE TRUSSES.

PROVIDE GAS PIPING FOR FURNACE, WATER HEATER, AND POTENTIAL BARBECUE HOOK UP. SIZE GAS LINE AND PROVIDE T-CONNECTIONS FOR ADDITIONAL APPLIANCES

NOTE:
ELECTRICIAN TO APPROPRIATELY CENTER AND SPACE LIGHTS BASED ON CONDITIONS ON SITE, TO INCLUDE BETWEEN WALLS, OVER CABINETS, FUTURE FURNITURE PLACEMENT, ETC.

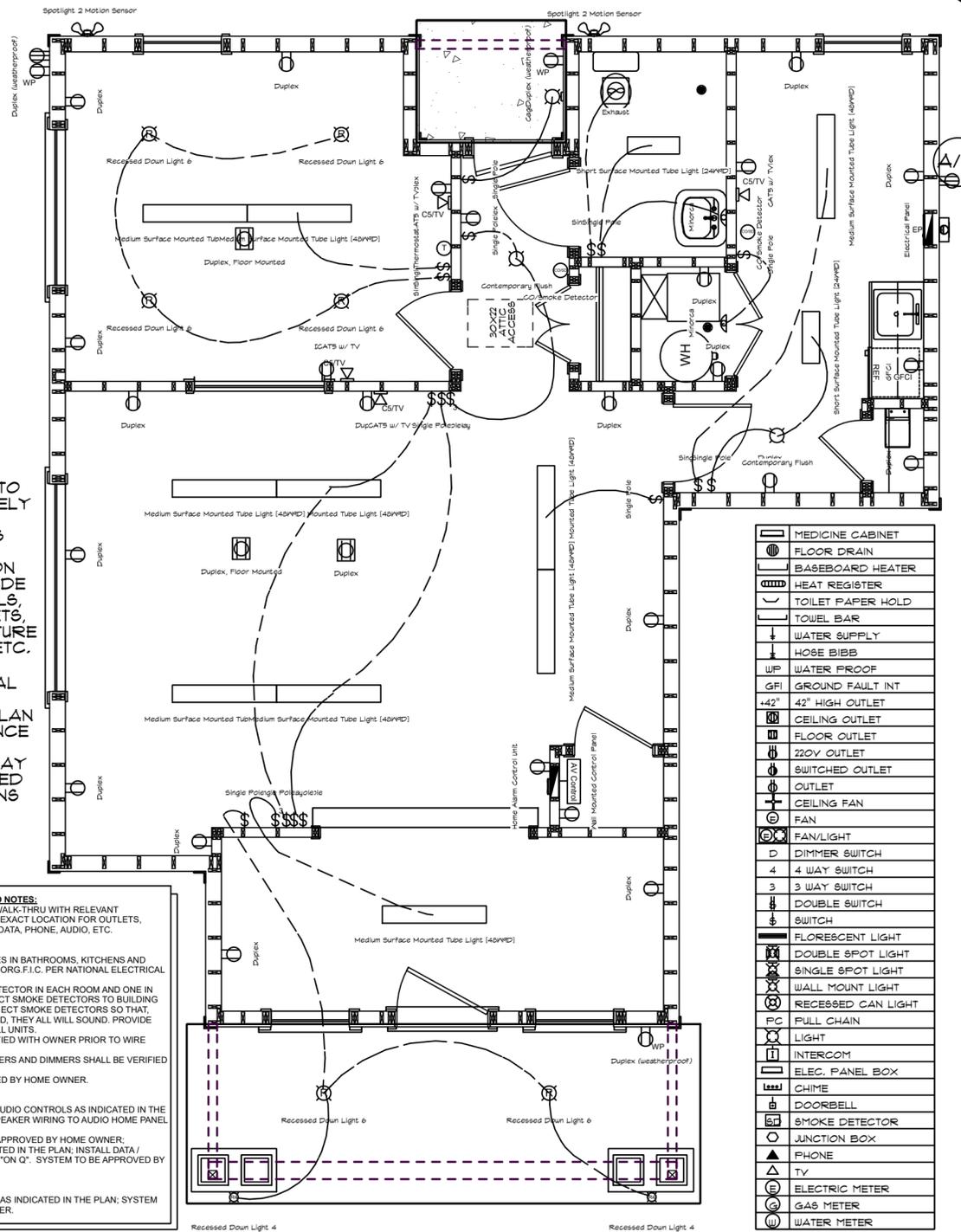
110 ELECTRICAL OUTLETS ARE PLACED IN PLAN FOR REFERENCE ONLY - LOCATIONS MAY CHANGE BASED ON CONDITIONS ON SITE

ELECTRICAL DATA & AUDIO NOTES:
HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.

ELECTRICAL NOTES:
1. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.C.O. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
2. PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR. CONNECT SMOKE DETECTORS TO BUILDING POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
3. CIRCUITS SHALL BE VERIFIED WITH OWNER PRIOR TO WIRE INSTALLATION.
4. FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH OWNER.
5. FIXTURES TO BE SELECTED BY HOME OWNER.

AUDIO:
1. LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN. RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR.
2. AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER.
3. LOCATE JACKS AS INDICATED IN THE PLAN. INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q" SYSTEM TO BE APPROVED BY OWNER.

DATA / CABLE:
LOCATE SECURITY PANELS AS INDICATED IN THE PLAN. SYSTEM TO BE APPROVED BY OWNER.



[Symbol]	MEDICINE CABINET
[Symbol]	FLOOR DRAIN
[Symbol]	BASEBOARD HEATER
[Symbol]	HEAT REGISTER
[Symbol]	TOILET PAPER HOLD
[Symbol]	TOWEL BAR
[Symbol]	WATER SUPPLY
[Symbol]	HOSE BIBB
[Symbol]	WATER PROOF
[Symbol]	GFI GROUND FAULT INT
[Symbol]	+42" 42" HIGH OUTLET
[Symbol]	CEILING OUTLET
[Symbol]	FLOOR OUTLET
[Symbol]	220V OUTLET
[Symbol]	SWITCHED OUTLET
[Symbol]	OUTLET
[Symbol]	CEILING FAN
[Symbol]	FAN
[Symbol]	FAN/LIGHT
[Symbol]	D DIMMER SWITCH
[Symbol]	4 4 WAY SWITCH
[Symbol]	3 3 WAY SWITCH
[Symbol]	DOUBLE SWITCH
[Symbol]	SWITCH
[Symbol]	FLORESCENT LIGHT
[Symbol]	DOUBLE SPOT LIGHT
[Symbol]	SINGLE SPOT LIGHT
[Symbol]	WALL MOUNT LIGHT
[Symbol]	RECESSED CAN LIGHT
[Symbol]	FULL CHAIN LIGHT
[Symbol]	INTERCOM
[Symbol]	ELEC. PANEL BOX
[Symbol]	CHIME
[Symbol]	DOORBELL
[Symbol]	SMOKE DETECTOR
[Symbol]	JUNCTION BOX
[Symbol]	PHONE
[Symbol]	TV
[Symbol]	ELECTRIC METER
[Symbol]	GAS METER
[Symbol]	WATER METER

NUMBER	QTY	FLOOR	DIMENSIONS	WIDTH	DEPTH	HEIGHT	ATTACHED TO	DESCRIPTION
E01	2	1	11X5 5/16X5 5/8"	11"	5 5/16"	5 5/8"	WALL	MINORCA
E02	2	1	14 7/16X6 3/16X1 1/16"	14 7/16"	6 3/16"	7 1/16"	WALL	SPOTLIGHT 2 MOTION SENSOR
E03	2	1	18 15/16X18 15/16X6 1/2"	18 15/16"	18 15/16"	6 1/2"	CEILING	CONTEMPORARY FLUSH
E04	2	1	24X9X3"	24"	9"	3"	CEILING	SHORT SURFACE MOUNTED TUBE LIGHT [24W9D]
E05	4	1	3X3/4X5"	3"	3/4"	5"	WALL	CATS W/ TV
E06	3	1	3X3/4X5"	3"	3/4"	5"	WALL	DUPLEX (WEATHERPROOF)
E07	16	1	3X3/4X5"	3"	3/4"	5"	WALL	SINGLE POLE
E08	2	1	3X3/4X5"	3"	3/4"	5"	WALL	THREE WAY
E09	1	1	3X4 3/4X3/16"	3"	4 3/4"	3/16"	FLOOR	DUPLEX
E10	14	1	3X5/16X5"	3"	5/16"	5"	WALL	220V
E11	2	1	3X5/16X5"	3"	5/16"	5"	WALL	DUPLEX
E12	2	1	3X5/16X5"	3"	5/16"	5"	WALL	DUPLEX FLOOR MOUNTED
E13	6	1	3X5/16X5"	3"	5/16"	5"	FLOOR	RECESSED DOWN LIGHT 4
E14	2	1	4 13/16X4 13/16X3/16"	4 13/16"	4 13/16"	3/16"	CEILING	MEDIUM SURFACE MOUNTED TUBE LIGHT [40W9D]
E15	10	1	48X9X3"	48"	9"	3"	CEILING	CO/SMOKE DETECTOR
E16	1	1	5X5X1 1/8"	5"	5"	1 1/8"	CEILING	THERMOSTAT
E17	2	1	6X1 3/4X3 3/4"	6"	1 3/4"	3 3/4"	WALL	RECESSED DOWN LIGHT 6
E18	1	1	7 3/8X7 3/8X5/16"	7 3/8"	7 3/8"	5/16"	CEILING	EXHAUST
E19	1	1	8 1/2X8 1/2X3/4"	8 1/2"	8 1/2"	3/4"	CEILING	CAGED LANTERN
E20	1	1	9X9 1/4X18 5/16"	9"	9 1/4"	18 5/16"	WALL	HOME ALARM CONTROL UNIT
E21	1	1	7 1/4X1 1/16X5 1/4"	7 1/4"	1 1/16"	5 1/4"	WALL	ELECTRICAL METER SOCKET
E22	1	1	11X4 1/2X15 3/16"	11"	4 1/2"	15 3/16"	WALL	ELECTRICAL PANEL
E23	1	1	14 1/4X3 3/8X23"	14 1/4"	3 3/8"	23"	WALL	WALL MOUNTED LCD CONTROL UNIT
E24	1	1	10X5/16X1 1/2"	10"	5/16"	1 1/2"	WALL	

NUMBER	QTY	FLOOR	DIMENSIONS	WIDTH	DEPTH	HEIGHT	DESCRIPTION	COMMENTS
A01	1	1	11 1/4X18X34 3/8"	11 1/4"	18"	34 3/8"	COMPACT WATER SOFTENER	
A02	2	1	11X7X7/8"	11"	7"	7/8"	6X10 [11W9D]	CEILING REGISTERS
A03	1	1	19 1/4X11X3/4"	19 1/4"	11"	3/4"	6X14 [19 1/4X11D]	CEILING REGISTERS
A04	1	1	20X24 3/16X41"	20"	24 3/16"	41"	24" IV GAS UFFLOW [20X24 3/16D]	
A05	1	1	23X22X17 5/8"	23"	22"	17 5/8"	SINGLE SINK [23X17]	
A06	1	1	24X22X30"	24"	22"	30"	UNDERCOUNTER REFRIGERATOR [24]	
A07	1	1	26 1/8X24 1/4X25 5/16"	26 1/8"	24 1/4"	25 5/16"	ADA SINK	
A08	1	1	26X26 1/2X67"	26"	26 1/2"	67"	LARGE GAS WH	
A09	1	1	30X36X26 3/4"	30"	36"	26 3/4"	ADA TOILET	
A10	2	1	34 9/16X25 13/16X3 1/2"	34 9/16"	25 13/16"	3 1/2"	CORNER GRAB BAR	
A11	2	1	8 1/4X4 5/16X7/8"	8 1/4"	4 5/16"	7/8"	4X8 [8 1/4X4 5/16D]	
A12	1	1	35X34X41"	35"	34"	41"	OUTDOOR COMPRESSOR UNIT 2	
A13	2	1	4X4X1 11/16"	4"	4"	1 11/16"	DRAIN	

KELLY DESIGN
All dimensions to be site verified by all subcontractors - responsibility for construction rests solely with the general contractor.
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OFFICE SPACE - 1093 sq ft
PORCH - 131 sq ft.

New Office for:
CLOW STORAGE

ELECTRICAL & HVAC PLAN

Drawn by: KK
SCALE: 1/4" = 1'
PAGE: E-1
of 10 pages
DATE: 2/14/2017
Stor-1000-0-17
Draw #:



LANDSCAPE LEGEND

- PLANTS TO BE INSTALLED
- PROPERTY LINE (VERIFY)
- CUT EDGE AS DETAILED
- QUANTITY
PLANT IDENTIFICATION KEY
- SOD OVER APPROVED TOPSOIL AS SPECIFIED
- 3" DEPTH OF 1" MINUS PERMA BARK OVER APPROVED TOPSOIL AS SPECIFIED
- PROPOSED BUILDING

CALLOUT LEGEND

- VISION TRIANGLE
- PROPOSED SIGN
- PROPOSED ENTRY GATE
- PROPOSED WROUGHT IRON FENCE
- COBBLE PER ARCHITECT DRAWINGS

PROJECT REQUIREMENTS

TOTAL SITE AREA: 25,424 SF (5.8 ACRES)
 TOTAL LANDSCAPE AREA: 4,768 SF
 TOTAL NUMBER OF TREES: 10
 TOTAL NUMBER OF TREE SPECIES: 2

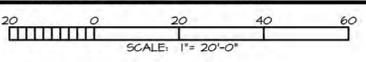
LANDSCAPE REQUIREMENTS

N. MERIDIAN RD. BUFFER			
Requirements:	LE	TREES REQ'D	TREES PROVIDED
50' BUFFER WITH 10' WIDE SIDEWALK 15' FROM PROPERTY LINE	240	10	10
2 SHADE TREES/3 EVERGREEN TREES/12 SHRUBS PER 100 L.F.		SHRUBS REQ'D	SHRUBS PROVIDED
		24	31

LANDSCAPE NOTES:

1. CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
2. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CAN NOT BE OBTAINED.
3. COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT DRAWINGS.
4. COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START-UP.
5. ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS.
6. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
7. IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERRIDE SCHEDULE QUANTITIES AND CALL OUT SYMBOL NUMBERS.
8. ALL PLANTING BEDS SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF PERMA BARK MULCH PER PLANS. SUBMIT SAMPLES FOR APPROVAL.
9. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY THE OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
10. FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION WITH ADJACENT SURFACES AND ENSURE POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE GRADING PLAN.
11. AMEND EXISTING APPROVED TOPSOIL AT A RATIO OF THREE CUBIC YARDS OF APPROVED COMPOST PER 1000 SQUARE FEET. ROTO-TILL ORGANIC MATTER A MINIMUM OF 6 INCHES INTO TOPSOIL.
12. FERTILIZE ALL TREES AND SHRUBS WITH 'AGRIFORM' PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
13. ALL PLANTING BEDS SHALL HAVE A MINIMUM 18" DEPTH OF TOPSOIL. LAWN AREAS SHALL HAVE A MINIMUM 12" DEPTH OF TOPSOIL. SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 3" BELOW ADJACENT SURFACES OF PLANTER BED AREAS, 1-1/2" BELOW ADJACENT SURFACES OF TURF SOID AREAS, AND 1" BELOW ADJACENT SURFACES OF TURF SEED AREAS.
14. REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY SUITABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM. PERFORM SOIL TEST/ ANALYSIS AND PROVIDE ADDITIONAL AMENDMENT AS DETERMINED BY SOIL TESTS. TOPSOIL SHALL BE A LOOSE, FRIABLE SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL AND A HAVE A PH OF 5.5 TO 7.0. IF ON-SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR IS RESPONSIBLE TO EITHER:
 - A) PROVIDE APPROVED IMPORTED TOPSOIL, OR
 - B) IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY THE LANDSCAPE ARCHITECT.
15. IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, ENSURE IT IS FERTILE, FRIABLE, NATURALLY LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
 - a. OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THOSE FOUND ON THE PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES.
 - b. REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY, TOXICITY, AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE BY THE CONTRACTOR. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION. ACIDITY/ALKALINITY RANGE - PH 5.5 TO 7.6.
 - c. IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.
 - d. TREES SHALL NOT BE PLANTED WITHIN THE 10'-0" CLEAR ZONE OF ALL A.C.H.D. STORM DRAIN PIPE, STRUCTURES, OR FACILITIES. TREES SHALL NOT BE PLANTED WITHIN 5'-0" OF AN A.C.H.D. SIDEWALK.
 - e. SEWERAGE BEDS AND OTHER STORM DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
 - f. IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

LANDSCAPE PLAN



PLANT SCHEDULE

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE	NOTES
DECIDUOUS SHADE TREES						
4	TA	Tilia americana 'Legend'	Legend Linden	2' GAL. B&B	40' x 30' W	CLASS II
CONIFEROUS TREES						
6	PP	Picea pungens 'Hoopsii'	Hoop's Blue Spruce	6-1' HT. B&B	30' x 15' W	
SHRUBS/PERENNIALS/ORNAMENTAL GRASSES						
14	CA	Calamagrostis x acutifolia 'Karl Foerster'	Foerster's Feather Reed Grass	#5	5' x 2' W	
16	CB	Cornus alba 'Ballinallo'	Ivory Halo Dogwood	#5	5' x 5' W	
12	HR	Hemerocallis 'Red Rum'	Red Rum Daylily	#1	2' x 2' W	
6	LA	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue English Lavender	#1	3' x 3' W	
4	PM	Pinus mugo 'Slovmound'	Slovmound Mugo Pine	#5	4' x 4' W	

IRRIGATION NOTES:

1. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
2. PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES.
3. POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS AND 18" AT PLANTER BEDS.
4. PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM. ANNUALS, PERENNIALS GROUND COVERS OR SHRUB MASSINGS SHALL HAVE A POP-UP SPRAY SYSTEM. ELECTRONIC WATER DISTRIBUTION/TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
 - a. PRECISE INDIVIDUAL STATION TIMING
 - b. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
 - c. AT LEAST ONE PROGRAM FOR EACH HYDROZONE
 - d. SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
 - e. POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVED WATERING STATIONS
5. INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES. ELECTRONIC WATER DISTRIBUTION/TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
 - a. PRECISE INDIVIDUAL STATION TIMING
 - b. RUN TIME CAPABILITIES FOR EXTREMES IN PRECIPITATION RATES
 - c. AT LEAST ONE PROGRAM FOR EACH HYDROZONE
 - d. SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
 - e. POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVED WATERING STATIONS
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING.
7. SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES (BUILDINGS, SIDEWALKS, DRIVEWAYS, AND ASPHALT AREAS).
8. PROVIDE MINIMUM (1) QUICK COUPLER VALVE PER EACH (6) AUTOMATIC VALVE ZONES. APPROVE Q.C.V. LOCATIONS WITH LANDSCAPE ARCHITECT.



BRECKON
 LANDSCAPE ARCHITECTURE
 1000 N. MERIDIAN ROAD
 KUNA, IDAHO 83642
 Phone: 808-574-9153
 Fax: 808-574-9154
 www.breckonlanddesign.com

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LOCK N ROLL STORAGE
 N. MERIDIAN ROAD
 KUNA, IDAHO
 LANDSCAPE PLAN

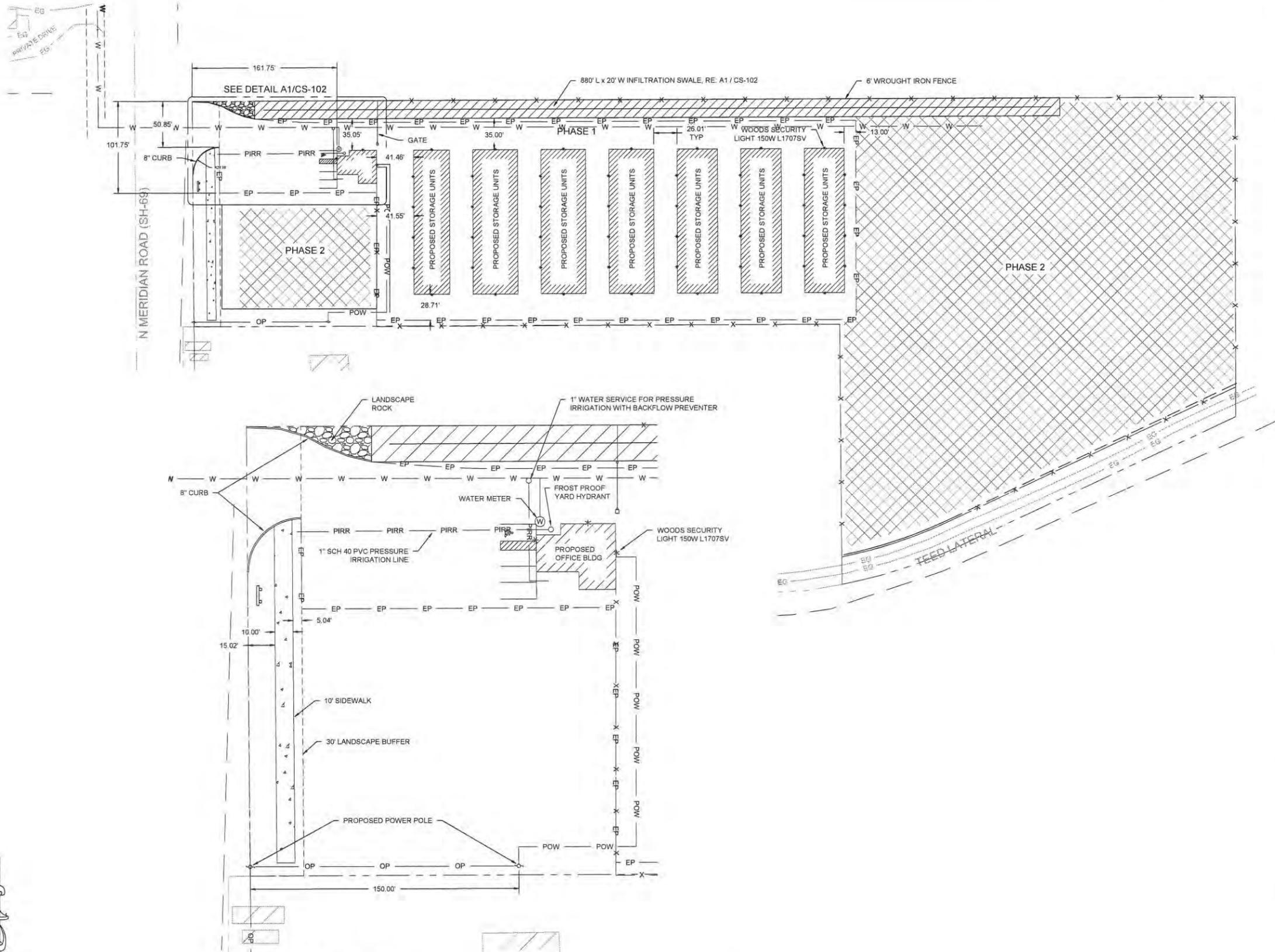
811
 CALL 811 BEFORE YOU DIG
 CALL 2 BUSINESS DAYS BEFORE ANY EXCAVATION FOR THE UNDERGROUND MEMBER UTILITIES

REVISIONS	
No.	Description

PROJECT NO.: 17021
 DRAWN BY: TC
 CHECKED BY: JB
 DATE: 02/14/2017
 SHEET NUMBER: L1.1

DESIGN REVIEW

PLOTTED BY: CALEB KENYON DATE PLOTTED: 2/14/2017 11:46:17 AM PATH: F:\LABCO ENGINEERING\JOBS LANDED\17-4496Z--LOCK-N-ROLL STORAGE (KEITH CLOW)\LABCO CAD\17-4496Z-03-CS-101.DWG



A1 OFFICE DETAIL
 1:30 (22x34 FULL SIZE)
 (SCALE IN FEET)

LEGEND

CENTER LINE	---	---
EDGE OF PAVEMENT	--- EP ---	EP ---
EDGE OF GRAVEL	--- EG ---	EG ---
FENCE LINE	--- X ---	X ---
GAS LINE	--- GAS ---	GAS ---
GRADE BREAK LINE	---	---
OVERHEAD POWER LINE	---	OP ---
POWERLINE	---	POW ---
PROPERTY LINE	---	---
STORMDRAIN LINE	---	SD ---
SEWER LINE	---	SS ---
TELEPHONE LINE	---	TEL ---
WATER LINE	---	W ---
PRESSURE IRRIGATION LINE	---	PIRR ---
BENCH MARK		BM
BOTTOM OF BANK		BB
ELEVATION		EL
EXISTING		EX
FINISH FLOOR		FF
FINISH GRADE		FG
GRADE BREAK		GB
INVERT		INV
MATCH		MA
NATURAL GROUND		NG
RADIUS		R
REBAR		RB
RIM OF FEATURE		RIM
TOP OF CONCRETE		TC
TOP OF ASPHALT		TA
TOP OF BANK		TB
TOP OF GRAVEL		TG
WATER METER		WM
ASPHALT PAVEMENT		[Symbol]
CONCRETE		[Symbol]

CALL BEFORE YOU DIG!

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM ALL UTILITY COMPANIES OF THE CONSTRUCTION SCHEDULE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH MAY OCCUR BY FAILURE TO EXACTLY LOCATE AND PROTECT ALL UTILITIES.
2. CONTRACTOR SHALL CONTACT DIGLINE 48 HOURS PRIOR TO ANY EARTH DISTURBING ACTIVITIES ON SITE, AND REQUEST LOCATE OF UNDERGROUND UTILITIES.



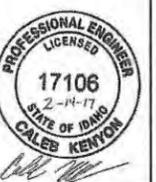
*The 811 logo is a registered trademark of the CGA.



2101 Delta Drive
 Nampa, Idaho 83687
 Phone (208) 955-8126

SITE PLAN
 LOCK N ROLL STORAGE
 STATE HIGHWAY 69
 ADA COUNTY KUNA, IDAHO
 KEITH CLOW

NO.	DATE	DESCRIPTION



FILE NUMBER:
 17-4496Z
 DESIGNED BY:
 H. White
 DRAWN BY:
 J. Matthews
 DATE:
 February 2017

SHEET NUMBER:
CS-101

SITE PLAN

1:60 (22x34 FULL SIZE)

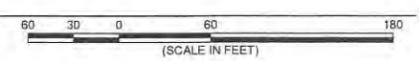
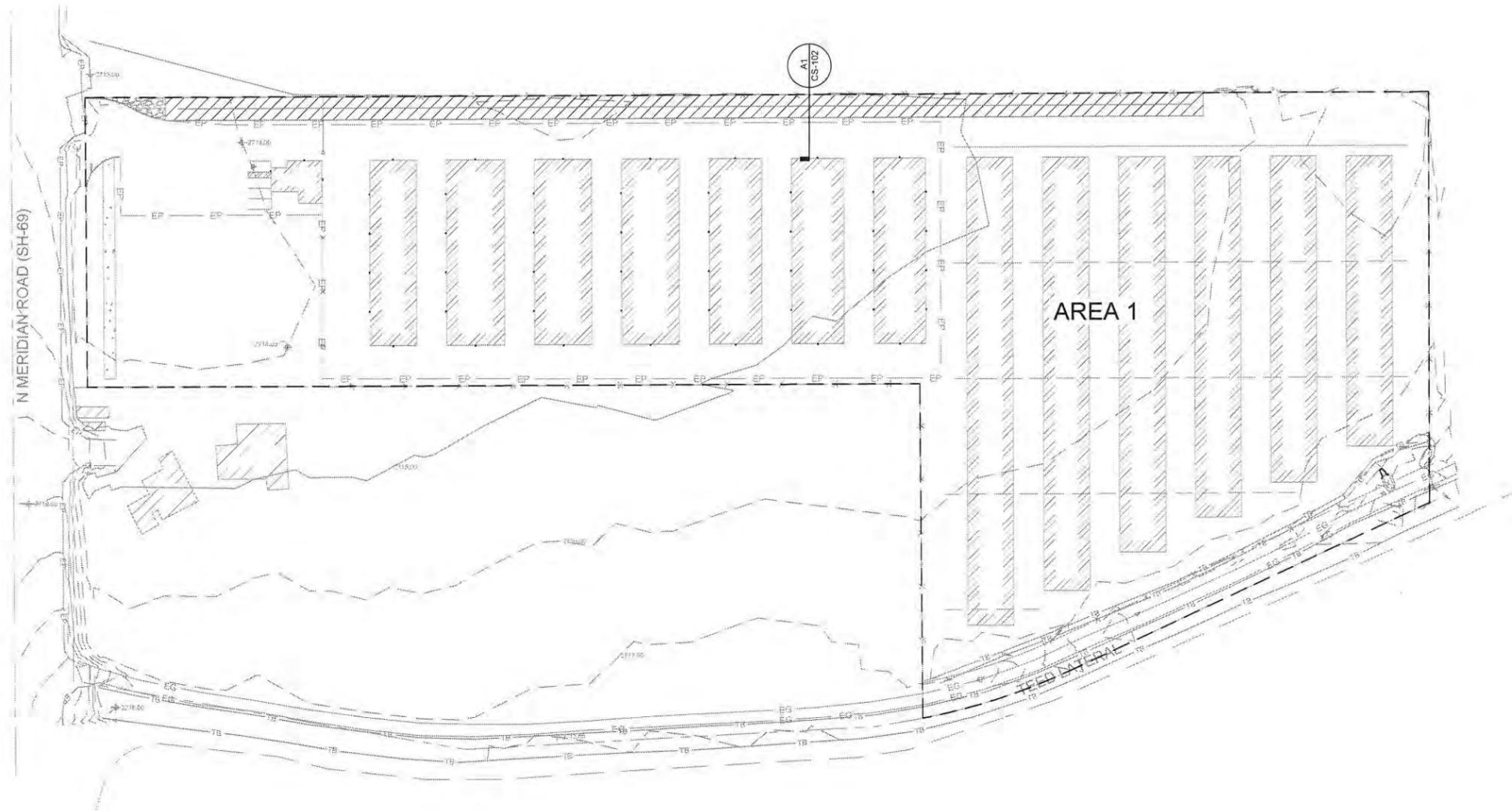


Exhibit
D-1

PLOTTED BY: CALEB KENYON DATE PLOTTED: 2/14/2017 11:46:32 AM PATH: F:\LABCO ENGINEERING\JOBS LANDED\17-4469Z-LOCK-N-ROLL STORAGE (KEITH CLOW)\ABCO CAD\17-4469Z-03-CS-102.DWG



GENERAL NOTES

- 1. TOTAL AREA = 383,205.25
 AREA 1 = 383,205.25 SF
 IMPERVIOUS AREA = 383,205.25 SF

CALL BEFORE YOU DIG!

- 1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM ALL UTILITY COMPANIES OF THE CONSTRUCTION SCHEDULE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH MAY OCCUR BY FAILURE TO EXACTLY LOCATE AND PROTECT ALL UTILITIES.
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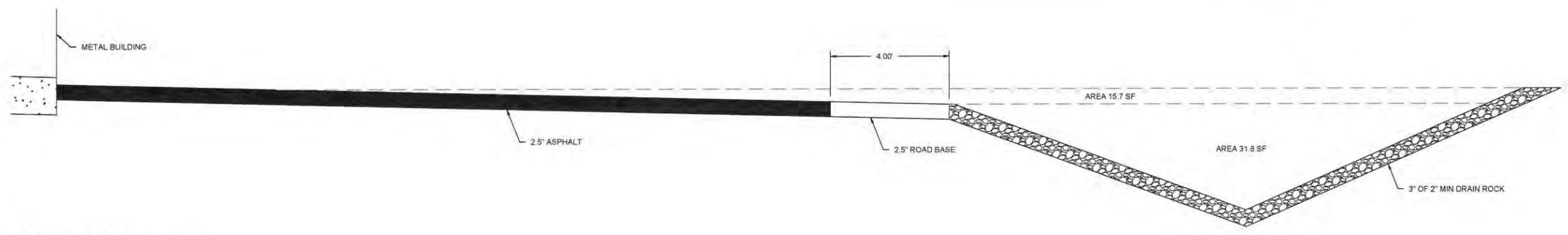
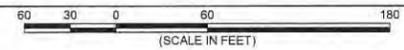


2101 Delta Drive
 Nampa, Idaho 83687
 Phone (208) 955-8126

STORMWATER RUN-OFF PLAN
 LOCK N ROLL STORAGE
 STATE HIGHWAY 69
 ADA COUNTY KUNA, IDAHO
 KEITH CLOW

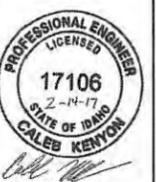
STORMWATER RUN-OFF PLAN

1/60 (22x34 FULL SIZE)



A1 DRAINAGE SWALE
 NTS

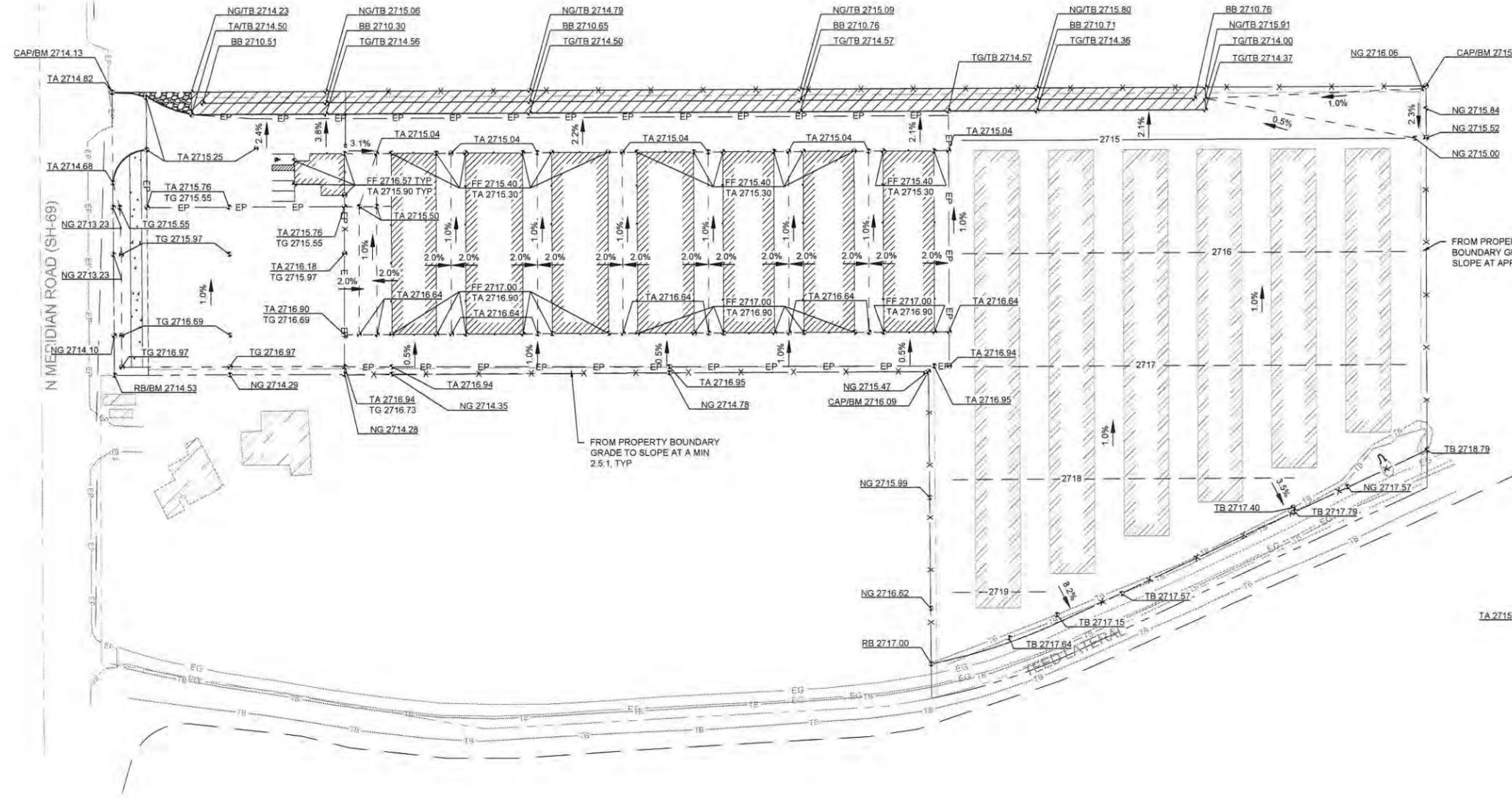
NO.	DATE	BY	DESCRIPTION



FILE NUMBER:
 17-4469Z
 DESIGNED BY:
 C. Kenyon
 DRAWN BY:
 J. Matthews
 DATE
 February 2017

SHEET NUMBER:
CS-102
 2 OF 6

PLOTTED BY: CALEB KENYON DATE PLOTTED: 2/14/2017 11:46:51 AM PATH: F:\LABCO ENGINEERING\JOBS LANDED\17-44692-LOCK-N-ROLL STORAGE (KEITH CLOW)\ABCO CAD\17-44692-.04 - CG-101.DWG



GENERAL NOTES

1. SURVEY WAS PERFORMED BY SAWTOOTH LAND SURVEYING. GRADING SURFACE WAS PREPARED BY LASER LAND LEVELING.
2. IT IS ASSUMED THERE WILL BE NO RUNOFF FROM ADJACENT PROPERTIES ENTERING THE DRAINAGE SWALE.
3. EXPOSED ASPHALT FACE AT GRAVEL SURFACE SHOULD BE TAPERED.
4. FOR PHASE 2, MAINTAIN V DITCH BETWEEN BUILDINGS AT 2% CROSS SLOPE FOR 13 FEET FROM EACH BUILDING.
5. SEE SHEET CS-102 FOR EXISTING TOPOGRAPHY.
6. SIDEWALK ENDS NORTH OF 2.5:1 GRADE TO EXISTING PROPERTY BOUNDARY.

CALL BEFORE YOU DIG!

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM ALL UTILITY COMPANIES OF THE CONSTRUCTION SCHEDULE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR IS RESPONSIBLE FOR ANY AND ALL DAMAGE WHICH MAY OCCUR BY FAILURE TO EXACTLY LOCATE AND PROTECT ALL UTILITIES.
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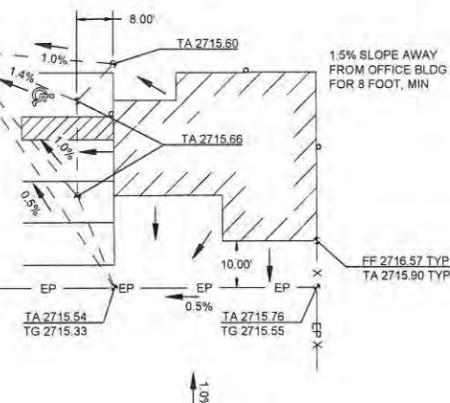


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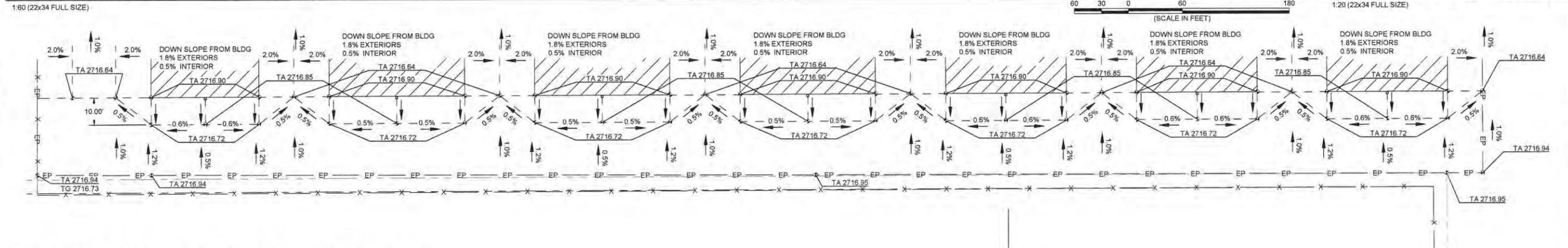
2101 Delta Drive
Nampa, Idaho 83687
Phone (208) 955-8126

GRADING PLAN
 LOCK N ROLL STORAGE
 STATE HIGHWAY 69
 ADA COUNTY KUNA, IDAHO
 KEITH CLOW



GRADING- OFFICE BLDG
1:20 (22x34 FULL SIZE)

GRADING PLAN
1:60 (22x34 FULL SIZE)



GRADING- SOUTH SIDE OF STORAGE UNITS
1:20 (22x34 FULL SIZE)

NO.	DATE	BY	DESCRIPTION



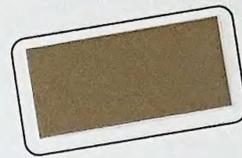
FILE NUMBER:
17-44692
DESIGNED BY:
C. Kenyon
DRAWN BY:
J. Matthews
DATE
February 2017

SHEET NUMBER:
CG-101
6 OF 6

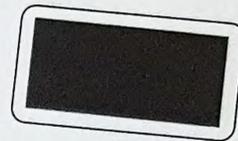
LOCK 'N' ROLL SELF STORAGE



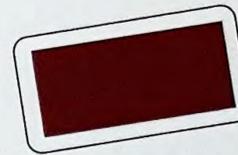
SALES OFFICE



BODY SIDING



TRIM



STORAGE DOORS



STORAGE UNITS



ROCK DETAIL

KEITH CLOW
1-208-407-7218



City of Kuna
Planning and Zoning Department

City of Kuna
P.O. Box 13
Kuna, Idaho 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
Kunacity.id.gov

March 2, 2017

Keith Clow
1085 Glenway Avenue
Fruitland, ID 83619
208.407.7218
keithclow6@gmail.com

RE: Lock-N-Roll Storage; Keith Clow: 17-02-DRC (Design Review) Completeness Letter

Dear Applicant:

On March 3, 2017, staff finished reviewing the submitted Design Review application items for completeness. This letter is to advise you that the City will consider the *Lock-N-Roll Storage Facility application (17-02-DRC)* complete, subject to the following items being submitted to our office.

The items listed below need to be submitted to the City to complete the submittal. Staff will tentatively schedule the public meeting with the Planning and Zoning Commission (acting as the Design Review Committee) for **March 14, 2017 @ 6:00 PM** in anticipation of these items:

Fees

The City fees for these planning services are as follows:

LANDSCAPING DESIGN REVIEW - \$250.00 + \$20 per acre of Landscaped area

Total Landscaped area (per submitted LS Plan from Breckon Land Design):
-0.58 acres @ \$20 = \$11.60 + \$250.00 = \$261.60

COMMERCIAL BUILDING DESIGN REVIEW - \$400.00 + \$10 per 1000 Square feet of building area

Total Square Footage (per submitted letter of intent from ABCO Engineering):

- Office = 1,033 Sq. Ft.1,033
- 1 Storage Bldg @ 6400 Sq. Ft. x \$10..... 6,400
- 3 Storage Bldgs @ 7200 Sq. Ft. each21,600
- 3 Storage Bldgs @ 8000 Sq. Ft. each.....24,000
- 6 Storage Bldgs @ 13,000 Sq. Ft. each.....78,000

Buildings Total: **131,033** Square feet * \$10 per 1000 Sq. Ft. = **\$1,310.33**
+ **\$400.00**

Landscaping Total + **\$261.60**

Total Design Review Application Fees Due: \$1,971.93

Inspections are required for Design Review compliance once landscaping is installed and/or construction is completed. Planning and Zoning Design Review compliance inspections are subject to the following fees:

- **Building - \$150**
- **Landscaping - \$150**

You may pay the inspection fees now to avoid delays in the future, however, they will need to be paid (and inspections performed) prior to the issuance of a Certificate of Occupancy for the buildings.

Please submit the fees to the City (as soon as possible), to keep the Public Meeting scheduled for the above listed date. We encourage a representative to be present for the meeting in the event the Commission has questions. You do not need to post the site advertising this action because it is a public meeting, rather than public hearing.

If you have questions regarding this information or other application items, please contact me directly at 208.387.7731 or via e-mail: tkesner@kunaid.gov.

Respectfully,

Trevor Kesner, Planner II
City of Kuna, Planning Department

Cc: Wendy Howell, PECD
Director of Planning Services, Kuna



City of Kuna

Commission Memo

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

To: **P & Z Commission**

File Numbers: **16-04-S** (Subdivision) and **16-19-DRC** (Sub Design Review).

Location: **NEC of Deer Flat Road & School Avenue, Kuna, Idaho**

Planner: **Troy Behunin, Planner III**

Hearing date: **February 28, 2014 (tabled)**
Tabled Until: **March 14, 2016**

Applicant: **Greg Bullock**
514 Bayhill Dr.
Nampa, ID 83686
208.941.1076
Gregbullock14@gmail.com

Owner: **Troost Family Living Trust**
30540 Sabin Road
Parma, ID 83660

Engineer: **Jay Walker**
AllTerra Consulting
849 E. State Str., Ste. 104
Eagle, Idaho 83616
208.484.4479
jwalker@allterraconsulting.com



Table of Contents:

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| A. Process and Noticing | I. Proposed Findings of Fact for Council |
| B. Applicants Request | J. Proposed Factual Summary |
| C. Aerial map | K. Proposed Comprehensive Plan Analysis |
| D. Site History | L. Proposed Kuna City Code Analysis |
| E. General Project Facts | M. Proposed Conclusions of Law |
| F. Staff Analysis | N. Recommendation of the Commission to City Council |
| G. Applicable Standards | |
| H. Proposed Procedural Background | |

A. Process and Noticing:

1. Kuna City Code 1-14-3 (KCC), Title 1, Chapter 14, Section 3, states that preliminary plat's for subdivisions are designated as public hearings, with the City Council as the decision making body, and Commission as the decision making body for design review. This land use application was given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65 Local Planning Act.

a. Notifications

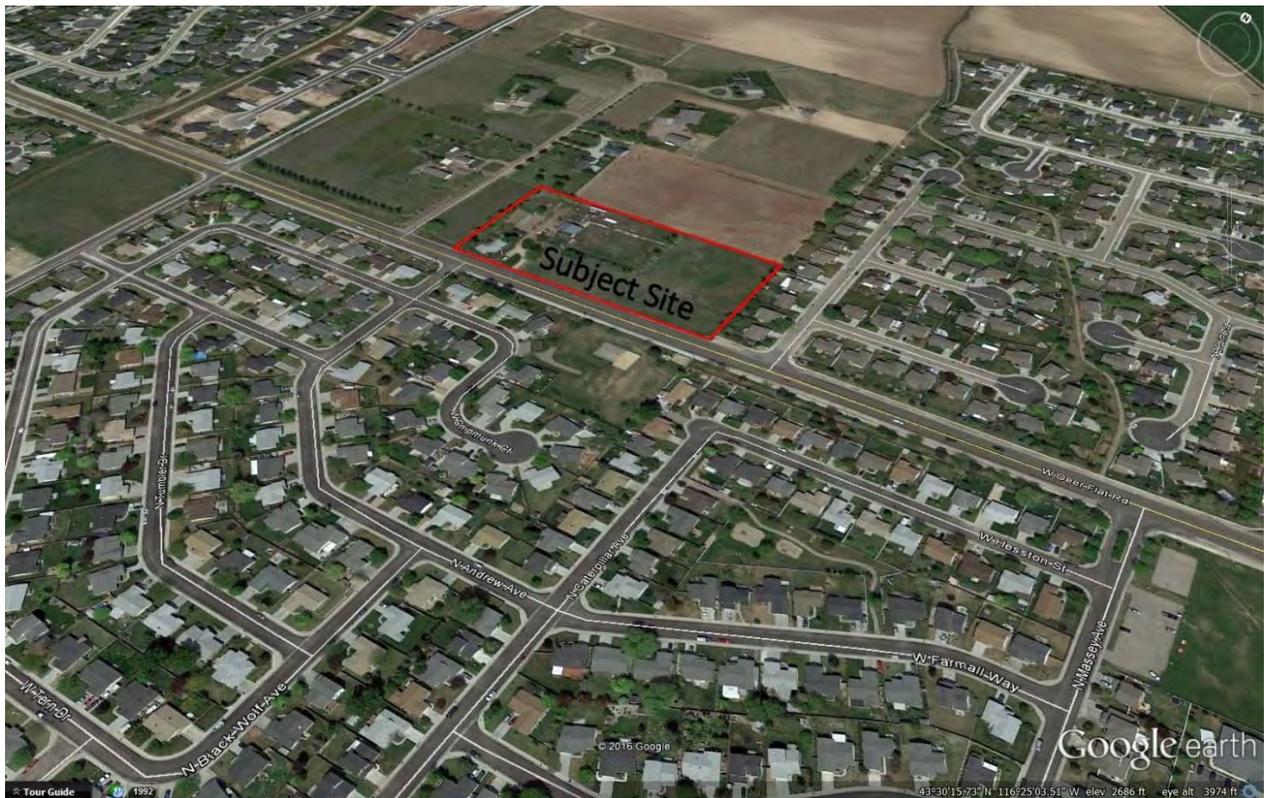
- | | |
|----------------------------|--|
| i. Neighborhood Meeting | October 14, 2016 (one person attended) |
| ii. Agency Comment Request | January 26, 2017 |
| iii. 300' Property Owners | February 15, 2017 |
| iv. Kuna, Melba Newspaper | February 8, 2017 |
| v. Site Posted | February 17, 2017 |

B. Applicants Request:

1. Request:

On behalf of Troost Family Living Trust, Jaylen Walker with AllTerra Consulting (applicant), requests approval for a preliminary plat over approximately 4.70 acres of land, currently zoned R-12 (High Density Residential). The applicant proposes to subdivide the parcel into nine buildable lots and one common lot. in preparations for a multi-family project. The site is located near the northeast corner (NEC) of Deer Flat Road and School Avenue.

C. Aerial Map:



© Copyrighted

D. Site History:

Recently, this site was annexed into Kuna and has been used historically for small agricultural purposes and a rental property for many years. The site is surrounded by both City and County platted subdivisions.

E. General Projects Facts:

1. **Comprehensive Plan Map:** The Future Land Use Map (Comp Plan Map) is intended to serve as a guide for the decision making body for the City. This map indicates a land use designation and it is not the actual zoning. The Comp Plan Map designation for this site was amended July 5, 2016, to High Density Residential.

2. **Surrounding Land Uses:**

North	RUT	Rural Urban Transition – Ada County
South	R-6	Medium Density Residential – Kuna City
East	R-6	Medium Density Residential – Kuna City
West	RUT	Rural Urban Transition – Ada County

3. **Parcel Sizes, Current Zoning, Parcel Number(s):**

- Parcel Size: 4.70 acres (approximately)
- Zoning: R-12, (high Density Residential) – Kuna city
- Parcel #: S1314438920

4. **Services:**

- Sanitary Sewer– City of Kuna
- Potable Water – City of Kuna
- Irrigation District – Boise-Kuna Irrigation District
- Pressurized Irrigation – City of Kuna (KMID)
- Fire Protection – Kuna Rural Fire District
- Police Protection – Kuna Police (Ada County Sheriff’s office)
- Sanitation Services – J&M Sanitation

5. **Existing Structures, Vegetation and Natural Features:**

There are several structures on site, including a home, a large accessory building, trailers, and old sheds. The remaining site has vegetation that is generally associated with an open field.

6. **Transportation / Connectivity:**

The site is near the north east corner (NEC) of Deer Flat Road and School Avenue. Ingress / Egress is proposed to and from Deer Flat Road.

7. **Environmental Issues:**

Staff is not aware of any environmental issues, health or safety conflicts. The site’s topography is generally flat.

8. **Agency Responses:**

The following agencies returned comments: City Engineer (Gordon Law, P.E.) Exhibit B-1, ACHD (Stacey Yarrington) Exhibit B-2, Boise Project Board of Control (BPBC - Bob Carter) Exhibit B-3, Central Dist. Health Dept. (CDHD - Lori Badigian) Exhibit B-4, COMPASS Planning Association (Carl Miller) Exhibit B-5, J & M Sanitation (Chad Gordon) Exhibit B-6, and the Kuna School District (Brenda Saxton) Exhibit B-7. The responding agency comments are included with this case file and are included with this report.

F. Staff Analysis:

These lands were annexed into Kuna city limits in July of 2016 (16-01-AN), with an accompanying Comp Plan Map amendment (16-01-CPM), from Medium Density to High Density Residential. The site is surrounded by Kuna City limits with platted City and County subdivisions. This parcel should be considered an infill development. The parcel is adjacent to a minor arterial (Deer Flat Road) and all public utilities are near this site.

The applicant seeks preliminary plat approval in order to develop the property into a multi-family housing project. Applicant proposes 11 total lots, including 10 buildable lots to place up to 13 four-plex buildings, yielding up to 52 total units. Three lots will be developed with two, four-plex buildings.

There is an existing house on site that encroaches on the future Rights-of-Way (ROW) along Deer Flat Road. The applicant requests that the house is allowed to remain in place. Staff has read the comments from the City Engineer and ACHD, and agrees with the opinions expressed in those reports. Those reports are included with this staff memo and it is encouraged that the Commission read those reports. Staff is concerned about continuing direct access to Deer Flat for the existing home and would recommend providing an internal access. The existing home relies on a septic and well system at this time. Staff recommends the existing home be conditioned to connect to the City sewer and potable water systems when these and all city utilities are within a distance of 300' as stated in the Engineers report. Staff recommends that a plan be provided to show where the existing private septic and well systems are located on the site. Staff recommends the applicant be conditioned to provide a way for the ROW along the Deer Flat frontage be accounted for. ACHD has made recommendations concerning the ROW, the encroachment of the house, and the dedication of future ROW, and staff would agree with their assessment and solution. Staff also recommends that the applicant work with KFD and J & M Sanitation to ensure proper maneuverability for EMS and sanitation needs to and through the site; in particular, the round-a-bout in the center of the project. Staff is concerned about traffic flow and driver-conflict and now looks to the applicant to demonstrate how the parking in the round-a-bout will not cause traffic or pedestrian conflict or worse.

Staff has reviewed the proposed landscape plan and finds it is in substantial conformance with the Landscape code for Kuna. During the annexation and Comp Plan Map Amendment process for this parcel last year, the Commission conditioned enhanced landscaping should be placed on the east and north sides of the project to minimize noise and other impacts to neighbors. Staff recommends additional trees and possibly berms to help offset the impacts to neighbors agreed to during the annexation process.

Staff has determined this application complies with Title 5 of the Kuna City Code; Idaho Statute §50-222; and the Kuna Comprehensive Plan; and forwards a recommendation of approval for Case No. 16-04-S, subject to the recommended conditions of approval listed in Section 'N' of this report.

G. Applicable Standards:

1. City of Kuna Zoning Ordinance Title 5, Chapter 13
2. City of Kuna Comprehensive Plan, adopted September 1, 2009
3. City of Kuna Design Review Code Title 5, Chapter 4
4. City of Kuna Landscape Code Title 5, Chapter 17.
5. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

H. Proposed Procedural Background:

On March 14, 2017, Commission considered the project, including the application, agency comments, staff's report, application exhibits and public testimony presented or given.

I. **Proposed Findings of Fact for Commissions Consideration:**

Based on the record contained in Case No. 16-04-S, including the exhibits, staff's report and the public testimony at the public hearing, the City Council of Kuna, Idaho, hereby *approves / denies* the proposed Findings of Fact and Conclusions of Law, and conditions of approval for Case No. 16-04-S, Subdivision.

The Commission concludes that the Application does/does not comply with the City of Kuna's Zoning regulations (Title 5) of KCC and/or the Subdivision regulations outlined in title 6 of KCC.

1. In making a decision regarding the Subdivision application, the Council is to consider Idaho Code §67-6535 (2), which states the following:

The approval or denial of any application required or authorized pursuant to this chapter shall be in writing and accompanied by a reasoned statement that explains the criteria and standards considered relevant, states the relevant contested facts relied upon, and explains the rationale for the decision based on the applicable provisions of the comprehensive plan, relevant ordinance and statutory provisions, pertinent constitutional principles and factual information contained in the record.

In addition, Idaho Code §67-6535(2)(a), provides that:

Failure to identify the nature of compliance or noncompliance with express approval standards or failure to explain compliance or noncompliance with relevant decision criteria shall be grounds for invalidation of an approved permit or site-specific authorization, or denial of same, on appeal.

2. The Commission has the authority to recommend approval or denial for Case No. 16-04-S. On March 14, 2017, Kuna's Commission voted to recommend approval/denial of Case No. 16-04-S.

Comment: *On March 14, 2017, Commission will vote to recommend approval or denial of applications 16-04-S.*

3. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances to hold a public hearing on March 14, 2017, with the Commission.

4. The Kuna Commission accepts the facts as outlined in the staff report, the public testimony and the supporting evidence list presented.

Comment: *The Commission held a public hearing on the subject application on March 14, 2017, to hear from the City staff, the applicant and to accept public testimony. The decision by the Commission is based on the application, staff report and public testimony, both oral and written.*

5. Based on the evidence contained in Case No's 16-04-S, this proposal appears to *generally* comply with the Comprehensive Plan and Comp Plan Map as amended.

Comment: *The Comp Plan has listed numerous goals for providing multi-family housing in Kuna. The Comp Plan Map now designates this property as High Density. As this is a proposed residential use the project generally follows the goals of the Comp Plan and the Comp Plan Map.*

6. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

Comment: *As noted in the process and noticing sections, notice requirements were met to hold a public hearing on March 14, 2017.*

J. Proposed Factual Summary:

This site is located near the north east corner (NEC) of Deer Flat Road and School Avenue. Applicant proposes a preliminary plat for approximately 4.7 acres into City limits with an R-12 zone. Applicant proposes and a Comprehensive Plan Map amendment for the site, from Medium Density to High Density Residential.

The site will take access from existing Deer Flat Road.

K. Comprehensive Plan Analysis:

The Kuna Commission accepts the Comprehensive Plan components as described below:

The designation from Medium Density to High Density on the Comp Plan Map for this parcel was amended in July of 2016 (16-01-CPM). The updated map was not available at time of this public hearing. The proposed preliminary plat for the site is consistent with the following Comprehensive Plan components:

Community Vision Statement:

Residents hoped for the creation of business and light commercial use centers within neighborhoods. These centers would include restaurants, gas stations, churches, *multi-family* use facilities, and other mixed-use developments. Citizens anticipated the manufacturing area moving south and eastward between the Union Pacific Railroad Line and Kuna Mora Road (Page 21).

Housing:

Residents envisioned higher densities in the City's core to include opportunities for mixed residential and light commercial activity. They expressed interest in a mix of residential type dwellings applications; including single-family, *multi-family*, apartments and condominiums. They were receptive to a greater mix of lot sizes and house prices to appeal to a variety of people. A goal expressed by many was the preservation of large lots and rural cluster development in appropriate balance with a complement of other types of residential development (Page 21).

Comment: *The proposal follows the community vision and housing goals as stated and adopted.*

Private Property Rights Goals and Objectives - Section 2 - Summary:

Ensure the City land use policies, restrictions, conditions and fees do not violate private property rights and ensure that land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property. Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right and staff shall evaluate with guidance from the City's attorney; the Idaho Attorney General's six criterion established to determine the potential for property taking.

Comment: *Utilizing the Idaho Attorney Generals criteria, and a review by the City Attorney, the proposed project does not constitute a "takings" and the economic value is intact.*

Economic Development Goals and Objectives - Section 5 - Summary:

Ensure an adequate supply of housing for all income levels and facilitate pedestrian connections, both visually and physically, to enhance pedestrian movement (Pg. 42 – 1.5 and Pg. 43 – 3.1).

Comment: *The proposed application complies with these elements of the comprehensive plan by providing a non-standard housing type meeting this goal.*

Land Use Goals and Objectives - Section 6 - Summary:

Adopt a future land use plan and map that includes natural and developed open spaces, while providing a variety of housing densities and types to accommodate various lifestyles, ages and economic groups. Protect existing neighborhoods and ensure new development is sustainable and keeps Kuna desirable. Develop cohesive

neighborhoods with character and quality while incorporating a variety of densities and styles (Pg. 64 – 3.1 & Goal 3 and Pg. 65 – 4.3).

Neighborhood Core Concept:

The character of residential housing surrounding and within the core of a Neighbor Center is that of a close-knit, mixed-density community. The Neighborhood District provides close access to community services located within the core. The highest density housing should be located near the core service areas (schools, churches, parks, neighborhood commercial). Housing types may include multi-family dwellings, duplexes, town houses, row homes, and single-family residences (Page 81).

Medium Density Residential:

This designation describes areas where residential development densities generally range from four to seven units per acre. These areas will be made up of single-family homes, but may include townhomes, row houses duplexes and other types of multi-family land uses. Areas featuring these densities are generally located within the City Center and around Neighborhood Centers (Page 88).

Neighborhood District:

The Neighborhood District can be characterized as residential housing within the core of a close-knit, mixed-density community. The Neighborhood District provides close access to the community services located within the core. The highest density housing should be located near the core service areas (schools, churches, parks, neighborhood commercial). Housing types may include *multi-family* dwellings, duplexes, town houses, row homes, and single-family residences (Page 93).

Comment: *The proposal complies with the land use plan as adopted by Kuna, by incorporating the following; non-typical housing densities and types in or near a neighborhood core while promoting in-fill methodologies and a quality housing project.*

Housing Goals and Objectives - Section 12 - Summary:

Encourage developers to provide high-quality development with a variety of lot sizes, dwelling types, densities and price points to meet the needs of current and future population while creating safe and aesthetically-pleasing neighborhoods. Ensure housing is available throughout the community for all income levels and those with special needs. Encourage logical and orderly residential development while discouraging developers from developing land divisions greater than one half acre because large lot subdivisions increase municipal costs, require public subsidy and create sprawl (Pg. 155 – 1.2, Pg. 163 12.4 and Pg. 165 – 2.1).

Encourage mixed-use development that includes town centers, single-family, *multi-family*, accessory units, and other types of residential development. – Policy 1.1.2, Section 12, Housing (Page 155).

Comment: *Applicant proposes high density residential which will contribute to availability of varied types and home sizes in a logical and orderly manner with an infill style of development.*

Community Design Goals and Objectives - Section 13 - Summary:

Strengthen Kuna's Image through good community and urban design principles that create self-sufficient neighborhoods. Foster good community design concepts that incorporate landscape features to serve as buffers between incompatible uses while reducing scale and creates a sense of place.

Neighborhoods:

Kuna's updated Plan is an advocate for the development of self-sufficient neighborhoods. These neighborhoods are intended to be connected by transit and other non-motorized methods of transportation. Each neighborhood will have a center, a core and an edge. The Neighborhood Center will be the core of the neighborhoods churches, schools, and public facilities. The neighborhood centers will feature denser developments and *multi-family* residential development (Page 179).

Existing Residential Subdivisions:

Residential placement is intended to increase social interactions at various times of the day. Multi-family residential uses should be located closer to the neighborhood cores and be interspersed with mixed-uses (Page 178).

Neighborhoods:

Kuna's updated Plan is an advocate for the development of self-sufficient neighborhoods. These neighborhoods are intended to be connected by transit and other non-motorized methods of transportation. Each neighborhood will have a center, a core and an edge. The Neighborhood Center will be the core of the neighborhoods churches, schools, and public facilities. The neighborhood centers will feature denser developments and multi-family residential development (Page 179).

Comment: *This application promotes sound community and urban design principles.*

L. Proposed Kuna City Code Analysis:

1. This request appears to be consistent and in compliance with all Kuna City Code (KCC).

Comment: *The proposed project meets the land use and area standards in Chapter 3, Title 5 of the Kuna City Code (KCC). Staff also finds that the proposed project meets all applicable requirements of Title 6 of the KCC*

2. The site is physically suitable for a subdivision.

Comment: *The 4.7 acre (approximate) project includes a request for a subdivision in an R-12 zone. The site appears to be compatible with the proposal.*

3. The subdivision use is not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.

Comment: *The land to be subdivided is not used as wildlife habitat. Roads, driveways, family units and open spaces are planned for construction according the City requirements and best practices and will therefore not cause environmental damage or loss of habitat.*

4. The Subdivision proposal is not likely to cause adverse public health problems.

Comment: *The proposed Subdivision for the property requires a zoning designation per Kuna Code 5-13-9. The high density land use application requires connection to public sewer and potable water systems, therefore eliminating the occurrence of adverse public health problems.*

5. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

Comment: *The Commission did consider the location of the property and adjacent uses. The subject property is surrounded by existing City and Ada County subdivisions and will be connected to the Kuna City central sewer and potable and pressure irrigation water systems. The current adjacent uses are both small farms and residential uses and an minor arterial road.*

6. The existing and proposed street and utility services in proximity to the site are suitable and adequate for residential purposes.

Comment: Correspondence from ACHD and Kuna Public Works confirms that the streets and utility services are suitable and adequate for the residential project.

M. Proposed Conclusions of Law:

1. Based on the evidence contained in Case No's 16-04-S and 16-19-DRC, Commission finds Case No's 16-04-S and 16-19-DRC generally comply with Kuna City Code.
2. Based on the evidence contained in Case No's 16-04-S and 16-19-DRC, Commission finds Case No's 16-04-S and 16-19-DRC are generally consistent with Kuna's Comprehensive Plan.
3. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

N. Proposed Recommendation of the Commission to City Council:

16-04-Sub, Note: *This proposed motion is to recommend approval, conditional approval, or denial for this request to City Council. If the Commission wishes to approve or deny specific parts of the requests as detailed in this report, those changes must be specified.*

16-19-DRC:-Design Review Note: *The proposed motion is to approve or deny the design review request. If the Planning and Zoning Commission wishes to approve or deny specific parts of the requests as detailed in the report, those changes must be specified.*

Based on the facts outlined in staff's report and the public testimony during the public hearing by the Planning and Zoning Commission of Kuna, Idaho, the Commission hereby recommends to City Council an approval/denial for Case No. 16-04-S and approves/denies Case No.16-19-DRC, a subdivision preliminary plat request from Greg Bullock and Jay Walker (AllTerra Consulting), with the following conditions of approval:

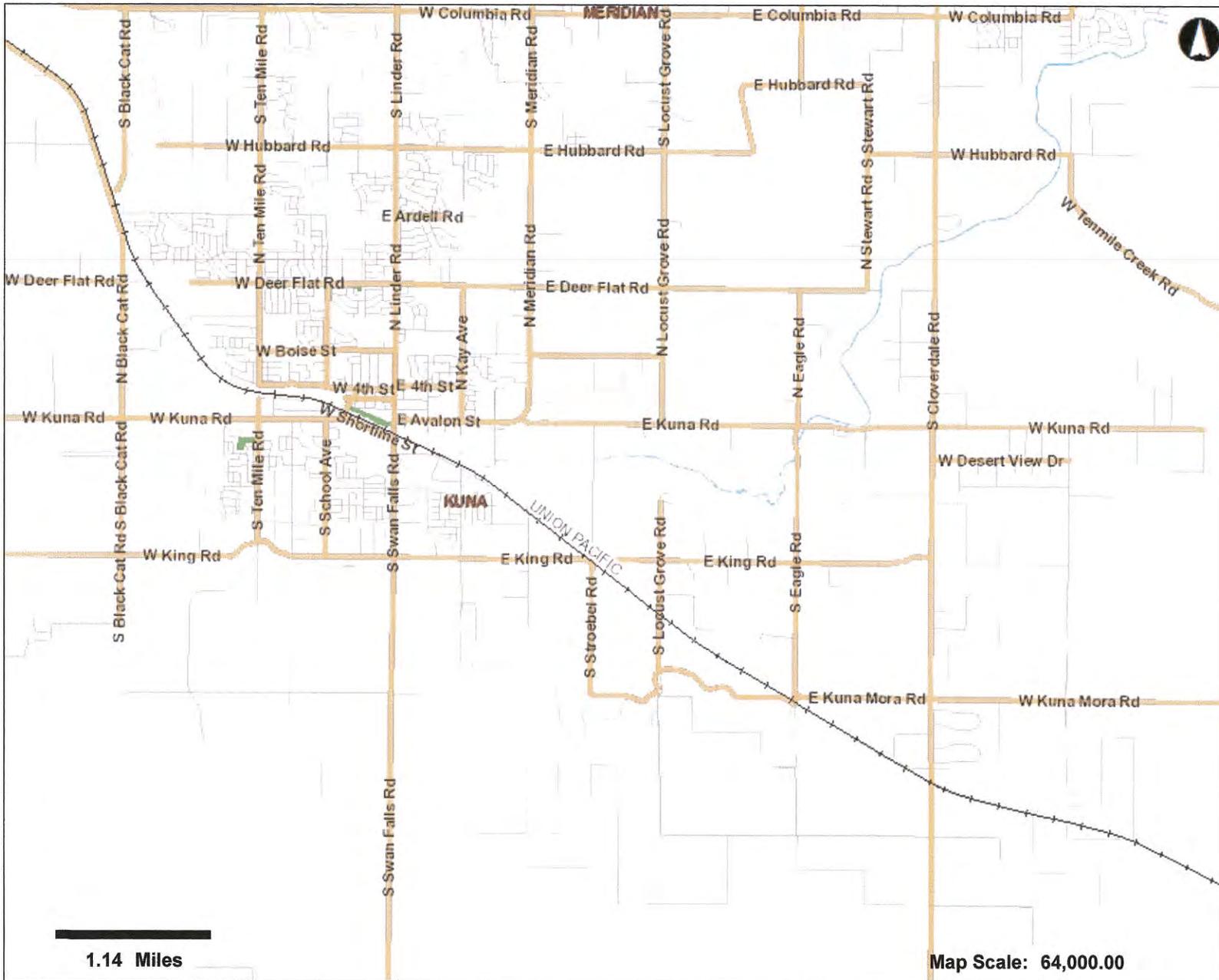
1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
 - a. The City Engineer shall approve the sewer hook-ups.
 - b. The City Engineer shall approve the drainage and grading plans. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties". No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
 - c. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District is required.
 - d. The *Boise-Kuna* Irrigation District shall approval any modifications to the existing irrigation system.
 - e. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
2. All public rights-of-way shall be dedicated and constructed to standards of the City, Ada County Highway District and Idaho Transportation Department. No public street construction may commence without the approval and permit from Ada County Highway District and/or Idaho Transportation Department.
 - 2.1- At time of development and as necessary, dedicate right-of-way in sufficient amounts to follow City and ACHD standards and widths.
3. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see **KCC 6-4-2-W**.
4. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.

5. When required, submit a petition to the City (as necessary, confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and requesting to annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation system of the City (KMID).
6. All street lighting within and for the site shall be LED lighting and must comply with Kuna City Code and established Dark Skies practices.
7. Parking within the site shall comply with Kuna City Code. (Unless specifically approved otherwise).
8. Fencing within and around the site shall comply with Kuna City Code (Unless specifically approved otherwise and permitted). Perimeter fencing (and permit) is required prior to requesting final plat signatures from Kuna City Clerk and Engineer.
9. All signage within/for the project shall comply with Kuna City Code.
10. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
11. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through public hearing processes.
12. Applicant shall follow staff, City engineers and other agency recommended requirements as applicable.
13. Developer/owner/applicant shall comply with all local, state and federal laws.

DATED this ____, day of _____, 2017,

Ada County Assessor

This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION OR LEGAL PURPOSES.



Legend

- Railroad
- Roads (40,000 - 80,000)
 - <all other values>
 - Interstate
 - Ramp
 - Principal Arterial
 - Collector
 - Minor Arterial
 - Local
 - Parks
 - Driveway
 - Alley
- Parks
- Water
- City Limits
 - <all other values>
 - BOISE
 - EAGLE
 - GARDEN CITY
 - KUNA
 - MERIDIAN
 - STAR

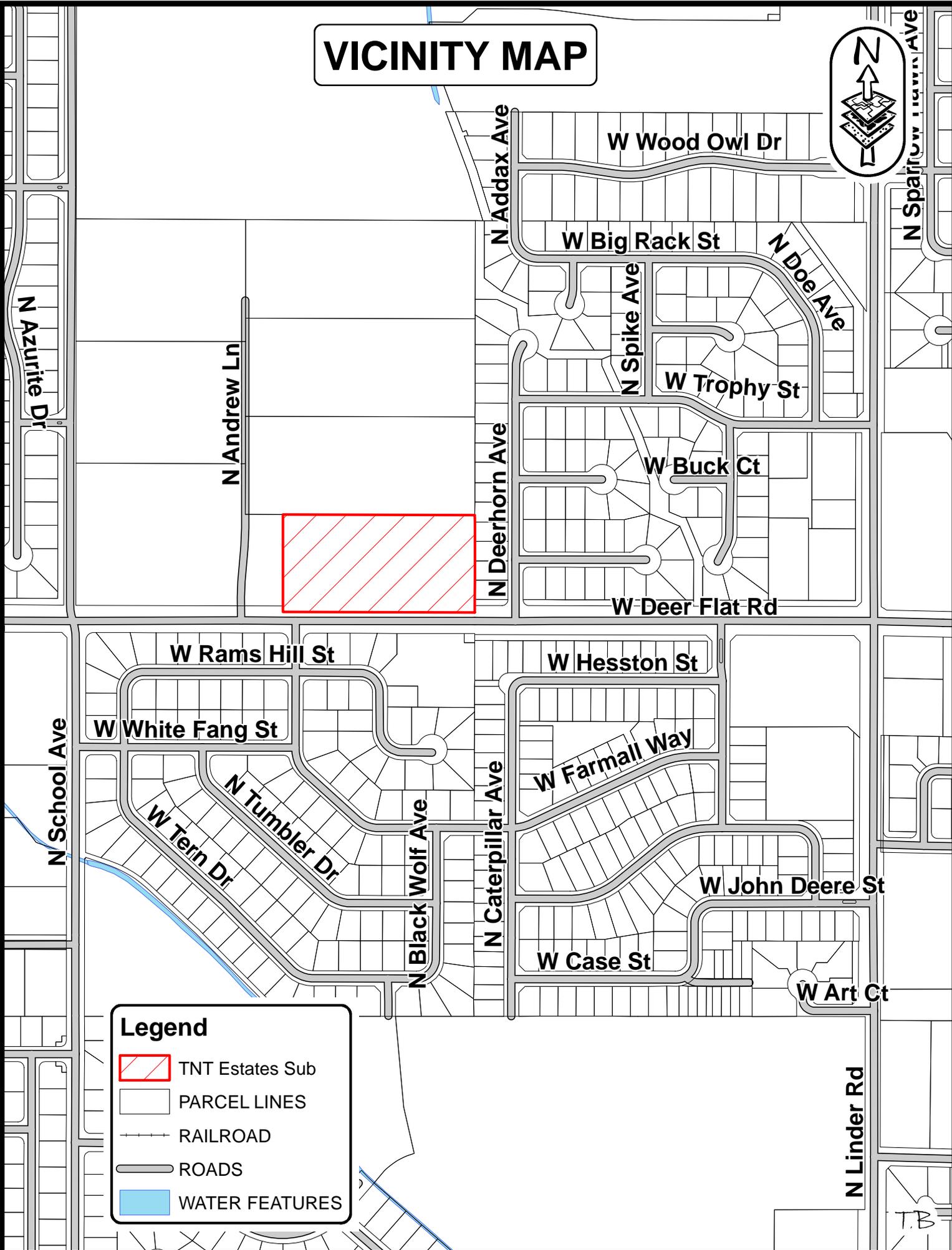
1.14 Miles

Map Scale: 64,000.00

12/1/2016

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VICINITY MAP

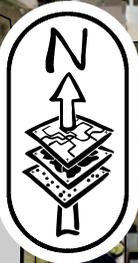


Legend

-  TNT Estates Sub
-  PARCEL LINES
-  RAILROAD
-  ROADS
-  WATER FEATURES

T.B.

VICINITY MAP



N Andrew Ln

N Deerhorn Pl

N Deerhorn Ave

W Deer Flat Rd

W Rams Hill St

N Misty Springs Ave

N Caterpillar Ave

N Andrew Dr

Legend

-  TNT Estates Sub
-  PARCEL LINES
-  RAILROAD
-  ROADS
-  WATER FEATURES

TB

550 W. DEER FLAT
LETTER OF INTENT

PURPOSE

This application is for preliminary (final plat soon to follow) of TNT Estates Subdivision located at 550 W. Deer Flat Road. The parcel is zoned R-12 and consists of approximately 4.72 acres.

PROJECT DETAILS

The plat, if approved, will create 10 lots. Nine of the lots will support the construction of 13 two-story, four-plex buildings, netting 52 residential units. One lot will encompass an existing single-family home located in the southwest corner. The existing house will be retained.

The layout has been carefully planned to provide an enjoyable setting for tenants. The private parking fields and drive isles are surrounded by the proposed buildings. This will minimize vehicle noise and lights trespassing onto adjacent parcels. The parking fields are arranged around a central island, thus avoiding a "cookie cutter" sea of asphalt. The center island will be visually pleasing and will allow emergency vehicles to maneuver around it. Given the short length of the private drive isles, turn-arounds are not required. Proper easements over the internal drive isles and parking stalls will be provided. To ensure these areas will be properly maintained, an operation and maintenance agreement will be prepared and each owner will be a party to the agreement. Parking will exceed the minimum required by City code (72 vs 84).

A combination of 6' solid fencing, trees, and/or berming will be installed along portions of the west end of the north boundary. Various options have been discussed with the adjacent land owner. We suggested they attend the public hearings and discuss their desires.

A 15' landscape easement/buffer will be constructed along Deer Flat Road.

The lots have been arranged to provide the minimum required street frontage width of 40'.

Access to the buildings will be via a private approach off Deer Flat Road. The access is proposed in the center of the Deer Flat frontage. A public street exists on the north side of Deer Flat road approximately 450' to the east. A public street exists along the south side of Deer Flat approximately 275' to the west. A private lane exists along the north side of Deer Flat road approximately 450' to the west. This location does not conflict with the existing access points. The proposed location also allows the existing house to remain.

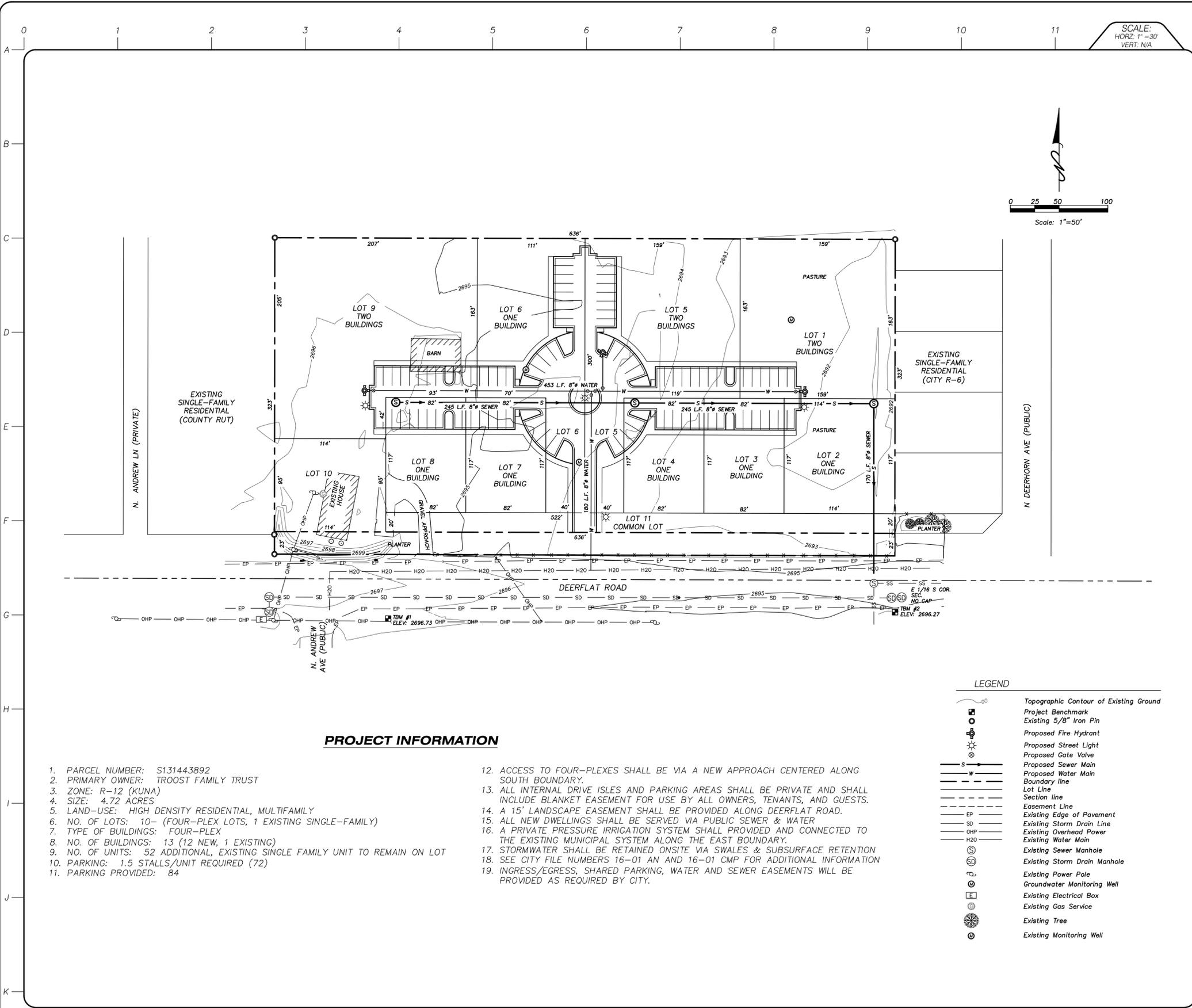
Screened trash enclosures will be installed adjacent to the parking fields.

As required by ACHD, a concrete sidewalk will be constructed along the Deer Flat Road frontage.

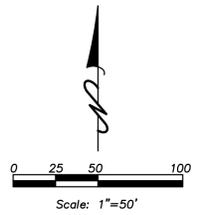
The project will utilize city water, sewer and pressure irrigation.

Internal site lighting will be limited to exterior, wall mounted fixtures. This will mitigate light trespassing upon adjacent parcels. If desired by the City, short "yard style" fixtures can be placed in the parking areas.

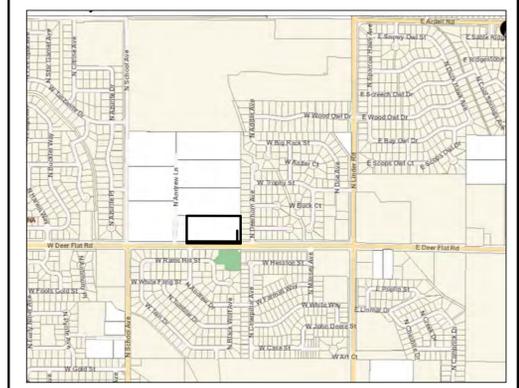
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12.16.16



SCALE:
HORZ. 1" = 30'
VERT. N/A



VICINITY MAP
SCALE: 1" = 1000'



REVISIONS

NO.	DESCRIPTION

BENCHMARK

TBM 1, ELEV: 2696.73'	TBM 2, ELEV: 2696.27'
--------------------------	--------------------------



CLIENT

TROOST FAMILY LIVING TRUST
30540 SABIN ROAD
PARMA, IDAHO
PHONE #

PROJECT:

PROFESSIONAL ENGINEER
REGISTERED
9020
STATE OF IDAHO
R. SCOTT STANFIELD

KINGS ESTATES SUBDIVISION
550 DEER FLAT ROAD KUNA, ID.
SW 1/4, SE 1/4, SEC. 14, T2N,
R1W B.M. ADA COUNTY, IDAHO.

PREPARED BY:
R. SCOTT STANFIELD &
COMPASS LAND SURVEYING

PRELIMINARY PLAT

SHEET: 1 OF 1

PROJECT INFORMATION

1. PARCEL NUMBER: S131443892
2. PRIMARY OWNER: TROOST FAMILY TRUST
3. ZONE: R-12 (KUNA)
4. SIZE: 4.72 ACRES
5. LAND-USE: HIGH DENSITY RESIDENTIAL, MULTIFAMILY
6. NO. OF LOTS: 10- (FOUR- PLEX LOTS, 1 EXISTING SINGLE-FAMILY)
7. TYPE OF BUILDINGS: FOUR- PLEX
8. NO. OF BUILDINGS: 13 (12 NEW, 1 EXISTING)
9. NO. OF UNITS: 52 ADDITIONAL, EXISTING SINGLE FAMILY UNIT TO REMAIN ON LOT
10. PARKING: 1.5 STALLS/UNIT REQUIRED (72)
11. PARKING PROVIDED: 84
12. ACCESS TO FOUR-PLEXES SHALL BE VIA A NEW APPROACH CENTERED ALONG SOUTH BOUNDARY.
13. ALL INTERNAL DRIVE ISLES AND PARKING AREAS SHALL BE PRIVATE AND SHALL INCLUDE BLANKET EASEMENT FOR USE BY ALL OWNERS, TENANTS, AND GUESTS.
14. A 15' LANDSCAPE EASEMENT SHALL BE PROVIDED ALONG DEERFLAT ROAD.
15. ALL NEW DWELLINGS SHALL BE SERVED VIA PUBLIC SEWER & WATER
16. A PRIVATE PRESSURE IRRIGATION SYSTEM SHALL PROVIDED AND CONNECTED TO THE EXISTING MUNICIPAL SYSTEM ALONG THE EAST BOUNDARY.
17. STORMWATER SHALL BE RETAINED ONSITE VIA SWALES & SUBSURFACE RETENTION
18. SEE CITY FILE NUMBERS 16-01 AN AND 16-01 CMP FOR ADDITIONAL INFORMATION
19. INGRESS/EGRESS, SHARED PARKING, WATER AND SEWER EASEMENTS WILL BE PROVIDED AS REQUIRED BY CITY.

LEGEND

- Topographic Contour of Existing Ground
- Project Benchmark
-
- Proposed Fire Hydrant
- Proposed Street Light
- Proposed Gate Valve
- Proposed Sewer Main
- Proposed Water Main
- Boundary line
- Lot Line
- Section line
- Easement Line
- Existing Edge of Pavement
- Existing Storm Drain Line
- Existing Overhead Power
- Existing Water Main
- Existing Sewer Manhole
- Existing Storm Drain Manhole
- Existing Power Pole
- Groundwater Monitoring Well
- Existing Electrical Box
- Existing Gas Service
- Existing Tree
- Existing Monitoring Well



BAER DESIGN GROUP, LLC
 539 S. Fitness Place, Ste 120
 Eagle, ID 83616
 Ph. 208.938.7721

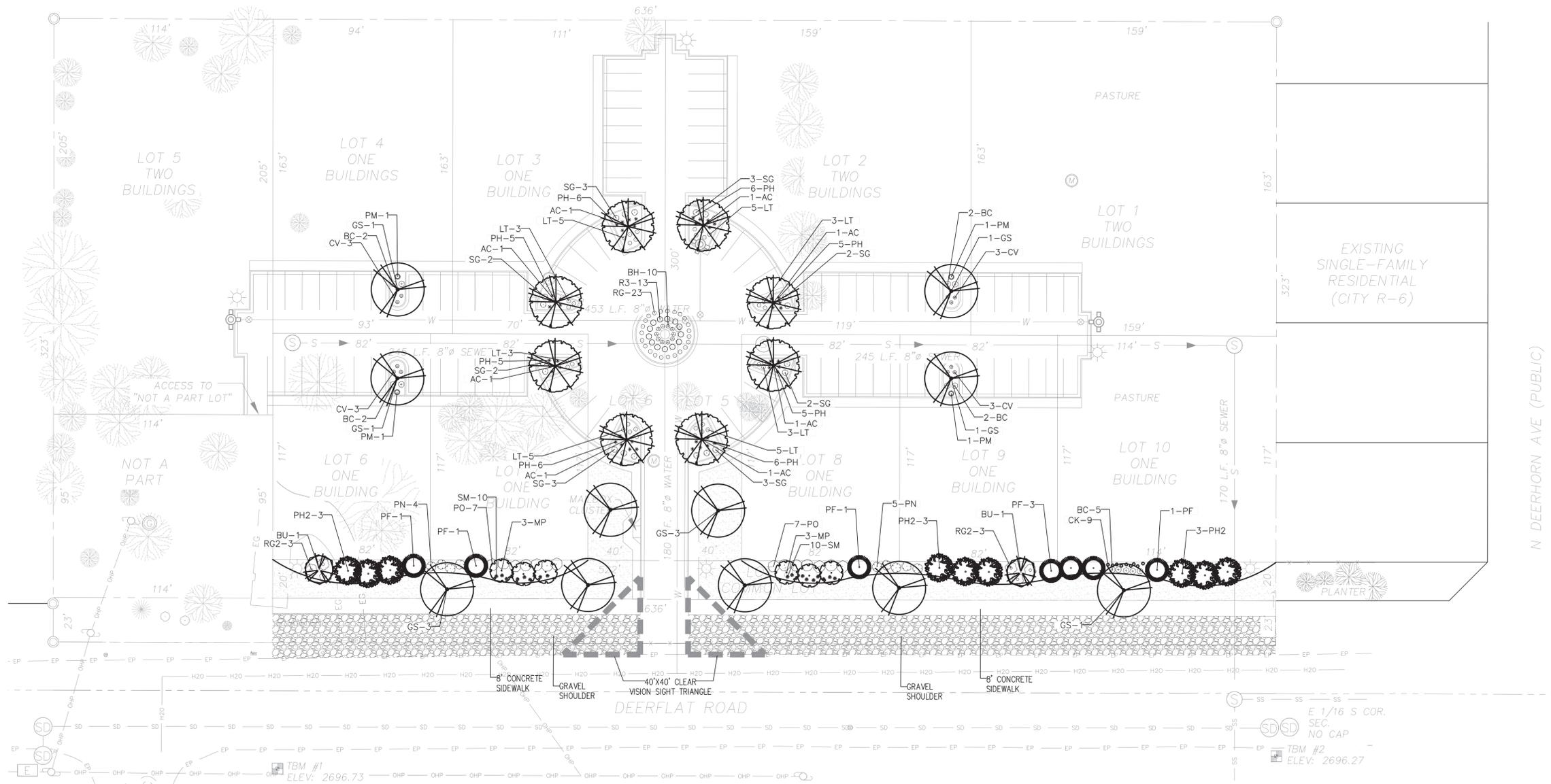


TNT Estates Subdivision
 Kuna, Idaho
 550 Deer Flat Road

Landscape Plan

Project No.:	17010
Drawn by:	JL
Checked by:	GB
Date:	02/14/2017
Sheet No.:	L1.0

L1.0



LANDSCAPE PLAN

Scale 1" = 30'-0"

PLANT SCHEDULE

DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE	H X W	QTY
AC	<i>Acer platanoides</i> 'Crimson King'	Crimson King Maple	2" CAL. B&B	35'X30'		8
BU	<i>Betula utilis jacquemontii</i>	Whitebarked Himalayan Birch	2" CAL. B&B	35'X20'		2
GS	<i>Gleditsia triacanthos</i> 'Skyline'	Skyline Honey Locust	2" CAL. B&B	35'X30'		11
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE	H X W	QTY
PH2	<i>Picea pungens</i> 'Hoopsii'	Hoopsii Blue Spruce	6"-8" B&B	35'X15'		9
PF	<i>Pinus flexilis</i> 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Pine	10"-12" B&B	25'X15'		7
FLOWERING TREES	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE	H X W	QTY
MP	<i>Malus x 'Prairifire'</i>	Prairifire Crab Apple	2" CAL. B&B	15'X15'		6
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE	H X W	QTY
BC	<i>Berberis thunbergii</i> 'Crimson Pygmy'	Crimson Pygmy Barberry	2 GAL.	2'X3'		13
BH	<i>Berberis thunbergii</i> 'Helmond Pillar'	Columnar Barberry	5 GAL.	4'X2'		10
CK	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	1 GAL.	4'X2'		9
CV	<i>Coreopsis verticillata</i> 'Moonbeam'	Threadleaf Coreopsis	1 GAL.	1'X2'		12
LT	<i>Lavandula angustifolia</i> 'Thumbelina Leigh'	Thumbelina Leigh English Lavender	1 GAL.	1'X1.5'		32
PH	<i>Pennisetum alopecuroides</i> 'Hameln'	Hameln Dwarf Fountain Grass	1 GAL.	2'X2'		44
PN	<i>Physocarpus opulifolius</i> 'Summer Wine'	Summer Wine Ninebark	5 GAL.	5'X5'		9
PM	<i>Pinus mugo</i> 'Mops'	Mugo Pine	5 GAL.	3'X3'		4
PO	<i>Prunus laurocerasus</i> 'Otto Luyken'	Luykens Laurel	5 GAL.	3'X6'		14
RG2	<i>Rhus aromatica</i> 'Gro-Low'	Gro-Low Fragrant Sumac	2 GAL.	3'X6'		6
R3	<i>Rosa x 'Nearly Wild'</i>	Nearly Wild Rose	2 GAL.	2'X3'		13
RG	<i>Rudbeckia fulgida</i> 'Goldstrum'	Coneflower	1 GAL.	2'X2'		23
SM	<i>Salvia x sylvestris</i> 'May Night'	Sage	1 GAL.	2'X2'		20
SG	<i>Spiraea x bumalda</i> 'Goldflame'	Goldflame Spirea	2 GAL.	3'X3'		20
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT		QTY	
	Turf Sod Bluegrass	Kentucky Bluegrass	SOD		8,122 sf	

LANDSCAPE NOTES:

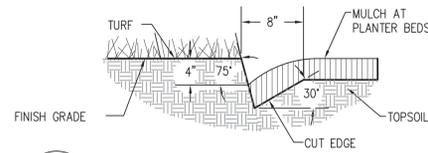
- Prior to construction start-up, coordinate work schedule and observations with Landscape Architect.
- Report all conditions which impair or prevent the proper execution of this work to Landscape Architect, prior to construction.
- Contractor shall verify all utility locations prior to construction operations. Any damage to utilities shall be contractor's responsibility.
- Contractor shall repair any areas disturbed by construction back to pre-construction conditions.
- All plant material shall be installed as per details this sheet.
- No substitutions will be allowed without consent from the Landscape Architect.
- Contractor shall stake all trees necessary to prevent them from being blown over.
- All plant material shall conform to the American Nurseryman standards and will be rejected if in unhealthy condition.
- All plant material shall be guaranteed for one year after the date of acceptance by owner. Contractor shall replace all plant material found dead or unhealthy immediately with the same size and species at no cost to the owner.
- Fertilize all trees with 'Agriform' planting tablets. Follow manufacturer's recommendations.
- All topsoil to be amended at a ratio of 3 cu. yds. of organic matter per 1000 sq. ft. Roto-till organic matter into the top 6 inches of topsoil.
- All shrub beds shall have a min 18 inches of topsoil. Spread, compact and fine grade smoothly to 3 inches below the surface of walkways and curbs.
- Finish grades are to be smooth with positive drainage in accordance with the grading plan.
- Topsoil shall be a loose, friable, sandy loam, clean and free of rocks (larger than 2 inches), weeds, roots, grass, or other foreign material that is harmful to plant growth. Topsoil shall have a pH of 5.5 to 7.0.
- Where possible, re-use existing surface topsoil from site. Verify topsoil will meet the requirements and amend as necessary. Import when existing topsoil quantities are insufficient.
- If importing topsoil from offsite, obtain from local sources that have similar soil characteristics to the project site. New topsoil must be fertile, friable, natural loam, reasonably free of subsoil, clay clumps, weeds, roots, stones larger than 1 inch. Representative samples shall be tested for acidity, fertility and general texture. Copies of the testing agency's findings and recommendations shall be submitted to the Landscape Architect.
- Contractor is responsible for the immediate clean up of any topsoil or other debris on site created from landscape construction operations.
- All mulch shall be shredded bark mulch.
- Coordinate planting with irrigation contractor.
- Contractor shall provide an automatic subsurface irrigation system to provide 100% coverage to all landscaping on site.

LANDSCAPE REQUIREMENTS:

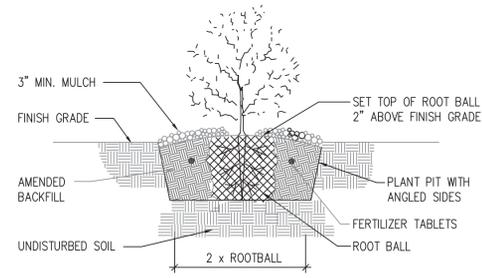
Per Kuna City Code; Title 511 Zoning Regulations, Chapter 17 Landscaping Requirements.

AREA	REQUIREMENT	MEASUREMENT	REQUIRED	PROVIDED
COMMON AREA LANDSCAPE	One (1) deciduous shade tree per one thousand (1,000) square feet of site	2189 SQ FT	2 shade trees	2 shade trees
LANDSCAPE BUFFER	Trees, shrubs, & lawn with the following plants per one hundred (100) linear feet: Two (2) shade trees, three (3) evergreen trees and twelve (12) shrubs			
Deer Flat Road		522 FT	10 shade trees 16 evergreen trees 63 shrubs	7 shade trees & 6 ornamental trees* 16 evergreen trees 63 shrubs

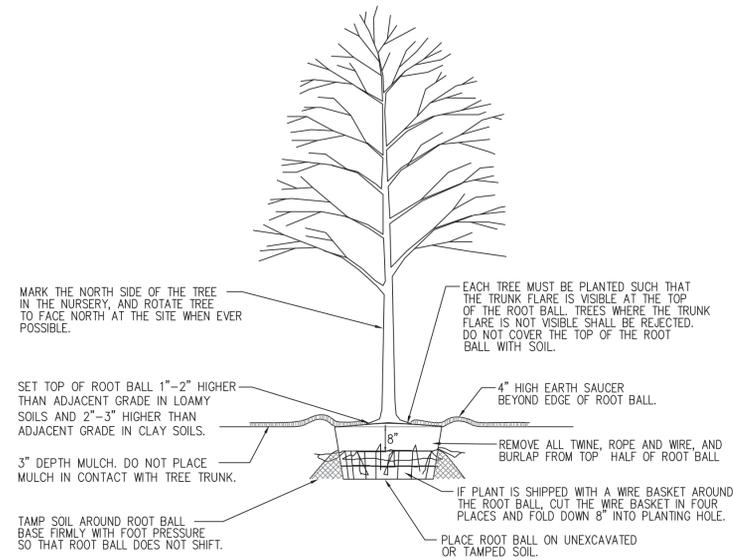
*Three (3) required shade trees substituted for six (6) ornamental trees



1 EDGING DETAIL

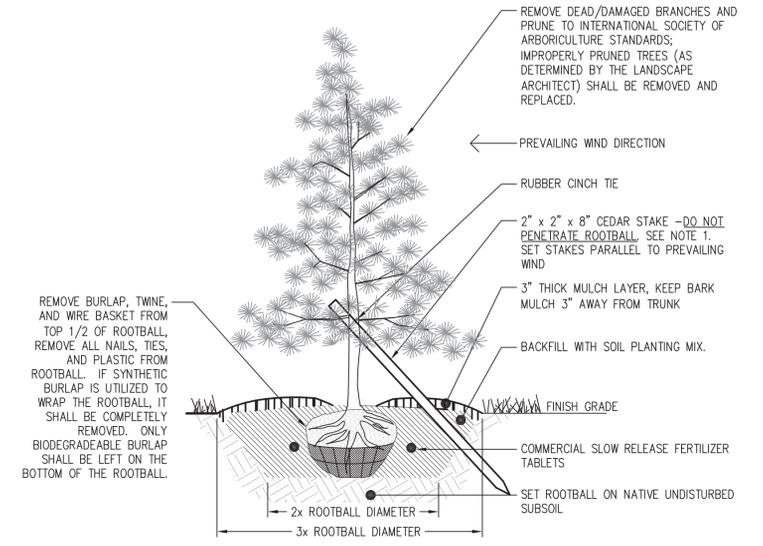


2 SHRUB PLANTING DETAIL



- NOTES:**
- DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN AND DEAD BRANCHES. DO NOT PRUNE TERMINAL BUDS OF BRANCHES EXTENDING TO THE CROWN.
 - WRAP TREE TRUNKS ONLY UPON APPROVAL OF THE LANDSCAPE ARCHITECT.
 - STAKE TREES AS NECESSARY. STAKES MUST BE REMOVED WITHIN 12 MONTHS OF PLANTING.

3 TREE PLANTING DETAIL

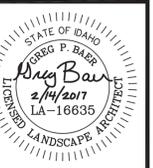


- NOTES:**
- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
 - WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
 - WATER TREE TWICE WITHIN THE FIRST 24 HOURS.

4 CONIFER TREE PLANTING AND STAKING DETAIL



BAER DESIGN GROUP, LLC
539 S. Fitness Place, Ste 120
Eagle, ID 83616
Ph. 208.938.7721



TNT Estates Subdivision
Kuna, Idaho

550 Deer Flat Road

Landscape Details

Project No.:	17010
Drawn by:	JL
Checked by:	GB
Date:	02/14/2017
Sheet No.:	L1.1



City of Kuna
 Planning & Zoning
 Department
 P. O. Box 13
 Kuna, Idaho 83634
 208.922.5274
 Fax: 208.922.5989
 Website: www.cityofkuna.com

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

For Office Use Only	
File Number (s)	16-04-S
Project name	
Date Received	
Date Accepted/Complete	
Cross Reference Files	
Commission Hearing Date	
City Council Hearing Date	

Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

Contact/Applicant Information *Troost Family Living Trust*

Owners of Record: <u>GREG TROOST</u>	Phone Number: _____
Address: <u>30540 SABIN RD</u>	E-Mail: _____
City, State, Zip: <u>PARMA, ID</u>	Fax #: _____
Applicant (Developer): <u>Greg Bullock</u>	Phone Number: <u>941-1076</u>
Address: <u>514 Bayhill Dr.</u>	E-Mail: <u>gregbullock14@gmail.com</u>
City, State, Zip: <u>Nampa, ID</u>	Fax #: _____
Engineer/Representative: <u>Scott Stanfield</u>	Phone Number: <u>800-7753</u>
Address: <u>2964 Stewart Rd</u>	E-Mail: <u>civil90@gmail.com</u>
City, State, Zip: <u>KUNA ID 83634</u>	Fax #: _____

Subject Property Information

Site Address: <u>550 W. Deer Flat</u>
Site Location (Cross Streets): <u>Linder / Deer Flat</u>
Parcel Number (s): <u>513 51314438920</u>
Section, Township, Range: <u>14 2N 1W</u>
Property size: <u>4.72 ac</u>
Current land use: <u>Pasture, single-family</u> Proposed land use: <u>multifamily</u>
Current zoning district: <u>R-12</u> Proposed zoning district: <u>same</u>



Project Description

Project / subdivision name: TNT Estates
General description of proposed project / request: Pre-plot approval for 10 lots

Type of use proposed (check all that apply):
 Residential _____
 Commercial _____
 Office _____
 Industrial _____
 Other _____

Amenities provided with this development (if applicable): Private Parking

Residential Project Summary (if applicable)

Are there existing buildings? Yes No
Please describe the existing buildings: House & Barn

Any existing buildings to remain? Yes No
Number of residential units: 52 plus house Number of building lots: 10
Number of common and/or other lots: N/A

Type of dwellings proposed:
 Single-Family Existing house
 Townhouses _____
 Duplexes _____
 Multi-Family 13 buildings @ 4 units each
 Other _____

Minimum Square footage of structure (s): 3200
Gross density (DU/acre-total property): 11.4 Net density (DU/acre-excluding roads): 12
Percentage of open space provided: 4 Acreage of open space: _____
Type of open space provided (i.e. landscaping, public, common, etc.): _____

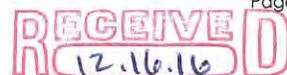
Non-Residential Project Summary (if applicable) N/A

Number of building lots: _____ Other lots: _____
Gross floor area square footage: _____ Existing (if applicable): _____
Hours of operation (days & hours): _____ Building height: _____
Total number of employees: _____ Max. number of employees at one time: _____
Number and ages of students/children: _____ Seating capacity: _____
Fencing type, size & location (proposed or existing to remain): _____

Proposed Parking: a. Handicapped spaces: _____ Dimensions: _____
b. Total Parking spaces: _____ Dimensions: _____
c. Width of driveway aisle: _____

Proposed Lighting: _____
Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): _____

Applicant's Signature: _____ Date: _____



A



CITY OF KUNA
P.O. BOX 13
KUNA, ID 83634
www.kunacity.id.gov

GORDON N. LAW
CITY ENGINEER

Telephone (208) 287-1727; Fax (208) 287-1731
Email: glaw@kunaid.gov

MEMORANDUM

TO: Director of Kuna Planning and Zoning

FROM: In Place of the Kuna City Engineer
Michael L. Borzick
GIS Manager

RE: TNT Estates Sub
North of Deer Flat Road and East of School Road
Subdivision PrePlat
16-04-S

DATE: February 14, 2017

The City Engineer has reviewed the request of the above applicant dated January 25, 2017. It is noted that specific development plans are not provided except those implied as allowed or permitted in a "R-12" zone. The recommendation of the City Engineer is to proceed with this Subdivision and address any issues and conditions raised below in connection with this application during plan review. Accordingly, the City Engineer provides the following comments:

1. Sanitary Sewer Needs

- a) The applicant's property is presently used as a single-family dwelling and some scattered agriculture, with a private sewer system and does not appear to require immediate City service depending on the location of the existing drain field in regards to proposed buildings, parking areas, watermains, etc. Depending on the location of the drain field or with additional development, it may require municipal sewer service. The City Engineer recommends ultimate connection to City facilities at such time as existing systems fail or in connection with this future development.
- b) Wastewater from the applicant's property has the future option of being treated at the North Treatment Plant which has sufficient capacity to serve this site. The nearest point of connection for the TNT Estates property is located near the southeast corner of said property within W Deer Flat Rd which sewer line discharges into the Danskin Lift Station. When connecting to the sewer system, the applicant will need to abide by any relevant sewer reimbursement policies and agreements and any relevant connection fees.
- c) The existing homestead appears to be served by its own septic tank and drain field. If the site system fails or the use of the property is changed or expanded beyond that proposed

in this application or facilities are extended within 300' of the dwelling, the City Engineer recommends applying a condition to connect to City facilities.

- d) The City Engineer requests that the septic tank and drain field be located on the site plan so lot lines, parking areas and buildings can be properly located within proximity of said drain field.
- e) Applicant must conform to City of Kuna Sewer Master Plan.
- f) For assistance in locating existing facilities and understanding issues associated with connection, please contact the City Engineer at 287-1727.

2. Potable Water Needs

- a) The applicant's property to be annexed is presently used as a single-family dwelling and agriculture purposes, has at least one (1) private water system and does not require immediate City service unless the private well is too close to the septic system. The City Engineer recommends connection to City facilities at the commencement of development because facilities are now within 300' of the dwelling.
- b) The nearest point of connection for the TNT Estates property is in an 8-inch water main along the frontage of W Deer Flat Rd. When connecting to the water system, the applicant will need to abide by any relevant water reimbursement policies and agreements and any relevant connection fees.
- c) Improvements necessary to provide adequate fire protection as required by Kuna Fire District will be required of the development.
- d) The City Engineer requests the current well be located on the site plan so lot lines, sewer facilities, parking areas and buildings can be properly located within the proximity of said well.
- e) Applicant must conform to City of Kuna Water Master Plan.
- f) For assistance in locating existing facilities, please contact the City Engineer at 287-1727.

3. Pressure Irrigation

- a) The property's irrigation needs are presently served from surface water rights delivered through local canals and from private wells and does not require immediate City service. The applicants' property will need to show how they can maintain surface water rights for proper irrigation or they will need to connect to the City's Pressurized Irrigation system so public potable water is not used for irrigation purposes. The City Engineer recommends ultimate connection to City facilities in connection with future development or when facilities are within 300' of the dwelling.
- b) The City Engineer suggests that connecting the residence to PI may be an advantage so that surface water drainage from the residence does not impact the development.
- c) The nearest point of connection for the TNT Estates property is directly adjacent and to the East in an 6-inch pressure irrigation main. When connecting to the pressure irrigation system, the applicant will need to abide by any relevant pressure irrigation reimbursement policies and agreements and any relevant connection fees.
- d) As a condition related to paragraph 3(a), connection to pressure irrigation shall constitute an automatic petition for inclusion in the municipal irrigation system and an agreement to the pooling of this property's water rights for delivery purposes.
- e) Applicant must conform to City of Kuna Irrigation Master Plan.
- f) For assistance in locating existing facilities, please contact the City Engineer at 287-1727.

4. Grading and Storm Drainage

The following is not required for annexation but will be required when alteration of surface features is proposed (such as grading or paving) in connection with future land use applications:

- a) Please provide a grading and drainage plan which supports and maintains all upstream drainage rights and all downstream irrigation delivery rights as they presently exist for this property.
- b) If impervious area is increased, please provide a storm water disposal plan acceptable to the City Engineer which accounts for the increased storm water drainage. Please provide detail drawings of drainage facilities for review. The city relies on the ACHD Storm water policy as guidance for design.
- c) Any increase in quantity or rate of runoff or decrease in quality of runoff from the site compared to historical conditions must be detained, treated and released at rates no greater than historical amounts.
- d) If offsite disposal of storm water in excess of historical rates or conditions is proposed, or disposed at locations different than provided historically, the approval of the affected entities is required.

5. General

- a) With the addition of this property into the corporate limits of Kuna and its potential connection to both potable water and irrigation services, this property will be placing demand not only on constructed facilities but on water rights provided by others. It is the reasonable expectation, in return, that this property transfer to the City at time of connection (ie development) any conveyable water rights by deed and “Change of Ownership” form from IDWR that are presently associated with the property. The domestic water right associated solely with a residence and ½ acre or less is not conveyable. The water right held in trust by an irrigation district is also not conveyable.
- b) A plan approval letter will be required if this project affects any local irrigation districts.
- c) Verify that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties.
- d) State the vertical datum used for elevations on all drawings.
- e) Provide a viable solution for the existing home’s location in the proposed widened right-of-way of W Deer Flat Road.
- f) Provide engineering certification on all final engineering drawings.
- g) The applicant proposes creating an out parcel for the existing building (dwelling). The City Engineer recommends against creating an out-parcel in this instance because it creates the most obstacles to re-developing the site later. The City recommends accommodating the applicant’s desire to maintain the existing use temporarily until in the natural course of phasing the project, the sewer and PI are extended within 300’ of the dwelling.

6. Inspection Fees

An inspection fee will be required for City inspection of the construction of any **public** water, sewer and irrigation facility associated with this development. The developer will still require a qualified responsible engineer to do sufficient inspection to justly certify to

DEQ the project was completed in accordance with approved plans and specifications and to provide accurate as-built drawings to the City. The developer's engineer and the City's inspector are permitted to coordinate inspections as much as possible. The current inspection fee is \$1.00 per lineal foot of sewer, water and pressure irrigation pipe and payment is due and payable prior to City's approval of final construction plans.

7. Right-of-Way

The subject property fronts on existing section line arterial street (Deer Flat Road). The following conditions are related to these classified streets and future quarter line classified streets and apply at the time of additional development:

- a) Sufficient half right-of-way on the quarter line and section line for existing and future classified streets should be provided pursuant to City and ACHD standards. The City Engineer recommends right-of-way at full width is provided across the entire Deer Flat frontage, including proposed out-parcel.
- b) It is recommended new and existing approaches onto the classified streets comply with ACHD approach policies.
- c) It is recommended sidewalk, curb and gutter, street widening and any related storm drainage facilities, consistent with city code and policies, are provided at the time of land-use change or re-development.
- d) It is recommended that ACHD comment on the existing building's encroachment into the proposed Public right-of-way.

8. As-Built Drawings

As-built drawings are required at the conclusion of any public facility construction project and are the responsibility of the developer's engineer. The city may help track changes, but will not be responsible for the finished product. As-built drawings will be required before occupancy or final plat approval is granted.

9. Property Description

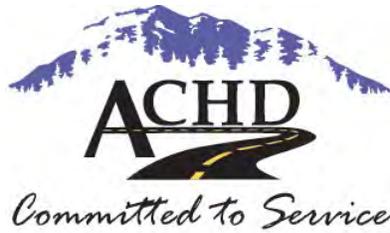
- a) The applicant provided a metes and bounds property description of the subject parcel.

We look forward to working with you on this project. If we may be of further assistance, feel free to contact me at 287-1727.

Sincerely,

Gordon N Law

Gordon N Law
City Engineer



Paul Woods, President
Rebecca W. Arnold, Vice President
Sara M. Baker, Commissioner
Kent Goldthorpe, Commissioner
Jim Hansen, Commissioner

Date: March 8, 2017

(Via email)

To: Greg Bullock
514 Bayhill Drive
Nampa, ID 83686

Subject: TNT Estates/ KPP17-0001/ 16-04-S
550 W Deer Flat Road

On March 8, 2017, the Ada County Highway District Commission acted on your application for the above referenced project. The attached report lists site-specific requirements, conditions of approval and street improvements, which are required.

If you have any questions, please feel free to contact me at (208) 387-6171.

Sincerely,

Stacey Yarrington
Planner III
Development Services
Ada County Highway District

CC: Project file
City of Kuna (via email)
All Terra Consulting (via email)
Scott Stanfield (via email)

6. **Impact Fees:** There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time.
7. **Capital Improvements Plan (CIP)/ Integrated Five Year Work Plan (IFYWP):**
 - The intersection of Linder Road and Deer Flat Road is scheduled in the IFYWP to be widened to 5-lanes on the north leg, 4-lanes on the south, 5-lanes east, and 5-lanes on the west leg, and reconstructed/signalized in 2020.
 - Deer Flat Road is listed in the CIP to be widened to 5-lanes from Linder Road to SH-69/ Meridian Road between 2026 and 2030.
 - The intersection of Deer Flat Road and SH-69/ Meridian Road is listed in the CIP to be widened to 6-lanes on the north leg, 6-lanes on the south, 6-lanes east, and 6-lanes on the west leg, and signalized between 2031 and 2035.

B. Traffic Findings for Consideration

1. **Trip Generation:** This development is estimated to generate 346 additional vehicle trips per day (10 existing); 32 additional vehicle trips per hour in the PM peak hour (1 existing), based on the Institute of Transportation Engineers Trip Generation Manual, 9th edition.
2. **Condition of Area Roadways**
Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service	Existing Plus Project
**SH-69/ Meridian Road	0-feet	Principal Arterial	511	Better than "E"	Better than "E"
Deer Flat Road	635-feet	Minor Arterial	464	Better than "E"	Better than "E"
Linder Road	0-feet	Minor Arterial	283	Better than "E"	Better than "E"

* Acceptable level of service for a three-lane minor arterial is "E" (720 VPH)

** ACHD does not set level of service thresholds for State Highways.

3. **Average Daily Traffic Count (VDT)**
Average daily traffic counts are based on ACHD's most current traffic counts.

- The average daily traffic count for SH 69/ Meridian Road south of Deer Flat Road was 9,549 on 7/20/2016.
- The average daily traffic count for Deer Flat Road east of School Avenue was 7,065 on 1/20/2016.
- The average daily traffic count for Linder Road north of Deer Flat Road was 4,548 on 7/31/2014.

C. Findings for Consideration

1. **Deer Flat Road**
 - a. **Existing Conditions:** Deer Flat Road is improved with 3-travel lanes, and no curb, gutter or sidewalk abutting the site. There is 70-feet of right-of-way for Deer Flat Road (25-feet from centerline).

b. Policy:

Arterial Roadway Policy: District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Master Street Map and Typology Policy: District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map and Livable Streets Design Guide. The developer or engineer should contact the District before starting any design.

Street Section and Right-of-Way Width Policy: District Policies 7205.2.1 & 7205.5.2 state that the standard 5-lane street section shall be 72-feet (back-of-curb to back-of-curb) within 96-feet of right-of-way. This width typically accommodates two travel lanes in each direction, a continuous center left-turn lane, and bike lanes on a minor arterial and a safety shoulder on a principal arterial.

Right-of-Way Dedication: District Policy 7205.2 states that The District will provide compensation for additional right-of-way dedicated beyond the existing right-of-way along arterials listed as impact fee eligible in the adopted Capital Improvements Plan using available impact fee revenue in the Impact Fee Service Area.

No compensation will be provided for right-of-way on an arterial that is not listed as impact fee eligible in the Capital Improvements Plan.

The District may acquire additional right-of-way beyond the site-related needs to preserve a corridor for future capacity improvements, as provided in Section 7300.

Sidewalk Policy: District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all arterial streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. This segment of Deer Flat Road is designated in the MSM as a Residential Arterial with 5-lanes and on-street bike lanes, a 71-foot street section within 97-feet of right-of-way.

c. Applicant Proposal: The applicant is proposing to dedicate 23-feet of right-of-way from centerline of Deer Flat Road abutting the site.

d. Staff Comments/Recommendations: The applicant's proposal to dedicate 23-feet of additional right-of-way to total 48-feet of right-of-way along Deer Flat Road abutting the site meets District policy and should be approved, as proposed.

There is an existing house currently located on the site and shown on the preliminary plat as 'not a part'. As the existing house is being divided from the existing parcel, it is still part of the subdivision process. Therefore, staff recommends that because the existing house will encroach into the future right-of-way, approximately 9 feet, the applicant should enter into a

license agreement with ACHD for that portion of the building to remain in the right-of-way to be dedicated until such time as Deer Flat Road is widened; requiring the building or a portion of the building to be removed at the owner's expense.

The applicant should be required to construct 5-foot wide detached sidewalk along Deer Flat Road from the west property line of Lot 6 east to tie into the existing improvements to the east. The sidewalk should be located a minimum of 42-feet from centerline of Deer Flat Road abutting the site. The applicant should be required to provide a road trust for the future construction of sidewalk along the 'not a part' parcel, that is currently encumbered by the existing house. Staff is recommending the road trust because the rental contract is expected to expire in December 2019, and it is anticipated that this lot will redevelop within the next 10 years. The amount of the road trust is \$2,500.00.

A permanent right-of-way easement should be required for any public sidewalk located outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk.

2. Driveways

Deer Flat Road

a. **Existing Conditions:** There is an existing unimproved residential driveway onto Deer Flat Road from the site.

b. **Policy**

Access Points Policy: District Policy 7205.4.1 states that all access points associated with development applications shall be determined in accordance with the policies in this section and Section 7202. Access points shall be reviewed only for a development application that is being considered by the lead land use agency. Approved access points may be relocated and/or restricted in the future if the land use intensifies, changes, or the property redevelops.

Access Policy: District policy 7205.4.6 states that direct access to minor arterials is typically prohibited. If a property has frontage on more than one street, access shall be taken from the street having the lesser functional classification. If it is necessary to take access to the higher classified street due to a lack of frontage, the minimum allowable spacing shall be based on Table 1a under District policy 7205.4.6, unless a waiver for the access point has been approved by the District Commission.

Successive Driveways: District policy 7205.4.6 Table 1a, requires driveways located on minor arterial roadways with a speed limit of 35 MPH to align or offset a minimum of 355-feet from any existing or proposed driveway.

Driveway Width Policy: District policy 7205.4.8 restricts high-volume driveways (100 VTD or more) to a maximum width of 36-feet and low-volume driveways (less than 100 VTD) to a maximum width of 30-feet. Curb return type driveways with 30-foot radii will be required for high-volume driveways with 100 VTD or more. Curb return type driveways with 15-foot radii will be required for low-volume driveways with less than 100 VTD.

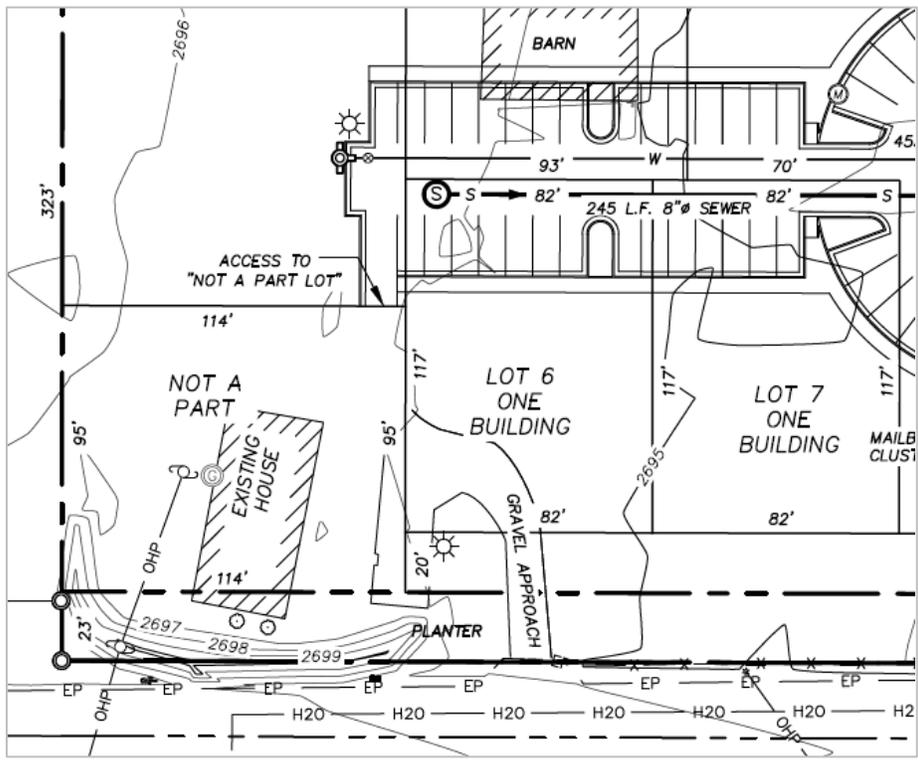
Driveway Paving Policy: Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7205.4.8, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway and install pavement tapers in accordance with Table 2 under District Policy 7205.4.8.

Cross Access Easements/Shared Access Policy: District Policy 7202.4.1 states that cross access utilizes a single vehicular connection that serves two or more adjoining lots or parcels so that the driver does not need to re-enter the public street system.

- c. **Applicant's Proposal:** The applicant is proposing to construct a 25-foot wide driveway, located approximately 454-feet west of Deerhorn Avenue and 275-feet east of Andrew Avenue, onto Deer Flat Road from the site.
- d. **Staff Comments/Recommendations:** The applicant's proposal does not meet District Successive Driveway and Driveway Location policies because it does not meet the separation distance between Andrew Avenue and the proposed driveway. However, staff recommends a modification of policy to allow the driveway, as a temporary full-access driveway, to be located as proposed due to the fact that there is insufficient frontage to meet the separation distance (because the existing house is not being demolished at this time); and the site does not have access to a lesser street. This is a 22% modification to the dimensional standard for a full-access driveway and is approved at the Development Services Manager's authority.

The applicant should be required to pave the driveway its entire width and at least 30 feet into the site beyond the edge of pavement of the roadway and install pavement tapers with a minimum 15-foot radii.

As stated above in Section 1.d., the existing house that is shown as 'not a part' currently takes access from the unimproved driveway onto Deer Flat Road. The existing driveway is shown on the preliminary plat to cross into Lot 6. Therefore, the applicant should be required to close the existing unimproved driveway, located approximately 615-feet west of Deerhorn Avenue onto Deer Flat Road from the site with 5-foot wide detached sidewalk as stipulated in the above section; and the existing home should take access from within the development, as shown.



3. Parking

The applicant is proposing 84 on-site parking stalls for the site. The recommended number of parking spaces based on the Institute of Transportation Engineers Parking Generation, 4th Edition, is 101. No parking is allowed on Deer Flat Road. The applicant and the City of Kuna should verify that there is adequate on-site parking for the proposed use.

4. Tree Planters

Tree Planter Policy: Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

5. Landscaping

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

6. Other Access

Deer Flat Road is classified as a minor arterial roadway. Other than the access specifically approved with this application, direct lot access is prohibited to this roadway and should be noted on the final plat.

D. Site Specific Conditions of Approval

1. Dedicate 23-feet of additional right-of-way from centerline to total 48-feet of right-of-way along Deer Flat Road abutting the site.
2. Enter into a license agreement with ACHD for that portion of building to remain in the right-of-way (approximately 9-feet) to be dedicated until such time as Deer Flat Road is further improved; requiring a portion of the building to be removed at the owner's expense.
3. Construct 5-foot wide detached sidewalk, located minimum 42-feet from centerline along Deer Flat Road, from the west property line of Lot 6 (includes existing unimproved driveway), east to tie into the existing improvements east of the site.
4. Provide a road trust in the amount of \$2,500.00 for the future construction of sidewalk along the 'not a part' parcel, that is currently encumbered by the existing house.
5. Provide a permanent right-of-way easement for any public sidewalk placed outside of the dedicated right-of-way.
6. Construct a temporary full access 25-foot wide driveway, located approximately 454-feet west of Deerhorn Avenue and 275-feet east of Andrew Avenue, onto Deer Flat Road from the site.
7. Pave the driveway its entire width and at least 30 feet into the site beyond the edge of pavement of the roadway and install pavement tapers with a minimum 15-foot radii.
8. Other than the access specifically approved with this application, direct lot access is prohibited to Deer Flat Road and should be noted on the final plat.
9. Payment of impacts fees are due prior to issuance of a building permit.
10. Comply with all Standard Conditions of Approval.

E. Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).

2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

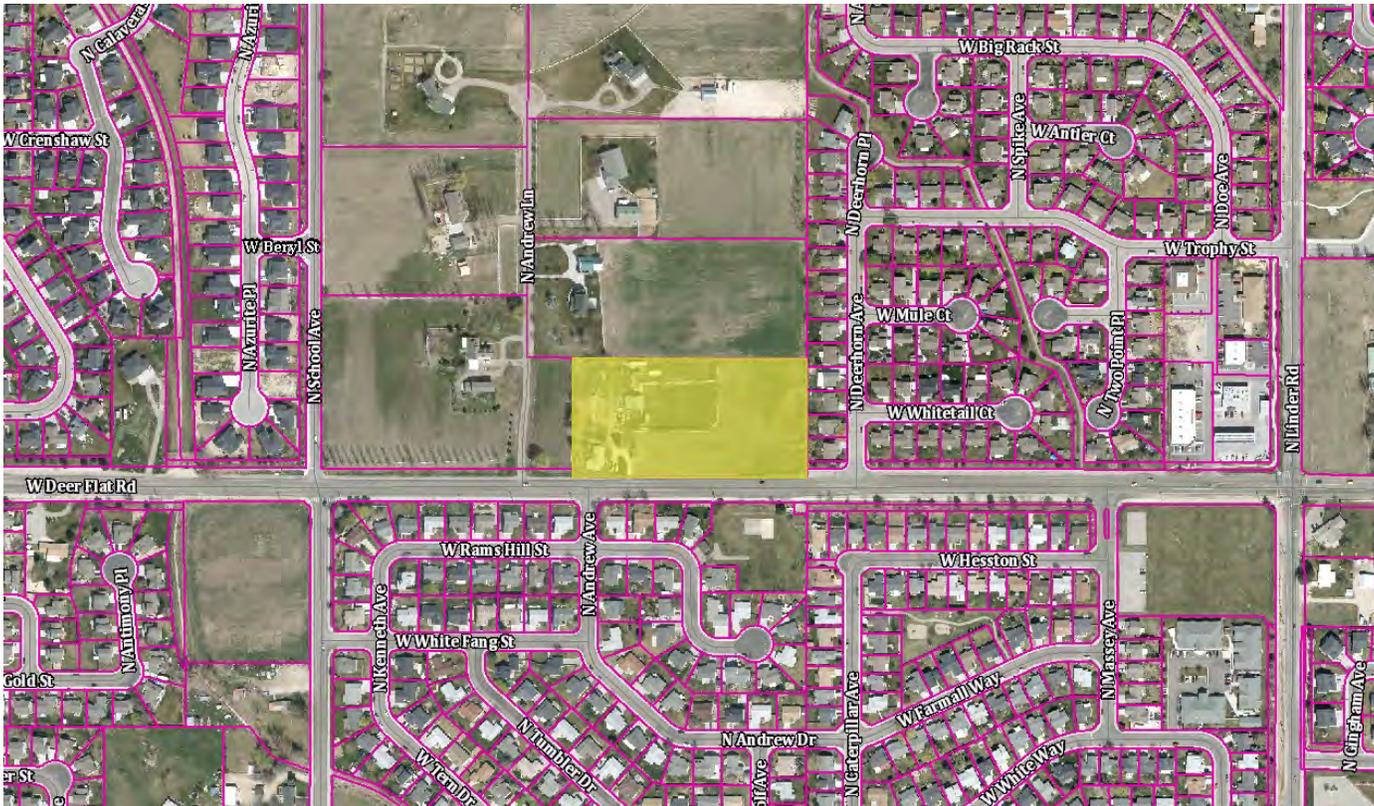
F. Conclusions of Law

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

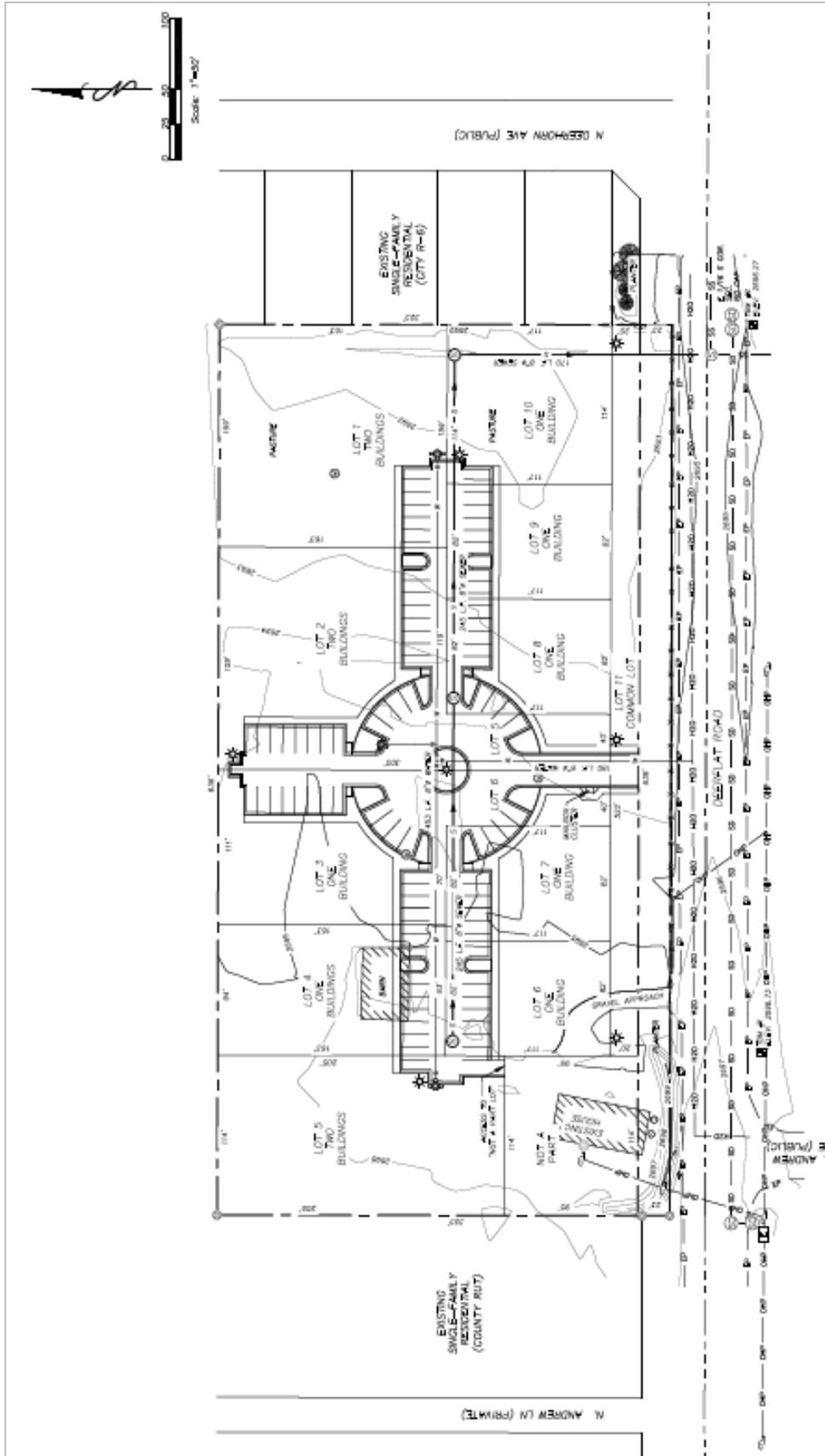
G. Attachments

1. Vicinity Map
2. Site Plan
3. Utility Coordinating Council
4. Development Process Checklist
5. Request for Reconsideration Guidelines

VICINITY MAP



SITE PLAN



Ada County Utility Coordinating Council

Developer/Local Improvement District Right of Way Improvements Guideline Request

Purpose: To develop the necessary avenue for proper notification to utilities of local highway and road improvements, to help the utilities in budgeting and to clarify the already existing process.

- 1) **Notification:** Within five (5) working days upon notification of required right of way improvements by Highway entities, developers shall provide written notification to the affected utility owners and the Ada County Utility Coordinating Council (UCC). Notification shall include but not be limited to, project limits, scope of roadway improvements/project, anticipated construction dates, and any portions critical to the right of way improvements and coordination of utilities.
- 2) **Plan Review:** The developer shall provide the highway entities and all utility owners with preliminary project plans and schedule a plan review conference. Depending on the scale of utility improvements, a plan review conference may not be necessary, as determined by the utility owners. Conference notification shall also be sent to the UCC. During the review meeting the developer shall notify utilities of the status of right of way/easement acquisition necessary for their project. At the plan review conference each company shall have the right to appeal, adjust and/or negotiate with the developer on its own behalf. Each utility shall provide the developer with a letter of review indicating the costs and time required for relocation of its facilities. Said letter of review is to be provided within thirty calendar days after the date of the plan review conference.
- 3) **Revisions:** The developer is responsible to provide utilities with any revisions to preliminary plans. Utilities may request an updated plan review meeting if revisions are made in the preliminary plans which affect the utility relocation requirements. Utilities shall have thirty days after receiving the revisions to review and comment thereon.
- 4) **Final Notification:** The developer will provide highway entities, utility owners and the UCC with final notification of its intent to proceed with right of way improvements and include the anticipated date work will commence. This notification shall indicate that the work to be performed shall be pursuant to final approved plans by the highway entity. The developer shall schedule a preconstruction meeting prior to right of way improvements. Utility relocation activity shall be completed within the times established during the preconstruction meeting, unless otherwise agreed upon.

Notification to the Ada County UCC can be sent to: 50 S. Cole Rd. Boise 83707, or Visit iducc.com for e-mail notification information.

Development Process Checklist

Items Completed to Date:

- Submit a development application to a City or to Ada County
- The City or the County will transmit the development application to ACHD
- The ACHD **Planning Review Section** will receive the development application to review
- The **Planning Review Section** will do one of the following:
 - Send a “**No Review**” letter to the applicant stating that there are no site specific conditions of approval at this time.
 - Write a **Staff Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.
 - Write a **Commission Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.

Items to be completed by Applicant:

- For **ALL** development applications, including those receiving a “**No Review**” letter:
 - The applicant should submit one set of engineered plans directly to ACHD for review by the **Development Review Section** for plan review and assessment of impact fees. (Note: if there are no site improvements required by ACHD, then architectural plans may be submitted for purposes of impact fee assessment.)
 - The applicant is required to get a permit from Construction Services (ACHD) for ANY work in the right-of-way, including, but not limited to, driveway approaches, street improvements and utility cuts.
- Pay Impact Fees prior to issuance of building permit. Impact fees cannot be paid prior to plan review approval.

DID YOU REMEMBER:

Construction (Non-Subdivisions)

Driveway or Property Approach(s)

- Submit a “Driveway Approach Request” form to ACHD Construction (for approval by Development Services & Traffic Services). There is a one week turnaround for this approval.

Working in the ACHD Right-of-Way

- Four business days prior to starting work have a bonded contractor submit a “Temporary Highway Use Permit Application” to ACHD Construction – Permits along with:
 - a) Traffic Control Plan
 - b) An Erosion & Sediment Control Narrative & Plat, done by a Certified Plan Designer, if trench is >50’ or you are placing >600 sf of concrete or asphalt.

Construction (Subdivisions)

Sediment & Erosion Submittal

- At least one week prior to setting up a Pre-Construction Meeting an Erosion & Sediment Control Narrative & Plan, done by a Certified Plan Designer, must be turned into ACHD Construction to be reviewed and approved by the ACHD Stormwater Section.

Idaho Power Company

- Vic Steelman at Idaho Power must have his IPCO approved set of subdivision utility plans prior to Pre-Con being scheduled.

- Final Approval from Development Services is required** prior to scheduling a Pre-Con.

Request for Reconsideration of Commission Action

1. **Request for Reconsideration of Commission Action:** A Commissioner, a member of ACHD staff or any other person objecting to any final action taken by the Commission may request reconsideration of that action, provided the request is not for a reconsideration of an action previously requested to be reconsidered, an action whose provisions have been partly and materially carried out, or an action that has created a contractual relationship with third parties.

- a. Only a Commission member who voted with the prevailing side can move for reconsideration, but the motion may be seconded by any Commissioner and is voted on by all Commissioners present.

If a motion to reconsider is made and seconded it is subject to a motion to postpone to a certain time.

- b. The request must be in writing and delivered to the Secretary of the Highway District no later than 3:00 p.m. on the day prior to the Commission's next scheduled regular meeting following the meeting at which the action to be reconsidered was taken. Upon receipt of the request, the Secretary shall cause the same to be placed on the agenda for that next scheduled regular Commission meeting.
- c. The request for reconsideration must be supported by written documentation setting forth new facts and information not presented at the earlier meeting, or a changed situation that has developed since the taking of the earlier vote, or information establishing an error of fact or law in the earlier action. The request may also be supported by oral testimony at the meeting.
- d. If a motion to reconsider passes, the effect is the original matter is in the exact position it occupied the moment before it was voted on originally. It will normally be returned to ACHD staff for further review. The Commission may set the date of the meeting at which the matter is to be returned. The Commission shall only take action on the original matter at a meeting where the agenda notice so provides.
- e. At the meeting where the original matter is again on the agenda for Commission action, interested persons and ACHD staff may present such written and oral testimony as the President of the Commission determines to be appropriate, and the Commission may take any action the majority of the Commission deems advisable.
- f. If a motion to reconsider passes, the applicant may be charged a reasonable fee, to cover administrative costs, as established by the Commission.

BRIAN McDEVITT
CHAIRMAN OF THE BOARD

RICHARD DURRANT
VICE CHAIRMAN OF THE BOARD

TIMOTHY M. PAGE
PROJECT MANAGER

ROBERT D. CARTER
ASSISTANT PROJECT MANAGER

APRYL GARDNER
SECRETARY-TREASURER

JERRI FLOYD
ASSISTANT SECRETARY-
TREASURER
City of Kuna
P.O. Box 13
Kuna, Idaho 83634

BOISE PROJECT BOARD OF CONTROL

(FORMERLY BOISE U.S. RECLAMATION PROJECT)

2465 OVERLAND ROAD
BOISE, IDAHO 83705-3155

OPERATING AGENCY FOR 167,000
ACRES FOR THE FOLLOWING
IRRIGATION DISTRICTS

NAMPA-MERIDIAN DISTRICT
BOISE-KUNA DISTRICT
WILDER DISTRICT
NEW YORK DISTRICT
BIG BEND DISTRICT

24 February 2017

TEL: (208) 344-1141
FAX: (208) 344-1437

RE: Jaylen Walker- TNT Estates **16-04-S**
550 W. Deer Flat Rd.
Boise-Kuna Irrigation District **BK-279A**
Teed Lateral 182+00 Rot.
Sec. 14, T2N, R1W, BM.

Troy Behunin:

There are no Project facilities located on the above-mentioned property; however it does in fact possess a valid water right.

Local irrigation/drainage ditches that cross this property, in order to serve neighboring properties, must remain unobstructed and protected by an appropriate easement.

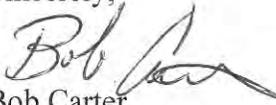
This development is subject to Idaho Code 31-3805, in accordance, this office is requesting a copy of the irrigation and drainage plans.

If the irrigation system will be incorporated into the City of Kuna's pressure system, we will require confirmation from both the City of Kuna and the Boise-Kuna Irrigation District.

Whereas this property lies within the Boise-Kuna Irrigation District it is important that representatives of this development contact the BKID office as soon as possible to discuss the assessment of the newly formed lots associated with the development of this property.

If you have any further questions or comments regarding this matter, please do not hesitate to contact me at (208) 344-1141.

Sincerely,



Bob Carter
Assistant Project Manager- BPBC
bdc/bc

cc: Clint McCormick Watermaster, Div; 2 BPBC
Lauren Boehlke Secretary – Treasurer, BKID
File



CENTRAL DISTRICT HEALTH DEPARTMENT
Environmental Health Division

Return to:

- ACZ
Boise
Eagle
Garden City
Kuna
Meridian
Star

Rezone #

Conditional Use #

Preliminary / Final / Short Plat 16-04 S

(Bullock) TNT Estates

RECEIVED 2-8-17

- 1. We have No Objections to this Proposal.
2. We recommend Denial of this Proposal.
3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
4. We will require more data concerning soil conditions on this Proposal before we can comment.
5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
8. After written approval from appropriate entities are submitted, we can approve this proposal for:
9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
12. We will require plans be submitted for a plan review for any:
13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDHD.

14. _____

Reviewed By:

[Signature]

Date: 2/3/17

RECEIVED

FEB 08 2017

CITY OF KUNA

Communities in Motion 2040 Development Checklist

The Community Planning Association of Southwest Idaho (COMPASS) is the metropolitan planning organization (MPO) for Ada and Canyon Counties. COMPASS has developed this checklist as a tool for local governments to evaluate whether land developments are consistent with the goals of *Communities in Motion 2040* (CIM 2040), the regional long-range transportation plan for Ada and Canyon Counties. CIM 2040 was developed through a collaborative approach with COMPASS member agencies and adopted by the COMPASS Board on **July 21, 2014**.



 LFN WR HQ\DUJH PDS

This checklist is not intended to be prescriptive, but rather a guidance document based on CIM 2040 goals, objectives, and performance measures. A checklist user guide is available [here](#); and more information about the CIM 2040 goals can be found [here](#); and information on the CIM 2040 Vision can be found [here](#).

Name of Development: TNT Estates

Summary: 52 residential unit multi-family northwest of the intersection of Deer Flat Road and Linder Road. Ardel Estates, with 261 residential units, has also been proposed for this Neighborhood. The proposal meets 10 CIM checklist items and does not meet 12 items. Consider sidewalk improvements along Deer Flat to connect with existing infrastructure directly adjacent to the east. Additionally, Summitview Park is directly across Deer Flat Road, however there is no safe crossing at this location.

Land Use

In which of the [CIM 2040 Vision Areas](#) is the proposed development? (Goal 2.1)?

- Downtown Employment Center Existing Neighborhood Foothills
 Future Neighborhood Mixed Use Prime Farmland Rural
 Small Town Transit Oriented Development

Yes No N/A The proposal is within a CIM 2040 Major Activity Center. (Goal 2.3)

Neighborhood (Transportation Analysis Zone) Demographics

Existing		Existing TAZ + Proposal		2040 Forecast	
Households	Jobs	Households	Jobs	Households	Jobs
167	136	480	136	765	176

Yes No N/A The number of jobs and/or households in this development is consistent with jobs/households in the CIM 2040 Vision in this neighborhood. (Goal 2.1)

Area (Adjacent Transportation Analysis Zone) Demographics

Existing		Existing TAZs + Net Proposed		2040 Forecast	
Households	Jobs	Households	Jobs	Households	Jobs
1,636	396	2,147	436	2,918	753

Yes No N/A The number of jobs and/or households in this development is consistent with jobs/households in the CIM 2040 Vision in this area. (Goal 2.1)



More information on COMPASS and *Communities in Motion 2040* can be found at:
www.compassidaho.org
 Email: info@compassidaho.org
 Telephone: (208) 475-2239



Communities in Motion 2040 Development Checklist

Transportation

- Attached N/A An Area of Influence Travel Demand Model Run is attached.
- Yes No N/A There are relevant projects in the current Regional [Transportation Improvement Projects](#) (TIP) within one mile of the development.
- Comments: In FY2020, plans to improve the intersection at Linder and Deer Flat. Adding curb, gutter, bike lanes.
- Yes No N/A The proposal uses appropriate access management techniques as described in the [COMPASS Access Management Toolkit](#).
- Comments: The proposal uses a single-access point to Deer Flat Road. Coordinate access location with ACHD.
- Yes No N/A This proposal supports Valley Regional Transit's [valleyconnect](#) plan. See [Valley Regional Transit Amenities Development Guidelines](#) for additional detail.
- Comments: The proposal meets transit density (7 DU/acre) but is not on an existing transit route. Future demand

response services are proposed for the area.
The **Complete Streets Level of Service (LOS)** scoring based on the proposed development will be provided on an separate worksheet (**Goals [1.1](#), [1.2](#), [1.3](#), [1.4](#), [2.4](#)**):

- Attached N/A Complete Streets LOS scorecard is attached.
- Yes No N/A The proposal maintains or improves current automobile LOS.
- Yes No N/A The proposal maintains or improves current bicycle LOS.
- Yes No N/A The proposal maintains or improves current pedestrian LOS.
- Yes No N/A The proposal maintains or improves current transit LOS.
- Yes No N/A The proposal is in an area with a [Walkscore](#) over 50.

Housing

- Yes No N/A The proposal adds [compact housing](#) over seven residential units per acre. (**Goal [2.3](#)**)
- Yes No N/A The proposal is a mixed-use development or in a mixed-use area. (**Goal [3.1](#)**)
- Yes No N/A The proposal is in an area with lower transportation costs than the [regional average](#) of 26% of the median household income. (**Goal [3.1](#)**)
- Yes No N/A The proposal improves the jobs-housing balance by providing housing in employment-rich areas. (**Goal [3.1](#)**)

Community Infrastructure

- Yes No N/A The proposal is infill development. (**Goals [4.1](#), [4.2](#)**)
- Yes No N/A The proposal is within or adjacent to city limits. (**Goals [4.1](#), [4.2](#)**)
- Yes No N/A The proposal is within a city area of impact. (**Goals [4.1](#), [4.2](#)**)

Health

- Yes No N/A The proposal is within 1/4 mile of a transit stop. (**Goal [5.1](#)**)
- Yes No N/A The proposal is within 1/4 mile of a public school. (**Goal [5.1](#)**)
- Yes No N/A The proposal is within 1/4 mile of a grocery store. (**Goal [5.1](#)**)
- Yes No N/A The proposal is within 1 mile of a park and ride location. (**Goal [5.1](#)**)

Economic Development

- Yes No N/A The proposal improves the jobs-housing balance by providing employment in housing-rich areas. (**Goal [3.1](#)**)
- Yes No N/A The proposal provides grocery stores or other retail options for neighborhoods within 1/2 mile. (**Goal [6.1](#)**)

Open Space

- Yes No N/A The proposal is within a 1/4 mile of a public park. (**Goal [7.1](#)**)
- Yes No N/A The proposal provides at least 1 acre of parks for every 35 housing units. (**Goal [7.1](#)**)

Farmland

- Yes No N/A The proposal is outside "Prime Farmland" in the CIM 2040 Vision. (**Goals [4.1](#), [8.2](#)**)
- Yes No N/A The proposal is outside prime farmland. (**Goal [8.2](#)**)

Communities in Motion 2040 Complete Streets Scorecard

The purpose of this checklist is to provide a tool for local governments to evaluate whether land developments are in accordance with the goals of *Communities in Motion 2040* (CIM 2040). Complete Streets Level of Service (LOS) refers to the multimodal (automobile, bicycle, pedestrian, and transit) experience and grades a roadway (A-F) for each mode. COMPASS conducts Complete Streets Level of Service (CSLOS) analysis for developments on arterial roads.



	Mode	Existing	With bicycle lane and sidewalk 
		Link LOS	Link LOS 
Deer Flat Road Deerhorn Road to School Avenue 	Transit	F	F
	Bike	B	A
	Ped	C	A
Highway Capacity Manual 2010 Methodologies			

Walkscore: 35 Car-Dependent. Walkscore is a walkability index that assigns a numerical walkability on a scale from 0 - 100 based on walking routes to destinations such as grocery stores, schools, parks, restaurants, and retail. Scores of 50 or higher are considered at least "Somewhat Walkable" while scores less than 50 are "Car-Dependent."

Additional Comments:

The *Ada County Highway District Livable Street Design Guide* indicates that this section of Deer Flat Road is classified as a Residential Arterial with bicycle lanes and detached sidewalks. The bicycle lane would improve Bicycle LOS from "B" to "A" and the detached sidewalk would improve Pedestrian LOS from LOS "C" to LOS "A."

More information on
COMPASS and
*Communities in Motion
2040* can be found at:



www.compassidaho.org



Troy Behunin

From: Chad Gordon <chad.gordon@jmsanitation.com>
Sent: Thursday, January 26, 2017 12:44 PM
To: Troy Behunin
Subject: Re: TNT Pre Plat Application

Categories: Agency Comments

Troy,

I do not see any proposed trash enclosures on this. I see a need for 3 enclosures to satisfy the solid waste needs. I am also curious of the measurements of the center roundabout it looks as if this could be a tight turning radius for our truck limiting our movement in the complex.

Thanks,

On Thu, Jan 26, 2017 at 11:49 AM, Troy Behunin <tbehunin@kunaid.gov> wrote:

Good morning everyone,

Please review the PDF attached with this email for a proposed preliminary plan in Kuna. Please send relevant project comments back to our office and we will include them with our staff report for our Commission and Council. This is scheduled for a public hearing with our P & Z Commission on February 28, 2017.

If your agency needs additional time for review or to return comments, please notify our office ASAP so we can properly plan for our public hearing.

Please confirm receipt of this email. If you have questions, please let us know.

Thank you very much,

Troy

Troy Behunin
Planner III
City of Kuna
751 W. 4th Street
Kuna, ID 83634

TBehunin@Kunald.Gov

Troy Behunin

From: Brenda Saxton <bsaxton@kunaschools.org>
Sent: Monday, January 30, 2017 3:51 PM
To: Troy Behunin
Subject: Re: TNT Pre Plat Application

Categories: Agency Comments

Hi Troy,

This new sub will be in the walk zone for all school levels.

Thank you,
Brenda Saxton

On Fri, Jan 27, 2017 at 9:15 AM, Troy Behunin <tbehunin@kunaid.gov> wrote:

Good morning everyone,

Please review the PDF attached with this email for a proposed preliminary plat in Kuna. Please send relevant project comments back to our office and we will include them with our staff report for our Commission and Council. This is scheduled for a public hearing with our P & Z Commission on February 28, 2017.

If your agency needs additional time for review or to return comments, please notify our office ASAP so we can properly plan for our public hearing.

Please confirm receipt of this email. If you have questions, please let us know.

Thank you very much,

Troy

Troy Behunin
Planner III
City of Kuna
751 W. 4th Street
Kuna, ID 83634

TBehunin@Kunald.Gov



Neighborhood Meeting Certification

CITY OF KUNA PLANNING & ZONING * 763 W. Avalon, Kuna, Idaho, 83634 * www.kunacity.id.gov * (208) 922-5274 * Fax: (208) 922-5989

GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 8-7A-3 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.

Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.

Description of proposed project: Preliminary Final Plat Map
 Date and time of neighborhood meeting: 10/14/16 6:00 PM
 Location of neighborhood meeting: 1537 LINDER RD. KUNA, ID. 83634

SITE INFORMATION:

Location: Quarter: SW/SE Section: 14 Township: 2N Range: 1W Total Acres: 4.72
 Subdivision Name: KING ESTATES Lot: 10 Block: 1
 Site Address: 550 W. DEER FLAT Tax Parcel Number(s): 51314438920
KUNA ID 83634

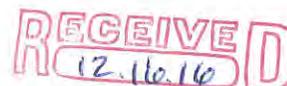
Please make sure to include **all** parcels & addresses included in your proposed use.

CURRENT PROPERTY OWNER:

Name: TROST Family Living Trust
 Address: 30540 SABIN RD. City: PARMA State: ID Zip: 83660

CONTACT PERSON (Mail recipient and person to call with questions):

Name: GREG BULLOCK Business (if applicable): _____
 Address: 504 BAYHILL DR City: NAMPA State: ID Zip: 83686



Oct. 5, 2016

Dear property owner,

On Friday Oct. 14, 2016 from 6:00 to 6:30PM there will be a neighborhood meeting located at Stubbs Realty Office 1537 Linder Rd. Kuna Id. 83634.

The purpose of this meeting is to discuss the preliminary plat map for the King Estates medium density project located at 550 W. Deer Flat Rd. Kuna. This project was recently approved for annexation, rezone, and an amended comprehensive map plan change by the Kuna City Council.

You will be asked to sign a sign in sheet to show your attendance and have opportunity to ask questions regarding the layout of the project.

Sincerely,

A handwritten signature in black ink, appearing to read "Greg Bullock", written over a large, stylized, light-colored scribble or watermark.

Greg Bullock

Representative for the Applicant

RECEIVED
12-16-16



Neighborhood Meeting List Request

CITY OF KUNA PLANNING & ZONING, 763 West Avalon, Kuna, Idaho 83634 * www.cityofkuna.com * (208) 922-5274 * Fax: (208) 922-5989

GENERAL INFORMATION:

If you are applying for one of the uses listed below, you must conduct a Neighborhood Meeting. This meeting allows neighbors to learn more about your project before the public hearing (Kuna Planning & Zoning will notify surrounding property owners of the hearing). All involved property owners within *300 feet of the subject property boundary need to be invited to your meeting.

According to Kuna City Code, the meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 6 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend.

Please fill out the supplied certification form and include it with your application so we have written record of your meeting. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

*PLEASE NOTE: A \$20.00 FEE IS REQUIRED FOR THIS SERVICE (CITY OF KUNA PROVIDES MAILING LABELS)

PROPOSED USE:

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

<u>APPLICATION TYPE</u>	<u>BRIEF DESCRIPTION</u>
<input checked="" type="checkbox"/> Subdivision (Sketch Plat and/or Prelim. Plat)	<u>PRELIMINARY PLAT & FINAL PLAT</u>
<input type="checkbox"/> Conditional Use	_____
<input type="checkbox"/> Variance	_____
<input type="checkbox"/> Expansion of Extension of a Nonconforming Use	_____
<input type="checkbox"/> Zoning Ordinance Map Amendment	_____

SITE INFORMATION:

Location: Quarter: SW/SE Section: 14 Township: 2N Range: 1W Total Acres: 4.72
 Subdivision Name: King Estates Lot(s): 10 Block(s): 1
 Site Address: 550 W. Deer Flat Tax Parcel Number(s): 51314438920
Kuna, Id. 83634

Please make sure to include **all** parcels & addresses included in your proposed use.

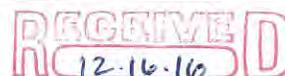
CURRENT PROPERTY OWNER:

Name: TROOST Family Living Trust
 Address: 30540 SABIN Rd. City: PARMA State: Id. Zip: 83660

CONTACT PERSON (Mail recipient and person to call with questions):

Name: GREG Bullock Business (if applicable): _____
 Address: 504 Bayhill DR. City: NAMPA State: Id. Zip: 83686
 Fax: 461-3730 Phone: _____ Cell: (208) 941-1076

OFFICE USE ONLY			
File No.:	Received By:	Date:	Stamped:



SIGN IN SHEET

PROJECT NAME: King Estates: 550 W. Deer Flat Rd.

Date: 10/14/16

Keena

	<u>Name</u>	<u>Address</u>	<u>Zip</u>	<u>Phone</u>
1	<u>Brian Fuys</u>	<u>1752 N Andrew</u>	<u>83634</u>	<u>208-406-6253</u>
2				
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COMPASS LAND SURVEYING, P.L.L.C.

3818 E. Newby Street, Suite 103
Nampa, Idaho 83687

Telephone: (208) 442-0115
Fax: (208) 327-2106
Email: rgray.cls@gmail.com

Client: Troost Family Trust
Date: December 2, 2016
Job No.: 9516

PROPERTY DESCRIPTION

A parcel of land being a portion of the SW 1/4 SE 1/4 of Section 14, Township 2 North, Range 1 West, Boise Meridian, Kuna, Ada County Idaho, more particularly described as follows:

Commencing at a found 3 inch diameter brass disk marking the SW corner of said SW 1/4 SE 1/4, (South 1/4 corner), said corner bears N. 89° 50' 22" W., a distance of 2642.67 feet from a found 5/8 inch diameter iron pin marking the SE corner of said SW 1/4 SE 1/4, (Section corner common to sections 13, 14, 23 and 24);

to the POINT OF BEGINNING, said point monumented with a
Thence along the south boundary of said SW 1/4 SE 1/4, S. 89° 50' 22" E., a distance of 685.46 feet;

Thence N. 00° 04' 01" E., a distance of 25.00 feet to a found 5/8 inch diameter iron pin with no cap marking the northerly right of way of Deer Flat Road and also marking the boundary corner for Saratoga Subdivision as on file in Book 76 of Plats at Page 7878 and 7879 in the Office of the Recorder of Ada County, Idaho. Said corner being the POINT OF BEGINNING;

Thence along the easterly boundary of said Saratoga Subdivision, N. 00° 04' 01" E., a distance of 322.89 feet to a found 5/8 inch diameter iron pin stamped "PLS 6111" marking a boundary angle point of said subdivision;

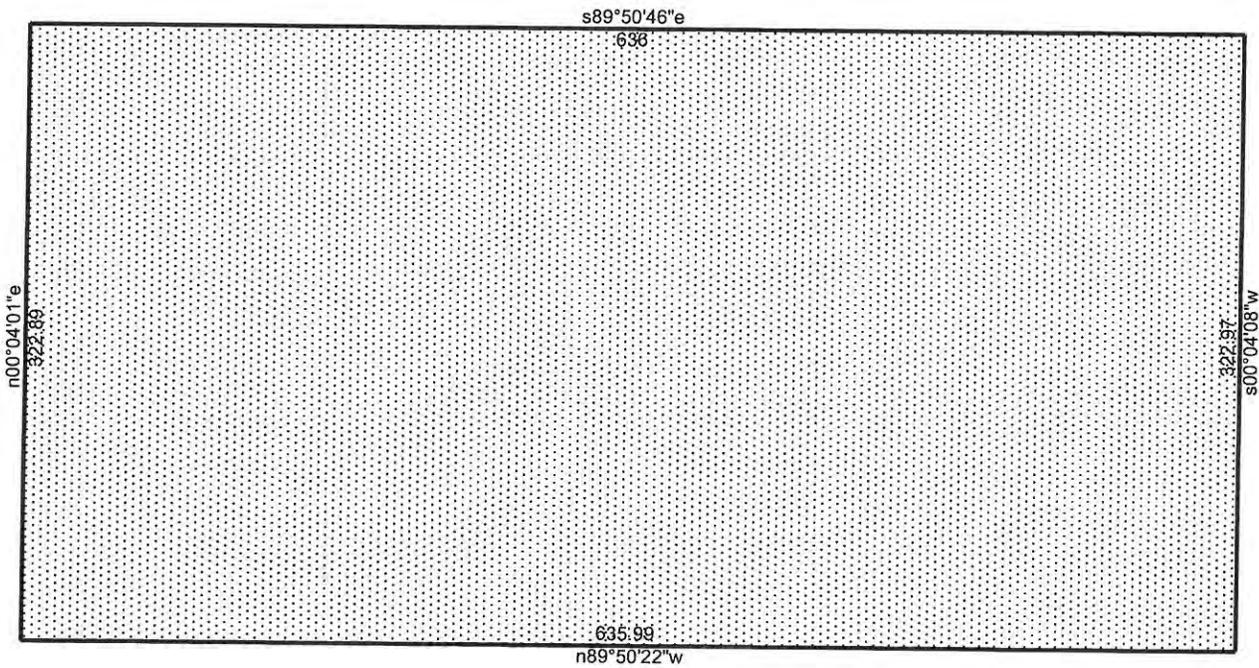
Thence along the southerly boundary of said Saratoga Subdivision, S. 89° 50' 46" E., a distance of 636.00 feet to a found 5/8 inch diameter iron pin stamped "PLS 6111" marking a boundary angle point of said subdivision and marking a point on the westerly boundary of DeerHorn Subdivision as on file in Book 79 of Plats at Page 8506 through 8508 in the Office of the Recorder of Ada County;

Thence along the westerly boundary of said DeerHorn Subdivision, S. 00° 04' 08" W., a distance of 322.97 feet to the northerly right of way of Deer Flat Road;

Thence leaving said westerly boundary and along the northerly right of way of said Deer Flat Road, N. 89° 50' 22" W., a distance of 635.99 feet to the POINT OF BEGINNING

This parcel contains 4.71 acres or 205,386 square feet more or less.





Troost Family Trust property

12/2/2016

Scale: 1 inch= 100 feet | File: 9516 Closure.ndp

Tract 1: 4.7149 Acres (205382 Sq. Feet), Closure: n08.0320e 0.01 ft. (1/315736), Perimeter=1918 ft.

- 01 n00.0401e 322.89
- 02 s89.5046e 636
- 03 s00.0408w 322.97
- 04 n89.5022w 635.99



City of Kuna

Planning and Zoning Commission

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

To: **Planning and Zoning Commission**

File Numbers: **17-01-CPMA (Comp Plan Map Amendment)**

Location: **NWC of Ten Mile & Deer Flat Roads, Kuna, Idaho**

Planner: **Trevor Kesner, Planner II**

Hearing date: **March 14, 2017**

Applicant: **Tuck Ewing,
Teco One, LLC**
1500 N. El Dorado
Boise, ID, 83704
208.863.1696
Tuck.ewing@ewingcompany.com

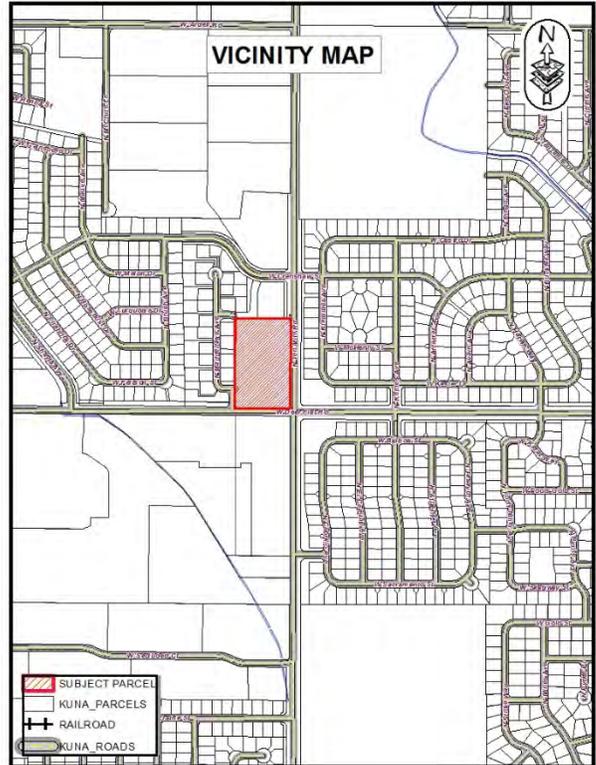


Table of Contents:

- A. Process and Noticing
- B. Applicant Request
- C. Aerial map
- D. Site History
- E. General Project Facts
- F. Staff Analysis
- G. Applicable Standards
- H. Proposed Procedural Background
- I. Findings of Fact for Commission Consideration
- J. Factual Summary
- K. Comprehensive Plan Analysis
- L. Kuna City Code Analysis
- M. Conclusions of Law
- N. Recommended Conditions of Approval to Council.

A. Process and Noticing:

1. Kuna City Code 1-14-3 (KCC), states that Comprehensive Plan Map Modifications are designated as a public hearing, with the Commission as the recommending body and the City Council as the decision-making body. This land use application was given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65 Local Land Use Planning Act.

a. Notifications

- | | |
|----------------------------|---------------------------------|
| i. Neighborhood Meeting | February 8, 2017 (no attendees) |
| ii. Agency Comment Request | February 17, 2017 |
| iii. 300' Property Owners | February 22, 2017 |
| iv. Kuna, Melba Newspaper | February 22, 2017 |
| v. Site Posted | March 3, 2017 |

B. Applicants Request:

1. Request:

The applicant, Teco One, LLC requests to amend the Kuna Comprehensive Plan Map (Comp Plan Map) designation for the subject property (5.9 +/- acres) from Medium Density Residential to Commercial (C-1). The subject site is currently zoned RUT (Rural Urban Transition) in Ada County. No annexation or development applications accompany this request. The site is located at the northwest corner (NWC) of Deer Flat Road and Ten Mile Road.

C. Aerial Map:



©Copyrighted

D. Site History:

This site is a County parcel historically used for agricultural purposes and has been vacant for many years. The site is surrounded by City platted subdivisions.

E. General Projects Facts:

1. **Comprehensive Plan Map:** The Future Land Use Map (Comp Plan Map) is intended to serve as a guide for the decision making body for the City. This map indicates a land use designation but is not the actual zoning. The Comp Plan Map currently identifies this site as Medium Density Residential.

2. Surrounding Land Uses:

North	C-1	Neighborhood Business District – Kuna City
South	C-1	Neighborhood Business District – Kuna City
East	R-6	Medium-Low Density Residential – Kuna City
West	C-1	Neighborhood Business District – Kuna City

3. **Parcel Sizes, Current Zoning, Parcel Number(s):**

- Parcel Size: 5.9 acres (approximately)
- Zoning: Rural-Urban Transition – Ada County (RUT).
- Parcel #: S1315449280

4. **Services:**

Sanitary Sewer– City of Kuna
Potable Water – City of Kuna
Irrigation District – Boise-Kuna Irrigation District
Pressurized Irrigation – City of Kuna (KMID)
Fire Protection – Kuna Rural Fire District
Police Protection – Kuna Police (Ada County Sheriff’s office)
Sanitation Services – J&M Sanitation

5. **Existing Structures, Vegetation and Natural Features:**

There are no structures on site, and the parcel has uncultivated vegetation that is generally associated with an open field. The site’s topography is generally flat with 0-2% slope.

6. **Transportation / Connectivity:**

The site is located on northwest corner (NWC) of Deer Flat Road and Ten Mile Road. No Ingress / Egress is proposed to the site from Deer Flat or Ten Mile Roads. There are private street connections to the subject site within the Crimson Point multi-family development.

7. **Environmental Issues:**

Staff is not aware of any environmental issues, health or safety conflicts associated with this land use application.

8. **Agency Responses:**

The following agencies returned comments and are included as exhibits with this case file:

- City Engineer (Gordon Law, P.E.) – Exhibit C-2
- COMPASS Development Checklist (Carl Miller) – Exhibit C-3
- Boise Project Board of Control (Bob Carter) - Exhibit C-4
- Idaho Transportation Department (Ken Couch) – Exhibit C-5
- Nampa & Meridian Irrigation District (Greg Curtis) – Exhibit C-6
- Central District Health Department – Exhibit C-7
- Ada County Highway District – Exhibit C-8
- Idaho Department of Environmental Quality (Aaron Scheff) – Exhibit C-9

F. **Staff Analysis:**

This Comp Plan Map Amendment application involves a County parcel that is surrounded by Kuna City limits and platted City subdivisions. The parcel is adjacent to a minor arterial (Deer Flat Road) and a major arterial (Ten Mile Road). All public utilities are accessible to the subject site.

The applicant seeks a Comp Plan Map Amendment for this parcel in anticipation of potential future commercial development. No annexation or development is currently proposed on the site.

Staff is aware this request differs from the Comp Plan Map designation. If approved, this map amendment would avoid the need for a rezone application upon annexation.

Staff has determined this application complies with Title 5 of the Kuna City Code; Idaho Statute §50-222; and forwards a recommendation of approval for Case No. 17-01-CPM, subject to the recommended conditions of approval listed in Section 'N' of this report.

G. Applicable Standards:

1. City of Kuna Zoning Ordinance No. 230
2. City of Kuna Comprehensive Plan
3. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act

H. Proposed Procedural Background:

On March 14, 2017, the Commission considered the application, agency comments, staff's report, application exhibits and public testimony presented or given.

I. Findings of Fact for Commission Consideration:

1. **17-01-CPM:** Based on the record contained in Case No. 17-01-CPMA, including the exhibits, staff's report and the public testimony at the public hearing, the City Council of Kuna, Idaho, hereby *approves/conditionally approves/denies* the Findings of Fact and Conclusions of Law, and conditions of approval for Case No. 7-01-CPMA; a Comp Plan Map Amendment for *Teco One, LLC*.
2. The Kuna Commission accepts the facts as outlined in the staff report, the public testimony and the supporting evidence list presented.

Comment: *The Kuna Commission held a public hearing on the subject application on March 14, 2017, to hear from City staff and the applicant and to accept public testimony. The decision by the Commission is based on the application, staff report and public testimony, both oral and written.*

3. Based on the evidence contained in Case No. 17-01-CPMA, this proposal appears to *generally* comply with the Comprehensive Plan and Comp Plan Map.

Comment: *The Comp Plan Map designates this property as future Medium Density residential. As the surrounding lands to the north, south and east are currently zoned as commercial uses (C-1), staff views the request to amend the Comp Plan to a commercial future use generally follows the goals of the Comp Plan and the Comp Plan Map.*

4. The Kuna Commission has the authority to recommend approval or denial for this application.

Comment: *On March 14, 2017, Kuna's Planning and Zoning Commission will vote to recommend approval, conditional approval or denial of Case No. 17-01-CPM.*

5. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

Comment: *As noted in the process and noticing section, notice requirements were met to hold a public hearing on March 14, 2017.*

J. Factual Summary:

This site is located at the north-west corner (NWC) of Deer Flat Road and Ten Mile Road. Applicant proposes and a Comprehensive Plan Map amendment for the site, from Medium Density Residential to Commercial.

K. Comprehensive Plan Analysis:

The Kuna Commission accepts the Comprehensive Plan components as described below:

The proposed Comprehensive Plan Land Use Map Amendment to a Commercial zone for the site is generally consistent with the following Comprehensive Plan components:

Community Vision Statement:

Residents hoped for the creation of business and light commercial use centers within neighborhoods. These centers would include restaurants, gas stations, churches, *multi-family* use facilities, and other mixed-use developments (Page 21).

Comment: *The proposal follows the community vision and commercial use goals as stated and adopted.*

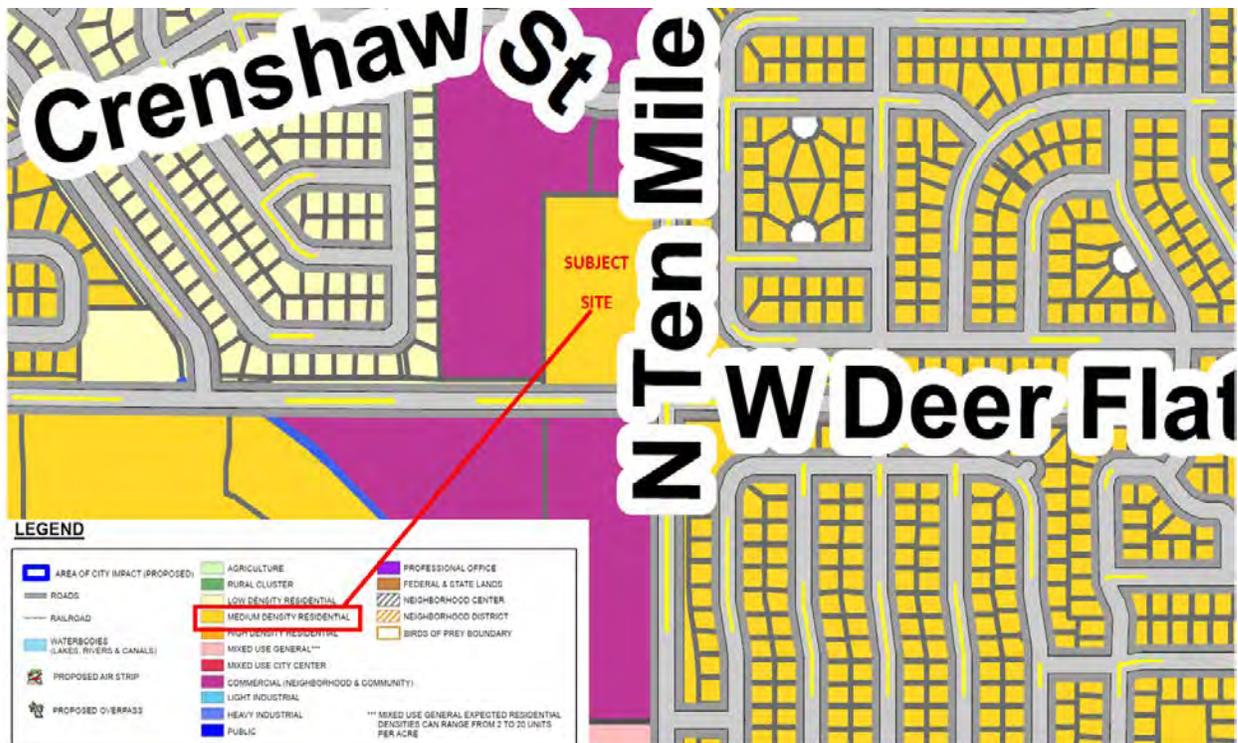
Private Property Rights Goals and Objectives - Section 2 - Summary:

Ensure the City land use policies, restrictions, conditions and fees do not violate private property rights and ensure that land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property. Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right and staff shall evaluate with guidance from the City's attorney; the Idaho Attorney General's six criterion established to determine the potential for property taking.

Comment: *Utilizing the Idaho Attorney Generals criteria, and a review by the City Attorney, the proposed project does not constitute a "takings" and the economic value is intact.*

Land Use Goals and Objectives - Section 6 - Summary:

Adopt a future land use plan and map that includes natural and developed open spaces, while providing a variety of housing densities and types to accommodate various lifestyles, ages and economic groups. Protect existing neighborhoods and ensure new development is sustainable and keeps Kuna desirable. Develop cohesive neighborhoods with character and quality while incorporating a variety of densities and styles.



Neighborhood Core Concept:

The character of residential housing surrounding and within the core of a Neighborhood Center is that of a close-knit, mixed-density community. The Neighborhood District provides close access to community services located within the core (Page 81).

Neighborhood District:

The Neighborhood District can be characterized as residential housing within the core of a close-knit, mixed-density community. The Neighborhood District provides close access to the community services located within the core. The highest density housing should be located near the core service areas (schools, churches, parks, neighborhood commercial). Housing types may include *multi-family* dwellings, duplexes, town houses, row homes, and single-family residences (Page 93).

Comment: *The proposal generally complies with the land use plan as adopted by Kuna, by locating commercial uses near non-typical housing densities and types in or near a neighborhood core while promoting in-fill methodologies.*

Neighborhoods:

Kuna's updated Plan is an advocate for the development of self-sufficient neighborhoods. These neighborhoods are intended to be connected by transit and other non-motorized methods of transportation. Each neighborhood will have a center, a core and an edge. The Neighborhood Center will be the core of the neighborhoods churches, schools, and public facilities. The neighborhood centers will feature denser developments and multi-family residential development.

Comment: *This application promotes sound community and urban design principles.*

L. Kuna City Code Analysis:

1. This request appears to be consistent and in compliance with Kuna City Code (KCC).

Comment: *The proposed project meets the land use and area standards in Chapter 13, Title 5 of the Kuna City Code (KCC).*

2. The site is physically suitable for a future commercial development.

Comment: *The 5.9-acre (approximate) parcel requests a future land use designation for a Commercial zone. The site appears to be compatible with the requested amendment.*

3. The Comprehensive Plan Map Amendment is not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.

Comment: *The subject site is not used as wildlife habitat and will therefore not cause environmental damage or loss of habitat.*

4. The Comp Plan Map Amendment application is not likely to cause adverse public health problems.

Comment: *The Comp Plan Map amendment for the property requires a future zoning designation per Kuna Code 5-13-9. The commercial land use designation requires connection to public sewer and potable water systems, therefore eliminating the occurrence of adverse public health problems.*

5. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

Comment: *The Comprehensive Plan Map amendment considers the location of the property and adjacent uses. The subject property is surrounded by existing City and Ada County subdivisions and will be connected to the Kuna City central sewer and potable and pressure irrigation water systems. The current adjacent uses are both small commercial and residential uses and is located adjacent to minor and major arterial roadways.*

6. The existing and proposed street and utility services in proximity to the site are suitable and adequate for Commercial purposes.

Comment: *Correspondence from Kuna City Engineer confirms that the streets and utility services are suitable and adequate for a future commercial zone and use.*

M. Conclusions of Law:

1. Based on the evidence contained in Case No. 17-01-CPMA, the Commission finds Case No. 17-01-CPMA generally comply with Kuna City Code.
2. Based on the evidence contained in Case No. 17-01-CPMA, the Commission finds Case No. 17-01-CPMA is generally consistent with Kuna's Comprehensive Plan.
3. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

N. Recommended Conditions of Approval:

17-01-CPM; *Note: This proposed motion is to approve, conditionally approve, or deny this request. If the Commission wishes to approve or deny specific parts of the requests as detailed in this report, those changes must be specified.*

On March 14, 2017, the Planning and Zoning Commission voted to recommend *approval/conditional approval/denial* for Case No 17-01-CPM, based on the facts outlined in staff's report and the public testimony during the public hearing by the Planning and Zoning Commission of Kuna, Idaho, the Commission hereby recommends approval/conditional approval/denial for Case No 17-01-CPM, a Comp Plan Map Amendment request from Tuck Ewing representing *Teco One, LLC*, with the following conditions of approval to Council:

1. All public rights-of-way shall be dedicated and constructed to standards of the City, Ada County Highway District and Idaho Transportation Department. No public street construction may commence without the approval and permit from Ada County Highway District and/or Idaho Transportation Department.
 - 2.1– At time of development and as necessary, dedicate right-of-way in sufficient amounts to follow City and ACHD standards and widths.
2. Installation of future service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All future utilities shall be installed underground, see **KCC 6-4-2-W**.
3. When required, submit a petition to the City (as necessary, confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and requesting to annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation system of the City (KMID).
4. All street lighting within and for the site shall be LED lighting and must comply with Kuna City Code and established Dark Skies practices.
5. Fencing within and around the site shall comply with Kuna City Code (Unless specifically approved otherwise and permitted).
6. All signage within/for the project shall comply with Kuna City Code.
7. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through public hearing processes.
8. Applicant shall follow staff, City engineers and other agency recommended requirements as applicable.

9. Developer/owner/applicant shall comply with all local, state and federal laws.

DATED this __, day of _____, 2017

RECEIVED
2-7-17



City of Kuna
Planning & Zoning
Department
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website: www.kunacity.id.gov

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

For Office Use Only	
File Number (s)	EWING 17-01-CPMA
Project name	EWING CPMA
Date Received	02/07/17
Date Accepted/ Complete	
Cross Reference Files	
Commission Hearing Date	
City Council Hearing Date	

Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

Contact/Applicant Information

Owners of Record: <u>Teco One, LLC</u>	Phone Number: <u>208-863-1696</u>
Address: <u>1500 N. Eldorado, Suite 4</u>	E-Mail: <u>tuck.ewing@ewingcompany.com</u>
City, State, Zip: <u>Boise, ID 83704</u>	Fax #: <u>208-376-1481</u>
Applicant (Developer): <u>N/A</u>	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____
Engineer/Representative: _____	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____

Subject Property Information

Site Address: <u>N. Ten Mile Rd., Kuna, ID 83634</u>
Site Location (Cross Streets): <u>W. Ten Mile & Deer Flat Rds.</u>
Parcel Number (s): <u>S1315449280</u>
Section, Township, Range: <u>Sect. 15, 2N, 1W</u>
Property size : <u>6 Acres</u>
Current land use: <u>Bare Land</u> Proposed land use: <u>C-1</u>
Current zoning district: <u>RUT</u> Proposed zoning district: <u>C-1</u>

Exhibit
B-1

Project Description

Project / subdivision name: 2N,1W,15
 General description of proposed project / request: Change City's Comprehensive Plan

Type of use proposed (check all that apply):
 Residential _____
 Commercial _____
 Office _____
 Industrial _____
 Other _____

Amenities provided with this development (if applicable): N/A

Residential Project Summary (if applicable) N/A

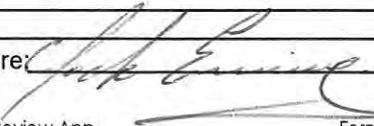
Are there existing buildings? Yes No
 Please describe the existing buildings: _____
 Any existing buildings to remain? Yes No
 Number of residential units: _____ Number of building lots: _____
 Number of common and/or other lots: _____
 Type of dwellings proposed:
 Single-Family _____
 Townhouses _____
 Duplexes _____
 Multi-Family _____
 Other _____
 Minimum Square footage of structure (s): _____
 Gross density (DU/acre-total property): _____ Net density (DU/acre-excluding roads): _____
 Percentage of open space provided: _____ Acreage of open space: _____
 Type of open space provided (i.e. landscaping, public, common, etc.): _____

Non-Residential Project Summary (if applicable) N/A

Number of building lots: _____ Other lots: _____
 Gross floor area square footage: _____ Existing (if applicable): _____
 Hours of operation (days & hours): _____ Building height: _____
 Total number of employees: _____ Max. number of employees at one time: _____
 Number and ages of students/children: _____ Seating capacity: _____
 Fencing type, size & location (proposed or existing to remain): _____

Proposed Parking:
 a. Handicapped spaces: _____ Dimensions: _____
 b. Total Parking spaces: _____ Dimensions: _____
 c. Width of driveway aisle: _____

Proposed Lighting: _____
 Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): _____

Applicant's Signature:  Date: 12/29/16

RECEIVED
2-7-17

Planning & Zoning Department
751 W 4th St
P.O. Box 13
Kuna, ID 83634

December 29, 2016

Re: Request to change the City's Comprehensive Plan

Dear Commissioners:

Please accept my request to change the current Kuna City Comprehensive Plan. It is my hope to have the City consider changing the current planned use of my property to Commercial (neighborhood & community). While I am not looking to annex at this time, I am looking at future development possibilities.

The property is located on the corner of N. Ten Mile Rd. and W. Deer Flat Rd. The current condition of the property is bare land. The property size is approximately 6 acres.

The current Zoning Map (map 59, attached), on the City's website shows the property to the immediate north, and west, as well as the property to the south currently zoned as C-1. This is indicated on the current Comprehensive Plan Map (map 2324, attached) also on the City's web site. However, the corner property, my property is designated Medium Density Residential on the Comprehensive Plan Map.

I feel with my property being on the corner, changing the Comprehensive Plan will allow for better potential use of the property as well as benefit those neighboring properties. This change would allow both my property and those surrounding properties to be more appealing and marketable for future development. With the potential of zoning commercial, development could take place to improve the community, allow for more economical growth and provide convenience to the local residents in the area.

I thank you for your time and consideration. I look forward to working with the City of Kuna and the surrounding community in the future.

Sincerely,



Tuck Ewing, Member
Teco One, LLC

Exhibit

B-2

EXHIBIT A

A parcel of land located in the SE ¼ SE ¼ Section 15, Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho more particularly described as follows:

Commencing at the Southeast corner of Section 15, Township 2 North, Range 1 West, the REAL POINT OF BEGINNING;

Thence along the South line of said section North 89°44'23" West 405.25 feet to a set 5/8" rebar, from which the S ¼ corner of said section bears North 89°44'23" East 2,251.38;

Thence North 0°03'52" West 642.64 feet to a set 5/8" rebar;

Thence North 89°56'08" East 348.24 feet to a set 5/8" rebar, said rebar being at an angle point and centerline of an existing drain ditch;

Thence North 89°56'08" East 57.00 feet to a set 5/8" rebar, said rebar being at the intersection of the East line of said Section 15 and the centerline of said existing drain ditch, from which the E ¼ of said section bears North 0°03'52" West 2,016.46 feet;

Thence South 0°03'52" West 644.94 feet to the REAL POINT OF BEGINNING.



Pioneer Title Co.

GOING BEYOND

8151 W. Rifleman Street
Boise, ID 83704

ELECTRONICALLY RECORDED-DO NOT
REMOVE THE COUNTY STAMPED FIRST
PAGE AS IT IS NOW INCORPORATED AS
PART OF THE ORIGINAL DOCUMENT

File No. 590916 DA/CLM

TE

WARRANTY DEED

For Value Received Dennis Lee McClure, as his separate estate
hereinafter referred to as Grantor, does hereby grant, bargain, sell, warrant and convey unto

TECO ONE LLC

hereinafter referred to as Grantee, whose current address is

The following described premises, to-wit:

See Exhibit A attached hereto and made a part hereof.

To HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee(s), and Grantees(s) heirs and assigns forever. And the said Grantor(s) does (do) hereby covenant to and with the said Grantee(s), the Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee(s); and subject to U.S. Patent reservations, restrictions, dedications, easements, rights of way and agreements, (if any) of record, and current years taxes, levies, and assessments, includes irrigation and utility assessments, (if any) which are not yet due and payable, and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

Dated: July 6, 2016

Dennis Lee McClure
Dennis Lee McClure

State of Idaho, County of Ada

On this 7th day of July in the year of 2016, before me, the undersigned, a Notary Public in and for said State, personally appeared Dennis Lee McClure known or identified to me to be the person/persons whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she/they executed the same.

Debbie Andrews
Residing at: Boise, ID
Commission Expires: 11/17/21

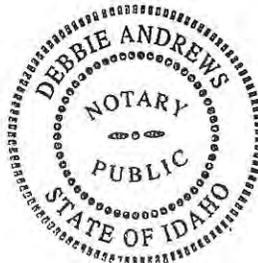


Exhibit
B-4

EXHIBIT A

A parcel of land located in the SE ¼ SE ¼ Section 15, Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho more particularly described as follows:

Commencing at the Southeast corner of Section 15, Township 2 North, Range 1 West, the REAL POINT OF BEGINNING;

Thence along the South line of said section North 89°44'23" West 405.25 feet to a set 5/8" rebar, from which the S ¼ corner of said section bears North 89°44'23" East 2,251.38;

Thence North 0°03'52" West 642.64 feet to a set 5/8" rebar;

Thence North 89°56'08" East 348.24 feet to a set 5/8" rebar, said rebar being at an angle point and centerline of an existing drain ditch;

Thence North 89°56'08" East 57.00 feet to a set 5/8" rebar, said rebar being at the intersection of the East line of said Section 15 and the centerline of said existing drain ditch, from which the E ¼ of said section bears North 0°03'52" West 2,016.46 feet;

Thence South 0°03'52" West 644.94 feet to the REAL POINT OF BEGINNING.

<p>No. W 5290</p>	<p>Due no later than Dec 31, 2016 Annual Report Form</p>		<p>2. Registered Agent and Address (NO PO BOX)</p>			
<p>Return to: SECRETARY OF STATE 700 WEST JEFFERSON PO BOX 83720 BOISE, ID 83720-0080</p> <p>NO FILING FEE IF RECEIVED BY DUE DATE</p>	<p><i>L. Mailing Address: Correct in this box if needed.</i></p>		<p>JOHN R EWING 1500 EL DORADO BOISE ID 83704</p>			
	<p>TECO ONE, L.L.C. JOHN R EWING 1500 EL DORADO BOISE ID 83704</p>		<p>3. <u>New</u> Registered Agent Signature:*</p>			
<p>4. Limited Liability Companies: Enter Names and Addresses of at least one Member or Manager.</p>						
<p>Office Held MANAGER</p>	<p>Name JOHN R EWING</p>	<p>Street or PO Address 1500 EL DORADO</p>	<p>City BOISE</p>	<p>State ID</p>	<p>Country</p>	<p>Postal Code 83704</p>
<p>5. Organized Under the Laws of: ID W 5290</p>	<p>6. Annual Report must be signed.* Signature: John R Ewing Name (type or print): John R Ewing</p>		<p>Date: 11/02/2016 Title: Manager</p>			
<p>Processed 11/02/2016</p>		<p>* Electronically provided signatures are accepted as original signatures.</p>				



ARTICLES OF ORGANIZATION
LIMITED LIABILITY COMPANY



FILED

DEC 30 3 04 PM '98
the Secretary of State of Idaho,
Statehouse, Boise, Idaho 83720
SECRETARY OF STATE
STATE OF IDAHO

- The name of the limited liability company is: TECO One, L.L.C.
- The address of the initial registered office is: 1500 E1 Dorado, Boise, Idaho
83704 (not a PO Box)
and the name of the initial registered agent at that address is: John R. Ewing
Signature of registered agent: *John R. Ewing*
John R. Ewing
- The latest date certain on which the limited liability company will dissolve: Jan. 31, 2028

- Is management of the limited liability company vested in a manager or managers?
 Yes No (check appropriate box)
- If management is vested in one or more manager(s), list the name(s) and address(es) of at least one initial manager. If management is vested in the members, list the name(s) and address(es) of at least one initial member.

<u>Name:</u>	<u>Address:</u>
<u>John R. Ewing</u>	<u>1500 E1 Dorado</u> <u>Boise, Idaho 83704</u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>

- Signature of at least one person listed in #5 above:

John R. Ewing
John R. Ewing

IDAHO SECRETARY OF STATE
Secretary of State use only
01/02/1998 09:00
CX: 3436 CT: 15819 BH: 69875
1 @ 100.00 = 100.00 ORGAN LLC
W 5290

ARTICLE 12
AMENDMENT

Section 12.1 Amendment or Modification of Agreement. The Agreement may be amended or modified from time to time only by a written instrument adopted and executed by all Members.

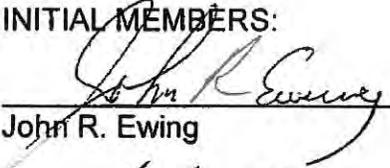
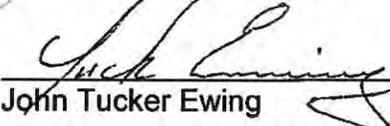
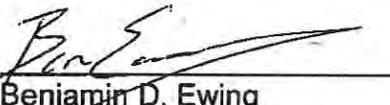
ARTICLE 13
MISCELLANEOUS PROVISIONS

Section 13.1 Attorney Fees. If a suit, action, or other proceeding (including, without limitation, any arbitration, mediation or alternative dispute resolution proceeding) arising out of or related to this Agreement is instituted by the Company or any Member, the prevailing party shall be entitled to recover its reasonable attorney fees, expert witness fees, and costs (i) incurred in any settlement negotiations, (ii) incurred in preparing for, prosecuting, or defending any suit, action, or other proceeding including, but not limited to, any arbitration, mediation or alternative dispute resolution proceeding, and (iii) incurred in preparing for, prosecuting or defending any appeal or any suit, action, or other proceeding. For purposes of this section, "Attorney Fees" shall mean and include attorney fees and reasonable fees of legal assistants or paralegals.

Section 13.2 Notices. Notice shall be in writing. Notice to the Company shall be considered given when mailed by first class mail post prepaid addressed to the Company at the address of its principal office. Notice as to a Member shall be considered given when mailed by first class mail postage prepaid addressed to the Member's address currently on file with the Company.

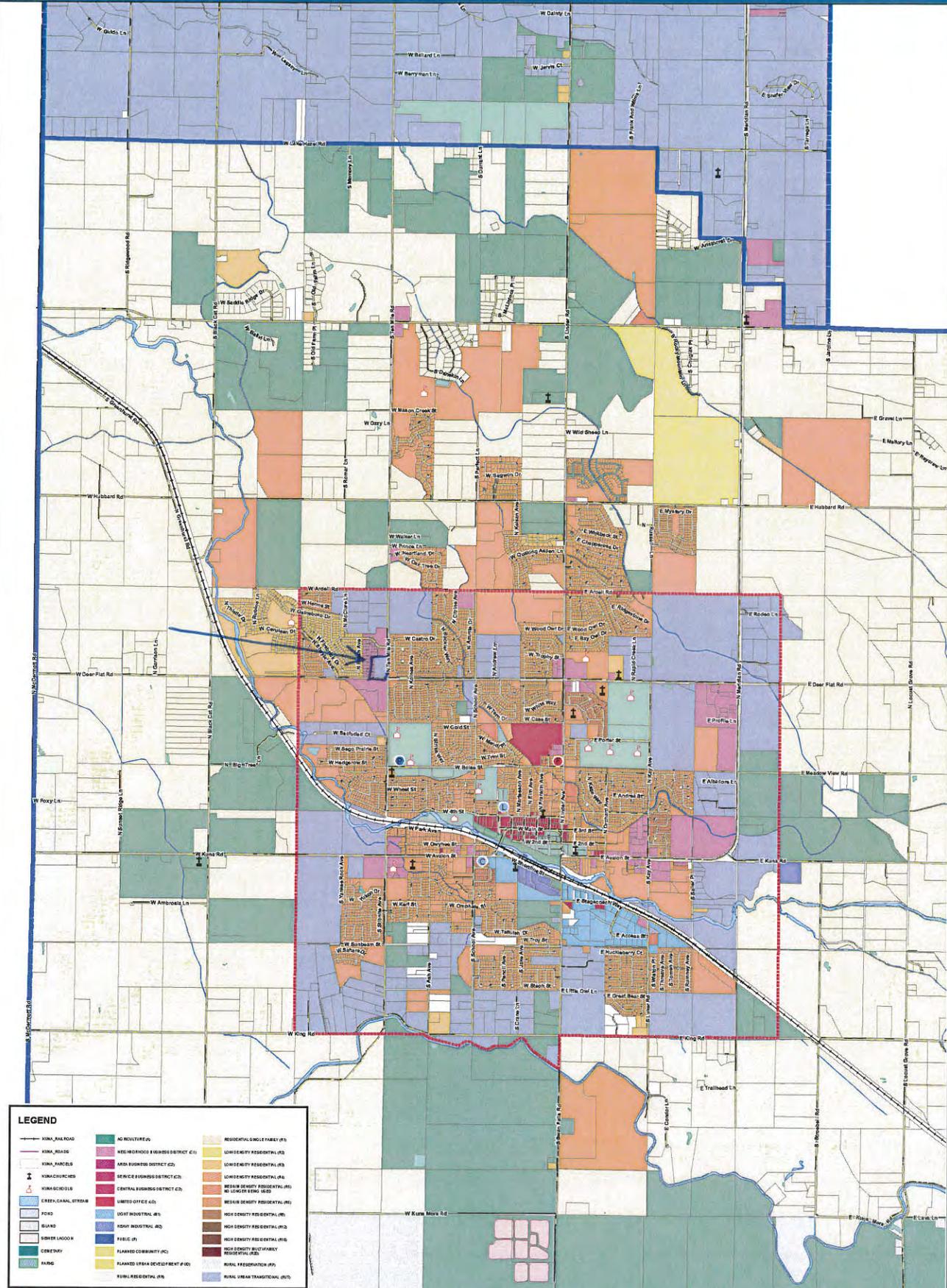
Section 13.3 Entire Agreement. The Agreement represents the entire agreement among and between the Members.

IN WITNESS WHEREOF, the Initial Members hereby execute this Agreement on the date(s) set forth below.

	INITIAL MEMBERS:
Date of Execution: <u>2/21/05</u>	 _____ John R. Ewing
Date of Execution: <u>2-21-05</u>	 _____ John Tucker Ewing
Date of Execution: <u>2-21-05</u>	 _____ Benjamin D. Ewing

CITY OF KUNA

MARCH 22nd, 2016



LEGEND

—	MINI-BUS/ROAD	■	NO DEVELOPMENT	■	RESIDENTIAL LOW DENSITY (R1)
—	MINI-ROADS	■	MEDIUM DENSITY BUSINESS DISTRICT (C2)	■	LOW DENSITY RESIDENTIAL (RS)
—	MINI-PARCELS	■	MEDIA BUSINESS DISTRICT (C3)	■	LOW DENSITY RESIDENTIAL (RS)
—	MINI-PROCESSES	■	SERVICE BUSINESS DISTRICT (C4)	■	LOW DENSITY RESIDENTIAL (RS)
—	MINI-SCHOOLS	■	CENTRAL BUSINESS DISTRICT (C5)	■	LOW DENSITY RESIDENTIAL (RS) WITH LOW DENSITY USE
—	CREEK/CANAL/STREAM	■	LIMITED OFFICE (O1)	■	MEDIUM DENSITY RESIDENTIAL (RM)
—	POND	■	LIGHT INDUSTRIAL (I1)	■	HIGH DENSITY RESIDENTIAL (RH)
—	BLAND	■	HEAVY INDUSTRIAL (I2)	■	HIGH DENSITY RESIDENTIAL (RH)
—	SUBUR/LACONIA	■	FLEXIBLE (F)	■	HIGH DENSITY RESIDENTIAL (RH)
—	CORPORATE	■	PLANNED COMMUNITY (PC)	■	HIGH DENSITY BULKY/FAMILY RESIDENTIAL (RH)
—	PARK	■	PLANNED URBAN DEVELOPMENT (PUD)	■	RURAL PRESERVATION (RP)
—		■	RURAL RESIDENTIAL (RR)	■	RURAL URBAN TRANSITIONAL (RUT)

CITY ZONING MAP

Ada County Assessor

This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION OR LEGAL PURPOSES.



Exhibit
B-6
B.6.D

TBD Ten Mile Rd

+/- 6 Acres on off the NW corner of Ten Mile and Deer Flat Rd

Legend

Palomar Heights Subdivision #3

Crimson Point Villas Subdivision

TBD Ten Mile Rd

Palomar Heights Subdivision #1

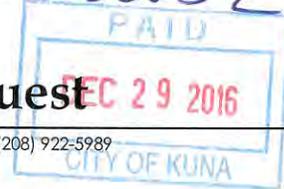
Google earth

© 2015 Google

Exhibit
B-7



20336036832



Neighborhood Meeting List Request

CITY OF KUNA PLANNING & ZONING, 763 West Avalon, Kuna, Idaho 83634 * www.kunacity.id.gov * (208) 922-5274 * Fax: (208) 922-5989

GENERAL INFORMATION:

If you are applying for one of the uses listed below, you must conduct a Neighborhood Meeting. This meeting allows neighbors to learn more about your project before the public hearing (Kuna Planning & Zoning will notify surrounding property owners of the hearing). All involved property owners within *300 feet of the subject property boundary need to be invited to your meeting.

According to Kuna City Code, the meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 6 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. **Please fill out the supplied certification form and include it with your application so we have written record of your meeting.** Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

*PLEASE NOTE: A \$20.00 FEE IS REQUIRED FOR THIS SERVICE (CITY OF KUNA PROVIDES MAILING LABELS)

PROPOSED USE:

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

<u>APPLICATION TYPE</u>	<u>BRIEF DESCRIPTION</u>
<input type="checkbox"/> Subdivision (Sketch Plat and/or Prelim. Plat)	_____
<input type="checkbox"/> Conditional Use	_____
<input type="checkbox"/> Variance	_____
<input type="checkbox"/> Expansion of Extension of a Nonconforming Use	_____
<input checked="" type="checkbox"/> Zoning Ordinance Map Amendment <i>Comp. Plan</i>	_____

SITE INFORMATION:

Location: Quarter: _____ Section: 15 Township: 2N Range: 1W Total Acres: 6.5989
 Subdivision Name: N/A Lot(s): _____ Block(s): _____
 Site Address: 51315449280 Tax Parcel Number(s): _____
N Ten Mile rd. 2N 1W 15

Please make sure to include all parcels & addresses included in your proposed use.

CURRENT PROPERTY OWNER:

Name: TECO ONE LLC *TUCK. EWING@EWINGCOMPANY.COM*
 Address: 1500 N. ELDORADO City: BOISE State: ID Zip: 83704

CONTACT PERSON (Mail recipient and person to call with questions):

Name: TUCK EWING Business (if applicable): _____
 Address: 1500 N. ELDORADO City: BOISE State: ID Zip: 83704
 Fax: 376-1481 Phone: 377-1500 Cell: 863-1696



OFFICE USE ONLY		
File No.:	Received By: <u>N. Stauffer</u>	Date: <u>12.30.16</u>
		Stamped: <u>emailed 12.30.16 @ 11:06</u>



Neighborhood Meeting List Request

CITY OF KUNA PLANNING & ZONING, 763 West Avalon, Kuna, Idaho 83634 * www.kunacity.id.gov * (208) 922-5274 * Fax: (208) 922-5989

GENERAL INFORMATION:

If you are applying for one of the uses listed below, you must conduct a Neighborhood Meeting. This meeting allows neighbors to learn more about your project before the public hearing (Kuna Planning & Zoning will notify surrounding property owners of the hearing). All involved property owners within *300 feet of the subject property boundary need to be invited to your meeting.

According to Kuna City Code, the meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 6 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend.

Please fill out the supplied certification form and include it with your application so we have written record of your meeting. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

*PLEASE NOTE: A \$20.00 FEE IS REQUIRED FOR THIS SERVICE (CITY OF KUNA PROVIDES MAILING LABELS)

PROPOSED USE:

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

<u>APPLICATION TYPE</u>	<u>BRIEF DESCRIPTION</u>
<input type="checkbox"/> Subdivision (Sketch Plat and/or Prelim. Plat)	_____
<input type="checkbox"/> Conditional Use	_____
<input type="checkbox"/> Variance	_____
<input type="checkbox"/> Expansion of Extension of a Nonconforming Use	_____
<input checked="" type="checkbox"/> Zoning Ordinance Map Amendment	<u>Request Change to City's Comprehensive Plan</u>

SITE INFORMATION:

Location: Quarter: _____ Section: 15 Township: 2N Range: 1W Total Acres: 6
 Subdivision Name: 2N 1W 15 Lot(s): _____ Block(s): _____
 Site Address: N. Ten Mile Rd., Kuna, ID 83734 Tax Parcel Number(s): S1315449280

Please make sure to include **all** parcels & addresses included in your proposed use.

CURRENT PROPERTY OWNER:

Name: Teco One, LLC
 Address: 1500 N. Eldorado, Ste. 4 City: Boise State: ID Zip: 83704

CONTACT PERSON (Mail recipient and person to call with questions):

Name: Tuck Ewing Business (if applicable): _____
 Address: Same as above City: _____ State: _____ Zip: _____
 Fax: 208-376-1481 Phone: 208-377-1500 Cell: 208-863-1696

OFFICE USE ONLY			
File No.:	Received By:	Date:	Stamped:

COREY BARTON HOMES INC	COREY	1977 E OVERLAND RD	1977 E	OVERLAND	RD	MERIDIAN, ID 83642-0000
COREY BARTON HOMES INC	COREY	1977 E OVERLAND RD	1977 E	OVERLAND	RD	MERIDIAN, ID 83642-0000
COREY BARTON HOMES INC	COREY	1977 E OVERLAND RD	1977 E	OVERLAND	RD	MERIDIAN, ID 83642-0000
COREY BARTON HOMES INC	COREY	1977 E OVERLAND RD	1977 E	OVERLAND	RD	MERIDIAN, ID 83642-0000
COREY BARTON HOMES INC	COREY	1977 E OVERLAND RD	1977 E	OVERLAND	RD	MERIDIAN, ID 83642-0000
COREY BARTON HOMES INC	COREY	1977 E OVERLAND RD	1977 E	OVERLAND	RD	MERIDIAN, ID 83642-0000
COREY BARTON HOMES INC	COREY	1977 E OVERLAND RD	1977 E	OVERLAND	RD	MERIDIAN, ID 83642-0000
COREY BARTON HOMES INC	COREY	1977 E OVERLAND RD	1977 E	OVERLAND	RD	MERIDIAN, ID 83642-0000
COREY BARTON HOMES INC	COREY	1977 E OVERLAND RD	1977 E	OVERLAND	RD	MERIDIAN, ID 83642-0000
COREY BARTON HOMES INC	COREY	1977 E OVERLAND RD	1977 E	OVERLAND	RD	MERIDIAN, ID 83642-0000
LINEHAN RICKY M	LINEHAN	1715 N KLEMMER AVE	1715 N	KLEMMER	AVE	KUNA, ID 83634-0000
PALOMAR HEIGHTS HOA INC	PALOMAR	2180 W SR 434 STE 5000	2180 W	SR 434		LONGWOOD, FL 32779-0000
DILLARD DANIEL S	DILLARD	11064 W EDNA ST	11064 W	EDNA	ST	BOISE, ID 83713-0000
PERA FAMILY TRUST	PERA	880 PINE OAK LN	880	PINE OAK	LN	MEADOW VISTA, CA 95722-0000
BELLAND MICHAEL R	BELLAND	1595 N KLEMMER AVE	1595 N	KLEMMER	AVE	KUNA, ID 83634-1718
CHRISTIANSEN RYAN N	CHRISTIANSEN	1518 W KESLER DR	1518 W	KESLER	DR	KUNA, ID 83634-0000
INTERMOUNTAIN GAS CO	INTERMOUNTAIN	PO BOX 5650		PO BOX 5650		BISMARCK, ND 58506-5650





Neighborhood Meeting Certification

CITY OF KUNA PLANNING & ZONING * 763 W. Avalon, Kuna, Idaho, 83634 * www.kunacity.id.gov * (208) 922-5274 * Fax: (208) 922-5989

GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 8-7A-3 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.

Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.

Description of proposed project: Request to change City's Comprehensive Plan

Date and time of neighborhood meeting: _____

Location of neighborhood meeting: _____

SITE INFORMATION:

Location: Quarter: _____ Section: 15 Township: 2N Range: 1W Total Acres: 6

Subdivision Name: 2N 1W 15 Lot: _____ Block: _____

Site Address: N. Ten Mile Rd. Tax Parcel Number(s): S1315449280

Kuna, ID 83734

Please make sure to include **all** parcels & addresses included in your proposed use.

CURRENT PROPERTY OWNER:

Name: Teco One, LLC

Address: 1500 N. Eldorado, Ste.4 City: Boise State: ID Zip: 83704

CONTACT PERSON (Mail recipient and person to call with questions):

Name: Tuck Ewing Business (if applicable): _____

Address: Same as above City: _____ State: _____ Zip: _____

PROPOSED USE:

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

Application Type	Brief Description
Annexation	
Re-zone	
Subdivision (Sketch Plat and/or Prelim. Plat)	
Special Use	
Variance	
Expansion of Extension of a Nonconforming Use	
Zoning Ordinance Map Amendment	Request change to City's Comprehensive Plan

APPLICANT:

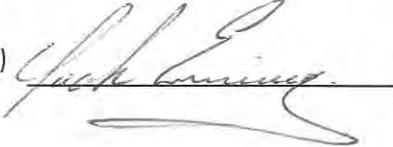
Name: Teco One, LLC Tuck Ewing, Member

Address: 1500 Eldorado, Ste. 4

City: Boise State: ID Zip: 83704

Telephone: 208-377-1500 Fax: 208-376-1481

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 5-1A-2 of the Kuna City Code

Signature: (Applicant)  Date 12/29/16

Neighborhood Meeting Notice Letter

REVISED NOTICE

January 12, 2017

Re: NEIGHBORHOOD MEETING- THURSDAY, FEBRUARY 2nd, 2017

Legal Description: Sect 15, 2N, 1W Parcel #: S1315449280

Dear Property Owner:

You are invited to attend a neighborhood meeting for a proposed Comprehensive Plan Amendment. **Due to a scheduling conflict, the date has changed and will now be on Thursday, February 2nd from 6:00 – 6:30 p.m.**, at the Kuna Library, 457 N. Locust Ave, Kuna, ID 83634.

The property under consideration is located on the N. W. corner of N. Ten Mile Rd. and W. Deer Flat Rd. It is currently bare ground and is approximately 6 acres. The property is not annexed in the city. The current Comprehensive Plan Map has the property listed as Medium Density Residential. The land owner is proposing to amend the map from its current status to a Commercial (Neighborhood & Community) use. The property is currently surrounded by C-1 zoning properties and the owner feels it will be a better fit for the community with the change.

A representative for the land owner will be available to discuss the change and answer any questions at the meeting. If you are unable to attend and have questions, please contact Tuck Ewing at tuck.ewing@ewingcompany.com or call at (208) 377-1500.

Sincerely,

TECO ONE, LLC

Neighborhood Meeting Notice Letter

January 5th, 2017

Re: NEIGHBORHOOD MEETING- MONDAY, FEBRUARY 6TH, 2017

Legal Description: Sect 15, 2N, 1W Parcel #: S1315449280

Dear Property Owner:

You are invited to attend a neighborhood meeting for a proposed Comprehensive Plan Amendment on Monday, February 6th at 6:00 p.m., at the Kuna Library, 457 N. Locust Ave, Kuna, ID 83634.

Revised to Feb. 8, from 6-6:30 pm.

The property under consideration is located on the N. W. corner of N. Ten Mile Rd. and W. Deer Flat Rd. It is currently bare ground and is approximately 6 acres. The property is not annexed in the city. The current Comprehensive Plan Map has the property listed as Medium Density Residential. The land owner is proposing to amend the map from its current status to a Commercial (Neighborhood & Community) use. The property is currently surrounded by C-1 zoning properties and the owner feels it will be a better fit for the community with the change.

A representative for the land owner will be available to discuss the change and answer any questions at the meeting. If you are unable to attend and have questions, please contact Tuck Ewing at tuck.ewing@ewingcompany.com or call at (208) 377-1500.

Sincerely,

TECO ONE, LLC

Mailed
1/5/17.
FN
A 2000-02

SIGN IN SHEET

PROJECT NAME: 2N 1W 15 - Request to change City's Comprehensive Plan

Date: FEB. 2, 2017

	<u>Name</u>	<u>Address</u>	<u>Zip</u>	<u>Phone</u>
1	_____	_____	_____	_____
2	_____	_____	_____	_____
3	_____	_____	_____	_____
4	_____	_____	_____	_____
5	_____	_____	_____	_____
6	_____	_____	_____	_____
7	_____	_____	_____	_____
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24	_____	_____	_____	_____
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26	_____	_____	_____	_____
27	_____	_____	_____	_____
28	_____	_____	_____	_____
29	_____	_____	_____	_____
30	_____	_____	_____	_____

Neighborhood Meeting Agenda

Meeting Date: February 2, 2017

Meeting Time: 6-6:30PM

Introduction: Sign-in sheet

Property Location: The property is located on the N.W. corner of Ten Mile and Deer Flat Rd.

Property Description: Parcel Number - S1315449280. The property is currently bare land and is approximately 5.99 acres. The current Comprehensive Plan Map shows the property as Medium Density Residential.

Proposed Change: We are requesting that the city change the current Comprehensive Plan from Medium Density Residential to Commercial (Neighborhood & Community). (See Comp. Plan Map)

Questions:

ARRIVED AT 5:50PM.

DEPART AT 6:20PM



Property Location: NW Corner of Ten Mile and Deer Flat Roads
Parcel Number: S1315449280

Legal Description: Sect 15, 2N, 1W



City of Kuna
**COMMITMENT TO
PROPERTY POSTING**

City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.cityofkuna.com

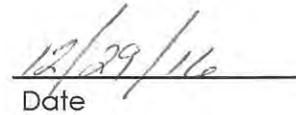
Per City Code 5-1A-8, the applicant for all applications requiring a public hearing shall post the subject property not less than ten (10) days prior to the hearing. The applicant shall post a copy of the public hearing notice or the application (s) on the property under consideration.

The applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the City no later than seven (7) days prior to the public hearing attesting to where and when the sign (s) were posted. Unless such Certificate is received by the required date, the hearing will be continued.

The sign (s) shall be removed no later than three (3) days after the end of the public hearing for which the sign (s) had been posted.

I am aware of the above requirements and will comply with the posting requirements as stated in Kuna City Code 5-1A-8


Applicant/agent signature


Date





City of Kuna COMMITMENT TO PROPERTY POSTING

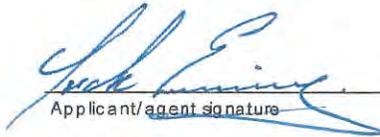
City of Kuna
P.O. Box 13
Kuna, Idaho 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
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Per City Code 5-1A-8, the applicant for all applications requiring a public hearing shall post the subject property not less than ten (10) days prior to the hearing. The applicant shall post a copy of the public hearing notice or the application (s) on the property under consideration.

* The applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the City no later than seven (7) days prior to the public hearing attesting to where and when the sign (s) were posted. Unless such Certificate is received by the required date, the hearing will be continued.

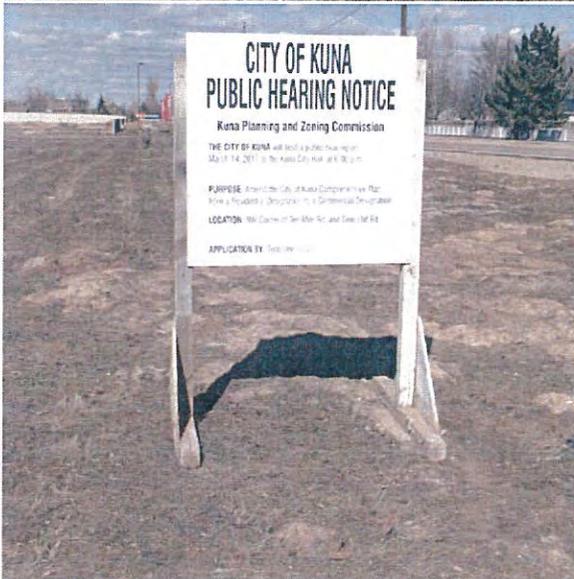
The sign (s) shall be removed no later than three (3) days after the end of the public hearing for which the sign (s) had been posted.

I am aware of the above requirements and will comply with the posting requirements as stated in Kuna City Code 5-1A-8


Applicant/agent signature

3/2/17
Date

Exhibit
D-4



3 of Block 2 and a portion of 35th Street as vacated by the Order of Vacation recorded February 5, 1993 as Instrument No. 9309367 all of Dumont Subdivision, according to the Plat thereof, filed in Book 5 of Plats at Page 244, Records of Ada County, Idaho and lying in the Northwest quarter of the Northwest quarter of Section 33, Township 4 North, Range 2 East, Boise Meridian, described as follows: Beginning at the Northeast corner of Lot 1 of Block 2 of said Dumont Subdivision; thence South 00 degrees 00'00" West, 61.50 feet along the East line of said Lots 1, 2, and 3; thence South 89 degrees 59'02" West, 138.34 feet, parallel to the North line of said Lot 1; thence North 00 degrees 00'00" West, 61.50 feet parallel to the West line of said Lots 1, 2, and 3; thence North 89 degrees 59'02" East, 138.34 feet along the North line of said Lot 1 and the Westerly prolongation thereof to the point of beginning. The sale is subject to conditions, rules and procedures as described at the sale and which can be reviewed at www.northwesttrustee.com or USA-Foreclosure.com. The sale is made without representation, warranty or covenant of any kind. Durfee, Pamela J. (TS# 7345.29623) 1002.290149-File No.

February 1, 8, 15, 22, 2017
1572088

**LOOKING FOR A
WAY TO MAKE
EXTRA CASH?**

*Sell it quickly
here!*

LEGAL NOTICE

rules and procedures as described at the sale and which can be reviewed at www.northwesttrustee.com or USA-Foreclosure.com. The sale is made without representation, warranty or covenant of any kind. Aucutt, Dawndra and Eric (TS# 7372.23078) 1002.290266-File No.

February 8, 15, 22, 2017
March 1, 2017
1575793

LEGAL NOTICE

**NOTICE OF
RE-SCHEDULED
TRUSTEE'S SALE**

Notice of Re-Scheduled Trustee's Sale Idaho Code 45-1506 Today's date: February 8, 2017 File No.: 8308.20863 Sale date and time (local time): March 17, 2017 at 11:00 AM Sale location: Front steps of the Ada County Courthouse, 200 W Front St. Property address: 9076 W. Littlewood Dr. Boise, ID 83709 Successor Trustee: Northwest Trustee Services, Inc., an Idaho Corporation P.O. Box 997 Bellevue, WA 98009 (425) 586-1900 Deed of Trust information Original grantor: April Edson, an unmarried woman Original trustee: Transnation Title & Escrow, Inc. Original beneficiary: Mortgage Electronic Registration Systems, Inc. solely as nominee for Mortgageit, Inc. Recording date: 09/07/2007 Recorder's instrument number: 107126134 County: Ada Sum owing on the obligation: as of February 8, 2017: \$198,614.22 Because of interest, late charges, and other charges that may vary from day to day, the amount due on the day you pay may be greater. Hence, if you pay the amount shown above, an adjustment may be necessary after we receive your check. For further information write or call the Successor Trustee at the address or telephone number provided above. Basis of default: failure to make payments when due. Please take notice that the Successor Trustee will sell at public auction to the highest bidder for certified funds or equivalent the property described above. The property address is identified to comply with IC 60-113 but is not warranted to be correct. The property's legal

address or telephone number provided above. Basis of default: failure to make payments when due. Please take notice that the Successor Trustee will sell at public auction to the highest bidder for certified funds or equivalent the property described above. The property address is identified to comply with IC 60-113 but is not warranted to be correct. The property's legal description is: A parcel of land being a portion of Lot 13 of Van Hees Subdivision, according to the official plat thereof, filed in Book 12 of Plats of Page 688, lying in the Northeast quarter of Section 14, Township 3 North, Range 1 West, Boise Meridian, Ada County, Idaho, as shown on Record of Survey No. 4902, filed for record in the office of the Ada County Recorder, Boise, Idaho, as Instrument No. 100015624 and more particularly described as follows: Beginning at an iron pin marking the Southeast corner of said Lot 13; thence along the South boundary of said Lot 13 North 89 degrees 12'28" West 366.48 feet to an iron pin; thence leaving said South boundary North 00 degree 33'05" East 161.28 feet to an iron pin on the North boundary of said Lot 13; thence along said North boundary South 87 degrees 02'34" East 286.17 feet to an iron pin; thence continuing South 56 degrees 00'34" East 96.54 feet to an iron pin marking the Northeast corner of said Lot 13, thence along the East boundary of said Lot 13 South 00 degree 33'05" West 97.61 feet to the Point of Beginning. EXCEPTING THEREFROM that portion of the above described premises conveyed to the Ada County Highway District for right-of-way by Warranty Deed recorded July 25, 2000 as Instrument No. 100058039, of Official Records of Ada County, Idaho. SUBJECT TO AND TOGETHER WITH a parcel of land being a private road easement lying in Lot 13 of Van Hees Subdivision, as file for record in the office of the Ada County Recorder, Boise, Idaho in Book 12 of Plats at Page 688 lying in the Northeast quarter of Section 14, Township 3 North Range 1 West, Boise Meridian, Ada County, Idaho as shown on Record of Survey No. 4902, filed for record in the Office of

Idaho. Mortgage Electronic Registration Systems, Inc. as nominee for Freedom Mortgage Corporation dba Jefferson Home Mortgage and Loan, its successors and assigns Recording date: 05/30/2013 Recorder's instrument number: 113059274 County: Ada Sum owing on the obligation: as of January 19, 2017: \$110,262.01 Because of interest, late charges, and other charges that may vary from day to day, the amount due on the day you pay may be greater. Hence, if you pay the amount shown above, an adjustment may be necessary after we receive your check. For further information write or call the Successor Trustee at the address or telephone number provided above. Basis of default: failure to make payments when due. Please take notice that the Successor Trustee will sell at public auction to the highest bidder for certified funds or equivalent the property described above. The property address is identified to comply with IC 60-113 but is not warranted to be correct. The property's legal description is: Lot 13, Block 10, Centennial Subdivision No 2, according to the plat thereof, filed in Book 40 of Plats at Page(s) 3300-3303, as amended by those certain affidavits recorded December 17, 1976, as Instrument No. 7650124, and recorded March 18, 1977, as Instrument No. 7711561, records of Ada County, Idaho. The sale is subject to conditions, rules and procedures as described at the sale and which can be reviewed at www.northwesttrustee.com or USA-Foreclosure.com. The sale is made without representation, warranty or covenant of any kind. Brown, Mark J. and Tracy K. (TS# 8852.20415) 1002.290161

February 1, 8, 15, 22, 2017
1572735

LEGAL NOTICE

**NOTICE OF
TRUSTEE'S SALE**

Notice of Trustee's Sale Idaho Code 45-1506 Today's date: January 17, 2017 File No.: 8852.20424 Sale date and time (local time): May 19, 2017 at 11:00 AM Sale location: Front steps of the Ada County Courthouse, 200 W Front St., Boise, ID 83702 Property address: 11351

LEGAL NOTICE

CITY OF KUNA
P.O. Box 13
Kuna, ID 83634
Phone: 922-5274
Fax: 922-5989

**Case #'s 17-01-CPMA
(Comprehensive Plan Map
Amendment)**

NOTICE IS HEREBY GIVEN, the Kuna Planning and Zoning Commission will hold a public hearing, Thursday, March 14, 2017, at 6:00 pm, or as soon as can be heard at Kuna City Hall, 751 W. 4th Street, Kuna, ID; in connection with a request from Teco One, LLC (Tuck Ewing) requesting approval for a Comprehensive Plan Map Amendment for an approximately 6-acre parcel from Medium Density Residential to Commercial (C-1) future land use designation. The parcel is NOT currently annexed into city limits and will remain zoned RUT in Ada County. No annexation or development application accompanies this request. The parcel is located on the northwest corner of Deer Flat & Ten Mile Roads, Kuna, Idaho (APN #: S1315449280).

All persons wishing to testify must state his/her name and residential address. No person shall speak until recognized by the Mayor or Chairman. A three (3) minute time limit may be placed on all testimony.

The public is invited to present written and/or oral comments. Any written testimony must be received by March 9, 2017, or it may not be considered. Please mail to P.O. Box 13 Kuna, ID 83634, or drop off at City Hall 751 W. 4th Street, Kuna, ID.

Please do not contact anyone who would be involved in this decision-making process, which would include the Planning & Zoning Commissioners, City Council Members, or the Mayor; as such private conversations, would be considered ex parte (one sided) and could jeopardize the public hearing process.

If you have any questions or require special accommodations, please contact the Kuna Planning & Zoning Department prior to the meeting at 922-5274.

February 22, 2017

City of Kuna Wastewater Treatment Plant, Office of the City Engineer
6950 South Ten Mile Road,
Meridian, Idaho 83642

Copies of these documents may be purchased for a non-refundable fee of \$50.00. Electronic PDF copies of the documents on CD will be available for a non-refundable fee of \$10.00.

In determining the lowest responsive bid, the Owner will consider all acceptable bids on a basis consistent with the bid package. The Owner will also consider whether the bidder is a responsible bidder.

All bids must be signed and accompanied by evidence of authority to sign.

Bids must be accompanied by Bid Security in the form of a bid bond, certified check, cashiers check or cash in the amount of 5% of the amount of the bid proposal. Said bid security shall be forfeited to the City of Kuna as liquidated damages should the successful bidder fail to enter into contract in accordance with their proposal as specified in the Instructions to Bidders.

The City of Kuna reserves the right to reject any or all proposals, waive any non-material irregularities in the bids received, and to accept the proposal deemed most advantageous to the best interest of the City of Kuna.

Gordon Law, P.E.
City Engineer & Public
Works Director

February 1, 22, 2017
1575130

LEGAL NOTICE

NOTICE

Pursuant to Idaho Code §50-1807, notice is hereby given that the Kuna City Council will convene as the Board of Corrections for the Kuna Municipal Irrigation District on March 7, 2017, at 5:30 P.M., as per Resolution No. 72-2016A to correct any 2017 assessments so levied and assessed, as may be necessary. The meetings will be held in Council Chambers at Kuna City Hall, Kuna City Hall at 751 W. 4th Street, Kuna, Idaho. The assessment roll is available for examination by interested persons in the office of the

Exhibit

D-2



CITY OF KUNA
PLANNING & ZONING DEPARTMENT
PO Box 13 • 751 W. 4th St • Kuna, Idaho • 83634
Phone (208) 922-5274 • Fax: (208) 922-5989
www.kunacity.id.gov

Dear Property Owner:

NOTICE IS HEREBY GIVEN: The City of Kuna **Planning and Zoning Commission** is scheduled to hold a public hearing on **March 14, 2017** beginning at 6:00 pm on the following case:

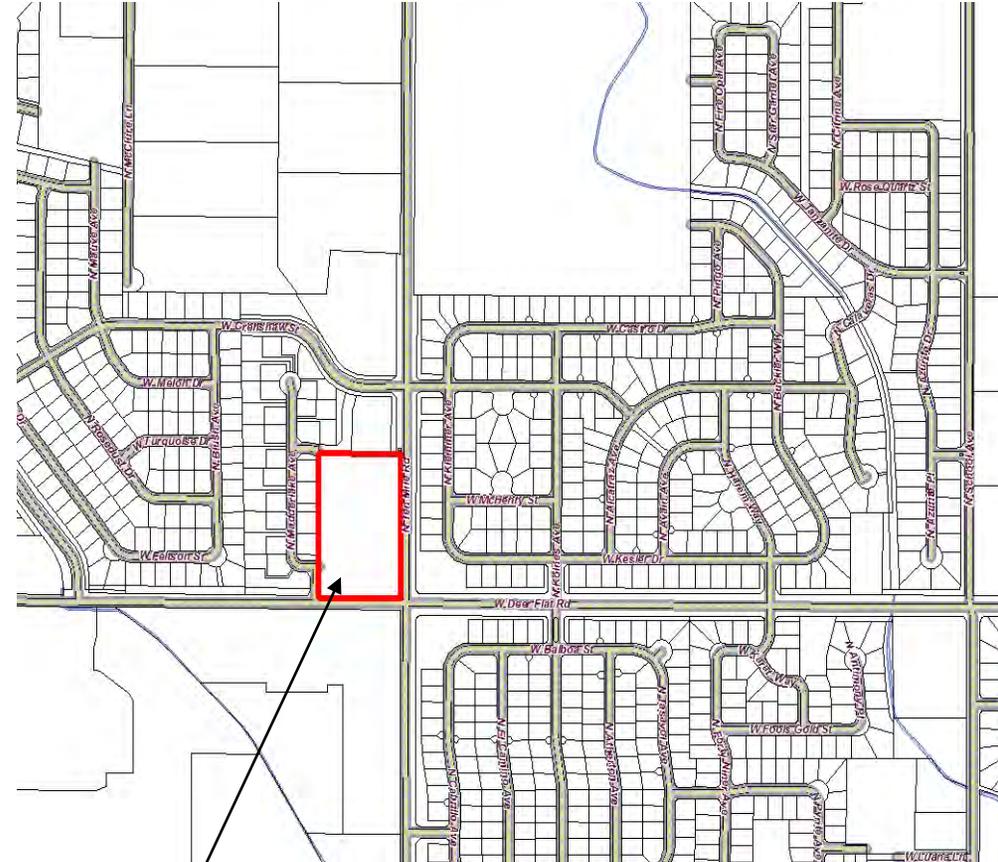
A request from Tuck Ewing dba *Teco One, LLC* to amend Kuna's Comprehensive Plan Future Land Use Map for the approximately 5.9-acre subject parcel from the current Medium Density Residential to Commercial (C-1) future land use designation. The parcel is NOT currently annexed into city limits and will remain zoned RUT in Ada County. **No annexation or development is proposed at this time.**

The site is located near the NWC (northwest corner) of Ten Mile & Deer Flat Roads in the Quarter of Section 15, Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho (refer to adjacent map). **Assessor's Parcel Number #S1315449280**

The hearing will be held in the Council Chambers at the City Hall located at 751 W. 4th Street, Kuna, Idaho.

All documents concerning public hearing items may be reviewed at Kuna City Hall, 751 W. 4th Street, Kuna, Idaho, 83634. Office hours are 8:00 am to 5:00 pm, Monday through Friday, except holidays. If you have questions or would like additional information, please contact the Planning and Zoning Department at (208) 922-5274.

You are invited to provide oral or written comments to the Commission at the hearing. Please note that all comments made to the Commission during the public hearing will be restricted to three (3) minutes per person. Prior to the hearing, written comments may be submitted to the appropriate governing body at least seven (7) days prior to the hearing. These comments will be forwarded to the Commission.



Project location is outlined in **RED**

In all correspondence concerning this case, please refer to the case name: and **17-01-CPMA (Comprehensive Plan Map Change)**

Suggestions For Testifying at the Public Hearing:

Be informed . . .

Review the proposal, the staff report, applicable provisions of the ordinance and comprehensive plan.

Be on time . . .

Although the item you are interested in may not be first on the agenda, you never know when it will be heard. The governing body has authority to adjust the schedule according to its discretion. Thus, anticipate attending from the beginning.

Speak to the point . . .

The governing body appreciates pertinent, well organized, and concise comments. Redundant testimony is prohibited and **each individual is given three (3) minutes to comment.** Long stories, abstract complaints, or generalities may not be the best use of time. Neighborhood groups are encouraged to organize testimony and have one (1) person speak on behalf of the group -- "opposition representative," like the applicant's representative, receives 10 minutes to make comments. Applicant has five (5) minutes to rebut or discuss issues raised by any opposition.

If you don't wish to speak, write . . .

At most hearings, previously submitted written testimony may be reviewed by the governing body before the meeting. It is unreasonable to submit extensive written comments or information at the hearing and expect them to be reviewed prior to a decision. All documents or written comments should be submitted to the City of Kuna at least one (1) week **prior** to the hearing.

City of Kuna
Planning and Zoning
PO Box 13
Kuna, ID 83634

LEGAL NOTICE

PRIMOWNER
PALOMAR HEIGHTS HOA INC
LESLEY JAMES S
GILL AMANDA N
STEED LYNDA M
BAUER ARIC
BRAUN JAMIE
COREY BARTON HOMES INC
LINEHAN RICKY M
DILLARD DANIEL S
PERA FAMILY TRUST
VEIZ EMILA
CHRISTIANSEN RYAN N
KING WILLIAM JR
SINI RICHARD G
CHARLESTON TRUST
TECO ONE LLC
LETE FAMILY REVOCABLE TRUST
MCFARLANE JENIFER S
HAYES BRADFORD H JR
BAKER RANDALL D
INTERMOUNTAIN GAS COMPANY

SECOWNER

BAUER LAUREN

PERA GERALD M TRUSTEE

URIAS-CHRISTIANSEN VERONICA A

SINI JEAN E

HORNUNG EDISON LEE TRUSTEE

HAYES PATRICIA M

BAKER MARTHA L

ADDCONCAT

2180 W SR 434 STE 5000

7551 S FLAT LN

2578 N DESTINY AVE

1537 W CRENSHAW ST

1652 N KLEMMER AVE

1688 N KLEMMER AVE

1977 E OVERLAND RD

1715 N KLEMMER AVE

11064 W EDNA ST

880 PINE OAK LN

1595 N KLEMMER AVE

1518 W KESLER DR

1561 N KLEMMER AVE

1537 W MCHENRY ST

12654 W SILVERBROOK ST

1500 N ELDORADO ST # 4

1795 W DEER FLAT RD PMB 301

1687 N KLEMMER AVE

1579 N KLEMMER AVE

1670 N KLEMMER AVE

2921 CALDWELL BLVD.



CITY OF KUNA
P.O. BOX 13
KUNA, ID 83634
www.kunacity.id.gov

GORDON N. LAW
CITY ENGINEER

Telephone (208) 287-1727; Fax (208) 287-1731
Email: glaw@kunaid.gov

MEMORANDUM

TO: Wendy Howell; Trevor Kesner

FROM: Gordon N. Law
Kuna City Engineer

RE: Tuck Ewing Property
North-west Corner of Ten Mile and Deer Flat Roads
Comprehensive Plan Map Amendment
17-01-CPMA

DATE: February 21, 2017

The City Engineer has reviewed the Comprehensive Plan Map Amendment request of the above applicant(s) dated February 17, 2017. It is understood this map amendment is an attempt by the property owner to conform intended uses with the use of surrounding property and take advantage of its location on a commercially viable corner. No specific development plans are included with this application. The following comments are provided:

1. The applicant's proposal does not appear to affect existing public roads or easements or to adversely compromise the ability to expand or extend them in the future.
2. The applicant's proposal does not appear to affect publicly maintained utilities or to adversely compromise the ability to expand or extend them in the future.

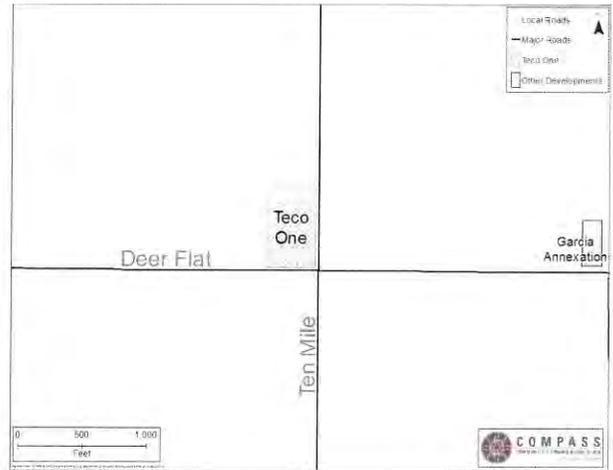
The City Engineer concludes there is not a reason from a public works perspective to provide further comment on the application.



Communities in Motion 2040 Development Checklist

The Community Planning Association of Southwest Idaho (COMPASS) is the metropolitan planning organization (MPO) for Ada and Canyon Counties. COMPASS has developed this checklist as a tool for local governments to evaluate whether land developments are consistent with the goals of *Communities in Motion 2040* (CIM 2040), the regional long-range transportation plan for Ada and Canyon Counties. CIM 2040 was developed through a collaborative approach with COMPASS member agencies and adopted by the COMPASS Board on **July 21, 2014**.

This checklist is not intended to be prescriptive, but rather a guidance document based on CIM 2040 goals, objectives, and performance measures. A checklist user guide is available [here](#); and more information about the CIM 2040 goals can be found [here](#); and information on the CIM 2040 Vision can be found [here](#).



[Click to view enlarged map](#)

Name of Development: Teco One, LLC

Summary: Request for a Comprehensive Plan Map change from Medium Density Residential to Commercial, northwest of the intersection of Ten Mile Road and Deer Flat Road. The proposal meets 7 CIM 2040 checklist items and does not meet 11 items. This proposal would exceed the growth forecasted in the regional long-range plan. Consider sidewalks and improvements to the Ten Mile Road and Deer Flat Road intersection to connect local residents to nearby schools and future pathways along the Ramsey Lateral and IndianCreek per the 2015 City of Kuna Pathway Map.

Land Use

In which of the [CIM 2040 Vision Areas](#) is the proposed development? **(Goal 2.1)?**

- Downtown
- Employment Center
- Existing Neighborhood
- Foothills
- Future Neighborhood
- Mixed Use
- Prime Farmland
- Rural
- Small Town
- Transit Oriented Development

Yes No N/A The proposal is within a CIM 2040 Major Activity Center. **(Goal 2.3)**

Neighborhood (Transportation Analysis Zone) Demographics

Existing		Existing TAZ + Proposal		2040 Forecast	
Households	Jobs	Households	Jobs	Households	Jobs
392	85	392	175	997	148

Yes No N/A The number of jobs and/or households in this development is consistent with jobs/households in the CIM 2040 Vision in this neighborhood. **(Goal 2.1)**

Area (Adjacent Transportation Analysis Zone) Demographics

Existing		Existing TAZs + Net Proposed		2040 Forecast	
Households	Jobs	Households	Jobs	Households	Jobs
1,157	193	1,227	283	2,702	530

Yes No N/A The number of jobs and/or households in this development is consistent with jobs/households in the CIM 2040 Vision in this area. **(Goal 2.1)**



More information on COMPASS and *Communities in Motion 2040* can be found at:
www.compassidaho.org
 Email: info@compassidaho.org
 Telephone: (208) 475-2239



COMPASS
 COMMUNITY PLANNING ASSOCIATION
 of Southwest Idaho

Communities in Motion 2040 Development Checklist

Transportation

- Attached N/A An Area of Influence Travel Demand Model Run is attached.
 Yes No N/A There are relevant projects in the current Regional [Transportation Improvement Projects](#) (TIP) within one mile of the development.

Comments:

- Yes No N/A The proposal uses appropriate access management techniques as described in the [COMPASS Access Management Toolkit](#).

Comments: No site plan proposed. Both Ten Mile Road and Deer Flat Road are minor arterials.

- Yes No N/A This proposal supports Valley Regional Transit's [valleyconnect](#) plan. See [Valley Regional Transit Amenities Development Guidelines](#) for additional detail.

Comments: The location is not currently served by transit. Future demand response is proposed in the area.

The **Complete Streets Level of Service (LOS) scoring** based on the proposed development will be provided on an separate worksheet (**Goals 1.1, 1.2, 1.3, 1.4, 2.4**):

- Attached N/A Complete Streets LOS scorecard is attached.
 Yes No N/A The proposal maintains or improves current automobile LOS.
 Yes No N/A The proposal maintains or improves current bicycle LOS.
 Yes No N/A The proposal maintains or improves current pedestrian LOS.
 Yes No N/A The proposal maintains or improves current transit LOS.
 Yes No N/A The proposal is in an area with a [Walkscore](#) over 50.

Housing

- Yes No N/A The proposal adds [compact housing](#) over seven residential units per acre. (**Goal 2.3**)
 Yes No N/A The proposal is a mixed-use development or in a mixed-use area. (**Goal 3.1**)
 Yes No N/A The proposal is in an area with lower transportation costs than the [regional average](#) of 26% of the median household income. (**Goal 3.1**)
 Yes No N/A The proposal improves the jobs-housing balance by providing housing in employment-rich areas. (**Goal 3.1**)

Community Infrastructure

- Yes No N/A The proposal is infill development. (**Goals 4.1, 4.2**)
 Yes No N/A The proposal is within or adjacent to city limits. (**Goals 4.1, 4.2**)
 Yes No N/A The proposal is within a city area of impact. (**Goals 4.1, 4.2**)

Health

- Yes No N/A The proposal is within 1/4 mile of a transit stop. (**Goal 5.1**)
 Yes No N/A The proposal is within 1/4 mile of a public school. (**Goal 5.1**)
 Yes No N/A The proposal is within 1/4 mile of a grocery store. (**Goal 5.1**)
 Yes No N/A The proposal is within 1 mile of a park and ride location. (**Goal 5.1**)

Economic Development

- Yes No N/A The proposal improves the jobs-housing balance by providing employment in housing-rich areas. (**Goal 3.1**)
 Yes No N/A The proposal provides grocery stores or other retail options for neighborhoods within 1/2 mile. (**Goal 6.1**)

Open Space

- Yes No N/A The proposal is within a 1/4 mile of a public park. (**Goal 7.1**)
 Yes No N/A The proposal provides at least 1 acre of parks for every 35 housing units. (**Goal 7.1**)

Farmland

- Yes No N/A The proposal is outside "Prime Farmland" in the CIM 2040 Vision. (**Goals 4.1, 8.2**)
 Yes No N/A The proposal is outside prime farmland. (**Goal 8.2**)

BRIAN McDEVITT
CHAIRMAN OF THE BOARD

RICHARD DURRANT
VICE CHAIRMAN OF THE BOARD

TIMOTHY M. PAGE
PROJECT MANAGER

ROBERT D. CARTER
ASSISTANT PROJECT MANAGER

APRYL GARDNER
SECRETARY-TREASURER

JERRI FLOYD
ASSISTANT SECRETARY-TREASURER

BOISE PROJECT BOARD OF CONTROL

(FORMERLY BOISE U.S. RECLAMATION PROJECT)

2485 OVERLAND ROAD
BOISE, IDAHO 83705-3155

OPERATING AGENCY FOR 167,000
ACRES FOR THE FOLLOWING
IRRIGATION-DISTRICTS

NAMPA-MERIDIAN DISTRICT
BOISE-KUNA DISTRICT
WILDER DISTRICT
NEW YORK DISTRICT
BIG BEND DISTRICT

TEL: (208) 344-1141
FAX: (208) 344-1437

13 February 2017

City of Kuna
751 W. 4th Street
Kuna, Idaho 83634

RE: Teco One – Tuck Ewing 17-01-CPMA
 NWC of Ten Mile and Deer Flat Rds.
 Boise-Kuna Irrigation District BK-291 B1
 Ramsey Lateral 75+00
 Sec. 15, T2N, R1W, BM.

Trevor Kesner,:

There are no Project facilities located on the above-mentioned property; however, it does in fact possess a valid water right.

Storm Drainage and/or Street Runoff must be retained on site.

Local irrigation/drainage ditches that cross this property, in order to serve neighboring properties, must remain unobstructed and protected by appropriate easements.

If you have any further questions or comments regarding this matter, please do not hesitate to contact me at (208) 344-1141.

Sincerely,



Bob Carter
Assistant Project Manager, BPBC

bdc/bc

cc: Clint McCormick Watermaster, Div; 2 BPBC
 Lauren Boehlke Secretary-Treasurer, BKID
 File





IDAHO TRANSPORTATION DEPARTMENT

P.O. Box 8028
Boise, ID 83707-2028

(208) 334-8300
itd.idaho.gov

February 23, 2017

Trevor Kesner
City of Kuna, Planning and Zoning Department
P.O. Box 13
Kuna, ID 83634

VIA EMAIL

RE: 17-01-CPMA TECO ONE, LLC / TUCK EWING

The Idaho Transportation Department has reviewed the referenced comprehensive plan map amendment application for Teco One, LLC / Tuck Ewing at the northwest corner of Ten Mile and Deer Flat Roads, west of SH-69, milepost 3.23. ITD has the following comments:

1. ITD has no objection to the comprehensive plan map amendment for this parcel.
2. This property does not abut the State highway system.
3. Idaho Code 40-1910 does not allow advertising within the right-of-way of any State highway.
4. IDAPA 39.03.60 rules govern advertising along the State highway system. The applicant can contact the ITD District 3 Traffic Section at 334-8300 for more information.

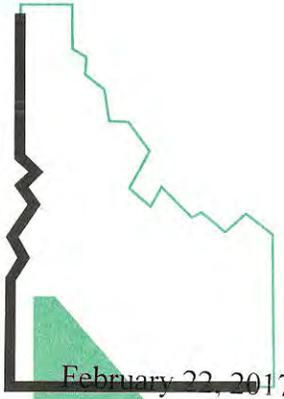
If you have any questions, you may contact Shona Tonkin at 334-8341 or me at 332-7190.

Sincerely,

A handwritten signature in blue ink that reads 'Ken Couch'.

Ken Couch
Development Services Coordinator
Ken.Couch@itd.idaho.gov





ORGANIZED 1904

Nampa & Meridian Irrigation District

1503 FIRST STREET SOUTH
FAX #208-463-0092

NAMPA, IDAHO 83651-4395
nmid.org

OFFICE: Nampa 208-466-7861
SHOP: Nampa 208-466-0663

Trevor Kesner
City of Kuna
P.O. Box 13
Kuna, ID 83634

RE: 1701-CPMA/ Teco One, LLC; Ten Mile & Deer Flat Roads

Dear Trevor:

Nampa & Meridian Irrigation District (NMID) has no comment on the above-referenced application as it lies outside of our district boundaries. Please contact Bob Carter, Boise Project- Board of Control, at 208-344-1141, 2465 Overland Rd. Room 202 Boise, ID 83705-3173.

All private laterals and waste ways must be protected. All municipal surface drainage must be retained on-site. If any surface drainage leaves the site, NMID must review drainage plans. Developers must comply with Idaho Code 31-3805.

Sincerely,

Greg G. Curtis
Water Superintendent
Nampa & Meridian Irrigation District
GGC/gnf

PC: Office/File

RECEIVED
FEB 27 2017
CITY OF KUNA



APPROXIMATE IRRIGABLE ACRES
RIVER FLOW RIGHTS - 23,000
BOISE PROJECT RIGHTS - 40,000

Exhibit
C-6



CENTRAL DISTRICT HEALTH DEPARTMENT
Environmental Health Division

Return to:

- ACZ
Boise
Eagle
Garden City
Kuna
Meridian
Star

Rezone # 1701 CPMA

RECEIVED

Conditional Use #

FEB 27 2017

Preliminary / Final / Short Plat

CITY OF KUNA

City of Kuna

- 1. We have No Objections to this Proposal.
2. We recommend Denial of this Proposal.
3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
4. We will require more data concerning soil conditions on this Proposal before we can comment.
5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
8. After written approval from appropriate entities are submitted, we can approve this proposal for:
9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
12. We will require plans be submitted for a plan review for any:
13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDHD.

Reviewed By:

Signature of reviewer

Date: 2/23/17

Exhibit C-7



Paul Woods, President
Rebecca W. Arnold, Vice President
Kent Goldthorpe, Commissioner
Sara M. Baker, Commissioner
Jim D. Hansen, Commissioner

February 27, 2017

To: Tuck Ewing
Teco One, LLC
1500 N. El Dorado, STE 4
Boise, ID 83704

Subject: KUNA17-0002
NWC of Ten Mile and Deer Flat Roads
Comprehensive Plan Amendment, Annexation & Rezone

This application is for comprehensive plan amendment, annexation & rezone only. Listed below are some of the relevant policies that the District may administer when it reviews a future development application (additional policies may be considered with a specific redevelopment application):

A. Findings of Fact

1. Deer Flat & Ten Mile Roads

a. Policy:

Arterial Roadway Policy: District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Master Street Map and Typology Policy: District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map and Livable Streets Design Guide. The developer or engineer should contact the District before starting any design.

Street Section and Right-of-Way Width Policy: District Policies 7205.2.1 & 7205.5.2 state that the standard 5-lane street section shall be 72-feet (back-of-curb to back-of-curb) within 96-feet of right-of-way. This width typically accommodates two travel lanes in each direction, a continuous center left-turn lane, and bike lanes on a minor arterial and a safety shoulder on a principal arterial.

Right-of-Way Dedication: District Policy 7205.2 states that The District will provide compensation for additional right-of-way dedicated beyond the existing right-of-way along arterials listed as impact fee eligible in the adopted Capital Improvements Plan using available impact fee revenue in the Impact Fee Service Area.

No compensation will be provided for right-of-way on an arterial that is not listed as impact fee eligible in the Capital Improvements Plan.

The District may acquire additional right-of-way beyond the site-related needs to preserve a corridor for future capacity improvements, as provided in Section 7300.

Sidewalk Policy: District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all arterial streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased

safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Frontage Improvements Policy: District Policy 7205.2.1 states that the developer shall widen the pavement to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site. Curb, gutter and additional pavement widening may be required (See Section 7205.5.5).

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. The segment of Deer Flat Road abutting the site is designated in the MSM as a Residential Arterial with 5-lanes and on-street bike lanes, a 72-foot street section within 96-feet of right-of-way.

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. The segment of Ten Mile Road abutting the site is designated in the MSM as a Transitional/Commercial Arterial with 5-lanes and on-street bike lanes, a 72-foot street section within 96-feet of right-of-way.

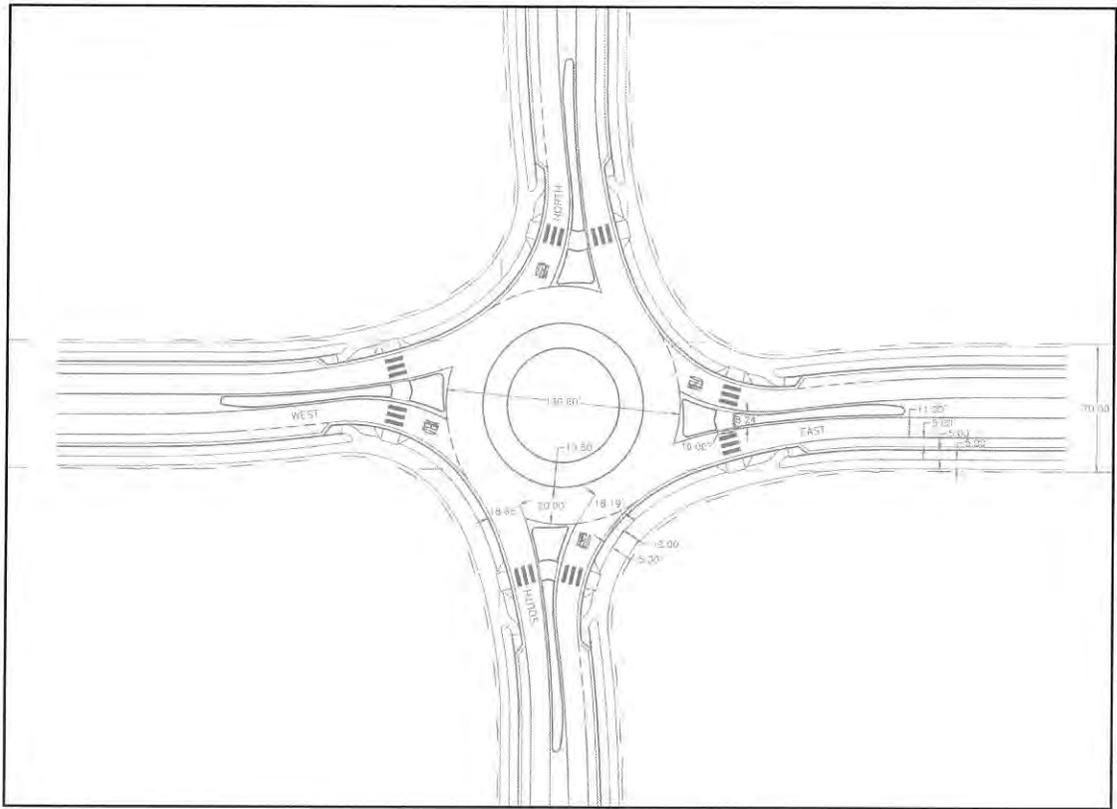
- b. Staff Comments/Recommendations:** The applicant should be required to dedicate right-of-way to total 48-feet from the centerline of both Deer Flat Road and Ten Mile Road abutting the site.

The applicant should be required to construct a 5-foot wide detached concrete sidewalk located a minimum of 42-feet from the centerline of Deer Flat Road and Ten Mile Road abutting the site.

Additionally, the applicant should be required to widen the pavement to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site on Deer Flat Road and Ten Mile Road.

2. Deer Flat/Ten Mile Intersection

- a. Staff Comments/Recommendations:** The Deer Flat/Ten Mile Road intersection is listed in ACHD's Capital Improvement Plan (CIP) to be widened and reconstructed as a single lane roundabout in 2031 to 2035. To accommodate this improvement the applicant should be required to dedicate additional right-of-way at the intersection, as depicted on the illustration below.



3. Wasabi Avenue and Lampblack Drive

a. Policy

Commercial Roadway Policy: District Policy 7208.2.1 states that the developer is responsible for improving all commercial street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Street Section and Right-of-Way Policy: District Policy 7208.5 states that right-of-way widths for new commercial streets shall typically be 50 and 70-foot wide and that the standard street section will vary depending on the need for a center turn lane, bike lanes, volumes, percentage of truck traffic, and/or on-street parking.

- A 36-foot street section (back-of-curb to back-of-curb) will typically accommodate two travel lanes and on-street parking.
- A 40-foot street section (back-of-curb to back-of-curb) will typically accommodate two travel lanes and a center turn lane.
- A 46-foot street section (back-of-curb to back-of-curb) will typically accommodate two travel lanes and a center turn lane and bike lanes.

Continuation of Streets Policy: District Policy 7208.2.4 states that an existing street, or a street in an approved preliminary plat, which ends at a boundary of a proposed development shall be extended in that development. The extension shall include provisions for continuation of storm drainage facilities. Benefits of connectivity include but are not limited to the following:

- Reduces vehicle miles traveled.
- Increases access for emergency services.
- Reduces need for additional access points to the arterial street system.

- Promotes the efficient delivery of services including trash, mail and deliveries, water and sewer.
- Promotes orderly development.

Sidewalk Policy: District Policy 7208.5.6 requires a concrete sidewalks at least 5-feet wide to be constructed on both sides of all commercial streets. If a separated sidewalk is proposed, a parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.).

- b. Staff Comments/Recommendations:** Wasbai Avenue is constructed as a half street abutting the site's west property line and Lampblack Drive is constructed as a half street abutting the site's north property line.

The applicant should be required to complete both Wasbai Avenue and Lampblack Drive as 36 to 40-foot wide street sections with vertical curb, gutter, and 5-foot wide attached concrete sidewalks within 50 to 54-feet of right-of-way.

4. Access/Driveways

a. Policy

Access Points Policy: District Policy 7205.4.1 states that all access points associated with development applications shall be determined in accordance with the policies in this section and Section 7202. Access points shall be reviewed only for a development application that is being considered by the lead land use agency. Approved access points may be relocated and/or restricted in the future if the land use intensifies, changes, or the property redevelops.

Access Policy: District policy 7205.4.6 states that direct access to minor arterials is typically prohibited. If a property has frontage on more than one street, access shall be taken from the street having the lesser functional classification. If it is necessary to take access to the higher classified street due to a lack of frontage, the minimum allowable spacing shall be based on Table 1a under District policy 7205.4.6, unless a waiver for the access point has been approved by the District Commission.

Driveway Location Policy: District policy 7205.4.5 requires driveways located on minor arterial roadways from a signalized intersection with a single left turn lane shall be located a minimum of 330-feet from the nearest intersection for a right-in/right-out only driveway and a minimum of 660-feet from the intersection for a full-movement driveway.

Successive Driveways (Ten Mile): District policy 7205.4.6 Table 1a, requires driveways located on minor arterial roadways with a speed limit of 45 MPH to align or offset a minimum of 380-feet from any existing or proposed driveway.

Successive Driveways (Deer Flat): District policy 7205.4.6 Table 1a, requires driveways located on minor arterial roadways with a speed limit of 35 MPH to align or offset a minimum of 330-feet from any existing or proposed driveway.

Driveway Width Policy: District policy 7205.4.8 restricts high-volume driveways (100 VTD or more) to a maximum width of 36-feet and low-volume driveways (less than 100 VTD) to a maximum width of 30-feet. Curb return type driveways with 30-foot radii will be

required for high-volume driveways with 100 VTD or more. Curb return type driveways with 15-foot radii will be required for low-volume driveways with less than 100 VTD.

Driveway Paving Policy: Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7205.4.8, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway and install pavement tapers in accordance with Table 2 under District Policy 7205.4.8.

Cross Access Easements/Shared Access Policy: District Policy 7202.4.1 states that cross access utilizes a single vehicular connection that serves two or more adjoining lots or parcels so that the driver does not need to re-enter the public street system.

Driveway Location Policy (Wasabi Avenue and Lampblack Drive):

District policy 7208.4.1 requires driveways located near intersections to be located a minimum of 75-feet (measured centerline-to-centerline) from the nearest street intersection.

Driveway Width Policy (Wasabi Avenue and Lampblack Drive):

District policy 7208.4.3 restricts commercial driveways to a maximum width of 40-feet. Most commercial driveways will be constructed as curb-cut type facilities.

- b. **Staff Comments/Recommendations:** All driveways within the site should comply with the policies listed above.

5. Traffic Impact Study

a. Policy

Traffic Impact Study: District policy 7106.1 requires a traffic impact study for developments which generate 100 or more PM peak hour trips. This equates to approximately 35,000 square feet of retail use and 50,000 square feet of office use.

- b. **Staff Comments/Recommendations:** A traffic impact study may be required for this application. Please contact ACHD's Planning Review staff to determine whether or not a traffic impact study will be required for a future development application on this site.

B. Traffic Information

Trip Generation

A single family dwelling unit is estimated to generate 9.52 vehicle trips per day based, with 1 trip in the PM peak hour based on the Institute of Transportation Engineers Trip Generation Manual, 9th edition.

Condition of Area Roadways: Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Ten Mile Road	625-feet	Minor Arterial	370	Better than "E"
Deer Flat Road	380-feet	Minor Arterial	105	Better than "E"

* Acceptable level of service for a two-lane minor arterial is "E" (575 VPH).

Average Daily Traffic Count (VDT): *Average daily traffic counts are based on ACHD's most current traffic counts*

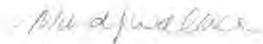
- The average daily traffic count for Ten Mile Road south of Hubbard Road was 6,424 on 9/20/16.
- The average daily traffic count for Deer Flat Road west of Ten Mile Road was 1,987 on 3/8/16.

C. Attachments

1. Vicinity Map
2. Standard Conditions of Approval
3. Request for Appeal of Staff Decision

If you have any questions, please feel free to contact me at (208) 387-6178.

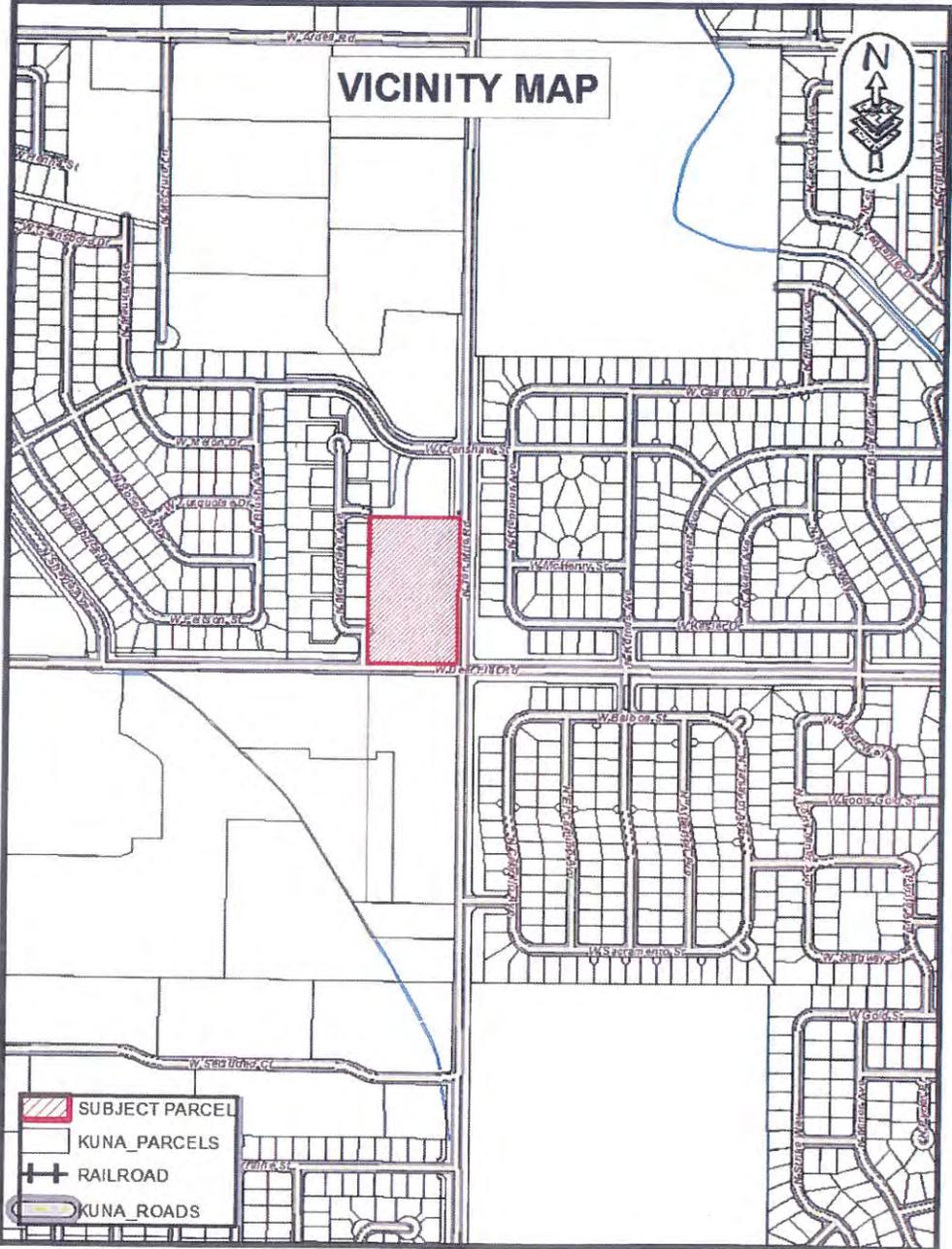
Sincerely,



Mindy Wallace, AICP
Planner III
Development Services

cc: City of Kuna

VICINITY MAP



Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.6, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
 - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
 - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
 - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
 - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
 - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.



STATE OF IDAHO
DEPARTMENT OF ENVIRONMENTAL QUALITY
BOISE REGIONAL OFFICE
1445 North Orchard Street•Boise, ID 83706-2239•(208) 373-0550

DEQ Response to Request for Environmental Comment

Date: February 28, 2017
Agency Requesting Comments: Kuna Planning & Zoning
Date Request Received: February 17, 2017
Applicant/Description: Change to Kuna City Comprehensive Plan

Thank you for the opportunity to respond to your letter dated December 29, 2016

Based on the information provided, it appears there are no issues within our regulatory authority. At this time, we do not have any comments; however, we do request that this project consider the state and federal rules and regulations for air, water, waste and the overall environment. If there is additional information to be reviewed, please let us know.

We appreciate the opportunity to review the application, if you have additional questions or concerns, please contact me at (208) 373-0550.

Sincerely,

A handwritten signature in cursive script that reads "Aaron Scheff".

Aaron Scheff
aaron.scheff@deq.idaho.gov
Regional Administrator
Boise Regional Office
Idaho Department of Environmental Quality

C: TRIM: 2017AEK14
File # 2243

Exhibit

C-9