



KUNA PLANNING AND ZONING COMMISSION  
Agenda for November 28, 2017

Kuna City Hall ■ Council Chambers ■ 751 W. 4<sup>th</sup> St. ■ Kuna, Idaho

**1. CALL TO ORDER AND ROLL CALL**

Chairman Lee Young  
Vice Chairman Dana Hennis  
Commissioner Cathy Gealy  
Commissioner Stephen Damron  
Commissioner John Laraway

**2. CONSENT AGENDA**

- a. Meeting Minutes for November 14, 2017.
- b. 17-06-AN (Annexation), 17-08-S (Pre-Plat), and 17-18-DR (Design Review) - ***Findings of Fact and Conclusions of Law***

**3. PUBLIC HEARING**

- a. **17-08-AN (Annexation);** The City of Kuna is requesting approval for annexation of approximately 37.6 acres +/-, also known as Danskin Ridge Subdivision No's. 2, 3 and 5, and portions of No. 1, into Kuna City limits with an 'R-2' (Low Density Residential) zoning designation. The subject lands are located on the south side of west Columbia Road, approximately 800-feet east of the intersection of west Columbia and south Ten Mile Roads (Slide Creek Road and Buffalo Creek Lane; respectively), Kuna, Idaho in Section 11, T2N, R1W, B.M.
- b. **17-11-S (Subdivision) and 17-25-DR (Design Review);** A request from Chuck Christensen with Quadrant Consulting, representing Varialle Construction for preliminary plat and Design Review approval for an approximately 6.8-acre subject parcel within an existing R-6 zone, in order to subdivide the land into 25 single family lots, and an additional two (2) common lots. The site is located on the north side of W. Hubbard Road, approximately 500 feet east of S. Magellan Avenue; addressed as 882 E. Hubbard Road, Kuna, Idaho (APN#: #S1407347180) in Section 7, T2N, R1E, B.M.
- c. **17-10-S (Pre-Plat) and 17-23-DR (Design Review);** A request from Kirsti Grabo with KM Engineering, for approval to subdivide approximately 132.80 acres, (previously zoned R-4), into 530 single family residential lots and 67 common lots, with one shared driveway and have reserved the name Gran Prado Subdivision. A Design Review application for the 67 common areas and buffer landscaping accompanies this application. The site is located at the north-west corner of Ten Mile and Lake Hazel Roads, the site is located Between Amity Road and Lake Hazel, west of Ten Mile Road, Kuna, Idaho, in Section 34, T 23N, R 1W, B.M. -***Tabled from November 14, 2017***

**4. COMMISSION REPORTS**

**5. ADJOURNMENT**

**CITY OF KUNA  
PLANNING & ZONING COMMISSION**

**MEETING MINUTES  
Tuesday, November 14, 2017**

PZ COMMISSION MEMBER	PRESENT	CITY STAFF PRESENT:	PRESENT
Chairman Lee Young	X	Wendy Howell, Planning Director	X
Commissioner Dana Hennis	X	Troy Behunin, Senior Planner	X
Commissioner Cathy Gealy	X	Trevor Kesner, Planner II	Absent
Commissioner Stephen Damron	X	Jace Hellman, Planner I	X
Commissioner John Laraway	Absent		

**6:00 pm – COMMISSION MEETING & PUBLIC HEARING**

Chairman Young called the meeting to order at **6:00 pm**.

**Call to Order and Roll Call**

**1. CONSENT AGENDA**

- a) Meeting Minutes for October 24, 2017.

*Commissioner Gealy motions to approve the consent agenda; Commissioner Damron Seconds, all aye and motion carried 4-0.*

**2. PUBLIC HEARING**

- a) **17-05-SUP (Special Use Permit) & 17-22-DR (Design Review);** A request from Inaki Lete to construct an additional storage facility on approximately 3.70 acres. The site is located at 1795 West Deer Flat Road, Kuna, Idaho.

**- Staff requests this item be tabled to the regular Planning & Zoning Commission meeting on December 12, 2017**

**Jace Hellman:** The applicant submitted a neighborhood meeting certification, but failed to actually hold their neighborhood meeting. So, we will have to table it until they held their meeting.

*Commissioner Gealy Motions to table 17-05-SUP and 17-22-DR until the regularly scheduled planning and zoning meeting on December 12, 2017; Commissioner Hennis Seconds, all aye and motion carried 4-0.*

- b) **17-10-S (Pre-Plat) and 17-23-DR (Design Review);** A request from Kirsti Grabo with KM Engineering, for approval to subdivide approximately 132.80 acres, (previously zoned R-4), into 530 single family residential lots and 67 common lots, with one shared driveway and have reserved the name Gran Prado Subdivision. A Design Review application for the 67 common areas and buffer landscaping accompanies this application. The site is located at the north-west corner of Ten Mile and Lake Hazel Roads, the site is located Between Amity Road and Lake Hazel, west of Ten Mile Road, Kuna, Idaho, In Section 34, T 23N, R 1W.

**- Staff request item be tabled to the regular Planning & Zoning Commission meeting on November 28, 2017 (pending completion of Ada County Highway District's final staff report.)**

**Troy Behunin:** As the commission knows we like to give a complete packet. At this time the ACHD staff report is not ready. The applicant has made two variance requests on their standards. One concerns mid mile collector

# CITY OF KUNA PLANNING & ZONING COMMISSION

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## MEETING MINUTES Tuesday, November 14, 2017

and the other one was the connection to the Bittercreek Subdivision. He is proposing that it does not connect. City code does require it, but in this case staff is supportive of it. That variance needs to go to ACHD. Where the city handles it during the public hearing process. They cannot. So, that is not ready. They are hoping to have something finalized for the November 28<sup>th</sup> meeting. However, if it is scheduled and it is not ready we are free to table it again until it is. It is up to the commission to decide what you would like to do.

*Commissioner Gealy Motions to table 17-10-S and 17-23-DR until the regularly scheduled planning and zoning meeting on November 28, 2017; Commissioner Hennis Seconds, all aye and motion carried 4-0.*

- c) **17-06-AN (Annexation), 17-08-S (Pre-Plat), and 17-18-DR (Design Review);** A request from Steve Arnold (A-Team Land Consultants) representing Yuji Matsuyama (Owner) to annex approximately 15.82 acres into Kuna City with an R-4, residential zone, and to subdivide the property into 42 single family residential lots and 4 common lots and have reserved the name Wapiti Creek Subdivision. A Design Review application for the common areas and buffer landscaping accompanies this application. The site is located at the north-east corner of Ten Mile and Ardell Roads, the site address is 2480 S. Ten Mile Rd., Kuna, Idaho, In Section 14, T 2N, R 1W, APN #: S1314244345.

**Steve Arnold:** For the record, Steve Arnold, A-team land consultants, 1785 Whisper Cove, Boise 13709. Wapiti Creek Subdivision is a proposed 42 lot residential subdivision and roughly 15.2 acres it is at the North-East corner of the future extension of Ardell and Ten Mile. The overall density for what we are proposing is roughly 2.5 units per acres. The Comp Plan calls for 2 to 4 unit per acre, or R-4 zoning which we are requesting, so we are on the lower side of the Comp Plan calls for and I will get into why we are doing what we are doing. You have recently seen me with other projects of similar density, and that is what we are trying to hit. As part of the development we are improving are Ten Mile Road, we have a 20- foot landscape buffer along with a five-foot-wide detached pathway. Ardell will complete the improvements either with a road trust with the Cardoza subdivision, I believe to the south, or if they go in first we will provide the road trust for our other half is how ACHD has conditioned, thus you get the street section completed all at once. Within the subdivision, again because we are trying to make these nicer lots, we are providing a reduced street section, a 29-foot section with an 8-foot planter islands and five-foot detached pathway. Those pathways are design to connect with our easement along our north and east boundary, which is for the teed lateral. In the cities trail plan the city has a pathway in there so we are extending it as a part of our subdivision where we abut. The intention is to basically create a loop. We have a micro path that comes out in the corner there, and on the stub street that we are extending in and then the street going out to Ardell will connect all of that. So, we will have roughly  $\frac{3}{4}$  of mile loop and we will create a nice amenity out of that. We are extending our connection to the transportation system. We are extending a stub street in from the north, and then we have a street connection out to Ardell, nothing is proposed out to Ten Mile, so we will have adequate access. As I have stated, ACHD has approved this. It was a staff level approval due to minimal amounts of traffic impacts. To give you an idea for the vision of this sub, there is a lot of smaller lots in Kuna and we have marketed subdivision out here to where we are getting a lot of feedback from buyers who say they are looking for larger lots where they can put either some sort of RV pad or storage, or more space. We are not trying to compete with production builders and form building team like we have done and create equity by design. Select builders and us kind of dictating through CC&Rs and an architectural control committee, basically policing what is going in there so we get a nice product at the end of the day. Again, these lots range from about just under 9,000 square feet to over 16,000 square feet. So again, there is production builders all around us, I think there is niche for this, and I think it will sell out very well. So, it is similar to what we did with Denali Subdivision and the next example I will be using is the Rising Sun Estates, which this board recently approved and City Council approved last week. We really feel

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there is a niche for the market type and that is focus. It is tight with the cost of construction of Ardell, but I think we can get a little extra premium for these lots and make it all work. That being said I will stand for any questions. **C/Young:** Are there any questions for the applicant at this time? **C/Damron:** No, not at this time. **C/Young:** Well, I do have one question. On the south boundary of Cascade Avenue, does that line up with the proposed entry of the Cazador Subdivision? **Steve Arnold:** Mr. Chairman, we will line it up, and that is one of ACHD's conditions to make sure it lines up. I know I am very close, but I didn't get the line work from the subdivision to south, but it is a condition is a condition and we will make sure we line it. It doesn't affect our lot layout at all. I think I am within twenty feet of the center line as is. **C/Gealy:** I have another question about Cascade Avenue. It looks like it is in phase two? Is that correct. **Steve Arnold:** This may have changed in the revised plat but I think I have phase one all connecting all out. Depending on the market we might end up doing this all at once instead of two. At the current market rate, it looks like we will end up doing it all in one. **C/Young:** Thank you. **Troy Behunin:** Good Evening commissioners, just for the record Troy Behunin, Planner III, 751 W 4<sup>th</sup> Street. The applications before you tonight are 17-06-AN (Annexation), 17-08-S (Pre-Plat), and 17-18-DR (Design Review). I just want to let you know that the noticing procedures have been met for us to hold this meeting tonight. As we go throughout tonight's public hearing, hopefully if you have any questions we can resolve them during this meeting. Initially this was actually scheduled for the October 24<sup>th</sup> meeting, but this actually fell victim to an ACHD staff report not being ready, but there was a miscommunication between staff here and staff there, mostly staff here so it got tabled. The applicant is seeking annexation for approximately 15.82 acres into Kuna City limits with an R-4 zone, which matches the Comp Plan map, designation of Low Den Res. This project is known as the Wapiti Creek Subdivision which is located at the NEC of Ten Mile and Ardell Roads. This project has frontage along Ten Mile Road and future Ardell Road. The site touches City limits on three sides and so it qualifies for annexation into the City. Applicant also proposed a preliminary plat for up to 42 buildable lots and 4 common lots. Applicant has also submitted for subdivision landscape design review and staff has just a couple concerns with their proposed landscaping, it appears a few more trees and shrubs are needed. Applicant will extend all public utilities to the site and anticipates two phases, possibly just one phase depending on the market, for the project total which will bring 42 total buildable lots, with a density proposed at 2.65 (gross) DUA and with 4 common lots that total approximately 2.06 acres of open space including trails and pathways within and on the outside of the sub for connectivity with other subs. It appears that there might be a few trees and shrubs missing on the buffers along Ten Mile and Ardell, but it is nothing that we can't overcome. Staff encourages the commission to ensure the applicant is required to follow all street, subdivision and landscaping requirements, and submit another plan bearing the full code compliant trees and shrubs. Staff has worked with the applicant to get it before you tonight, and they have submitted everything staff has asked for. Staff finds this application to be in concert with the comp plan goals and the comp plan map. I stand for questions. **C/Young:** Okay, are there any questions for staff at this time? **C/Gealy:** I have no questions. **C/Young:** Thanks Troy. At this time, I will open up the public testimony at 6:23, I do not have anybody signed up to testify, is there anybody here that has not signed up that would like to testify? Seeing none, I will go ahead and close the public testimony at 6:24, and that brings up our discussion. **C/Hennis:** I like the lot sizes. Finally, we are seeing some nice size lot sizes to blend in with the area around it, which is kind of what we are looking for. **C/Young:** For the size of the parcel with R-4 on multiple sides I think it will fit really well. **C/Gealy:** And I appreciate the pathway amenity. **C/Hennis:** I don't see any problems with it other than working with the City to get the landscaping corrected, I like how they have all of the trees on the inside, it is really nice. It is one of the better ones we have seen. **C/Young:** I agree with ACHD as far as entrances on Ten Mile. It is small enough, and I think adding more entrances on Ten Mile, is something that we don't want based on the corridor that it is turning into. **C/Damron:** With the other two subdivisions right there, it gives it some nice neighborhood continuity. **C/Hennis:** Any other thoughts or questions? If not, I could stand for a motion.

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*Commissioner Hennis motions to recommend approval to City Council Case No. 17-06-AN (Annexation) and 17-08-S (Pre-Plat) for the Wapiti Creek Subdivision with the conditions as stated in the staff report; Commissioner Gealy Seconds, all aye and motion carried 4-0.*

*Commissioner Hennis motions to approve 17-18-DR (Design Review) for the Wapiti Creek Subdivision with the conditions as stated in the staff report, and condition that the applicant work with the City to get the correct amount of landscaping per City code along the buffer on Ten Mile; Commissioner Damron Seconds, all aye and motion carried 4-0.*

**3. COMMISSION DISCUSSION AND REPORTS**

**4. ADJOURNMENT**

*Commissioner Gealy motions to adjourn; Commissioner Hennis Seconds, all aye and motion carried 4-0.*

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Lee Young, Chairman  
Kuna Planning and Zoning Commission

ATTEST:

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Wendy I. Howell, Planning and Zoning Director  
Kuna Planning and Zoning Department



# City of Kuna

P.O. Box 13  
Phone: (208) 922-5274  
Fax: (208) 922-5989  
Kunacity.id.gov

## P & Z Findings of Fact & Conclusions of Law

**To:** Planning and Zoning Commission

**Case Number(s):** 17-06-AN (Annex), 17-08-S (Subdivision) & 17-18-DR (Design Review):  
Wapiti Creek Subdivision

**Location:** North East Corner (NEC) of Ten Mile and Ardell Roads, Kuna, Idaho 83634

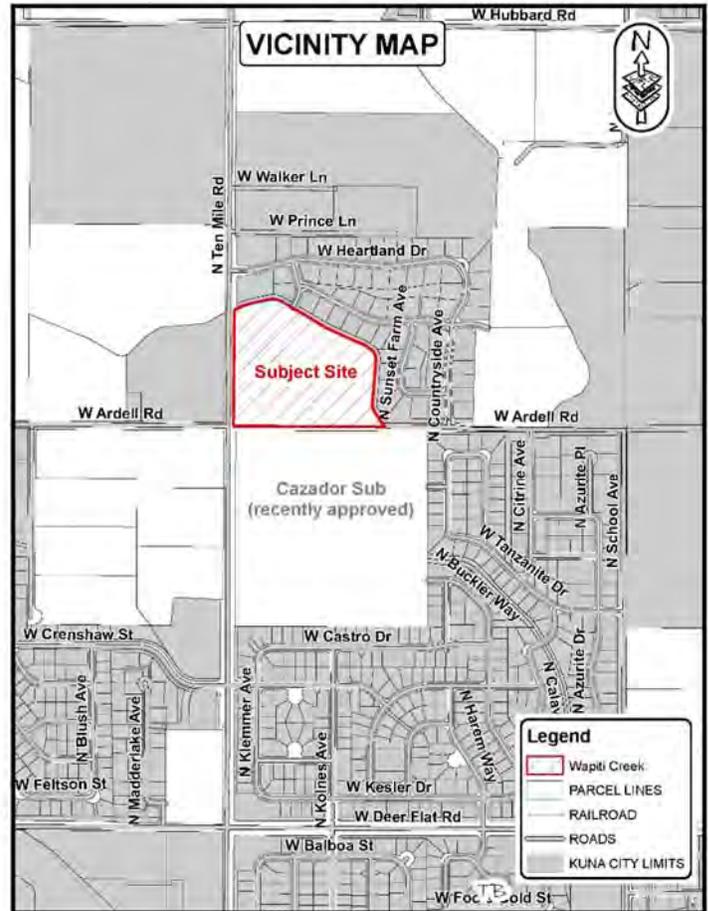
**Planner:** Troy Behunin, Planner III

**Hearing Date:** Oct. 24, 2017 (Tabled to Nov. 14, 2017)  
November 14, 2017

**Findings of Fact:** **November 28, 2017**

**Owner:** **Yuji Matsuyama**  
P.O. Box 2768  
McCall, ID 83638

**Representative:** **A Team Land Consultants**  
Steve Arnold  
1785 S. Whisper Cove Ave.  
Boise, ID 83709  
208.871.7020  
[steve@ateamboise.com](mailto:steve@ateamboise.com)



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### A. Course of Proceedings

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states that design reviews are designated as *public meetings*, with the Planning and Zoning Commission (acting as the Design Review Board) as the decision-making body; and that annexations and subdivision applications are designated as *public hearings*, with the Planning and Zoning Commission as the recommending body, and City Council as the decision-making body. These land use applications were given proper public notice and have followed the requirements set forth in Idaho Code, Chapter 65, Local Land Use Planning Act (LLUPA).

**a. Notifications**

- |                           |  |
|---------------------------|--|
| i. Neighborhood Meeting   | July 11, 2017 (seven persons attended)               |
| ii. Agencies              | September 9, 2017                                    |
| iii. 300' Property Owners | October 10, and November 2, 2017                     |
| iv. Kuna, Melba Newspaper | September 27, 2017 ( <i>tabled to date certain</i> ) |
| v. Site Posted            | October 5, and November 3, 2017                      |

**B. Applicant Request:**

1. Applicant, Steve Arnold with A-Team Land Consultants, requests to annex approximately 15.82 acres into Kuna City with an R-4, residential zone, and to subdivide the property into 42 single family residential lots and 4 common lots and have reserved the name Wapiti Creek Subdivision. A Design Review application for four common areas and buffer landscaping accompanies this application. The site is located at the north east corner of Ten Mile and Ardell Roads, The site address is 2480 S. Ten Mile Rd., Kuna, Idaho; In Section 14, T 2N, R 1W, APN #: S1314244345.

**2. Site Location Map:**

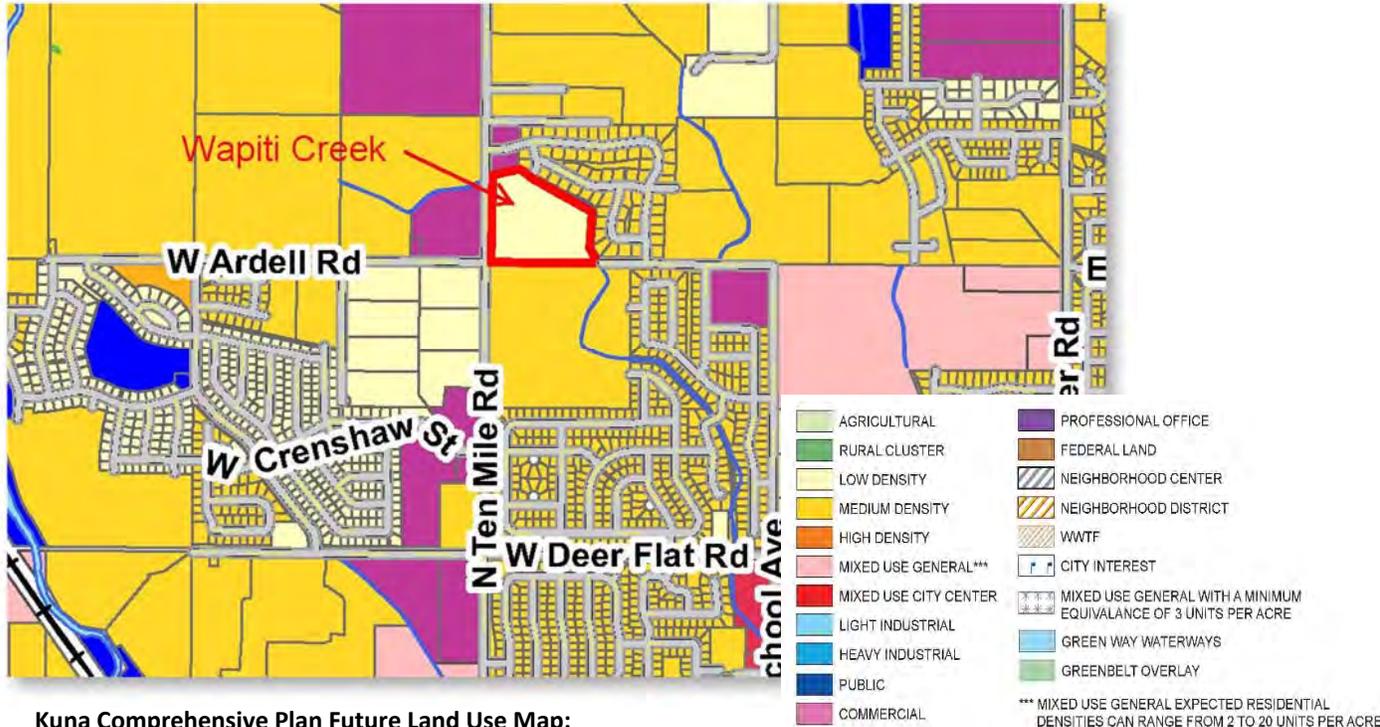


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- C. History:** The approximate 15.82-acre subject site is currently in Ada County, however, it is contiguous to Kuna City limits on all sides of the parcel (parcel south was recently approved for annexation), and has historically been used for a single family residence and the remainder for Agricultural purposes.

**D. General Projects Facts:**

1. **Comprehensive Plan Designation:** The City of Kuna's Future Land Use Map identifies the subject site as Low Density Residential (2 – 4 units per acre). Staff views this land use request to be consistent with the approved Future Land Use Map.



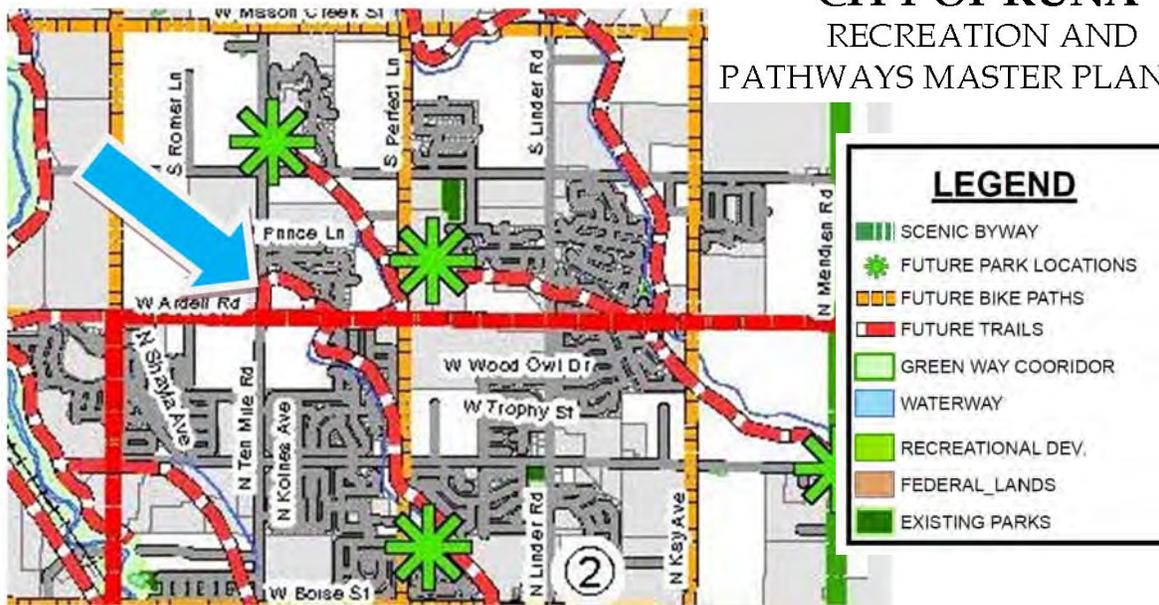
**Kuna Comprehensive Plan Future Land Use Map:**

The Kuna Comprehensive Plan Future Land Use Map shown above in conjunction with the map legend indicates that the subject site is designated as Low Density Residential. The applicant's request is consistent with the Future Land Use Map designation.

2. **Kuna Recreation and Pathways Master Plan Map:**

The Kuna Recreation and Master Pathways Plan map identifies a future trail adjacent to the Kuna Canal waterway as it flows through the subject site. The applicants submitted, proposed landscape plan accommodating this trail designation along the Kuna Canal.

**CITY OF KUNA  
RECREATION AND  
PATHWAYS MASTER PLAN MAP**



3. **Surrounding Existing Land Uses and Zoning Designations:**

<b>North</b>	C-1 and R-4	Neighborhood Commercial and Low Density Residential – Kuna City
<b>South</b>	R-6	Medium Density Residential – Kuna City
<b>East</b>	R-4	Low Density Residential – Kuna City
<b>West</b>	AG	Agriculture – City of Kuna

4. **Parcel Sizes, Current Zoning, Parcel Numbers:**

- Approx. 15.82 acres total
- RR (Rural Residential) – Ada County
- Parcel # S1314233800

5. **Services:**

- Sanitary Sewer– City of Kuna
- Potable Water – City of Kuna
- Irrigation District – Boise-Kuna Irrigation District
- Pressurized Irrigation – City of Kuna (KMID)
- Fire Protection – Kuna Rural Fire District
- Police Protection – Kuna City Police (Ada County Sheriff’s office)
- Sanitation Services – J & M Sanitation

6. **Existing Structures, Vegetation and Natural Features:** Currently vacant use is on site. This site slopes slightly to the southwest, towards Ten Mile Road, but is otherwise generally flat. Teed Lateral flows south to north on the east side of the subject parcel, on-site vegetation is consistent with typical agricultural fields.

**Transportation / Connectivity:** ACHD recommends Rights-of-Way (ROW) acquisition along Ten Mile Road (17 feet from centerline and three feet for a possible gravel shoulder) to serve the needs of the site and in sufficient amounts for a future roundabout at the Ten Mile and Ardell intersection. ACHD’s Master Street Map (MSM) calls for five lanes on Ten Mile Road within a 96 foot ROW corridor, and 72 feet of total improvements including on-street bike lanes.

The applicant proposes to construct a portion of Ardell Road as a half street section from Ten Mile Road along the south frontage, to serve the subdivision, which provided connection to an arterial road. Also, applicant proposes connection to Morning Sun Avenue on the north side of the property, within the Walnut Creek Subdivision expanded circulation. Applicant proposes 48 feet of ROW from centerline for Ten Mile and 30 feet for Ardell Road.

Applicant proposes construction of Ardell Road on the southern frontage and ACHD recommends conditioning their participation in building a crossing over the Teed Lateral on the east side of Ardell Road. ACHD recommends the applicant provide a trust that amounts to ¼ of the crossing to complete this segment of Ardell Road, a residential mid-mile collector road, and to dedicate a minimum of 30’ for ROW and sidewalks, curb and gutter. Staff concurs with ACHD’s recommendation.

There are several multiuse pathway connections within this development to support alternative transportation choices for residents, and create a more walkable and pedestrian friendly neighborhood environment.

7. **Environmental Issues:** Staff is not aware of any environmental issues, health or safety conflicts. Idaho Department of Environmental Quality (DEQ) has provided recommendations for surface and groundwater protection practices and requirements for development of the site.

8. **Agency Responses:** The following responding agency comments are included as exhibits with this case file:

- Ada County Highway District (ACHD) – Exhibit B-1
- Boise Project Board of Control – Exhibit B-2
- Central District Health Department (CDHD) – Exhibit B-3
- Community Planning Association of Southwest Idaho (COMPASS) – Exhibit B-4
- Department of Environmental Quality – Exhibit B-5
- Idaho Transportation Department (ITD) – Exhibit B-6
- Kuna Rural Fire District – Exhibit B-7

**E. Staff Analysis:**

Applicant requests approval to annex approximately 15.82 total acres with a current county zoning designation of Rural Residential (RR) into Kuna City limits with an R-4 (Low Density Residential) zone; and subdivide the subject property creating a 42 lot, single family subdivision, known as *Wapiti Creek* Subdivision. Applicant also proposes to develop four additional lots, into common lots for the use by residents. Applicant proposes one of these four common lots to be developed as a multi-use pathway along the Teed Lateral. The pathway is proposed to be built by the developer (see Letter of Intent), and is proposed to be dedicated to the City. A Homeowners Association (HOA) will be established for the care and maintenance for the common lots and landscape buffers.

The site is eligible for annexation, as it touches current City limits on all sides of the project. Applicant is proposing two (2) phases of development which will largely be driven by the consumer market.

Public services will be extended to the property at the developers cost, by extending existing City facilities.

A design review application accompanies the applicant's request for the common area landscaping and buffers. Staff recommends through-connections for pedestrians and non-motorized transportation between home lots for better pedestrian access. Staff notes that a monument sign is called out for the subdivision, but was not included with the design review application, all monument signs are required to go through design review. This process can be accomplished at a later date without any delay to the project. Staff finds that the proposed landscaping does not appear to be compliant for the buffers on Ten Mile and Ardell Roads. Staff recommends the applicant be conditioned to become compliant with KCC 5-17-15. Those changes are requested in the proposed conditions of approval – Condition # 12, staff recommends that the applicant resubmit a plan bearing these changes.

Staff has determined these applications comply with Title 5 of the Kuna City Code; Idaho Statute §50-222; and the Kuna Comprehensive Plan; and forwards Case No.'s 17-06-AN, 17-08-S and 17-18-DR, to the Commission with recommended conditions of approval listed in section 'L' of this report.

**F. Applicable Standards:**

1. Kuna City Code Chapter 6 – Chapter 1-6; Subdivision Regulations,
2. Kuna City Code Title 5 – Chapter 1-17; Zoning Regulations,
3. City of Kuna Comprehensive Plan and Future Land Use Map,
4. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act.

**G. Procedural Background:**

The Commission held a public hearing on November 14, 2017, to consider Cases No.'s 17-06-AN, 17-08-S and 17-18-DR, including the submitted application documents, agency comments, staff report, application exhibits and public testimony presented at the hearing.

**H. Factual Summary:**

This site is located at the northeast corner (NEC) of Ten Mile and Ardell Roads. Applicant proposes to annex approximately 15.82 acres into the City of Kuna with an R-4 (Low density residential) zone. Applicant has

submitted a preliminary plat to subdivide the parcel into 42 buildable lots and four common lots, 14% open space, a pathway along Teed Lateral, and proposes to improve Ten Mile, Ardell and all internal Roads to City and ACHD standards.

**I. Comprehensive Plan Analysis:**

The comprehensive plan is a living document, intended for use as a guide to governmental bodies. The plan is not law that must be strictly adhered to in the most stringent sense; it is to be used by public officials to assist their decision making for the City. The Kuna Planning and Zoning Commission accepts the Comprehensive Plan components as described:

**Goals, Policies and Objectives from the Kuna Comprehensive Plan:**

**Private Property Rights Goals and Objectives - Section 2 - Summary:**

Ensure the City land use policies, restrictions, conditions and fees do not violate private property rights and ensure that land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property. Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right and evaluate with guidance from the City attorney and the Idaho Attorney General's six criterion established to determine the potential for property takings.

***Comment:*** Utilizing the Idaho Attorney Generals criteria, and a review by the City Attorney, the proposed project does not constitute a "takings" and the economic value is intact.

**Economic Development Goals and Objectives - Section 5 - Summary:**

Ensure an adequate supply of housing for all income levels and facilitate pedestrian connections, both visually and physically, to enhance pedestrian movement.

***Comment:*** The proposed application complies with the comprehensive plan by providing a mix of lot sizes, and a pathway along the Teed Lateral and sidewalks and outside connections to meet this goal.

**Land Use Goals and Objectives - Section 6 - Summary:**

Adopt a future land use plan and map that includes natural and developed open spaces, while providing a variety of housing densities and types to accommodate various lifestyles, ages and economic groups. Protect existing neighborhoods and ensure new development is sustainable and keeps Kuna desirable. Develop cohesive neighborhoods with character and quality while incorporating a variety of densities and styles.

***Comment:*** The project complies with the land use plan as adopted by the City by incorporating the following; landscape buffers, utilization of the Teed Lateral corridor for a future pathway, varied larger housing densities and types and promotes desirable, cohesive community character and a quality neighborhood.

**Natural Resources Goals and Objectives - Section 7 - Summary:**

Retain natural resources that contribute to Kuna's quality of life while developing a green grid of trails for bikes throughout the City for recreation and alternative transportation needs.

***Comment:*** The proposed application provides pathways through the development as well as a trail along Teed Lateral for recreation and alternate transportation modes.

**Public Services, Facilities and Utilities Goals and Objectives - Section 8 - Summary:**

Provide adequate services, facilities, and utilities for all City residents and annex contiguous properties who request City services. Ensure that development within Kuna connects into the City's sanitary sewer and potable water systems and continue expansion of the City's sewer systems as resources allow.

**Comment:** Kuna has adequate services for this development and the authority to annex the requested lands into the City. This application will expand the City's sanitary sewer system, potable water and adds to the pressure irrigation mainline in an orderly fashion.

Transportation Goals and Objectives - Section 9 - Summary:

Work with Kuna City, ACHD and COMPASS to promote and encourage bicycling and walking as transportation modes. Develop a transportation strategy and identify future transit corridors while requiring developers to preserve rights-of-way, to improve mobility on major routes while balancing land use planning with transportation needs.

**Comment:** ACHD, and COMPASS have provided a report. The project meets with the transportation goals of the City by extending public rights-of-way on South Ten Mile and West Ardell Roads to create additional transportation connections.

Recreation Goals and Objectives - Section 10 - Summary:

Ensure a City wide system of parks, trails and recreational opportunities for a variety of year-round outdoor activities balancing active and passive open spaces with easy access for users. Encourage the development of community and neighborhood-centered recreational facilities including gathering places connected by trails, walkways, bikeways and horse paths.

**Comment:** Applicant's proposed subdivision incorporates trails along Teed Lateral, and landscape buffers for residents, meeting the goals of the City.

Housing Goals and Objectives - Section 12 - Summary:

Encourage developers to provide high-quality development with a variety of lot sizes, dwelling types, densities and price points to meet the needs of current and future population while creating safe and aesthetically-pleasing neighborhoods. Ensure housing is available throughout the community for all income levels and those with special needs. Encourage logical and orderly residential development while discouraging developers from developing land divisions greater than one half acre because large lot subdivisions increase municipal costs, require public subsidy and create sprawl.

**Comment:** Applicant has proposed 42 single family lots which will contribute to high-quality lots of varied sizes to be developed in a logical and orderly manner. The development adds a trail and open space, connections to other subdivisions, creating a pleasant neighborhood environment.

Community Design Goals and Objectives - Section 13 - Summary:

Strengthen Kuna's Image through good community and urban design principles that create self-sufficient neighborhoods. Foster good community design concepts that incorporate landscape features to serve as buffers between incompatible uses while reducing scale and create a sense of place.

**Comment:** The application incorporates sound community design and landscape features to buffer incompatible uses to create a sense of place for the community to foster neighborhood interactions and activities.

**J. Commissions Conclusions of Law:**

Based on the evidence contained in Case No's 17-06-AN, 17-08-S and 17-18-DR, the Kuna Planning and Zoning Commission finds Case No's 17-06-AN, 17-08-S and 17-18-DR comply with Kuna City Code, the Kuna Comprehensive Plan and the goals of the Design Review Committee, as proposed or conditioned.

1. This request appears to be consistent and in compliance with Kuna City Code (KCC).

**Comment:** The proposed project meets the land use and area standards in Chapter 3, Title 5 of KCC. Staff also finds that the proposed project meets all applicable requirements of Title 6 of KCC.

2. The site is physically suitable for a subdivision.  
**Comment:** *The 15.82 acre subdivision is large enough to include a mix of lot sizes, community open space(s), and a pathway along Teed Lateral.*
  
3. The annexation and subdivision uses are not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.  
**Comment:** *The land to be annexed is not used as wildlife habitat. Roads, homes and open spaces are planned for construction according the City requirements and best practices. Staff is not aware of any environmental damage or loss of habitat associated with the proposed development.*
  
4. The annexation and subdivision application is not likely to cause adverse public health problems.  
**Comment:** *The annexation of the property requires a zoning designation per Kuna Code 5-13-9. The low density zone requires connection to public sewer and water, therefore eliminating the occurrence of adverse public health problems. Through correspondence with public service providers and application evaluation, this project appears to avoid detriment to surrounding uses.*
  
5. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.  
**Comment:** *The annexation, rezone and design of the subdivision did consider the location of the property adjacent to Teed Lateral, classified roadways (Ten Mile and Ardell.) and the system. The subject property can be connected to the City's public sewer, water and pressure irrigation facilities. The adjacent uses are complimentary uses (Kuna) as proposed in the Kuna Comprehensive Plan Future Land Use Map.*
  
6. The existing and proposed street and utility services in proximity to the site are suitable and adequate for residential purposes.  
**Comment:** *Correspondence from ACHD and Kuna Public Works confirms that the proposed streets and utility services are suitable and adequate for this residential project. ACHD confirms that the proposed streets within and adjacent to the subdivision are adequate for the proposed development.*

**K. Commission Findings of Fact:**

Based upon the record in 17-06-AN, 17-08-S and 17-18-DR, including the Comprehensive Plan, Kuna City Code, Staff's report, including the exhibits, and the testimony elicited during the public hearing, the Commission hereby recommends *approval/conditional approval/conditional approval/denial* for Case No's 17-06-AN and 17-08-S, a request for annexation and subdivision preliminary plat to Council, and approves/conditionally approves/denies Case No. 17-18-DR Subdivision Design Review request by the applicant as follows:

*The Commission concludes that the Application complies with the City of Kuna's Zoning regulations (Title 5) of KCC and the Subdivision regulations outlined in title 6 of KCC and the Landscape Code in title 5.*

1. In making a decision regarding the Subdivision application, the Council is to consider Idaho Code §67-6535 (2), which states the following:  
*The approval or denial of any application required or authorized pursuant to this chapter shall be in writing and accompanied by a reasoned statement that explains the criteria and standards considered relevant, states the relevant contested facts relied upon, and explains the rationale for the decision based on the applicable provisions of the comprehensive plan, relevant ordinance and statutory provisions, pertinent constitutional principles and factual information contained in the record.*

In addition, Idaho Code §67-6535(2) (a), provides that:

*Failure to identify the nature of compliance or noncompliance with express approval standards or failure to explain compliance or noncompliance with relevant decision criteria shall be grounds for invalidation of an approved permit or site-specific authorization, or denial of same, on appeal.*

2. The Commission has the authority to *recommend* approval or denial for Case No's 17-06-AN and 17-08-S. On November 14, 2017 the Commission voted to recommend approval of these applications to Council.
3. The Commission has the authority to *approve* Case No. 17-18-DR. On November 14, 2017, the Commission voted to approve Case No. 17-18-DR.
4. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances to hold a public hearing on November 14, 2017, with the Commission.

**L. Decision by the Commission:**

Based on the facts outlined in staff's report and public testimony during the public hearing the Planning and Zoning Commission of Kuna, Idaho, hereby recommends *approval* for Case No's 17-06-AN and 17-08-S; annexation and preliminary plat and hereby *approves* 17-18-DR; Design Review *with* the following conditions of approval:

- *Applicant shall follow the conditions as outlines in the staff report,*
  - *Work with staff on the buffers along Ten Mile and Ardell Rd., to bring into compliance.*
1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
    - a. The City Engineer shall approve the sewer hook-ups.
    - b. The City Engineer shall approve drainage and grading plans.
    - c. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties".
    - d. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
    - e. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District is required.
    - f. The *Boise Project and Board of Control* shall approval any modifications to the existing irrigation system.
    - g. Approval from Ada County Highway District shall be obtained and Impact Fees must be paid prior to issuance of any building permit.
    - h. Idaho Transportation Department. No public street construction may be commenced without the approval and permit from Ada County Highway District and Idaho Transportation Department.
    - i. All public rights-of-way shall be dedicated and constructed to standards of the City, Ada County Highway District,
  2. Installation of utility service facilities shall comply with requirements of the public utility or irrigation district providing services. All utilities shall be installed underground, see KCC 6-4-2-W.
  3. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site.

4. Street lighting shall use LED lights, with spacing and wattages meeting KCC 5-4-6; applicant shall coordinate a street light plan for P&Z approval in concert with the prepared construction drawings for the project.
5. Parking within the site shall comply with KCC 5-9-3. A separate Design Review application is required for the community clubhouse and parking lot.
6. Fencing within and around the site shall comply with Kuna City standards – KCC 5-5-5- A-J and KCC 6-4-2-E.
7. A sign permit is required prior to any subdivision entrance sign construction and shall comply with KCC 5-10-4. Monument signs will require a separate design review.
8. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within three days or as the planting season permits as required to meet KCC 5-17-7 standards. Maintenance and planting within public rights-of-way shall be approved from the public entities owning the property.
9. Submit a petition to the City consenting to the pooling of irrigation surface water rights for delivery purposes and requesting to annex the irrigation surface water rights appurtenant to the property to the Kuna Municipal Pressure Irrigation system of the City (KMID) prior to requesting final plat signature from the City Engineer.
10. The land owner/applicant/developer and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the Commission and/or Council, or seek amending them through public hearing processes.
11. The applicant’s proposed preliminary plat (dated 06/19/17) and landscape plan (dated 06/19/2017) shall be considered binding site plans, or as modified and approved through the public hearing process.
12. Applicant shall bring landscape buffers into compliance as described in Kuna City Code 5-17, and submit a PDF bearing these changes for approval.
13. Applicant shall follow staff, city engineer and other agency recommended requirements as applicable.
14. Applicant shall demonstrate permanent access, maintenance and care for all lots affected by shared driveways as proposed on the preliminary plat bearing the same date as above.
15. Compliance with all local, state and federal laws is required.

**DATED:** This 28<sup>th</sup> day of November, 2017.

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Lee Young, Chairman  
Kuna Planning and Zoning Commission

ATTEST: \_\_\_\_\_  
Troy Behunin, Planner III,  
Kuna Planning and Zoning Department



# City of Kuna

## Planning & Zoning Staff Report

P.O. Box 13  
Phone: (208) 922-5274  
Fax: (208) 922-5989  
Kunacity.id.gov

**To:** Planning and Zoning Commission

**Case Number:** 17-08-AN (Annexation) Danskin Ridge Subdivision No.'s 2, 3 & 5 Annexation

**Location:** South side of west Columbia Road, approximately 800-feet east of the intersection of west Columbia and south Ten Mile Roads, Kuna, Idaho 83634

**Planner:** Trevor Kesner, Planner II

**Hearing Date:** November 28, 2017

**Applicant:** City of Kuna  
PO Box 13  
Kuna, ID 83634

### Owner(s):

- |  |                         |                         |
|--|-------------------------|-------------------------|
| 1) COLLING, SANDRA A. & BRIAN D.                       | 8214 S SLIDE CREEK LN   | MERIDIAN, ID 83642-0000 |
| 2) WADLEY, DAVID & VALERIE                             | 8095 S SLIDE CREEK LN   | MERIDIAN, ID 83642-0000 |
| 3) BODOVINITZ, GARY D. & KATHY L.                      | 8191 S SLIDE CREEK LN   | MERIDIAN, ID 83642-0000 |
| 4) THURSTON, KEITH & KAREN                             | 8239 S SLIDE CREEK LN   | MERIDIAN, ID 83642-0000 |
| 5) JAKOVAC, CYNDEE                                     | 8335 S SLIDE CREEK LN   | MERIDIAN, ID 83642-0000 |
| 6) MIHKELSON, ERIC & WENDY TRUST                       | 8383 S SLIDE CREEK LN   | MERIDIAN, ID 83642-0000 |
| 7) DANSKIN RIDGE SUB HOA INC.                          | 8919 W ARDENE ST        | BOISE, ID 83709-0000    |
| 8) WILCOX, MARCIA RUTH & DANNY JOEL<br>REVOCABLE TRUST | 8552 S DANSKIN LN       | MERIDIAN, ID 83642-0000 |
| 9) HANNERS, WAYNE & TAMARA                             | 8517 S DANSKIN LN       | MERIDIAN, ID 83642-0000 |
| 10) MENDIOLA, DAVID R. & AMBER L.                      | 8194 S BUFFALO CREEK LN | MERIDIAN, ID 83642-0000 |
| 11) CHANEY, ROBERT R. JR & VICTORIA A.                 | 8163 S BUFFALO CREEK LN | MERIDIAN, ID 83642-0000 |
| 12) FEKETE, JAYNE & KYLE                               | 8262 S SLIDE CREEK LN   | MERIDIAN, ID 83642-7192 |
| 13) STEVENS, MICHAEL A. &<br>NAUMAN, NATALIE J.        | 8166 S SLIDE CREEK LN   | MERIDIAN, ID 83642-0000 |
| 14) DANDO, ROSS S. & DEBRA K.                          | 8070 S SLIDE CREEK LN   | MERIDIAN, ID 83642-0000 |
| 15) KING, WILLIAM & DAPHNE                             | 8143 S SLIDE CREEK LN   | MERIDIAN, ID 83642-0000 |
| 16) HAWKINS, MATTHEW E. & AMY                          | 8588 S DANSKIN LN       | MERIDIAN, ID 83642-0000 |
| 17) KIDD, JAMES D. & KATY B.                           | 8625 S DANSKIN LN       | MERIDIAN, ID 83642-0000 |
| 18) VANDER STELT, HENRY & CARRIE                       | 8589 S DANSKIN LN       | MERIDIAN, ID 83642-0000 |
| 19) WILLIAMS, WALTER C. & ROBERTA J.                   | 8110 S BUFFALO CREEK LN | MERIDIAN, ID 83642-0000 |
| 20) SPARRELL, SCOTT M. & KENNA M.                      | 8045 S BUFFALO CREEK LN | MERIDIAN, ID 83642-0000 |
| 21) KING, KELLY  | 8089 S BUFFALO CREEK LN | MERIDIAN, ID 83642-0000 |
| 22) HAWS, GABRIEL M. & KIMETHA M.                      | 8127 S BUFFALO CREEK LN | MERIDIAN, ID 83642-0000 |
| 23) FRANCIS, GRANT H. & ANDREA                         | 8310 S SLIDE CREEK LN   | MERIDIAN, ID 83642-0000 |
| 24) CREGO, GENE A. & MATILDA J.                        | 8047 S SLIDE CREEK LN   | MERIDIAN, ID 83642-7190 |
| 25) DOTY, JAMES E. &                                   |                         |                         |
| 26) JULIE ANN ALEXANDER                                | 8287 S SLIDE CREEK LN   | MERIDIAN, ID 83642-0000 |
| 27) CALLEY, DAVID M. & JULIE M.                        | 8624 S DANSKIN LN       | MERIDIAN, ID 83642-0000 |
| 28) BURGER, KAREN L.                                   | 8216 S BUFFALO CREEK LN | MERIDIAN, ID 83642-0000 |
| 29) KERN, RONALD A. & LISA C.                          | 8066 S BUFFALO CREEK LN | MERIDIAN, ID 83642-0000 |
| 30) RHUMAN, RANDALL M. & LAUREEN K.                    | 8358 S SLIDE CREEK LN   | MERIDIAN, ID 83642-0000 |

31) SHAW REVOCABLE LIVING TRUST; SHAW, BOBBY LOUIS TRUSTEE	8118 S SLIDE CREEK LN	MERIDIAN, ID 83642-0000
32) LETE, SIMON V. & WENDI R.	8606 S DANSKIN LN	MERIDIAN, ID 83642-0000
33) GOULD, STEVEN R. & SARA J.	8553 S DANSKIN LN	MERIDIAN, ID 83642-0000

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E. General Project Facts	K. Proposed Decision by the Commission
F. Staff Analysis	

**A. Course of Proceedings**

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states annexations are designated as public hearings, with the Planning and Zoning Commission as the recommending body, and the City Council as the decision-making body. This land use was given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Idaho Local Land Use Planning Act.

**a. Notifications**

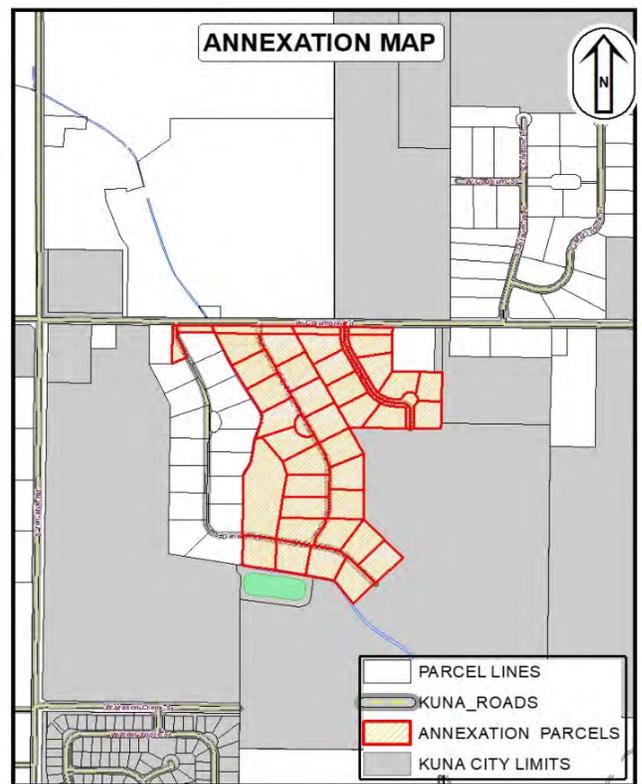
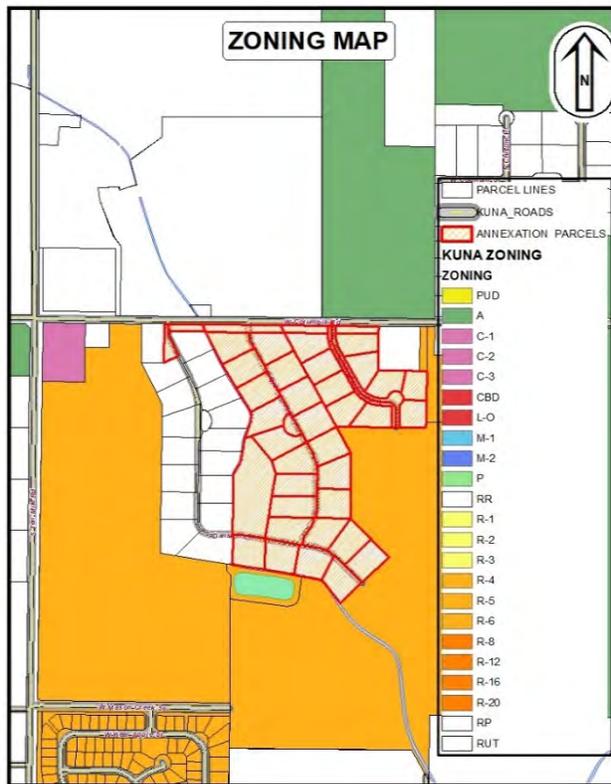
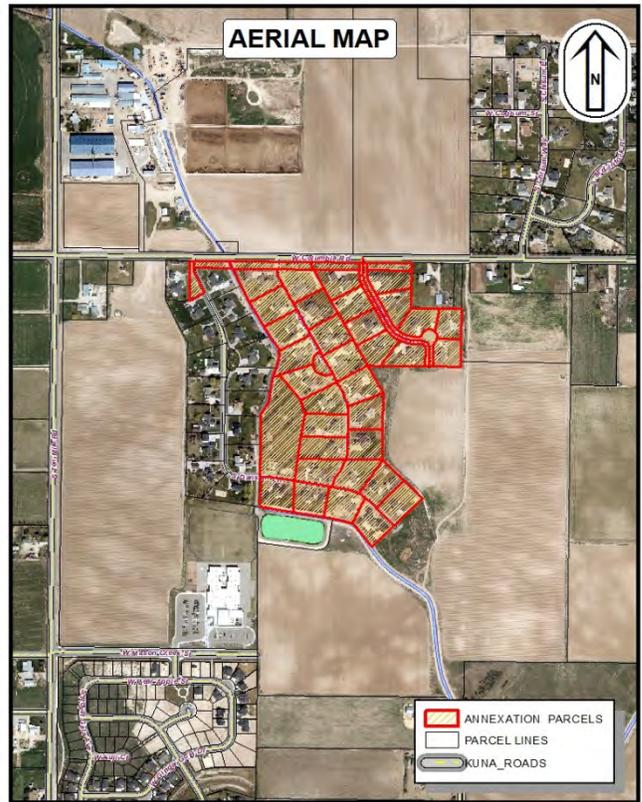
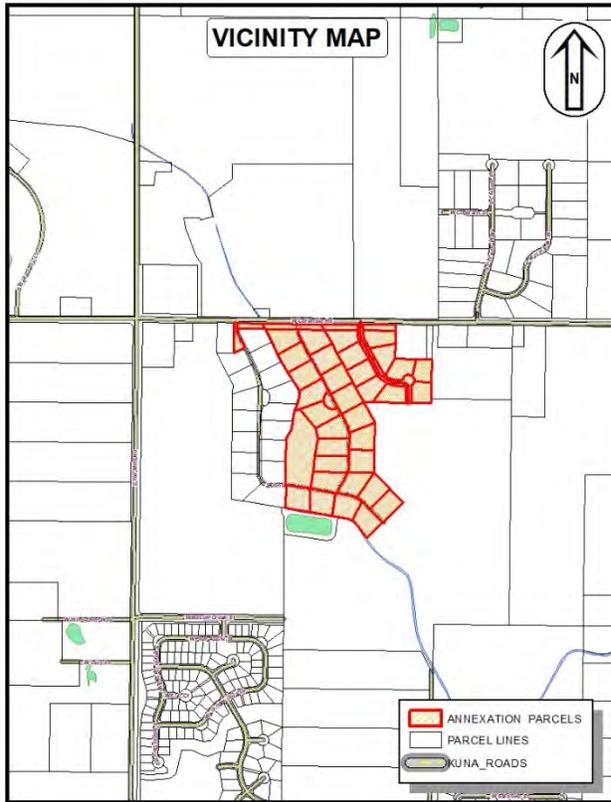
i. Neighborhood Meeting	October 16, 2017
ii. Agencies	November 2, 2017
iii. 300' Property Owners	November 8, 2017
iv. Kuna, Melba Newspaper	November 8, 2017
v. Site Posted	November 18, 2017

**B. Applicant Request:**

**1. Request:**

The City of Kuna is requesting approval for annexation of approximately 37.6 acres +/-, also known as Danskin Ridge Subdivision No's. 2, 3 and 5, and portions of No. 1, into Kuna City limits with an 'R-2' (Low Density Residential) zoning designation. The subject lands are located on the south side of west Columbia Road, approximately 800-feet east of the intersection of west Columbia and south Ten Mile Roads (Slide Creek Road and Buffalo Creek Lane; respectively), Kuna, Idaho.

C. Planning Maps:



**D. History:** The subject parcels are all in Ada County, currently zoned RR (Rural Residential), and are adjacent to Kuna City limits, or will touch City limits if the request is granted. The Danskin Ridge community was developed and platted within Ada County. Single-family residential parcels within Phase 1 of Danskin Ridge Subdivision were developed with individual septic systems, and are not party to this annexation request. Parcels within phases 2,3, and 5 are connected to a privately-owned community septic system that is now non-compliant with the Idaho Department of Environmental Quality (DEQ), as it has no location to apply its effluent. The City has allowed the effluent to be discharged into its system as a temporary solution while the annexation is in process.

Future development adjacent to Danskin Ridge subdivision will bring municipal sewer infrastructure facilities to the existing sewer storage pond. This provides an optimal opportunity for affected property owners within the Danskin community to connect to the Kuna’s municipal sewer services. In order to receive municipal sewer services (when they are made available), the affected property owners must annex into Kuna city limits. The City has secured and recorded consents to annex for each of the properties included in this request.

**E. General Projects Facts:**

1. **Comprehensive Plan Designation:** The Future Land Use Map (FLU) identifies these parcels as Low Density residential. Staff seeks a zoning designation of R-2 upon annexation approval. Staff views this land use request to be consistent with the approved FLU map.

2. **Surrounding Land Uses:**

<b>North</b>	RR \ A	Rural Residential \ Agricultural – Ada County
<b>South</b>	R-6	Medium Density Residential – Kuna City
<b>East</b>	R-6	Medium Density Residential – Kuna City
<b>West</b>	R-6	Medium Density Residential – Kuna City

3. **Parcel Sizes, Current Zoning, Parcel Numbers:**

- Approximately 37.6 total acres
- All parcels are currently Rural Residential (RR)
- Parcel Numbers:

<b>PARCEL #</b>	<b>ADDRESS</b>	<b>ACRES</b>
R1727740130	8182 S BUFFALO CREEK LN	0.817
R1727740100	8919 W ARDENE ST	0.326
R1727740080	8919 W ARDENE ST	0.348
R1727740030	8201 S BUFFALO CREEK LN	0.805
R1727720150	8214 S SLIDE CREEK LN	1
R1727720090	8095 S SLIDE CREEK LN	1
R1727720070	8191 S SLIDE CREEK LN	1
R1727720050	8239 S SLIDE CREEK LN	1.013
R1727720030	8335 S SLIDE CREEK LN	1
R1727720020	8383 S SLIDE CREEK LN	1
R1727720010	8919 W ARDENE ST	3.35
R1727710090	8552 S DANSKIN LN	1.059
R1727710010	8517 S DANSKIN LN	1.011
R1727740140	8194 S BUFFALO CREEK LN	0.701
R1727740040	8163 S BUFFALO CREEK LN	0.847
R1727720160	8262 S SLIDE CREEK LN	1
R1727720140	8166 S SLIDE CREEK LN	1

R1727720120	8070 S SLIDE CREEK LN	1
R1727720110	COMMON LOT	0.593
R1727720080	8143 S SLIDE CREEK LN	1
R1727710080	8588 S DANSKIN LN	0.989
R1727710050	8625 S DANSKIN LN	1.008
R1727710030	8589 S DANSKIN LN	1.005
R1727700060	COMMON LOT	0.243
R1727740120	8110 S BUFFALO CREEK LN	0.83
R1727740090	COMMON LOT	1.167
R1727740070	8045 S BUFFALO CREEK LN	0.914
R1727740060	8089 S BUFFALO CREEK LN	0.845
R1727740050	8127 S BUFFALO CREEK LN	0.837
R1727720170	8310 S SLIDE CREEK LN	1
R1727720100	8047 S SLIDE CREEK LN	1.003
R1727720040	8287 S SLIDE CREEK LN	1.008
R1727710060	8624 S DANSKIN LN	1.001
R1727700050	COMMON LOT	0.293
R1727740150	8216 S BUFFALO CREEK LN	0.731
R1727740110	8066 S BUFFALO CREEK LN	0.849
R1727720180	8358 S SLIDE CREEK LN	1
R1727720130	8118 S SLIDE CREEK LN	1
R1727710070	8606 S DANSKIN LN	1.003
R1727710020	8553 S DANSKIN LN	1.004
<b>TOTAL ACRES:</b>		<b>37.6</b>

**Services:**

Sanitary Sewer– City of Kuna (*Future*)  
Potable Water – City of Kuna  
Irrigation District – Boise-Kuna Irrigation District  
Fire Protection – Kuna Rural Fire District  
Police Protection – Ada County Sheriff  
Sanitation Services –J&M Sanitation (*future*)

4. **Existing Structures, Vegetation and Natural Features:** Each individual parcel (excepting the common lots) is developed as a single-family home with detached garages, shops or storage sheds. The site's topography is generally flat. Existing vegetation is typical of a fully developed residential subdivision (yards and common lots).
  
5. **Transportation / Connectivity:** The Danskin Ridge community is accessed from west Columbia Road via three (3) private streets: South Danskin Lane, South Slide Creek Lane and South Buffalo Creek Lane. All roadways within the Danskin Ridge community are privately owned and maintained by the subdivision homeowner's association (HOA). The roadways exist as access easements, or are otherwise platted as common lots within the boundaries of the subdivision. Any parks trails and/or walking paths within the community are also privately owned and maintained by the HOA.

6. **Environmental Issues:** Other than the potential for septic pond failure, staff is not aware of any environmental issues, health or safety conflicts.
7. **Agency Responses:** The following agencies returned comments, which are included as exhibits with this case file:
  - Central District Health Department (CDHD) – Exhibit B-1

**F. Staff Analysis:**

The parcels which are the subject of this application are located within Danskin Ridge Subdivision No's 2, 3 and 5, along with common lots situated within Danskin Ridge Subdivision No. 1. The City proposes to annex approximately 37.6 acres into city limits with an R-2 (low density residential) zoning designation. Public services are not currently available to the Danskin Ridge community, however, the landowner to the south is preparing to construct municipal service facilities for a separate development that borders the Danskin Ridge Subdivision to the south and east. This scenario provides the most efficient, cost effective and advantageous opportunity for the affected properties within the Danskin Ridge community to connect to the City's municipal sewer system. It is expected that the existing sewage pond will be cleaned and converted to an irrigation storage pond.

In order for a parcel to annex into the City, a willing land owner's parcel must touch existing City limits and the land owner must request the annexation. The Danskin Ridge parcels which currently touch City limits to the north, east and south will essentially create the contiguousness that is required for the annexation of the parcels which do not currently touch.

Staff has determined this application complies with Title 5 of Kuna City Code; Idaho Statute §50-222; and the Kuna Comprehensive Plan; and forwards a recommendation of approval for Case No. 17-08-AN, subject to the recommended conditions of approval.

**G. Applicable Standards:**

1. City of Kuna Zoning Ordinance No. 230, 546 and 570,
2. City of Kuna Subdivision Ordinance No. 2012-18, Title 5 Zoning Regulations,
3. City of Kuna Comprehensive Plan and Future Land Use Map,
4. City of Kuna Landscape Regulations, Title 5, Chapter 17, Section 1 thru 26,
5. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act.

**H. Comprehensive Plan Analysis:**

The Kuna Planning and Zoning Commission accepts the Comprehensive Plan components as described below.

1. The proposed applications for this site are consistent with the following Comprehensive Plan components:

**GOALS AND POLICY – Property Rights**

**Goal 1:** *Ensure that the City of Kuna land use policies, restrictions, conditions and fees do not violate private property rights. Establish an orderly, consistent review process for the City of Kuna to evaluate whether proposed actions may result in private property "takings".*

**Objective 1.2:** *Ensure that City land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property.*

**Objective 1.4:** *Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right. Ensure City actions do not impose a substantial and significant limitation on the use of the property.*

***Policy 1:** As part of a land use action review, the staff shall evaluate with guidance from the City's attorney; the Idaho Attorney General's six criterion established to determine the potential for property taking.*

**GOALS AND POLICY – Land Use**

***Objective 1.1, Policy 1:** Adopt a future land use plan and map that reflects the needs and values of the community and guides future growth in a manner consistent with the community's vision.*

***Policy 2:** Provide a variety of housing densities and types to accommodate various lifestyles, ages, and economic groups.*

***Policy 3.1.1:** Protect the quality of existing neighborhoods to ensure that their character and quality is preserved.*

***Policy 3:** Provide land use guidance for rural areas, which are annexed into the City.*

**GOALS AND POLICY - Public Services, Facilities and Utilities**

***Goal 1:** Provide adequate services, facilities, and utilities for all City residents*

***Objective 1.3.7:** Annex contiguous properties that request City services.*

***Policy 5.1:** Ensure that all development within the City limits connects into the City's sanitary sewer and potable water systems.*

***Policy 5.2:** Continue expansion of the City's sanitary sewer systems as resources allow.*

**I. Proposed Findings of Fact:**

1. This request appears to be consistent and in compliance with all Kuna City Codes (KCC).
2. The use appears to meet the general objectives of Kuna's Comprehensive Plan.
3. The site is physically suitable for annexation and its existing residential subdivision use.
4. The annexation is not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.
5. The annexation is not likely to cause adverse public health problems.
6. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing and potential future adjacent uses.
7. The existing and proposed street and utility services in proximity to the site are suitable and adequate for residential purposes.
8. The Kuna Planning and Zoning Commission accepts the facts as outlined in the staff report, any public testimony and the supporting evidence list as presented.
9. Based on the evidence contained in Case No. 17-08-AN, this proposal appears to comply with the Comprehensive Plan and the Kuna Comprehensive Future Land Use Map (FLU).
10. The Planning and Zoning Commission has the authority to recommend approval or denial for the annexation application.
11. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

**J. Proposed Conclusions of Law:**

1. Based on the evidence contained in Case No. 17-08-AN, the Kuna Planning and Zoning Commission finds Case No. 17-08-AN, comply with Kuna City Code.
2. Based on the evidence contained in Case No. 17-08-AN, the Kuna Planning and Zoning Commission finds Case No. 17-08-AN, is consistent with Kuna's Comprehensive Plan.
3. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

**K. Proposed Decision by the Commission:**

**17-08-AN**, note: *This proposed motion is to recommend approval, conditional approval, or denial for this request to City Council. If the Commission wishes to approve or deny specific parts of the requests as detailed in this report, those changes must be specified.*

Based on the facts outlined in staff's report and the public testimony at the public hearing, the Planning and Zoning Commission of Kuna, Idaho, hereby recommends (*approval/conditional approval/denial*) of Case No. 17-08-AN, a request for annexation by the City of Kuna (*with or without*) the following conditions of approval:

1. The City Engineer has approved the sewer hook-ups.
2. Each homeowner shall comply with the Exchange Agreement by and between the Danskin Ridge Homeowners Association (HOA) and CBH Homes, Inc.
3. Each homeowner shall comply with the Consent to Annex Agreement by and between each homeowner and the City of Kuna, Idaho.
4. The annexation fee of \$74.00 per lot shall be paid in full fifteen (15) days after the annexation ordinance is recorded with Ada County, or if not paid, shall be added to the individual homeowner's city utility bill and paid pursuant to the city's utility bill ordinance.
5. Each homeowner shall enter into an agreement with the city to pay for any connection fee or cost associated with the connection to the sewer system that is not paid in full at the time of connection to the city's municipal sewer system, and agree to a lien being placed upon the property for any unpaid amounts.
6. The HOA shall be responsible for the engineering and installation of the sewer line from the point of connection on the common lot within the subdivision, to the point of connection with the city's sewer system at or near the treatment lagoon. The Danskin Ridge HOA sewer system shall be connected to the city's municipal sewer system no later than January 1, 2018.
7. Each homeowner and/or the HOA shall be responsible for the maintenance and repair of the sewer system contained within the subdivision boundaries. The City of Kuna assumes no ownership or responsibility for the operation and maintenance of the Danskin Ridge HOA sewer system.
8. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. Any future utilities shall be installed underground.
9. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
10. Property owners shall follow city staff, city engineer and other agency recommended requirements as applicable.
11. Annexation procedures shall comply with all local, state and federal laws.



City of Kuna  
 Planning & Zoning  
 Department  
 P.O. Box 13  
 Kuna, Idaho 83634  
 208.922.5274  
 Fax: 208.922.5989  
 Website: www.kunacity.id.gov

## Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

\*Please submit the appropriate checklist (s) with application

### Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	17-08-AN
Project name	Danskin Ridge Sub 2, 3 & 5 Annexation
Date Received	10/26/17
Date Accepted/Complete	
Cross Reference Files	
Commission Hearing Date	November 28, 2017
City Council Hearing Date	

### Contact/Applicant Information

Owners of Record: <u>See attached list of owners</u>	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____
Applicant (Developer): <u>City of Kuna</u>	Phone Number: <u>208-922-5546</u>
Address: <u>PO Box 13</u>	E-Mail: <u>tkesner@kunaid.gov</u>
City, State, Zip: <u>Kuna, ID 83634</u>	Fax #: <u>208-922-5989</u>
Engineer/Representative: _____	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____

### Subject Property Information

Site Address: <u>See attached list of subject parcels/Addresses</u>
Site Location (Cross Streets): <u>W. Columbia Rd / S. Ten Mile Rd.</u>
Parcel Number (s): <u>See attached list</u>
Section, Township, Range: <u>2N, 1W, Sec. 11</u>
Property size: <u>All 1 1/4-Acre lots - total of 37.6 Acres</u>
Current land use: <u>Residential</u> Proposed land use: <u>Residential</u>
Current zoning district: <u>RR (Ada Co.)</u> Proposed zoning district: <u>R-2</u>

**Project Description**

Project / subdivision name: Danskin Ridge No.'s 2, 3 & 5 Annexation

General description of proposed project / request: Annexation of Danskin Ridge Subs No. 2, 3 & 5 for purpose of hooking residents up to sewer

Type of use proposed (check all that apply):

- Residential
- Commercial
- Office
- Industrial
- Other

Amenities provided with this development (if applicable): All amenities are existing

**Residential Project Summary (if applicable)**

Are there existing buildings?  Yes  No

Please describe the existing buildings: Homes, Shops & Detached garages

Any existing buildings to remain?  Yes  No

Number of residential units: 34 Number of building lots: 34

Number of common and/or other lots: 7

Type of dwellings proposed:

- Single-Family
- Townhouses
- Duplexes
- Multi-Family
- Other

Minimum Square footage of structure (s): 1200 Square Feet

Gross density (DU/acre-total property): 1.11 Net density (DU/acre-excluding roads): 0.98

Percentage of open space provided: 15.9% Acreage of open space: 6 Acres

Type of open space provided (i.e. landscaping, public, common, etc.): Common lots, Roads and landscaped entrances

**Non-Residential Project Summary (if applicable)**

Number of building lots: \_\_\_\_\_ Other lots: \_\_\_\_\_

Gross floor area square footage: \_\_\_\_\_ Existing (if applicable): \_\_\_\_\_

Hours of operation (days & hours): \_\_\_\_\_ Building height: \_\_\_\_\_

Total number of employees: \_\_\_\_\_ Max. number of employees at one time: \_\_\_\_\_

Number and ages of students/children: \_\_\_\_\_ Seating capacity: \_\_\_\_\_

Fencing type, size & location (proposed or existing to remain): \_\_\_\_\_

Proposed Parking: a. Handicapped spaces: \_\_\_\_\_ Dimensions: \_\_\_\_\_  
 b. Total Parking spaces: \_\_\_\_\_ Dimensions: \_\_\_\_\_  
 c. Width of driveway aisle: \_\_\_\_\_

Proposed Lighting: \_\_\_\_\_

Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): \_\_\_\_\_

Applicant's Signature: Juana Korman Date: 10/20/2017

<b>PARCEL</b>	<b>LAST NAME</b>	<b>ADDRESS</b>
R1727710010	HANNERS	8517 S DANSKIN LN
R1727710020	GOULD	8553 S DANSKIN LN
R1727710030	VANDER	8589 S DANSKIN LN
R1727710050	KIDD	8625 S DANSKIN LN
R1727710060	CALLEY	8624 S DANSKIN LN
R1727710070	LETE	8606 S DANSKIN LN
R1727710080	HAWKINS	8588 S DANSKIN LN
R1727710090	WILCOX	8552 S DANSKIN LN
R1727720020	MIHKELSON	8383 S SLIDE CREEK LN
R1727720030	JAKOVAC	8335 S SLIDE CREEK LN
R1727720040	DOTY	8287 S SLIDE CREEK LN
R1727720050	THURSTON	8239 S SLIDE CREEK LN
R1727720070	BODOVINITZ	8191 S SLIDE CREEK LN
R1727720080	KING	8143 S SLIDE CREEK LN
R1727720090	WADLEY	8095 S SLIDE CREEK LN
R1727720100	CREGO	8047 S SLIDE CREEK LN
R1727720120	DANDO	8070 S SLIDE CREEK LN
R1727720130	SHAW	8118 S SLIDE CREEK LN
R1727720140	STEVENS	8166 S SLIDE CREEK LN
R1727720150	COLLING	8214 S SLIDE CREEK LN
R1727720160	FEKETE	8262 S SLIDE CREEK LN
R1727720170	FRANCIS	8310 S SLIDE CREEK LN
R1727720180	RHUMAN	8358 S SLIDE CREEK LN
R1727740030	BROWNING	8201 S BUFFALO CREEK LN
R1727740040	CHANEY	8163 S BUFFALO CREEK LN
R1727740050	HAWS	8127 S BUFFALO CREEK LN
R1727740060	KING	8089 S BUFFALO CREEK LN
R1727740070	SPARRELL	8045 S BUFFALO CREEK LN
R1727740090	DANSKIN HOA	8919 W ARDENE ST
R1727740110	KERN	8066 S BUFFALO CREEK LN
R1727740120	WILLIAMS	8110 S BUFFALO CREEK LN
R1727740130	CHIPPEWA	8182 S BUFFALO CREEK LN
R1727740140	MENDIOLA	8194 S BUFFALO CREEK LN
R1727740150	BURGER	8216 S BUFFALO CREEK LN

<b>LOT / BLOCK</b>	<b>SUBDIVISION</b>	<b>ACRES</b>
LOT 23 BLK 01	DANSKIN RIDGE SUB NO 02	1.011
LOT 24 BLK 01	DANSKIN RIDGE SUB NO 02	1.004
LOT 25 BLK 01	DANSKIN RIDGE SUB NO 02	1.005
LOT 27 BLK 01	DANSKIN RIDGE SUB NO 02	1.008
LOT 28 BLK 01	DANSKIN RIDGE SUB NO 02	1.001
LOT 29 BLK 01	DANSKIN RIDGE SUB NO 02	1.003
LOT 30 BLK 01	DANSKIN RIDGE SUB NO 02	0.989
LOT 31 BLK 01	DANSKIN RIDGE SUB NO 02	1.059
LOT 33 BLK 01	DANSKIN RIDGE SUB NO 03	1
LOT 34 BLK 01	DANSKIN RIDGE SUB NO 03	1
LOT 35 BLK 01	DANSKIN RIDGE SUB NO 03	1.008
LOT 36 BLK 01	DANSKIN RIDGE SUB NO 03	1.013
LOT 38 BLK 01	DANSKIN RIDGE SUB NO 03	1
LOT 39 BLK 01	DANSKIN RIDGE SUB NO 03	1
LOT 40 BLK 01	DANSKIN RIDGE SUB NO 03	1
LOT 41 BLK 01	DANSKIN RIDGE SUB NO 03	1.003
LOT 43 BLK 01	DANSKIN RIDGE SUB NO 03	1
LOT 44 BLK 01	DANSKIN RIDGE SUB NO 03	1
LOT 45 BLK 01	DANSKIN RIDGE SUB NO 03	1
LOT 46 BLK 01	DANSKIN RIDGE SUB NO 03	1
LOT 47 BLK 01	DANSKIN RIDGE SUB NO 03	1
LOT 48 BLK 01	DANSKIN RIDGE SUB NO 03	1
LOT 49 BLK 01	DANSKIN RIDGE SUB NO 03	1
LOT 55 BLK 01	DANSKIN RIDGE SUB NO 05	0.805
LOT 56 BLK 01	DANSKIN RIDGE SUB NO 05	0.847
LOT 57 BLK 01	DANSKIN RIDGE SUB NO 05	0.837
LOT 58 BLK 01	DANSKIN RIDGE SUB NO 05	0.845
LOT 59 BLK 01	DANSKIN RIDGE SUB NO 05	0.914
LOT 61 BLK 01	DANSKIN RIDGE SUB NO 05	1.167
LOT 63 BLK 01	DANSKIN RIDGE SUB NO 05	0.849
LOT 64 BLK 01	DANSKIN RIDGE SUB NO 05	0.83
LOT 65 BLK 01	DANSKIN RIDGE SUB NO 05	0.817
LOT 66 BLK 01	DANSKIN RIDGE SUB NO 05	0.701
LOT 67 BLK 01	DANSKIN RIDGE SUB NO 05	0.731



# CITY OF KUNA

## PLANNING & ZONING DEPARTMENT

751 West 4th Street  
P.O. Box 13  
Kuna, ID 83634 Phone:  
208-922-5274 Fax: 208-  
922-5989  
[www.kunacity.id.gov](http://www.kunacity.id.gov)

October 20, 2017

**Re: Danskin Ridge Subdivisions - Ada County Parcel No's:**

R1727710020	R1727720020	R1727720100	R1727720180	R1727740110
R1727710030	R1727720030	R1727720120	R1727740030	R1727740120
R1727710050	R1727720040	R1727720130	R1727740040	R1727740130
R1727710060	R1727720050	R1727720140	R1727740050	R1727740140
R1727710070	R1727720070	R1727720150	R1727740060	R1727740150
R1727710080	R1727720080	R1727720160	R1727740070	R1727710010
R1727710090	R1727720090	R1727720170	R1727740090	R1727720010

To Whom It May Concern:

The City of Kuna (petitioner) is initiating an application for annexation of the Danskin Ridge Subdivisions No.'s 2, 3 and 5; and the common lots contained within the Danskin Ridge Subdivision No. 1. The purpose of this application is to gain annexation approval by the Kuna City Council in order to annex the referenced parcels into Kuna City limits with a proposed zoning designation of R-2 (low density residential).

If the annexation request is approved, the property owners which are party to the application (provided on the attached list) will then be able to receive municipal wastewater treatment services from the City of Kuna.

Property owners who are party to this annexation application have provided consent for the City to proceed with the annexation as recorded by the Ada County Recorder's Office, and are included with this application.

The City held a neighborhood meeting with the affected property owners and property owners who are within 300 feet of the subject lands on October 16<sup>th</sup>, 2017 at Kuna City Hall located at 451 W. 4<sup>th</sup> Street, Kuna, Idaho from 6:00 pm to 7:00 pm. Documentation of the meeting minutes and meeting attendees have been provided.

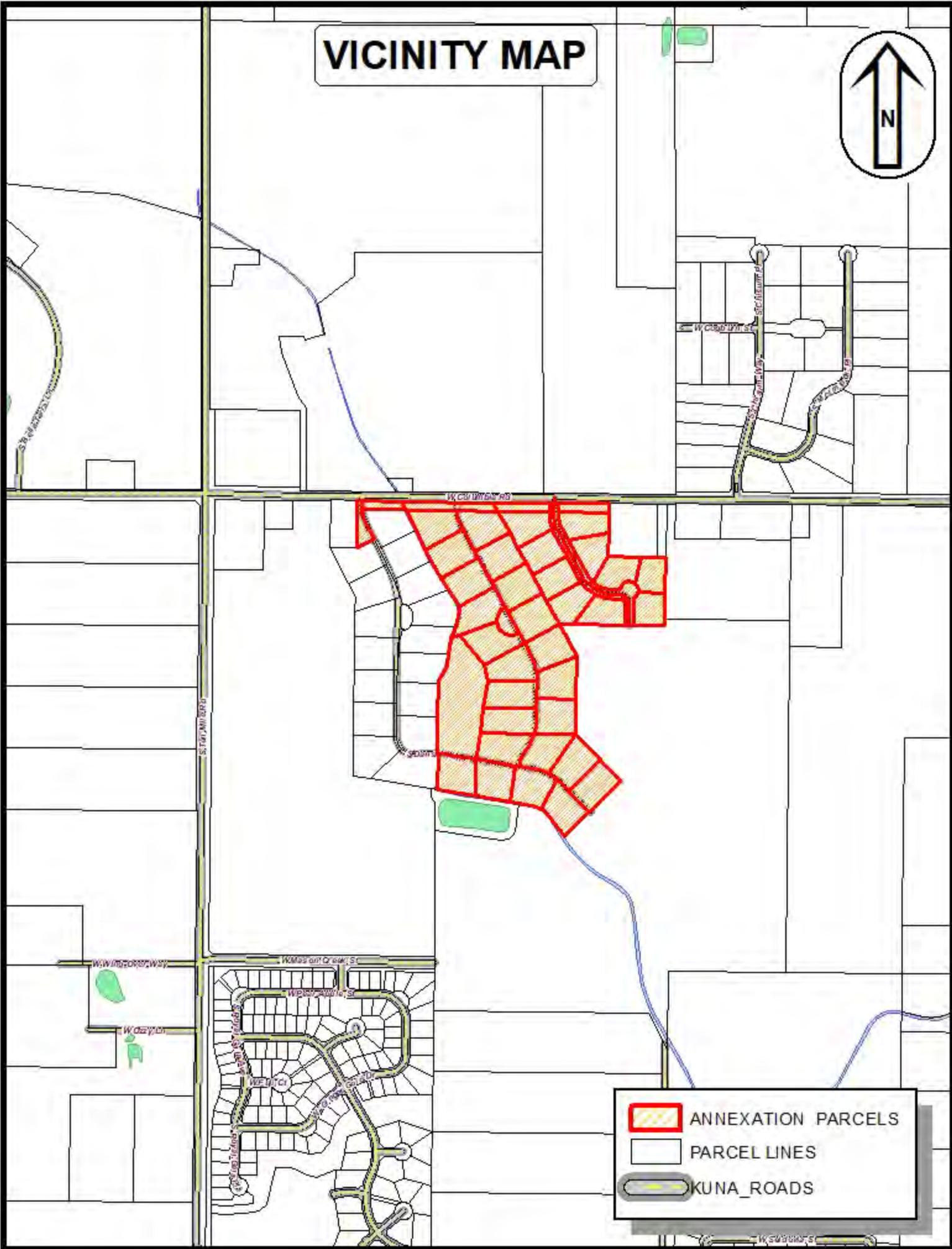
Therefore, the City of Kuna's Planning and Zoning staff requests approval for annexation of the properties listed on the attached application.

Respectfully,  
  
Trevor Kesner, MCRP  
Planner II  
Kuna Planning and Zoning Department

cc: Wendy Howell, Planning & Zoning Director



# VICINITY MAP







**CITY OF KUNA**  
PLANNING & ZONING DEPARTMENT

751 West 4<sup>th</sup> Street  
P.O. Box 13  
Kuna, ID 83634  
[www.kunacity.id.gov](http://www.kunacity.id.gov)

**Danskin Ridge Subdivision Annexation  
Legal Description**

A Portion of the NW  $\frac{1}{4}$  and the NE  $\frac{1}{4}$  of the NW  $\frac{1}{4}$  of Section 11, Township 2 North, Range 1 West, Boise Meridian, Kuna, Ada County, Idaho, more particularly described as follows:

Lots 5 and 6, Block 1 of Danskin Ridge Subdivision No. 1 as same is recorded in Book 80 of Plats at Pages 8623-8625, records of Ada County, Idaho along with;

Lots 23, 24, 25, 27, 28, 29, 30, 31 and 32, Block 1 of Danskin Ridge Subdivision No. 2, as same is recorded in Book 83 of Plats at Pages 9208-9210, records of Ada County, Idaho along with;

Lots 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48 and 49, Block 1 of Danskin Ridge Subdivision No. 3, as same is recorded in Book 83 of Plats at Pages 9220-9221, records of Ada County, Idaho along with;

Lots 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65 and 66, Block 1 of Danskin Ridge Subdivision No. 5, as same is recorded in Book 89 of Plats at Pages 10381-10384, records of Ada County, Idaho, Boise Meridian, Idaho.

Said parcel(s) containing 37.858 acres, more or less.



**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, JOHN BAYLEY and CARLA BAYLEY , being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8095 S SLIDE CREEK LN

Legal Description: LOT 40 BLK 01, DANSKIN RIDGE SUB NO 03

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the

subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.

- 5. We understand and agree that this annexation is a Category A Annexation and we do not have a right to have it judicially reviewed by any court.

Dated this 18 day of Feb., 20 15

John Bayley  
Signature  
Carla Bayley

STATE OF IDAHO )  
                          ) ss.  
County of Ada )

I, Kathleen Trotter, a Notary Public in and for said State of Idaho, do hereby certify that on this 18<sup>th</sup> day of February, 2015, before me, personally appeared JOHN BAYLEY, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such. and Carla Bayley, kt

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Kathleen Trotter  
Notary Public for Ada County  
My commission expires on 8-15-2017

Dated this 18<sup>th</sup> day of February, 20 15

Kathleen Trotter  
Signature

STATE OF IDAHO )  
                          ) ss.  
County of Ada )

I, \_\_\_\_\_, a Notary Public in and for said State of Idaho, do hereby certify that on this \_\_\_\_\_ day of \_\_\_\_\_, 2015, before me, personally appeared CARLA BAYLEY, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

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\_\_\_\_\_  
Notary Public for \_\_\_\_\_  
My commission expires on \_\_\_\_\_



**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, GARY D BODOVINITZ and KATHY L BEAUREGARD , being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8191 S SLIDE CREEK LN

Legal Description: LOT 38 BLK 01, DANSKIN RIDGE SUB NO 03

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the





**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, I am the record owner of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owner of said real property, it is my desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, I accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, TOM D BROWNING , being first duly sworn upon oath, deposes and states:

1. I am the record owner of the property described below, and I hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8201 S BUFFALO CREEK LN

Legal Description: LOT 55 BLK 01, DANSKIN RIDGE SUB NO 05

2. I understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. I understand and agree that my decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce me into signing this Consent to Annex agreement, and the decision to sign is my own.
4. I understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Sub HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.





**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, BRIAN L BURGER and KAREN L BURGER , being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8216 S BUFFALO CREEK LN

Legal Description: LOT 67 BLK 01, DANSKIN RIDGE SUB NO 05

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the

subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.

- 5. We understand and agree that this annexation is a Category A Annexation and we do not have a right to have it judicially reviewed by any court.

Deceand  
Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Signature

STATE OF IDAHO )  
                          ) ss.  
County of Ada )

I, \_\_\_\_\_, a Notary Public in and for said State of Idaho, do hereby certify that on this \_\_\_ day of \_\_\_\_\_, 2015, before me, personally appeared BRIAN L BURGER, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

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\_\_\_\_\_  
Notary Public for \_\_\_\_\_  
My commission expires on \_\_\_\_\_

Dated this 17<sup>th</sup> day of February, 2015

Brian L Burger  
Signature

STATE OF IDAHO )  
                          ) ss.  
County of Ada )

I, Tara Rosvall, a Notary Public in and for said State of Idaho, do hereby certify that on this 17 day of February, 2015, before me, personally appeared KAREN L BURGER, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

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\_\_\_\_\_  
Notary Public for Idaho  
My commission expires on 07/06/22

# STATE OF IDAHO

## CERTIFICATION OF VITAL RECORD

### STATE OF IDAHO

IDAHO DEPARTMENT OF HEALTH AND WELFARE  
BUREAU OF VITAL RECORDS AND HEALTH STATISTICS

DATE FILED BY STATE REGISTRAR:

State of Idaho  
**CERTIFICATE OF DEATH**

STATE FILE NO. 2014-08590

09/16/2014

THIS IS A COPY OF THIS DOCUMENT, CERTIFIED BY THE STATE REGISTRAR WITH THE DEPARTMENT OF HEALTH AND WELFARE. THESE RECORDS SHALL BE USED AS PROOF OF FACTS CONCERNING DEATH UNDER STATUTE AND COMMON LAW.

Local Reg. No.

<b>DECEDENT</b>	1. DECEDENT'S LEGAL NAME (include AKA's if any) (First, Middle, Last, Suffix) <b>BRIAN LEROY BURGER</b>		2. SEX <b>MALE</b>	3. SOCIAL SECURITY NUMBER <b>519-02-1577</b>	
TYPE OR PRINT IN PERMANENT BLACK INK. DO NOT USE FELT TIP PEN.  FOR INSTRUCTIONS SEE HANDBOOKS	4a. AGE-Last Birthday <b>46</b> (Years)		4b. UNDER 1 YEAR Months: _____ Days: _____	4c. UNDER 1 DAY Hours: _____ Minutes: _____	
	5. DATE OF BIRTH (Mo/Day/Yr) <b>03/27/1968</b>		6. BIRTHPLACE (City and State, Territory, or Foreign Country) <b>SNOQUALMIE, WASHINGTON</b>		
	7a. RESIDENCE - STATE OR FOREIGN COUNTRY <b>IDAHO</b>		7b. COUNTY <b>ADA</b>	7c. CITY OR TOWN <b>MERIDIAN</b>	
	7d. STREET AND NUMBER <b>8216 S. BUFFALO CREEK LN</b>		7e. APT. NO.	7f. ZIP CODE <b>83642</b>	7g. INSIDE CITY LIMITS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
MORTICIAN: Complete/Verify and File Within 5 Days of Death	8. MARITAL STATUS AT TIME OF DEATH <input checked="" type="checkbox"/> Married <input type="checkbox"/> Married, but separated <input type="checkbox"/> Widowed <input type="checkbox"/> Divorced <input type="checkbox"/> Never married <input type="checkbox"/> Unknown			9. SURVIVING SPOUSE'S NAME (if wife, give maiden name) <b>KAREN L. NEY</b>	
	10. EVER IN U.S. ARMED FORCES? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		11a. FATHER'S NAME (First, Middle, Last, Suffix) <b>LEROY O. BURGER</b>		11b. BIRTHPLACE (State, Territory, or Foreign Country) <b>SOUTH DAKOTA</b>
	12a. MOTHER'S MAIDEN NAME (First, Middle, Last, Suffix) <b>ELAINE MARIE GORNICK</b>		12b. BIRTHPLACE (State, Territory, or Foreign Country) <b>IDAHO</b>		
INFORMANT	13a. INFORMANT'S NAME (Type or print) <b>KAREN L. BURGER</b>		13b. RELATIONSHIP TO DECEDENT <b>WIFE</b>		
	13c. MAILING ADDRESS (Street and Number, City, State, Zip Code) <b>8216 S. BUFFALO CREEK LN MERIDIAN, ID 83642</b>				
DISPOSITION	14. METHOD OF DISPOSITION <input type="checkbox"/> Burial <input checked="" type="checkbox"/> Cremation <input type="checkbox"/> Donation <input type="checkbox"/> Removal from Idaho <input type="checkbox"/> Other (Specify)		15. PLACE OF DISPOSITION (Name and address of cemetery, crematory, other place) <b>BOWMAN FUNERAL CREMATORY 10254 W CARLTON BAY DRIVE GARDEN CITY, IDAHO 83714</b>		16. NAME AND COMPLETE ADDRESS OF FUNERAL FACILITY <b>BOWMAN FUNERAL PARLOR 10254 W CARLTON BAY DRIVE GARDEN CITY, IDAHO 83714</b>
	17a. SIGNATURE OF FUNERAL SERVICE LICENSEE OR PERSON ACTING AS SUCH <b>ELECTRONICALLY FILED: KEVIN H. PERSONS</b>			17b. LICENSE NUMBER (if licensee) <b>M1157</b>	17c. WAS CORONER CONTACTED DUE TO CAUSE OF DEATH? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
PLACE OF DEATH	18a. IF DEATH OCCURRED IN A HOSPITAL: <input type="checkbox"/> Inpatient <input checked="" type="checkbox"/> ER/Outpatient <input type="checkbox"/> DCA <input type="checkbox"/> 4 Hospice facility <input type="checkbox"/> 5 Nursing home/Long term care facility <input type="checkbox"/> 6 Decedent's home <input type="checkbox"/> 7 Other (Specify)				
	18b. FACILITY NAME (if not facility, give street and number) <b>ST. ALPHONSUS REGIONAL MEDICAL CENTER</b>		21. CITY, TOWN, OR LOCATION OF DEATH, AND ZIP CODE <b>BOISE, ID 83706</b>		22. COUNTY OF DEATH <b>ADA</b>
DATE OF DEATH	23. DATE OF DEATH (Mo/Day/Yr) (Spell month) <b>September 10, 2014</b>		24. TIME OF DEATH (24hr) <b>12:12</b>	25. DATE PRONOUNCED DEAD (Mo/Day/Yr) (Spell month) <b>September 10, 2014</b>	26. TIME PRONOUNCED DEAD (24hr) <b>12:12</b>
	27. CAUSE OF DEATH				
CAUSE OF DEATH	PART I. Enter the chain of events—diseases, injuries, or complications—that directly caused the death. DO NOT enter terminal events such as cardiac arrest, respiratory arrest, or ventilator withdrawal without showing the etiology. DO NOT ABBREVIATE. Enter only one cause on a line. IMMEDIATE CAUSE (Final disease or condition resulting in death) → a. <b>SUBARACHNOID HEMORRHAGE TO BASE OF CEREBELLUM AND BRAINSTEM</b> DUE TO (or as a consequence of):				Approximate Interval: Onset to Death
	b. <b>SEVERE BLUNT FORCE TRAUMA</b> DUE TO (or as a consequence of):				
	c. <b>MOTOR VEHICLE ACCIDENT</b> DUE TO (or as a consequence of):				
	d.				
ITEMS TO BE USED FOR EXTERNAL CAUSES ONLY	PART II. Enter other significant conditions contributing to death, but not resulting in the underlying cause given in Part I				
	28. DID TOBACCO USE CONTRIBUTE TO DEATH? <input type="checkbox"/> Yes <input type="checkbox"/> Probably <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown		30. IF FEMALE (Aged 10-54): <input type="checkbox"/> Not pregnant within past year <input type="checkbox"/> Not pregnant, but pregnant 43 days to 1 year before death <input type="checkbox"/> Pregnant at time of death <input type="checkbox"/> Not pregnant, but pregnant within 42 days of death <input type="checkbox"/> Unknown if pregnant within the past year		
	32. DATE OF INJURY (Mo/Day/Yr) (Spell month) <b>September 10, 2014</b>		33. TIME OF INJURY (24hr) <b>Estimated 11:50 - 11:01</b>		
	34. PLACE OF INJURY (Decedent's home, farm, street, construction site, nursing home, restaurant, forest, etc.) <b>INTERSECTION</b>				
CERTIFIER	35. LOCATION OF INJURY: State <b>IDAHO</b> City/Town or County <b>MERIDIAN, ADA</b> Zip Code <b>83642</b> Street and Number or Location <b>COLUMBIA AND MERIDIAN RD</b> Apartment Number _____		36. MANNER OF DEATH <input type="checkbox"/> Natural <input type="checkbox"/> Homicide <input checked="" type="checkbox"/> Accident <input type="checkbox"/> Pending investigation <input type="checkbox"/> Suicide <input type="checkbox"/> Could not be determined		
	37. DESCRIBE HOW INJURY OCCURRED, IF TRANSPORTATION INJURY, STATE THE TYPE(S) OF VEHICLE(S) INVOLVED (Automobile, pickup, motorcycle, ATV, bicycle, etc.) SPECIFY WHICH VEHICLE DECEDENT OCCUPIED, IF APPLICABLE <b>COLLISION IN AN INTERSECTION</b>				
	38a. WAS DECEDENT: <input checked="" type="checkbox"/> Driver/Operator <input type="checkbox"/> Passenger <input type="checkbox"/> Pedestrian <input type="checkbox"/> Other (Specify)		38b. WHAT SAFETY DEVICES(S) DID DECEDENT USE/EMPLOY? <input type="checkbox"/> Seat belt <input type="checkbox"/> Child safety seat <input type="checkbox"/> Helmet <input type="checkbox"/> Air bag <input checked="" type="checkbox"/> None <input type="checkbox"/> Unknown		
	39a. CERTIFIER (Check only one, based on official capacity for this certificate) <input type="checkbox"/> PHYSICIAN <input type="checkbox"/> PHYSICIAN ASSISTANT <input type="checkbox"/> ADVANCED PRACTICE PROFESSIONAL NURSE To the best of my knowledge, death occurred at the time, date, and place, and due to the <u>general</u> cause(s)/manner stated. <input checked="" type="checkbox"/> CORONER On the basis of examination and/or investigation, in my opinion, death occurred at the time, date, and place, and due to the cause(s) and manner stated. Signature and Title of Certifier <b>ELECTRONICALLY SIGNED: ROBERT KARINEN</b>		39b. LICENSE NUMBER  39c. DATE SIGNED <b>9 / 15 / 2014</b> MM DD YYYY		
REGISTRAR	40a. REGISTRAR'S SIGNATURE <i>James B. Galtte</i>			40b. DATE SIGNED <b>9 / 15 / 2014</b> MM DD YYYY	

This is a true and correct reproduction of the document officially registered and placed on file with the IDAHO BUREAU OF VITAL RECORDS AND HEALTH STATISTICS.

DATE ISSUED: **SEP 15 2014**

*James B. Galtte*  
JAMES B. AYDELOTTE  
STATE REGISTRAR

This copy not valid unless prepared on engraved border displaying state seal and signature of the Registrar.





**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, DAVID M CALLEY and JULIE M CALLEY , being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8624 S DANSKIN LN

Legal Description: LOT 28 BLK 01, DANSKIN RIDGE SUB NO 02

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the





**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, ROBERT R CHANEY, JR and VICTORIA A CHANEY H/W, being first duly sworn upon oath, depose and state:

11. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8163 S BUFFALO CREEK LN

Legal Description: LOT 56 BLK 01, DANSKIN RIDGE SUB NO 05

12. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
13. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
14. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the

subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.

- 15. We understand and agree that this annexation is a Category A Annexation and we do not have a right to have it judicially reviewed by any court.

Dated this 3 day of June, 2016

[Signature]  
Signature

STATE OF IDAHO )  
                          ) ss.  
County of Ada )

I, [Signature], a Notary Public in and for said State of Idaho, do hereby certify that on this 3 day of June, 2016, before me, personally appeared ROBERT R CHANEY, JR, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.



[Signature]  
Notary Public for Mendenhall  
My commission expires on 2/18/17

Dated this 3 day of June, 2016

[Signature]  
Signature

STATE OF IDAHO )  
                          ) ss.  
County of Ada )

I, [Signature], a Notary Public in and for said State of Idaho, do hereby certify that on this 3 day of June, 2016, before me, personally appeared VICTORIA A CHANEY, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.



[Signature]  
Notary Public for Mendenhall  
My commission expires on 2/18/17

**EXCHANGE AGREEMENT**  
**33 SEWER TREATMENT FEES**  
**LOT 69, BLOCK 1, DANSKIN RIDGE SUBDIVISION NO. 6**

This Sewer Treatment Fee, Lot, Exchange Agreement, (this "Agreement") is entered into effective the 4<sup>th</sup> day of June, 2015, by and between Corey Barton Homes, Inc., an Idaho corporation dba CBH Homes ("CBH"), and Danskin Ridge Homeowners Association, an Idaho Corporation, ("Danskin").

**RECITALS**

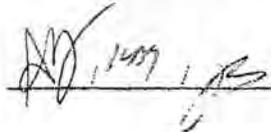
- A. CBH is the owner of 33 Sewer Treatment Connection Fees, (the "Sewer Connection Credits"); and
- B. Danskin is the owner of Lot 69, Block 1, Danskin Ridge Subdivision No. 6, hereinafter (Lot 69); and
- C. CBH owns property contiguous to the south and east boundaries of Lot 69; and
- D. Existing improvements on Lot 69 include a treated wastewater evaporation lagoon (Lagoon), pressure irrigation source supply and equipment servicing Danskin Ridge subdivision, associated pipes, power, access and miscellaneous irrigation water conveyance facility servicing Lot 70, Block 1, Danskin Ridge Subdivision No. 6; and
- E. Danskin desires to abandon use of and disconnect its wastewater discharge from the Lagoon; and
- F. Danskin desires to connect its wastewater facility to and discharge to the City of Kuna wastewater treatment facility subject to the annexation requirements of the City of Kuna; and
- G. CBH desires to convert the Lagoon into a Pressure Irrigation Water Storage Reservoir (Reservoir); and
- H. CBH desires to Exchange, the Sewer Connection Credits to Danskin for Lot 69; and
- I. Danskin desires to Exchange Lot 69 to CBH for the Sewer Connection Credits, all in accordance with the provisions hereinafter set forth.

**NOW, THEREFORE**, for good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, CBH and Danskin represent, covenant, undertake and agree as follows:

1. **AGREEMENT OF EXCHANGE.**

- a) CBH agrees to transfer and convey to Danskin the Sewer Connection Credits by causing to be executed the Transfer of Wastewater Treatment Certificates attached hereto as (Exhibit

Danskin Initials



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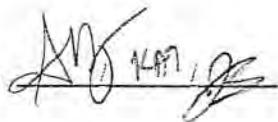
CBH Initial



"A") and Danskin agrees transfer and convey to CBH by Warranty Deed Lot 69.

- b) Upon completion of the CBH Force Main, CBH will cause the Lagoon to be drained at its expense and converted into the Reservoir. Until the completion of the conversion Danskin will continue to use the Lagoon in compliance with the current permitted use whether the current use is in compliance with existing permits or not. Danskin retains the obligation to maintain the lagoon, until the CBH Force Main completion, including the obligation and costs associated with pumping down the treated wastewater level in the Lagoon to maintain levels below the maximum allowed (Dosing).
- c) Upon conversion of the Lagoon and development of the land contiguous to and south of Lot 69 (South Land) CBH will cause a force main extension to be installed from the nearest connection point to the gravity sewer that will be installed in the South Land to the point where the Danskin Ridge wastewater conveyance connects to the Lagoon (CBH Force Main).
- d) Upon completion of the CBH Force Main and approval from the City of Kuna for its use, Danskin shall cause its wastewater facility to be connected to the CBH Force Main, assuming all responsibility for the connection and shall immediately cease all discharge into the Lagoon.
- e) Danskin shall comply with the requirements of and payments to the City of Kuna as required to allow Danskin's connection to the Kuna Wastewater conveyance and treatment facilities.
- f) CBH agrees to have the CBH Force Main constructed and approved for use by the second anniversary of the mutual acceptance of this Agreement. In the event that CBH fails by the second anniversary to have the CBH force main installed and approved for use by then, and in that case, CBH shall assume the cost of the fees charged by the City of Kuna for dosing.
- g) Danskin agrees that the transfer of Lot 69 to CBH shall include ALL improvements thereon whether on the surface or below the surface. Excepting therefrom improvements and facilities that are specific and exclusive to the Pressure Irrigation Facilities that supply pressure irrigation to the Danskin Ridge Subdivision.

Danskin Initials



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CBH Initial



- h) CBH shall grant an easement to Danskin for the purpose of accessing, operating and maintaining its Pressure Irrigation facilities.

2. TITLE MATTERS. Notwithstanding any provision to the contrary in this Agreement, CBH shall have no obligation to complete the exchange unless the following conditions have been met or CBH has waived said conditions in writing:

- a) Documents Evidencing Title. Within two (2) days after mutual acceptance of the Agreement, CBH shall submit the Agreement to the offices of Fidelity National Title of Idaho, Nancilee Boslau (Title Officer).
- b) Title Commitment. Title Officer shall open an escrow account and cause to be issued to CBH a commitment for title insurance (Title Commitment).
- c) Unpermitted Exceptions. Upon receipt of the Title Commitment CBH shall have 2 days to review the exceptions and object to exceptions CBH determine to be unacceptable (Unpermitted Exceptions).
- d) Release of Unpermitted Exceptions. CBH shall provide Danskin a list of Unpermitted Exceptions and Danskin shall cause the Unpermitted Exceptions to be cleared. If Danskin fails to or is unable to clear the Unpermitted Exceptions CBH in their sole discretion may elect to terminate this agreement or accept the commitment subject to the unpermitted exceptions.
- e) Conveyance of Title. CBH's title to the Sewer Connection Credits shall be conveyed to Buyer pursuant to execution and delivery of the Transfer of Wastewater Treatment Certificates attached hereto as Exhibit A. Danskin's transfer of title to Lot 69 shall be conveyed to CBH by Warranty Deed.

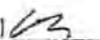
3. REPRESENTATIONS AND WARRANTIES OF CBH. In addition to other representations and warranties herein, CBH represents and warrants to Danskin as of the date hereof, and as of the Closing Date, that:

Danskin Initials



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CBH Initial

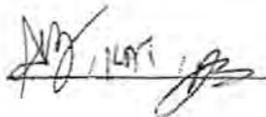


- a) Authority. The execution, delivery and performance of this Agreement and all other instruments and agreements contemplated hereby have been duly and validly authorized by all necessary action of CBH, and the Agreement and all other instruments and agreements contemplated hereby are (or shall be) valid and binding obligations of CBH, enforceable against CBH in accordance with its respective terms.
- b) No Conflict. To CBH's knowledge, the execution, delivery and performance by CBH of its obligations under this Agreement and all other instruments and agreements contemplated hereby does not (and will not) conflict with any contract, lease, statute, law, rule or regulation, or any judgment, order or decree of any governmental authority or court having jurisdiction over the CBH and/or the Credits, and CBH has no knowledge that any consent, approval, authorization or order of or qualification with any person, entity or governmental authority is required for the performance by CBH of its obligations under this Agreement or any other instrument or agreement contemplated hereby beyond those described in Section 5.
- c) Title, Transfer, Liens. On the Closing Date, CBH will transfer to Danskin the Wastewater Connection Fee Credits free and clear of all security interests, mortgages, pledges, liens, encumbrances, taxes and claims.
- d) No Litigation or Adverse Events. To CBH's knowledge, there are no threatened investigations, actions, suits, proceedings or claims against or affecting CBH or the Credits.
- e) Non-Foreign Person. CBH is not a "foreign person" as such term is defined in Section 1445(f) of the Internal Revenue Code of 1986, as amended, and is not subject to withholding under the laws of the State of Idaho.

4. REPRESENTATIONS AND WARRANTIES OF DANSKIN. In addition to other representations and warranties herein, Danskin represents and warrants to CBH as of the date hereof, and as of the Closing Date, that:

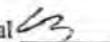
- a) Authority. The execution, delivery and performance of this Agreement and all other instruments and agreements contemplated hereby have been duly and validly authorized by all necessary action of Danskin, and the Agreement and all other instruments and agreements contemplated hereby are (or shall be) valid and

Danskin Initials



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CBH Initial



binding obligations of Danskin, enforceable against Danskin in accordance with its respective terms.

- b) No Conflict. To Danskin's knowledge, the execution, delivery and performance by Danskin of its obligations under the Agreement and all other instruments and agreements contemplated hereby does not (and will not) conflict with any contract, lease, statute, law, rule or regulation, or any judgment, order or decree of any governmental authority or court having jurisdiction over Danskin, and Danskin has no knowledge that any consent, approval, authorization or order of or qualification with any person, entity or governmental authority is required for the performance by Danskin of its obligations under this Agreement or any other instrument or agreement contemplated hereby.

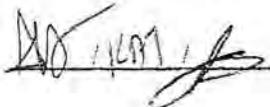
5. CLOSING AND RELATED MATTERS.

- a) Closing Date. The closing shall take place on or before June 30, 2015, or as soon thereafter as CBH delivers the Endorsed Transfer of Wastewater Treatment Certificates attached hereto as Exhibit A to the Title Officer and Danskin delivers a duly authorized, executed original Warranty Deed for Lot 69.
- b) Closing Deposits and Fees. CBH and Danskin shall mutually exchange all instruments, documents and monies necessary to complete the exchange in accordance with this Agreement. All expenses for closing and recording shall be split equally except the fee for Title Insurance and at the sole discretion of CBH if CBH elects to obtain Title Insurance the premium for the policy shall be paid by CBH.
- c) Possession and Title. Possession of, and title to, the Credits shall pass to Danskin on the Closing Date and possession of and title to Lot 69 shall pass to CBH on the Closing Date.

6. MISCELLANEOUS

- a) This Agreement shall be binding upon and shall inure to the benefit of the parties hereto, and its respective heirs, personal representatives, successors and assigns.
- b) This Agreement embodies the entire agreement between the parties hereto with respect to the subject matter hereof. No extension, change, modification, amendment or waiver to, or of, this

Danskin Initials



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CBH Initials



Agreement of any kind whatsoever shall be made or claimed by CBH or Danskin, and no notice of any extension, change, modification, amendment or waiver made or claimed by CBH or Danskin shall have any force or effect whatsoever unless the same shall be endorsed in writing by both parties.

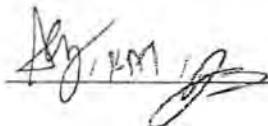
- c) This Agreement shall be governed by the laws of the State of Idaho.
- d) In the event it shall become necessary for either party to this Agreement to retain legal counsel to enforce any term, condition, or covenant of this Agreement, the prevailing party shall be entitled to recover its reasonable attorneys' fees and costs of suit, including any bankruptcy and/or other appeal proceedings.
- e) Time is of the essence of this Agreement.
- f) CBH and Danskin shall execute, acknowledge and deliver to the other such other documents and instruments, and take such other actions, as either shall reasonably request, or as may be reasonably necessary, to consummate the transaction contemplated in this Agreement.
- g) All notices or other communications given with respect to the subject matter of this Agreement shall be in writing, and shall be served on the parties addressed as follows:

If to CBH:                   CBH Homes  
                                  Attn: Corey Barton  
                                  1977 E. Overland  
                                  Meridian, ID 83642

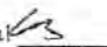
If to Danskin:             Danskin Ridge Homeowners Association  
                                  Board of Directors  
                                  c/o Riverside Mgmt  
                                  8919 W. Ardene Street Boise, ID 83709

Any such notices shall be either (a) sent by certified mail, return receipt requested, in which case notice shall be deemed delivered three (3) business days after deposit, postage prepaid in the U.S. Mail, (b) sent by overnight delivery using a nationally recognized overnight courier, in which case it shall be deemed delivered one (1) business day after deposit with such courier or (c) sent by personal delivery, in which case notice shall be deemed delivered upon delivery, (d) sent by electronic transmittal (email), receipt reply required, in which case notice shall be deemed delivered upon receipt reply. The above addresses may be changed by

Danskin Initials



CBH Initials



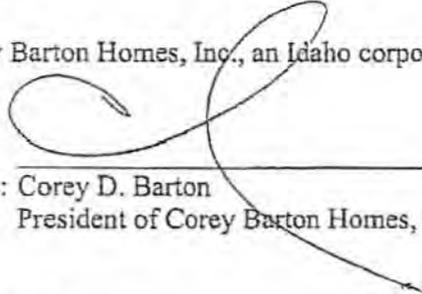
written notice to other party; provided, however, that no notice of a change of address shall be effective until actual receipt of such notice.

- h) Each individual executing this Agreement on behalf of any entity hereby represents and warrants that such entity has duly and properly authorized the execution of this Agreement by such individual and that this Agreement is enforceable against such entity in accordance with its terms.
- i) Both parties hereto have either (i) been represented by separate legal counsel, or (ii) have had the opportunity to be so represented. Thus, in all cases, the language herein shall be construed simply and in accordance with its fair meaning and not strictly for or against a party, regardless of which party prepared or caused the preparation of this Agreement.

IN WITNESS WHEREOF, the undersigned have duly executed this Agreement as of the date first above written.

**CBH:**

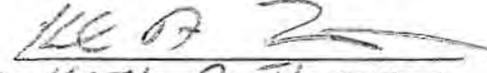
Corey Barton Homes, Inc., an Idaho corporation dba CBH Homes

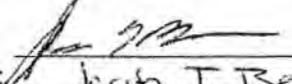
By:   
Name: Corey D. Barton  
Its: President of Corey Barton Homes, Inc. dba CBH Homes

**DANSKIN:**

Danskin Ridge Homeowners Association

By:   
Name: ALEXIS BARNETT  
Its: President of Danskin Ridge HOA

By:   
Name: Keith D. Thurston  
Its: Vice President of Danskin Ridge HOA

By:   
Name: Jacob T. Bell  
Its: Treasurer of Danskin Ridge HOA

Danskin Initials 

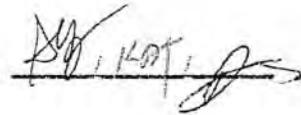
CBH Initial 

## EXHIBIT A

### PRE-PAID EDUs

ALTERNATE PROPERTY DESCRIPTION	SUBDIVISION OR PROJECT	EDU CLAIMED BY
EDU 97	OSPNEY-NORTH	L23B1 Danskin 2
EDU 98	OSPNEY-NORTH	L24B1 Danskin 2
EDU 99	OSPNEY-NORTH	L26B1 Danskin 2
EDU 100	OSPNEY-NORTH	L27B1 Danskin 2
EDU 101	OSPNEY-NORTH	L28B1 Danskin 2
EDU 102	OSPNEY-NORTH	L29B1 Danskin 2
EDU 103	OSPNEY-NORTH	L30B1 Danskin 2
EDU 104	OSPNEY-NORTH	L31B1 Danskin 2
EDU 105	OSPNEY-NORTH	L33B1 Danskin 3
EDU 106	OSPNEY-NORTH	L34B1 Danskin 3
EDU 107	OSPNEY-NORTH	L35B1 Danskin 3
EDU 108	OSPNEY-NORTH	L36B1 Danskin 3
EDU 109	OSPNEY-NORTH	L38B1 Danskin 3
EDU 110	OSPNEY-NORTH	L39B1 Danskin 3
EDU 111	OSPNEY-NORTH	L40B1 Danskin 3
EDU 112	OSPNEY-NORTH	L41B1 Danskin 3
EDU 113	OSPNEY-NORTH	L43B1 Danskin 3
EDU 114	OSPNEY-NORTH	L44B1 Danskin 3
EDU 115	OSPNEY-NORTH	L45B1 Danskin 3
EDU 116	OSPNEY-NORTH	L46B1 Danskin 3
EDU 117	OSPNEY-NORTH	L47B1 Danskin 3
EDU 118	OSPNEY-NORTH	L48B1 Danskin 3
EDU 119	OSPNEY-NORTH	L49B1 Danskin 3
EDU 120	OSPNEY-NORTH	L55B1 Danskin 5
EDU 121	OSPNEY-NORTH	L56B1 Danskin 5
EDU 122	OSPNEY-NORTH	L57B1 Danskin 5
EDU 123	OSPNEY-NORTH	L58B1 Danskin 5
EDU 124	OSPNEY-NORTH	L59B1 Danskin 5
EDU 125	OSPNEY-NORTH	L63B1 Danskin 5
EDU 126	OSPNEY-NORTH	L64B1 Danskin 5
EDU 127	OSPNEY-NORTH	L65B1 Danskin 5
EDU 128	OSPNEY-NORTH	L66B1 Danskin 5
EDU 129	OSPNEY-NORTH	L67B1 Danskin 5

Danskin Initials



CBH Initial





00243862201600589640020020

RECEIVED  
JUN 20 2016  
CITY OF KUNA

**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, DOUGLAS L CHIPPEWA and SHAWN D CHIPPEWA H/W, being first duly sworn upon oath, depose and state:

- 46. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8182 S BUFFALO CREEK LN

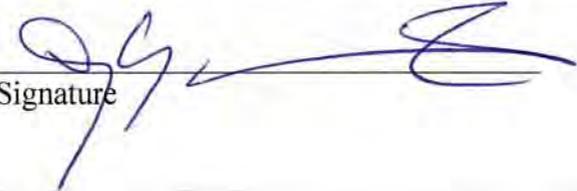
Legal Description: LOT 65 BLK 01, DANSKIN RIDGE SUB NO 05

- 47. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
- 48. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
- 49. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the

subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.

50. We understand and agree that this annexation is a Category A Annexation and we do not have a right to have it judicially reviewed by any court.

Dated this 15 day of June, 2016

  
Signature

STATE OF IDAHO )  
                          ) ss.  
County of Ada     )

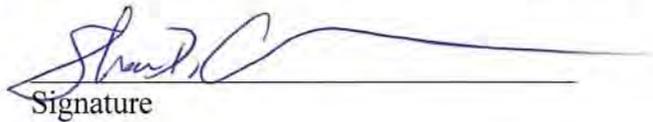
I, John L. Hunter, a Notary Public in and for said State of Idaho, do hereby certify that on this 15 day of June, ~~2015~~ <sup>2016</sup>, before me, personally appeared DOUGLAS L CHIPPEWA, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

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Notary Public for STATE OF IDAHO  
My commission expires on 09/01/2017.

Dated this 15<sup>th</sup> day of June, 2016

  
Signature

STATE OF IDAHO )  
                          ) ss.  
County of Ada     )

I, John L. Hunter, a Notary Public in and for said State of Idaho, do hereby certify that on this 15 day of June, ~~2015~~ <sup>2016</sup>, before me, personally appeared SHAWN D CHIPPEWA, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

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Notary Public for STATE OF IDAHO  
My commission expires on 09/01/2017.



00421020201700983410020023

**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

*(Sandy Colling + Brian Colling)*

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, COLLING SANDRA A and COLLING BRIAN D, being first duly sworn upon oath, depose and state:

106. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8214 S SLIDE CREEK LN

Legal Description: LOT 46 BLK 01, DANSKIN RIDGE SUB NO 03

107. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
108. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
109. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the





**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, GENE A CREGO and MATILDA J CREGO , being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8047 S SLIDE CREEK LN

Legal Description: LOT 41 BLK 01, DANSKIN RIDGE SUB NO 03

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the





00206887201600244850020025

**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, ROSS S DANDO and DEBRA K DANDO , being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8070 S SLIDE CREEK LN

Legal Description: LOT 43 BLK 01, DANSKIN RIDGE SUB NO 03

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the





**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, I am the record owner of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owner of said real property, it is my desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, I accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, DANSKIN RIDGE SUB HOA INC , being first duly sworn upon oath, deposes and states:

1. I am the record owner of the property described below, and I hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: COMMON AREAS FOR DANSKIN RIDGE SUBS NO 02, 03 & 05

Legal Description: LOT 32 BLK 01, DANSKIN RIDGE SUB NO 03  
LOT 37 BLK 01, DANSKIN RIDGE SUB NO 03  
LOT 42 BLK 01, DANSKIN RIDGE SUB NO 03  
LOT 60 BLK 01, DANSKIN RIDGE SUB NO 05  
LOT 61 BLK 01, DANSKIN RIDGE SUB NO 05  
LOT 62 BLK 01, DANSKIN RIDGE SUB NO 05

2. I understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. I understand and agree that my decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce me into signing this Consent to Annex agreement, and the decision to sign is my own.

4. I understand that the COMMON AREAS will be annexed into the city of Kuna on or about January 1, 2017. Each COMMON AREA property (6 properties from a total of 39) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The DANSKIN RIDGE SUB HOA INC, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.
  
5. I understand and agree that this annexation is a Category A Annexation and I do not have a right to have it judicially reviewed by any court.

Dated this 20 day of Feb, 20 15

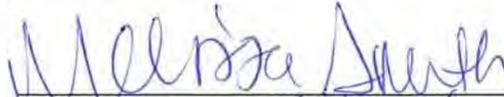
  
 Signature Notary PRESIDENT

STATE OF IDAHO )  
 ) ss.  
 County of Ada )

I, Melissa Smith, a Notary Public in and for said State of Idaho, do hereby certify that on this 20 day of February, 2015, before me, personally appeared Alexis Barrett, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

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 Notary Public for State of Idaho  
 My commission expires on 7-5-2019



**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, GRANT H FRANCIS and ANDREA FRANCIS , being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8310 S SLIDE CREEK LN

Legal Description: LOT 48 BLK 01, DANSKIN RIDGE SUB NO 03

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the

subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.

- 5. We understand and agree that this annexation is a Category A Annexation and we do not have a right to have it judicially reviewed by any court.

Dated this 18 day of February, 2015

[Signature]  
Signature  
Andrea Francis

STATE OF IDAHO )  
                          ) ss.  
County of Ada    )

I, Samuel S. Preisler, a Notary Public in and for said State of Idaho, do hereby certify that on this 18 day of FEBRUARY, 2015, before me, personally appeared GRANT H FRANCIS, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

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[Signature]  
Notary Public for STATE OF IDAHO  
My commission expires on 4/11/2018

Dated this 18 day of FEBRUARY, 2015

[Signature]  
Signature

STATE OF IDAHO )  
                          ) ss.  
County of Ada    )

I, Samuel S. Preisler, a Notary Public in and for said State of Idaho, do hereby certify that on this 18 day of February, 2015, before me, personally appeared ANDREA FRANCIS, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

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[Signature]  
Notary Public for STATE OF IDAHO  
My commission expires on 4/11/2018



**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, JAMES E GISSEL and MELYNDA A GISSEL , being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8287 S SLIDE CREEK LN

Legal Description: LOT 35 BLK 01, DANSKIN RIDGE SUB NO 03

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the

subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.

- 5. We understand and agree that this annexation is a Category A Annexation and we do not have a right to have it judicially reviewed by any court.

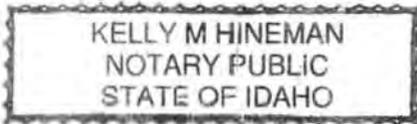
Dated this 18 day of February, 2015

[Signature]  
Signature

STATE OF IDAHO )  
                                  ) ss.  
County of Ada     )

I, Kelly Hineman, a Notary Public in and for said State of Idaho, do hereby certify that on this 18 day of February, 2015, before me, personally appeared JAMES E GISSEL, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

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Kelly M Hineman  
Notary Public for Kuna, Idaho  
My commission expires on June 5, 2015

Dated this 17<sup>th</sup> day of February, 2015

[Signature]  
Signature

STATE OF IDAHO )  
                                  ) ss.  
County of Ada     )

I, Karamedrano, a Notary Public in and for said State of Idaho, do hereby certify that on this 17<sup>th</sup> day of February, 2015, before me, personally appeared MELYNDA A GISSEL, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

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Kara Medrano  
Notary Public for Kuna, ID  
My commission expires on 9-3-15



**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, STEVEN R GOULD and SARA J GOULD, being first duly sworn upon oath, depose and state:

41. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8553 S DANSKIN LN

Legal Description: LOT 24 BLK 01, DANSKIN RIDGE SUB NO 02

42. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
43. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
44. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the





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**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, WAYNE E. HANNERS AND TAMARA A. HANNERS, husband and wife, being first duly sworn upon oath, depose and state:

71. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8517 S DANSKIN LN

Legal Description: LOT 23 BLK 01, DANSKIN RIDGE SUB NO 02

72. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
73. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
74. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the





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**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, MATTHEW E HAWKINS and AMY HAWKINS , being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8588 S DANSKIN LN

Legal Description: LOT 30 BLK 01, DANSKIN RIDGE SUB NO 02

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the





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**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

*Re-Record to  
correct notary  
date.*

WHEREAS, We are the record owners of the real property as described herein; and  
WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and  
WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and  
WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and  
WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and  
WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, GABRIEL M HAWS and KIMETHA M HAWS H/W, being first duly sworn upon oath, depose and state:

111. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8127 S BUFFALO CREEK LN

Legal Description: LOT 57 BLK 01, DANSKIN RIDGE SUB NO 05

- 112. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
- 113. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
- 114. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the



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subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.

115. We understand and agree that this annexation is a Category A Annexation and we do not have a right to have it judicially reviewed by any court.

Dated this 27<sup>th</sup> day of March, 2017

[Signature]  
Signature 3/27/17

STATE OF IDAHO )  
                          ) ss.  
County of Ada    )

I, Gabrielle Cole, a Notary Public in and for said State of Idaho, do hereby certify that on this 27 day of March, 2017, before me, personally appeared GABRIEL M HAWS, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

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Gabrielle Cole  
Notary Public for Idaho (Ada)  
My commission expires on 3/24/2021

Dated this 27 day of March, 2017

[Signature]  
Signature

STATE OF IDAHO )  
                          ) ss.  
County of Ada    )

I, Gabrielle Cole, a Notary Public in and for said State of Idaho, do hereby certify that on this 27 day of March, 2017, before me, personally appeared KIMETHA M HAWS, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

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Gabrielle Cole  
Notary Public for Idaho (Ada)  
My commission expires on 3/24/2021



P.O. BOX 13  
KUNA ID 83634  
(208)922-5546  
www.KunaCity.id.gov

**Mayor**  
Joe Stear

**City Council**

**Members**

Briana Buban-Vonder Haar  
Richard Cardoza  
Pat Jones  
Greg McPherson

# City of Kuna

April 13, 2017

Clerk of the District Court  
Ada County  
ATTN: Nikola  
200 W Front St. Room 1207  
Boise, ID 83702-7300

Subject: City of Kuna Consent to Annexation

To Whom It May Concern:

Enclosed you will find a Consent to Annexation granted by Gabriel M Haws and Kimetha M Haws to be re-recorded due to an error in the notary bodies.

If you have any questions or need additional information, please call me at 922-5546.

Sincerely,

Chris Engels  
City Clerk

1 Enclosure



00343622201700258990020026

**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, GABRIEL M HAWS and KIMETHA M HAWS H/W, being first duly sworn upon oath, depose and state:

111. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8127 S BUFFALO CREEK LN

Legal Description: LOT 57 BLK 01, DANSKIN RIDGE SUB NO 05

112. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
113. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
114. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the

subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.

115. We understand and agree that this annexation is a Category A Annexation and we do not have a right to have it judicially reviewed by any court.

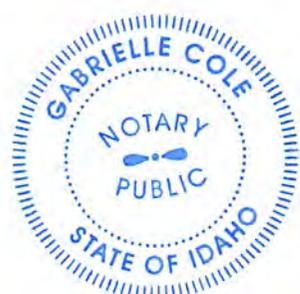
Dated this 27<sup>th</sup> day of March, 2017

[Signature]  
Signature \_\_\_\_\_ 3/27/17

STATE OF IDAHO )  
                          ) ss.  
County of Ada    )

I, Gabrielle Cole, a Notary Public in and for said State of Idaho, do hereby certify that on this 27 day of March, 2017, before me, personally appeared GABRIEL M HAWS, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

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[Signature]  
Notary Public for Idaho (Ada)  
My commission expires on 3/24/2021

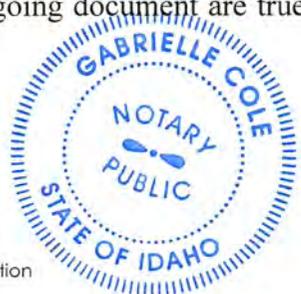
Dated this 27 day of March, 2017

[Signature]  
Signature \_\_\_\_\_

STATE OF IDAHO )  
                          ) ss.  
County of Ada    )

I, Gabrielle Cole, a Notary Public in and for said State of Idaho, do hereby certify that on this 27 day of March, 2017, before me, personally appeared KIMETHA M HAWS, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

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[Signature]  
Notary Public for Idaho (Ada)  
My commission expires on 3/24/2021

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APR 12 2017

CITY OF KUNA

subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.

- 115. We understand and agree that this annexation is a Category A Annexation and we do not have a right to have it judicially reviewed by any court.

Dated this 27<sup>th</sup> day of March, 2017

*[Signature]*  
 Signature 3/27/17

STATE OF IDAHO )  
 ) ss.  
 County of Ada )

I, Gabrielle Cole, a Notary Public in and for said State of Idaho, do hereby certify that on this 27 day of March, 2015, before me, personally appeared GABRIEL M HAWS, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

*Notary did not change the year in the body of the notary. please have corrected & re-record.*

*Gabrielle Cole*  
 Notary Public for Idaho (Ada)  
 My commission expires on 3/24/2021

Dated this 27 day of March, 2017

*[Signature]*  
 Signature

I, Gabrielle Cole, a Notary Public in and for said State of Idaho, do hereby certify that on this 27 day of March, 2015, before me, personally appeared KIMETHA M HAWS, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.



*Gabrielle Cole*  
 Notary Public for Idaho (Ada)  
 My commission expires on 3/24/2021

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**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**

Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, GABRIEL M HAWS and KIMETHA M HAWS H/W, being first duly sworn upon oath, depose and state:

111. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8127 S BUFFALO CREEK LN

Legal Description: LOT 57 BLK 01, DANSKIN RIDGE SUB NO 05

112. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
113. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
114. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the



**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, I am the record owner of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owner of said real property, it is my desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, I accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, CYNDEE JAKOVAC , being first duly sworn upon oath, deposes and states:

1. I am the record owner of the property described below, and I hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8335 S SLIDE CREEK LN

Legal Description: LOT 34 BLK 01, DANSKIN RIDGE SUB NO 03

2. I understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. I understand and agree that my decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce me into signing this Consent to Annex agreement, and the decision to sign is my own.
4. I understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Sub HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.





**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, JEFFERY S. AKE and VICKIE L. AKE, husband and wife, being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8045 S BUFFALO CREEK LN

Legal Description: LOT 59 BLK 01, DANSKIN RIDGE SUB NO 05

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the

subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.

- 5. We understand and agree that this annexation is a Category A Annexation and we do not have a right to have it judicially reviewed by any court.

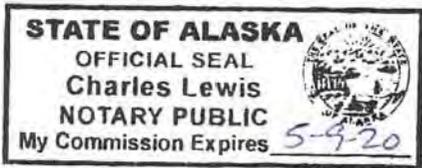
Dated this 17 day of MARCH, 2017

[Signature]  
Signature

STATE OF ALASKA )  
 ) ss.  
County of Juneau )

I, Charles Lewis, a Notary Public in and for said State of ALASKA, do hereby certify that on this 17 day of March, 2017, before me, personally appeared JEFFERY S AKE, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

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[Signature]

Notary Public for TNFCU  
My commission expires on 05-09-2020

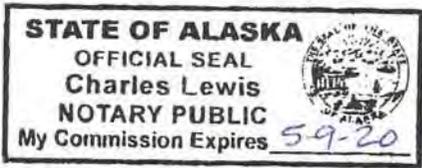
Dated this 17 day of March, 2017

[Signature]  
Signature

STATE OF ALASKA )  
 ) ss.  
County of Juneau )

I, Charles Lewis, a Notary Public in and for said State of ALASKA, do hereby certify that on this 17 day of March, 2017, before me, personally appeared VICKIE L AKE, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

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L



[Signature]

Notary Public for TNFCU  
My commission expires on 05-09-2020



**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, RONALD A KERN and LISA C KERN , being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8066 S BUFFALO CREEK LN

Legal Description: LOT 63 BLK 01, DANSKIN RIDGE SUB NO 05

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the





**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, JAMES D KIDD and KATY B KIDD , being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8625 S DANSKIN LN

Legal Description: LOT 27 BLK 01, DANSKIN RIDGE SUB NO 02

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the





**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, I am the record owner of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owner of said real property, it is my desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, I accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, KELLY KING , being first duly sworn upon oath, deposes and states:

1. I am the record owner of the property described below, and I hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8089 S BUFFALO CREEK LN

Legal Description: LOT 58 BLK 01, DANSKIN RIDGE SUB NO 05

2. I understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. I understand and agree that my decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce me into signing this Consent to Annex agreement, and the decision to sign is my own.
4. I understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Sub HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.





**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, WILLIAM KING and DAPHNE KING , being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8143 S SLIDE CREEK LN

Legal Description: LOT 39 BLK 01, DANSKIN RIDGE SUB NO 03

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the





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**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, DAVID R MENDIOLA and AMBER L MENDIOLA H/W, being first duly sworn upon oath, depose and state:

81. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8194 S BUFFALO CREEK LN

Legal Description: LOT 66 BLK 01, DANSKIN RIDGE SUB NO 05

82. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
83. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
84. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the

subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.

85. We understand and agree that this annexation is a Category A Annexation and we do not have a right to have it judicially reviewed by any court.

Dated this 11 day of September, 2016

  
\_\_\_\_\_  
Signature

STATE OF IDAHO )  
                          ) ss.  
County of Ada    )

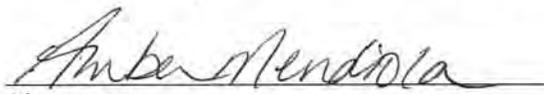
I, Richard T. Roats, a Notary Public in and for said State of Idaho, do hereby certify that on this 11<sup>th</sup> day of September, 2016, before me, personally appeared DAVID R MENDOILA, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

S  
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L



  
\_\_\_\_\_  
Notary Public for Idaho  
My commission expires on 12-17-19

Dated this 11 day of September, 2016

  
\_\_\_\_\_  
Signature

STATE OF IDAHO )  
                          ) ss.  
County of Ada    )

I, Richard T. Roats, a Notary Public in and for said State of Idaho, do hereby certify that on this 11 day of September, 2016, before me, personally appeared AMBER L MENDIOLA, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

S  
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A  
L



  
\_\_\_\_\_  
Notary Public for Idaho  
My commission expires on 12-17-19



**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho;  
and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the  
Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said  
City is a condition precedent for connecting to the Wastewater Treatment and Collection System  
of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, MICHAEL A. STEVENS and NATALIE J. NAUMAN, nka NATALIE J.  
STEVENS, being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent  
(agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to  
Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8166 S SLIDE CREEK LN

Legal Description: LOT 45 BLK 01, DANSKIN RIDGE SUB NO 03

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex  
lands that are reasonably necessary to assure the orderly development of the City in  
order to allow efficient and economically viable provision of tax-supported and fee-  
supported municipal services, to enable orderly development of private lands that  
benefit from the cost-effective availability of municipal services in urbanizing areas,  
and to equitably allocate the costs of public services in management of development  
on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is  
voluntary on my part; no promises or threats have been made to induce us into  
signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into  
the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No.







**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho;  
and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the  
Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said  
City is a condition precedent for connecting to the Wastewater Treatment and Collection System  
of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, RANDY RHUMAN and LAURIE RHUMAN, being first duly sworn  
upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent  
(agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to  
Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8358 S. SLIDE CREEK LN

Legal Description: LOT 49 BLK 01, DANSKIN RIDGE SUB NO 03

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex  
lands that are reasonably necessary to assure the orderly development of the City in  
order to allow efficient and economically viable provision of tax-supported and fee-  
supported municipal services, to enable orderly development of private lands that  
benefit from the cost-effective availability of municipal services in urbanizing areas,  
and to equitably allocate the costs of public services in management of development  
on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is  
voluntary on my part; no promises or threats have been made to induce us into  
signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into  
the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No.







**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, THOMAS SCHERER and ALICE SCHERER, being first duly sworn upon oath, depose and state:

36. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8383 S SLIDE CREEK LN

Legal Description: LOT 33 BLK 01, DANSKIN RIDGE SUB NO 03

37. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
38. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
39. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the





**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, SHAW REVOCABLE LIVING TRUST and BOBBY LOUIS SHAW TRUSTEE ,  
being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8118 S SLIDE CREEK LN

Legal Description: LOT 44 BLK 01, DANSKIN RIDGE SUB NO 03

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the





**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, THOMAS & BRENDA SCHULER LIVING TRUST and THOMAS M SCHULER TRUSTEE , being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8606 S DANSKIN LN

Legal Description: LOT 29 BLK 01, DANSKIN RIDGE SUB NO 02

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the





**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, KEITH THURSTON and KAREN THURSTON , being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8239 S SLIDE CREEK LN

Legal Description: LOT 36 BLK 01, DANSKIN RIDGE SUB NO 03

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the





**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, HENRY VANDER STELT and CARRIE VANDER STELT , being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8589 S DANSKIN LN

Legal Description: LOT 25 BLK 01, DANSKIN RIDGE SUB NO 02

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the

subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.

- 5. We understand and agree that this annexation is a Category A Annexation and we do not have a right to have it judicially reviewed by any court.

Dated this 18<sup>th</sup> day of February, 20 15

[Handwritten Signature]  
Signature

STATE OF IDAHO )  
                          ) ss.  
County of Ada    )

I, Susan L. Oswald, a Notary Public in and for said State of Idaho, do hereby certify that on this 18 day of February, 2015, before me, personally appeared HENRY VANDER STELT, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

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Susan L. Oswald  
Notary Public for Idaho  
My commission expires on 4/26/2018

Dated this 18 day of February, 20 15

[Handwritten Signature]  
Signature

STATE OF IDAHO )  
                          ) ss.  
County of Ada    )

I, Susan L. Oswald, a Notary Public in and for said State of Idaho, do hereby certify that on this 18 day of February, 2015, before me, personally appeared CARRIE VANDER STELT, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

S  
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Susan L. Oswald  
Notary Public for Idaho  
My commission expires on 4/26/2018



**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, DALE WHITNEY and LISA WHITNEY , being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8262 S SLIDE CREEK LN

Legal Description: LOT 47 BLK 01, DANSKIN RIDGE SUB NO 03

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the

subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.

- 5. We understand and agree that this annexation is a Category A Annexation and we do not have a right to have it judicially reviewed by any court.

Dated this 19 day of February, 20 15

[Signature]  
Signature  
[Signature]

STATE OF IDAHO )  
) ss.  
County of Ada )

I, MARK W. EHLHARDT, a Notary Public in and for said State of Idaho, do hereby certify that on this 19<sup>th</sup> day of February, 2015, before me, personally appeared DALE WHITNEY, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

S  
E  
A  
L



[Signature]  
Notary Public for Idaho  
My commission expires on 11.21.18

Dated this 19<sup>th</sup> day of February, 20 15

[Signature]  
Signature

STATE OF IDAHO )  
) ss.  
County of Ada )

I, MARK W. EHLHARDT, a Notary Public in and for said State of Idaho, do hereby certify that on this 19<sup>th</sup> day of February, 2015, before me, personally appeared LISA WHITNEY, known or identified to me, who, being by me, first duly sworn, declared under oath that the statements contained with the foregoing document are true and correct, and acknowledged to me that he/she executed the same as such.

S  
E  
A  
L



[Signature]  
Notary Public for Idaho  
My commission expires on 11.21.18



**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, I am the record owner of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owner of said real property, it is my desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, I accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, MARCIA RUTH WILCOX & DANNY JOEL REVOCABLE TRUST , being first duly sworn upon oath, deposes and states:

1. I am the record owner of the property described below, and I hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8552 S DANSKIN LN

Legal Description: LOT 31 BLK 01, DANSKIN RIDGE SUB NO 02

2. I understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. I understand and agree that my decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce me into signing this Consent to Annex agreement, and the decision to sign is my own.
4. I understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Sub HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the subdivision from requesting annexation at an earlier date provided the annexation fees are paid in full.





**CONSENT TO ANNEXATION  
INTO THE CITY OF KUNA, IDAHO**  
Idaho Code §50-222

WHEREAS, We are the record owners of the real property as described herein; and

WHEREAS, said real property is not currently within the city limits of the City of Kuna, Idaho; and

WHEREAS, said real property is contiguous to the city limits of the City of Kuna, Idaho; and

WHEREAS, as the record owners of said real property, it is our desire to connect to the Wastewater Treatment and Collection System of the City of Kuna, Idaho; and

WHEREAS, said City of Kuna, Idaho stipulates that annexation into the corporate limits of said City is a condition precedent for connecting to the Wastewater Treatment and Collection System of said City; and

WHEREAS, We accordingly consent to annex into the City of Kuna, Idaho.

NOW THEREFORE, WALTER C WILLIAMS and ROBERTA J WILLIAMS , being first duly sworn upon oath, depose and state:

1. We are the record owners of the property described below, and we hereby consent (agree) to the annexation of said property into the City of Kuna, Idaho, pursuant to Idaho Code §50-222(3)(a) Category A Annexation.

Physical Address: 8110 S BUFFALO CREEK LN

Legal Description: LOT 64 BLK 01, DANSKIN RIDGE SUB NO 05

2. We understand and agree that the City of Kuna has a right under Idaho Law to annex lands that are reasonably necessary to assure the orderly development of the City in order to allow efficient and economically viable provision of tax-supported and fee-supported municipal services, to enable orderly development of private lands that benefit from the cost-effective availability of municipal services in urbanizing areas, and to equitably allocate the costs of public services in management of development on the urban fringe.
3. We understand and agree that our decision to annex into the City of Kuna, Idaho is voluntary on my part; no promises or threats have been made to induce us into signing this Consent to Annex agreement, and the decision to sign is our own.
4. We understand that Danskin Ridge Subdivision No. 02, 03 & 05 will be annexed into the city of Kuna on or about January 1, 2017. Each Danskin Ridge Subdivision No. 02, 03 & 05 property (39 total properties) will pay a pro rata share of the total annexation costs, currently \$1,200.00 plus \$30.00 per lot and posting of the signs \$500.00 for a total of \$2,870.00, or \$74.00 per property. The Danskin Ridge Subdivision HOA Inc, Home Owners Association shall submit one (1) check to the city of Kuna for by June 30, 2016 for the annexation costs. Nothing shall prohibit the





# Neighborhood Meeting Certification

CITY OF KUNA PLANNING & ZONING \* 763 W. Avalon, Kuna, Idaho, 83634 \* www.kunacity.id.gov \* (208) 922-5274 \* Fax: (208) 922-5989

## GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 5-1A-2 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

**Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.**

**Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.**

Description of proposed project: Danskin Ridge Subdivision No. 2, 3 and 5 Annexation

Date and time of neighborhood meeting: October 16, 2017, 6:00 pm – 7:00 pm

Location of neighborhood meeting: Kuna City Hall; 751 W. 4th Street, Kuna, Idaho 83634

## SITE INFORMATION:

Location: Quarter: SE Section: 11 Township: 2N Range: 1W Total Acres: \_\_\_\_\_

Subdivision Name: Danskin Ridge Subdivision No. 2, 3 and 5 Lot: See list Block: See list

Site Address: See attached list of addresses Tax Parcel Number(s): See attached list

Please make sure to include **all** parcels & addresses included in your proposed use.

## CURRENT PROPERTY OWNER:

**SEE ATTACHED SPREADSHEET LIST OF PROPERTY OWNER NAMES AND ADDRESSES TO BE**

Name: ANNEXED

Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

## CONTACT PERSON (Mail recipient and person to call with questions):

Name: Trevor Kesner, Planner II Business (if applicable): City of Kuna P&Z Dept.

Address: 751 W 4th St. City: Kuna State: ID Zip: 83634

**PROPOSED USE:**

Provide the following proposed use of the property (check all that apply):

**Application Type**

Annexation ◀

Re-zone -----▶

Subdivision (Sketch Plat and/or Prelim. Plat)

Special Use

Variance

Expansion of Extension of a Nonconforming Use

Zoning Ordinance Map Amendment

**Brief Description**

Annex Phase 2, 3 and 5 of Danskin Ridge Subs in Kuna City

Proposed as **R-2** zoning designation upon annexation

**APPLICANT:**

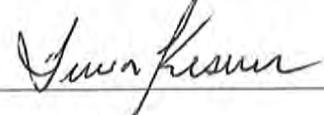
Name: City of Kuna for Danskin Ridge HOA

Address: PO Box 13

City: Kuna State: ID Zip: 83634

Telephone: 208-922-5274 Fax: 208-922-5989

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 5-1 A-2 of the Kuna City Code

Signature: (Applicant)  Date 10/17/17

# SIGN IN SHEET

**PROJECT NAME: Danskin Ridge #2, 3 & 5 Annex**

**Date: October 16, 2017**

	<u>Name</u>	<u>Address</u>	<u>Zip</u>	<u>Phone</u>
1	Jim Doty	8287 S. Slide Creek Ln	83642	208 867-9384
2	Steve & Sara Gould	8553 S. Danskin Ln	83642	208 807 3690
3	Wayne & Tamara Hanners	8517 S. Danskin Ln	83642	208-850-7492
4	Henry Vander Stelt	8589 S. Danskin Ln	83642	208-949-3260
5	ROBERT CHANEY	8163 S. BUFFALO Creek	83642	714 654-8555
6	Valerie Wadley	8095 S. Slide Creek	83642	859-391-2447
7	Daphne King	8143 S Slide Creek	83642	208-288-5489
8	David & Valerie Wadley	8095 S. Slide Creek	83642	307-267-9464
9				
10				
11				
12				
13				
14				
15				
16				
17				
18	jimdo49@yahoo.com (Jim Doty)			
19	waynehanners@msn.com			
20	tammyhanners@gmail.com			
21	majorkitchen@aol.com Daphne King			
22	Stevengould71@yahoo.com			
23	henry@rstelt.com			
24	dmw34@gmail.com David Wadley			
25				
26				
27				
28				
29				
30				

PARCEL	LAST NAME	ADDRESS	LOT / BLOCK	SUBDIVISION
R1727710010	HANNERS	8517 S DANSKIN LN	LOT 23 BLK 01	DANSKIN RIDGE SUB NO 02
R1727710020	GOULD	8553 S DANSKIN LN	LOT 24 BLK 01	DANSKIN RIDGE SUB NO 02
R1727710030	VANDER	8589 S DANSKIN LN	LOT 25 BLK 01	DANSKIN RIDGE SUB NO 02
R1727710050	KIDD	8625 S DANSKIN LN	LOT 27 BLK 01	DANSKIN RIDGE SUB NO 02
R1727710060	CALLEY	8624 S DANSKIN LN	LOT 28 BLK 01	DANSKIN RIDGE SUB NO 02
R1727710070	LETE	8606 S DANSKIN LN	LOT 29 BLK 01	DANSKIN RIDGE SUB NO 02
R1727710080	HAWKINS	8588 S DANSKIN LN	LOT 30 BLK 01	DANSKIN RIDGE SUB NO 02
R1727710090	WILCOX	8552 S DANSKIN LN	LOT 31 BLK 01	DANSKIN RIDGE SUB NO 02
R1727720020	MIHKELSON	8383 S SLIDE CREEK LN	LOT 33 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720030	JAKOVAC	8335 S SLIDE CREEK LN	LOT 34 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720040	DOTY	8287 S SLIDE CREEK LN	LOT 35 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720050	THURSTON	8239 S SLIDE CREEK LN	LOT 36 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720070	BODOVINITZ	8191 S SLIDE CREEK LN	LOT 38 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720080	KING	8143 S SLIDE CREEK LN	LOT 39 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720090	WADLEY	8095 S SLIDE CREEK LN	LOT 40 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720100	CREGO	8047 S SLIDE CREEK LN	LOT 41 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720120	DANDO	8070 S SLIDE CREEK LN	LOT 43 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720130	SHAW	8118 S SLIDE CREEK LN	LOT 44 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720140	STEVENS	8166 S SLIDE CREEK LN	LOT 45 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720150	COLLING	8214 S SLIDE CREEK LN	LOT 46 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720160	FEKETE	8262 S SLIDE CREEK LN	LOT 47 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720170	FRANCIS	8310 S SLIDE CREEK LN	LOT 48 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720180	RHUMAN	8358 S SLIDE CREEK LN	LOT 49 BLK 01	DANSKIN RIDGE SUB NO 03
R1727740030	BROWNING	8201 S BUFFALO CREEK LN	LOT 55 BLK 01	DANSKIN RIDGE SUB NO 05
R1727740040	CHANEY	8163 S BUFFALO CREEK LN	LOT 56 BLK 01	DANSKIN RIDGE SUB NO 05
R1727740050	HAWS	8127 S BUFFALO CREEK LN	LOT 57 BLK 01	DANSKIN RIDGE SUB NO 05
R1727740060	KING	8089 S BUFFALO CREEK LN	LOT 58 BLK 01	DANSKIN RIDGE SUB NO 05
R1727740070	SPARRELL	8045 S BUFFALO CREEK LN	LOT 59 BLK 01	DANSKIN RIDGE SUB NO 05
R1727740090	DANSKIN	8919 W ARDENE ST	LOT 61 BLK 01	DANSKIN RIDGE SUB NO 05
R1727740110	KERN	8066 S BUFFALO CREEK LN	LOT 63 BLK 01	DANSKIN RIDGE SUB NO 05
R1727740120	WILLIAMS	8110 S BUFFALO CREEK LN	LOT 64 BLK 01	DANSKIN RIDGE SUB NO 05
R1727740130	CHIPPEWA	8182 S BUFFALO CREEK LN	LOT 65 BLK 01	DANSKIN RIDGE SUB NO 05
R1727740140	MENDIOLA	8194 S BUFFALO CREEK LN	LOT 66 BLK 01	DANSKIN RIDGE SUB NO 05
R1727740150	BURGER	8216 S BUFFALO CREEK LN	LOT 67 BLK 01	DANSKIN RIDGE SUB NO 05



**CITY OF KUNA**  
PLANNING & ZONING DEPARTMENT

751 West 4<sup>th</sup> Street  
P.O. Box 13  
Kuna, ID 83634  
Phone: 208-922-5274  
Fax: 208-922-5989  
[www.kunacity.id.gov](http://www.kunacity.id.gov)

September 26, 2017

Kuna Planning & Zoning Department  
P.O. Box 13  
Kuna, ID 83634

**NEIGHBORHOOD MEETING NOTIFICATION**

Re: 17-08-AN (Annexation) – Danskin Ridge Subdivision No.'s 2, 3, and 5

Dear Property Owner:

Please be advised that the City of Kuna intends to seek approval for annexation of the properties described on the reverse side of this letter.

The City of Kuna (petitioner) plans to submit an application to the City's Planning and Zoning Commission for a recommendation to the Kuna City Council to approve the requested annexation of properties within Danskin Ridge Subdivision No.'s 2, 3, and 5 (listed on the reverse side). The purpose of this proposed annexation is to provide the affected property owners within the Danskin community the ability to connect to the City's sewer system at a future date.

In compliance with Idaho State Code and Kuna City Code requirements, a *Neighborhood Information Meeting* will be held to provide you with an opportunity to become fully aware of the City's intentions and to discuss any preliminary concerns in relation to the proposed annexation. The *Neighborhood Information Meeting* will be held on **Monday, October 16<sup>th</sup>, 2017, from 6:00 pm to 7:00 pm at Kuna City Hall located at 751 W. 4<sup>th</sup> Street, Kuna, ID 83634.** The meeting will be held in **City Council Chambers**.

The meeting is intended to initiate early discussions before submitting the annexation application. At this meeting, City staff will make every effort to illustrate how the annexation process will be carried out. Should you have questions prior to the meeting, please feel free to contact me directly at (208) 387-7731.

Sincerely,

Trevor Kesner, MCRP  
Planner II  
Kuna Planning and Zoning Department

cc: Wendy Howell, Planning & Zoning Director; Richard Roats, City Attorney

THE AFFECTED PROPERTIES ARE LISTED BELOW:

<u>PARCEL</u>	<u>LASTNM</u>	<u>ADDCONCAT</u>	<u>LEGAL1</u>	<u>LEGAL2</u>
R1727710030	VANDER	8589 S DANSKIN LN	LOT 25 BLK 01	DANSKIN RIDGE SUB NO 02
R1727710050	KIDD	8625 S DANSKIN LN	LOT 27 BLK 01	DANSKIN RIDGE SUB NO 02
R1727710080	HAWKINS	8588 S DANSKIN LN	LOT 30 BLK 01	DANSKIN RIDGE SUB NO 02
R1727720080	KING	8143 S SLIDE CREEK LN	LOT 39 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720120	DANDO	8070 S SLIDE CREEK LN	LOT 43 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720140	STEVENS	8166 S SLIDE CREEK LN	LOT 45 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720160	FEKETE	8262 S SLIDE CREEK LN	LOT 47 BLK 01	DANSKIN RIDGE SUB NO 03
R1727740040	CHANEY	8163 S BUFFALO CREEK LN	LOT 56 BLK 01	DANSKIN RIDGE SUB NO 05
R1727740140	MENDIOLA	8194 S BUFFALO CREEK LN	LOT 66 BLK 01	DANSKIN RIDGE SUB NO 05
R1727710060	CALLEY	8624 S DANSKIN LN	LOT 28 BLK 01	DANSKIN RIDGE SUB NO 02
R1727720040	DOTY	8287 S SLIDE CREEK LN	LOT 35 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720100	CREGO	8047 S SLIDE CREEK LN	LOT 41 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720170	FRANCIS	8310 S SLIDE CREEK LN	LOT 48 BLK 01	DANSKIN RIDGE SUB NO 03
R1727740050	HAWS	8127 S BUFFALO CREEK LN	LOT 57 BLK 01	DANSKIN RIDGE SUB NO 05
R1727740060	KING	8089 S BUFFALO CREEK LN	LOT 58 BLK 01	DANSKIN RIDGE SUB NO 05
R1727740070	SPARRELL	8045 S BUFFALO CREEK LN	LOT 59 BLK 01	DANSKIN RIDGE SUB NO 05
R1727740090	DANSKIN	8919 W ARDENE ST	LOT 61 BLK 01	DANSKIN RIDGE SUB NO 05
R1727740120	WILLIAMS	8110 S BUFFALO CREEK LN	LOT 64 BLK 01	DANSKIN RIDGE SUB NO 05
R1727710020	GOULD	8553 S DANSKIN LN	LOT 24 BLK 01	DANSKIN RIDGE SUB NO 02
R1727710070	LETE	8606 S DANSKIN LN	LOT 29 BLK 01	DANSKIN RIDGE SUB NO 02
R1727720130	SHAW	8118 S SLIDE CREEK LN	LOT 44 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720180	RHUMAN	8358 S SLIDE CREEK LN	LOT 49 BLK 01	DANSKIN RIDGE SUB NO 03
R1727740110	KERN	8066 S BUFFALO CREEK LN	LOT 63 BLK 01	DANSKIN RIDGE SUB NO 05
R1727740150	BURGER	8216 S BUFFALO CREEK LN	LOT 67 BLK 01	DANSKIN RIDGE SUB NO 05
R1727710010	HANNERS	8517 S DANSKIN LN	LOT 23 BLK 01	DANSKIN RIDGE SUB NO 02
R1727710090	WILCOX	8552 S DANSKIN LN	LOT 31 BLK 01	DANSKIN RIDGE SUB NO 02
R1727720020	MIHKELSON	8383 S SLIDE CREEK LN	LOT 33 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720030	JAKOVAC	8335 S SLIDE CREEK LN	LOT 34 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720050	THURSTON	8239 S SLIDE CREEK LN	LOT 36 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720070	BODOVINITZ	8191 S SLIDE CREEK LN	LOT 38 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720090	WADLEY	8095 S SLIDE CREEK LN	LOT 40 BLK 01	DANSKIN RIDGE SUB NO 03
R1727720150	COLLING	8214 S SLIDE CREEK LN	LOT 46 BLK 01	DANSKIN RIDGE SUB NO 03
R1727740030	BROWNING	8201 S BUFFALO CREEK LN	LOT 55 BLK 01	DANSKIN RIDGE SUB NO 05
R1727740130	CHIPPEWA	8182 S BUFFALO CREEK LN	LOT 65 BLK 01	DANSKIN RIDGE SUB NO 05



# CITY OF KUNA

## PLANNING & ZONING DEPARTMENT

751 West 4<sup>th</sup> Street  
P.O. Box 13  
Kuna, ID 83634  
Phone: 208-922-5274  
Fax: 208-922-5989  
[www.kunacity.id.gov](http://www.kunacity.id.gov)

October 16, 2017

### Re: Danskin Ridge Subdivision No.'s 2, 3 and 5 Annexation – Neighborhood Meeting Minutes

The City of Kuna held a neighborhood meeting on October 16, 2017 at City Hall (751 W. 4<sup>th</sup> Street, Kuna, ID 83634) from 6:00 pm to 7:00 pm regarding the future annexation of Danskin Ridge Subdivision properties.

The following is a summary of the concerns and/or questions which were discussed at the meeting:

- Will our address change (from Meridian to Kuna)?
- Will 'the pond' stay as it is? Will water stay in it?
- Concerns about the *natural habitat* that the pond creates for water fowl and seasonal, nesting birds/animals (ie: wetlands)
- How will the annexation process work? How long will it take? What is the timeline?
- Will the pond stay fenced?
- Where will the future sewer connection be made?
- Will the roads be cut-into or trenches be excavated for pipe work?
- Will the existing system be 'decommissioned'?
- What about individual lift stations? Will there be an additional lift station installed?
- Concerns about sewer line depths, pressurization and potential issues with gravity lines.
- Will there be a need to 're-grade' for the sewer lines?
- Who is the person/developer that is bringing the infrastructure? (Timothy Eck)
- Who might have the record drawings (*as built*) for the original utility lines? (Ada County)
- What about existing tanks and/or vaults?
  - Who owns them?
  - Who will take care of them?
  - Will they be removed or 'decommissioned'?
- Will our sanitation services change? (Republic vs. J&M Sanitation)
- Once hooked up to the sewer, will we get an additional bill from the City?
  - What is the additional cost for sewer service? (\$26.94)
- What is the benefit to hooking up? (current community system failure)
- What will the City own? (*the pond*)
  - Will the City take ownership and maintain the existing sewer lines? (underground pipes within the subdivision boundaries are privately owned by the HOA)
- Are our roads going to be torn up?

- Will our roads connect to new development? (roadways within the Danskin community are private and will remain private; existing stub streets will not be connecting to new developments/subdivisions)
- We don't want traffic funneled through our community.
- What is the cost for annexation? (\$1,200 + \$30 per acre; up to 40 acres – these fees are being 'shared', therefore, each affected property owner will pay a portion of the total costs under one annexation application).
- What are the connection fees? (approximately \$1,800)  
-Is that the cost for each household to hook up? (yes)
- Will you be posting updates to the website (this information is specific to the affected property owners within the Danskin Ridge community; although the process is transparent, it is not necessary to post the information publicly)
- Can we be kept up to date on the progress?
- Who do we contact if we have questions?

Prepared by:  
Trevor Kesner, MCRP  
Kuna Planning and Zoning Department

cc: Richard Roats, City Attorney  
Wendy Howell, Planning & Zoning Director



*City of Kuna*  
**COMMITMENT TO  
PROPERTY POSTING**

City of Kuna  
P.O. Box 13  
Kuna, Idaho 83634

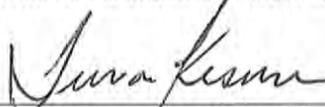
Phone: (208) 922-5274  
Fax: (208) 922-5989  
Web: [www.kunacity.id.gov](http://www.kunacity.id.gov)

Per City Code 5-1A-8, the applicant for all applications requiring a public hearing shall post the subject property not less than ten (10) days prior to the hearing. The applicant shall post a copy of the public hearing notice or the application(s) on the property under consideration.

The applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the City no later than seven (7) days prior to the public hearing attesting to where and when the sign(s) were posted. Unless such Certificate is received by the required date, the hearing will be continued.

The sign(s) shall be removed no later than three (3) days after the end of the public hearing for which the sign(s) had been posted.

I am aware of the above requirements and will comply with the posting requirements as stated in Kuna City Code 5-1A-8.

  
\_\_\_\_\_  
Applicant/agent signature:

*10 - 20 - 2017*  
\_\_\_\_\_  
Date:



City of Kuna  
 Planning & Zoning Department

City of Kuna  
 P.O. Box 13  
 Kuna, Idaho 83634  
 Phone: (208) 922-5274  
 Fax: (208) 922-5989  
**Kunacity.id.gov**

November 02, 2017

Notice is hereby given by the City of Kuna that the following action is under consideration for:

<b>FILE NUMBER</b>	<b>17-08-AN</b> (Annexation); Danskin Ridge Subdivisions No. 2, 3 & 5
<b>PROJECT DESCRIPTION</b>	The City of Kuna is requesting approval for annexation of approximately <b>37.6</b> acres +/-, also known as Danskin Ridge Subdivision No's. 2, 3 and 5, into Kuna City limits with an 'R-2' (Low Density Residential) zoning designation.
<b>SITE LOCATION</b>	South side of W. Columbia Rd., approximately 800-feet east of the intersection of W. Columbia and S. Ten Mile Roads.
<b>Owner</b>	Refer to attached property ownership list
<b>Representative</b>	City of Kuna
<b>SCHEDULED HEARING DATE</b>	Tuesday, November 28, 2017 6:00 P.m. – Kuna City Hall
<b>STAFF CONTACT</b>	Trevor Kesner, Planner II City of Kuna, Planning & Zoning Dept. <a href="mailto:tkesner@kunaid.gov">tkesner@kunaid.gov</a> Phone: 639-5342 Fax: 922.5989

We have enclosed information to assist you with your consideration and response. ***No response within 15 business days will indicate you have no objection or comments for this project.*** We would appreciate any information as to how this action would affect the service(s) your agency provides. The hearing is scheduled to begin at 6:00 p.m. or as soon as it may be heard. Kuna City Hall is located at 751 W. 4<sup>th</sup> Street, Kuna, ID 83634. Please contact staff with questions. ***If your agency needs different plans or paper copies to review, notify our office now and we will send them to you. Please notify our office who future packets should be sent to, and include their email as well.*** If your agency needs additional time for review, please let our office know ASAP.

Encl: Application and supplemental documentation



CENTRAL DISTRICT HEALTH DEPARTMENT
Environmental Health Division

Return to:

- ACZ
Boise
Eagle
Garden City
Kuna
Meridian
Star

RECEIVED

NOV 14 2017

CITY OF KUNA

Danskin Ridge
No 2,3 & 5

Rezone # 17-08-AN

Conditional Use #

Preliminary / Final / Short Plat

- 1. We have No Objections to this Proposal.
2. We recommend Denial of this Proposal.
3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
4. We will require more data concerning soil conditions on this Proposal before we can comment.
5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
high seasonal ground water
waste flow characteristics
bedrock from original grade
other
6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
8. After written approval from appropriate entities are submitted, we can approve this proposal for:
central sewage
community sewage system
community water well
interim sewage
central water
individual sewage
individual water
9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
central sewage
community sewage system
community water
sewage dry lines
central water
10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
12. We will require plans be submitted for a plan review for any:
food establishment
swimming pools or spas
child care center
beverage establishment
grocery store
13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDHD.

14.

Reviewed By:

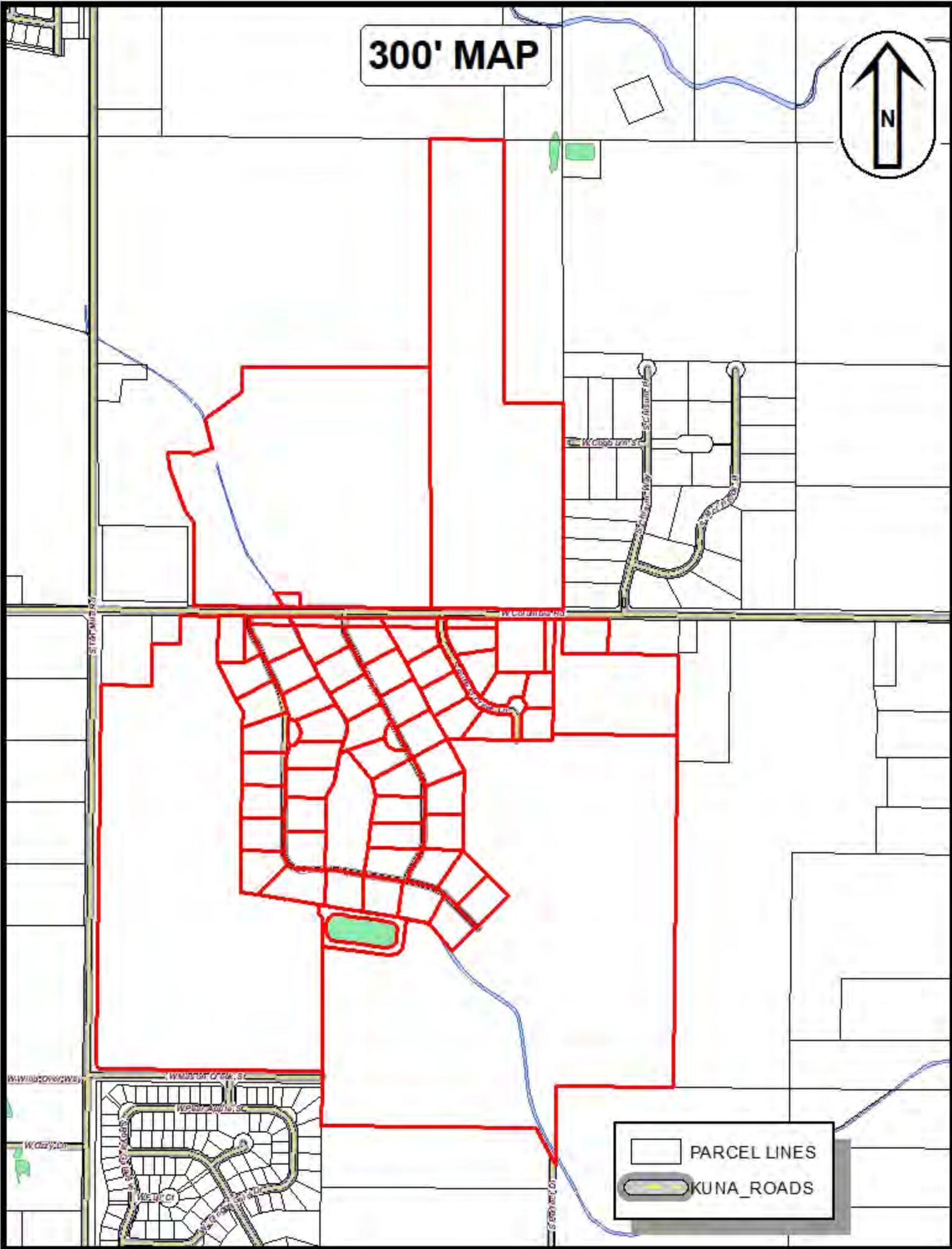
[Signature]

Date: 11/6/17

Exhibit

B-1

# 300' MAP



PARCEL LINES

KUNA\_ROADS

BARANCO JOSEPH A  
BARANCO AMY MARIE  
8427 S DANSKIN LN  
MERIDIAN, ID 83642-0000

BELL JACOB T  
BELL DEBRA A  
8481 S DANSKIN LN  
MERIDIAN, ID 83642-0000

BODOVINITZ GARY D  
BEAUREGARD KATHY L  
8191 S SLIDE CREEK LN  
MERIDIAN, ID 83642-0000

BROWNING TOM D  
  
8201 S BUFFALO CREEK LN  
MERIDIAN, ID 83642-0000

BURGER KAREN L  
  
8216 S BUFFALO CREEK LN  
MERIDIAN, ID 83642-0000

CALLEY DAVID M  
CALLEY JULIE M  
8624 S DANSKIN LN  
MERIDIAN, ID 83642-0000

CARDOZA ANTHONY TRUST A  
CARDOZA FLORENCE TRUSTEE  
PO BOX 77446  
CORONA, CA 92877-0000

CHANEY ROBERT R JR  
CHANEY VICTORIA A  
8163 S BUFFALO CREEK LN  
MERIDIAN, ID 83642-0000

CHIPPEWA DOUGLAS L JR  
CHIPPEWA SHAWN D  
8182 S BUFFALO CREEK LN  
MERIDIAN, ID 83642-0000

COLLING SANDRA A  
COLLING BRIAN D  
8214 S SLIDE CREEK LN  
MERIDIAN, ID 83642-0000

CRAWFORTH STANLEY G  
CRAWFORTH RITA J  
8212 S DANSKIN LN  
MERIDIAN, ID 83642-0000

CREGO GENE A  
CREGO MATILDA J  
8047 S SLIDE CREEK LN  
MERIDIAN, ID 83642-7190

DANDO ROSS S  
DANDO DEBRA K  
8070 S SLIDE CREEK LN  
MERIDIAN, ID 83642-0000

DANSKIN RIDGE SUB HOA INC  
  
8919 W ARDENE ST  
BOISE, ID 83709-0000

DEAN DANIAL S  
DEAN LISA J  
8373 S DANSKIN LN  
MERIDIAN, ID 83642-0000

DOTY JAMES E  
DOTY JULIE ANN ALEXANDER  
8287 S SLIDE CREEK LN  
MERIDIAN, ID 83642-0000

DURRANT BRYCE  
  
2345 W COLUMBIA RD  
MERIDIAN, ID 83642-0000

DURRANT DAVID R  
DURRANT LYDIA ANN  
7590 S TEN MILE RD  
MERIDIAN, ID 83642-7124

FEKETE JAYNE  
FEKETE KYLE  
8262 S SLIDE CREEK LN  
MERIDIAN, ID 83642-7192

FRANCIS GRANT H  
FRANCIS ANDREA  
8310 S SLIDE CREEK LN  
MERIDIAN, ID 83642-0000

GOULD STEVEN R  
GOULD SARA J  
8553 S DANSKIN LN  
MERIDIAN, ID 83642-0000

HANNERS WAYNE  
HANNERS TAMARA  
8517 S DANSKIN LN  
MERIDIAN, ID 83642-0000

HAWKINS MATTHEW E  
HAWKINS AMY  
8588 S DANSKIN LN  
MERIDIAN, ID 83642-0000

HAWS GABRIEL M  
HAWS KIMETHA M  
8127 S BUFFALO CREEK LN  
MERIDIAN, ID 83642-0000

HESSENTHALER KELLY  
  
8265 S DANSKIN LN  
MERIDIAN, ID 83642-0000

HUST JOHN  
HUST ERICA  
8320 S DANSKIN LN  
MERIDIAN, ID 83642-0000

JAKOVAC CYNDEE  
  
8335 S SLIDE CREEK LN  
MERIDIAN, ID 83642-0000

JAMES BILL  
JAMES JERRI  
7849 S OLD FARM LN  
MERIDIAN, ID 83642-0000

KEENE KENETH D  
KEENE ROSEMARIE A  
8428 S DANSKIN LN  
MERIDIAN, ID 83642-0000

KERBS SCOTT DOUGLAS  
KERBS SHANA D  
8158 S DANSKIN LN  
MERIDIAN, ID 83642-0000



CITY OF KUNA  
**PLANNING & ZONING DEPARTMENT**  
PO Box 13 • 751 W. 4<sup>th</sup> St • Kuna, Idaho • 83634  
Phone (208) 922-5274 • Fax: (208) 922-5989  
www.kunacity.id.gov

Dear Property Owner:

NOTICE IS HEREBY GIVEN: The City of Kuna Planning and Zoning Commission is scheduled to hold a public hearing on **November 28, 2017 beginning at 6:00 pm** concerning the following application:

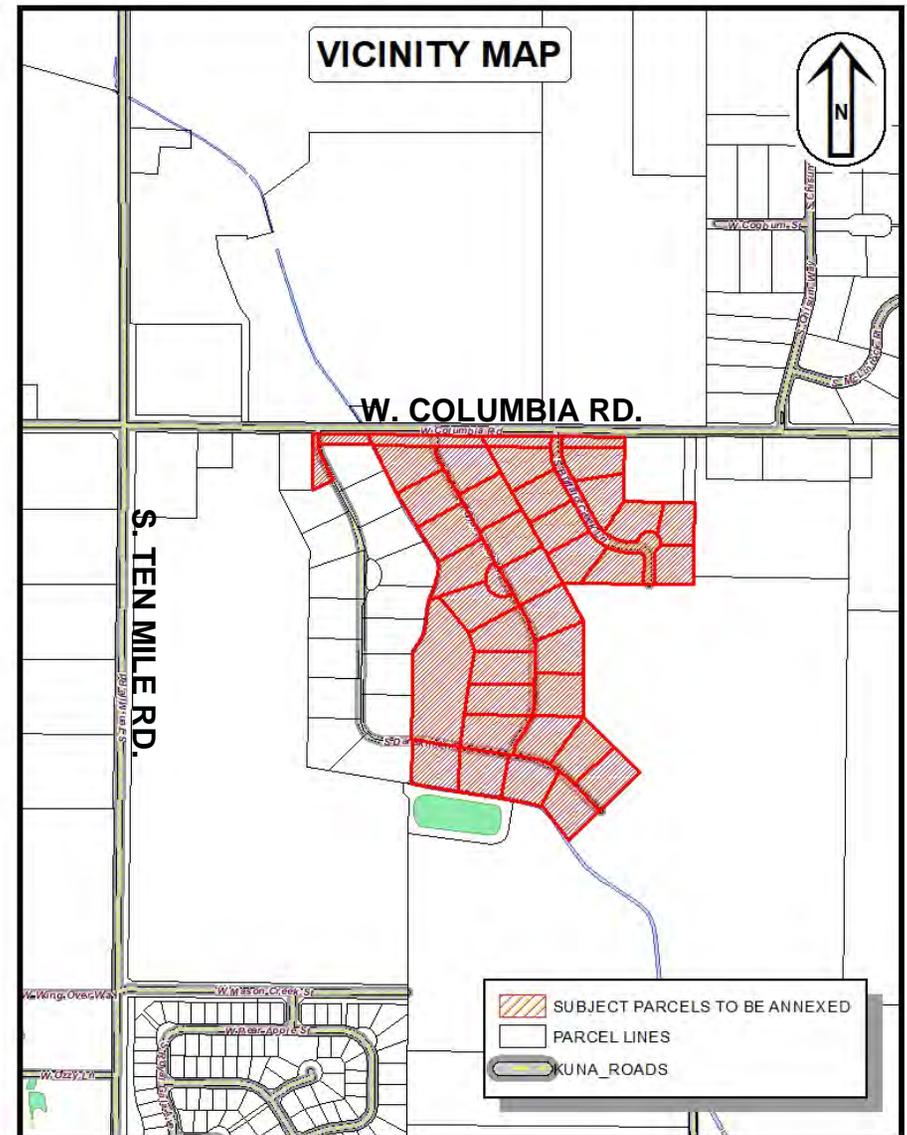
A request from the City of Kuna to annex approximately 37.6-acres, also known as Danskin Ridge Subdivisions No.'s 2, 3 and 5, and portions of No. 1, into Kuna City limits with an R-2 zoning designation.

The subject lands are located on **W. Columbia Road approximately 850 feet east of S. Ten Mile Road, Kuna, ID 83634**; in the Northwest quarter, and the Northeast quarter of the Northwest quarter of Section 11, Township 2 North, Range 1 West, Boise Meridian, Ada County (refer to adjacent map).

The hearing will be held in the Council Chambers at Kuna City Hall located at 751 W. 4th Street, Kuna, Idaho.

All documents concerning public hearing items may be reviewed at Kuna City Hall, 751 W. 4th Street, Kuna, Idaho, 83634. Office hours are 8:00 am to 5:00 pm, Monday through Friday, except holidays. If you have questions or would like additional information, please contact the Planning and Zoning Department at (208) 922-5274.

You are invited to provide oral or written comments to the Commission at the hearing. Please note that all public comments made during the hearing will be restricted to three (3) minutes per person. Prior to the hearing, written comments may be submitted to the appropriate govern body at least seven (7) days prior to the hearing. These comments will be forwarded to the Commission.



MAILED 11/07/2017

In all correspondence concerning this case, please refer to the following case number(s): **17-08-AN (Annexation): Danskin Ridge Subdivisions No. 2, 3 & 5**

the gym. For more information, please contact Laurie Weatherby at 208-955-0200 ext 2096 or 208-861-9491.

■ Support the troops by attending VFW's Veterans Breakfast 7-11 a.m. Satur-

is sponsored by Kuna VFW Post #7019. For tickets and information call Dave at 208-861-9131.

■ The Holiday Artist and Crafters Show is 10 a.m. to 5 p.m. Saturday, Nov. 11 at

to collect donations to help those in need, admission is one can of food per person for admission to the talent show. Additional donations will be collected at the door.

■ Kuna Mayor Joe Stear will give his State of the City address 6 p.m. Thursday, Nov. 16 at Kuna City Hall. The

event is free and open to the public. Refreshments will be available.

■ The Mary Woodbury Memorial 5K is 9:30 a.m. Saturday, Nov. 18 starting at Kuna Park (Greenbelt). Register on Facebook.

ALX STEVENS/KU  
 ■ Melba senior annual Christmas 9 a.m. to 3 p.m. Sc 18. If you are want serve a spot for at the center at 208-  
 ■ Kuna Senior be hosting a Fall

# LEGAL NOTICES

## LEGAL NOTICE

File # 17-08-AN  
 (Annexation); Danskin  
 Ridge Subdivisions  
 No.'s 2, 3 & 5

NOTICE IS HEREBY GIVEN; the Kuna Planning & Zoning Commission will hold a public hearing, Tuesday, November 27, 2017 at 6:00 pm, or as soon as can be heard at Kuna City Hall, 751 W. 4th St., Kuna, ID; in connection with a request from the City of Kuna, Idaho to annex approximately 37.9 acres; also known as Danskin Ridge Subdivisions No.'s 2, 3 and 5, and portions of No. 1, into Kuna City limits with an R-2 zoning designation.

The subject lands are located on W. Columbia Road approximately 850 feet east of S. Ten Mile Road, Kuna, ID 83634; in the Northwest quarter, and the Northeast quarter of the Northwest quarter of Section 11, Township 2 North, Range 1 West, Boise Meridian, Kuna, Ada County

All persons wishing to testify must state his/her name and residential address. No person shall speak until recognized by the Chairman. A three (3) minute time limit may be placed on all testimony.

The public is invited to present written and/or oral comments. Any written testimony must be received by close of business November 23rd, 2017, or it may not be considered. Please mail to P.O. Box 13 Kuna, ID 83634, or drop off at City Hall 751 W. 4th Street, Kuna, ID.

Please do not contact anyone who would be involved in this decision-making process, which includes the Planning & Zoning Commissioners, City Council Members, or the Mayor; as such private conversations would be considered ex parte (one sided) and could jeopardize the public hearing process.

If you have any questions or require special accommodations, please contact the Kuna Planning & Zoning Department prior to the meeting at 922-5274.

Kuna Planning & Zoning  
 Department

November 8, 2017

1692256

## LEGAL NOTICE

File #'s 17-11-S  
 (Subdivision)

Merino Cove Subdivision

NOTICE IS HEREBY GIVEN; the Kuna Planning & Zoning Commission will hold a public hearing, Tuesday, November 28, 2017 at 6:00 pm, or as soon as can be heard at Kuna City Hall, 751 W. 4th St., Kuna, ID; in connection with a request from Quadrant consulting, representing Varialle Construction for preliminary plat and Design Review approval for an approximately 6.8-acre subject parcel within an existing R-6 zone, in order to subdivide the land into 25 single family lots, and an additional two (2) common lots. The site is located on the north side of W. Hubbard Road, approximately 500 feet east of S. Magellan Avenue; addressed as 882 E. Hubbard Road, Kuna, Idaho 83634 (APN#: #S1407347180).

All persons wishing to testify must state his/her name and residential address. No person shall speak until recognized by the Chairman. A three (3) minute time limit may be placed on all testimony.

The public is invited to present written and/or oral comments. Any written testimony must be received by close of business November 23, 2017, or it may not be considered. Please mail to P.O. Box 13 Kuna, ID 83634, or drop off at City Hall 751 W. 4th Street, Kuna, ID.

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If you have any questions or require special accommodations, please contact the Kuna Planning & Zoning Department prior to the meeting at 922-5274.

Kuna Planning & Zoning  
 Department

November 8, 2017

1692261

# PUZZLE SOLUTION

B	A	L	S	A	S	I	B	B	R	A	T
A	M	O	N	G	E	K	E	P	O	O	C
G	O	G	O	L	W	E	E	E	N	T	R
K	O	R	E	A	N	F	R	A	N	C	E
T	A	B	C	Y	A	N					
H	A	Y	M	E	S	A	T	U	N	E	U
A	C	E	S	T	H	R	U	T	E	M	P
I	O	T	A	S	A	L	S	A	W	I	S
K	R	I	L	L	G	O	A	L	S	T	E
U	N	S	E	A	L	A	F	A	R	S	T
D	E	E	D	M	E	N					
B	E	R	L	I	N	P	O	W	E	L	L
E	E	R	I	E	T	W	O	I	V	I	E
B	L	I	N	D	E	W	E	N	E	R	V
B	L	E	D	R	I	M	D	R	A	I	N

4	6	2
5	7	9
8	3	1
2	4	6
1	8	7
3	9	5
7	5	3
6	2	8
9	1	4

# PETS OF THE WEEK



**ZORRO** is a 1½-year old, 58-pound neutered male border collie-German shorthaired Pointer mix. Intelligent, athletic and shy. Eager to please and will benefit

from obedience training. Will do best in an active home. Loving and loyal to those he trusts. (Kennel 407 - #35428187)



Brought in as (Kennel 2 - #3

The Idaho Humane Society is located at 4775 Dorman St. and open from 10 a.m. to 6 p.m. every day. The PetSmart Everyday Adoption Center is located at 130 N. Milwaukee St. and open from 11 a.m. to 7 p.m. every day except Sunday, when it closes at 6 p.m. You can learn more and see other adoptable pets at [idahohumanesociety.org](http://idahohumanesociety.org).

D &

**AUTOMOTIVE REPAIR**

**ELECTRICIAN**

**FINANCIAL**

**LUM**



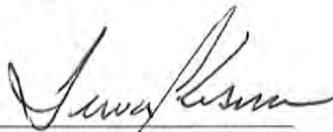
# City of Kuna PROOF OF PROPERTY POSTING

City of Kuna  
P.O. Box 13  
Kuna, Idaho 83634  
Phone: (208) 922-5274  
Fax: (208) 922-5989  
Web: www.kunacity.id.gov

This notice shall confirm that the Public Hearing Notice for 17-08-AN: Danskin Ridge Subdivision 2, 3 & 5 (NAME OF SUBDIVISION OR ADDRESS) was posted as required per Kuna City Ordinance 5-1-5B. Sign posted Friday, November 17<sup>th</sup>, 2017 (DAY OF THE WEEK, MONTH, DATE AND YEAR). This form is required to be returned three (3) calendar days subsequent to posting and signs are to be removed from the site three (3) calendar days after the hearing.

DATED this 20<sup>th</sup> day of November, 2017.

Signature,

  
City Representative

STATE OF IDAHO )  
 ) : ss  
County of Ada )

On this 20<sup>th</sup> day of November, 2017, before me the undersigned, a Notary Public in and for said State, personally appeared before me Trevor Kesner, an employee of the City of Kuna, Idaho.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Dawn Stephens  
Notary Public  
Residing at Kuna, Idaho  
Commission Expires 1-17-18



**CITY OF KUNA  
PUBLIC HEARING NOTICE**

*Kuna Planning & Zoning Commission*  
will hold a public hearing on:

**NOVEMBER 28, 2017**

**at 6:00 pm**

at Kuna City Hall (751 W. 4<sup>th</sup> Street)

Case #: **17-08-AN (Annexation)**

**DANSKIN RIDGE SUBDIVISION**

**Phases 2, 3 & 5**

**Total of 37.6 acres**

800 feet East of S. Ten Mile, on the S side of  
Columbia Rd. Kuna, ID

**CONTACT: A City Planner (208) 922-5274**

# CITY OF KUNA PUBLIC HEARING NOTICE

KUNA PLANNING & ZONING COMMISSION

The CITY OF KUNA will hold a public hearing

NOV. 28, 2017 at 6:00pm at the Kuna City Hall(751 W. 4<sup>th</sup> St.)

17-08-AN (Annexation) DANSKIN RIDGE # 2, 3 & 5

A TOTAL OF 37.9 ACRES

Seeking approval to annex into Kuna city limits under the  
zone designation R-2 (LOW DENSITY)

PROPERTY LOCATION: East of S. Ten Mile S side of W. Columbia

APPLICATION BY: CITY OF KUNA

CONTACT: A City Planner at (208) 922-5274

**CITY OF KUNA  
PUBLIC HEARING NOTICE**

Kuna Planning & Zoning Commission  
will hold a public hearing on:

**NOVEMBER 28, 2017  
at 6:00 pm**

at Kuna City Hall (7511 W. 4th Street)

Case # 17-06-AN (Annexation)

DANSKIN RIDGE SUBDIVISION

Phases 2, 3 & 5

**Total of 37.6 acres**

Map No. 17-06-AN, 1st Sub. of 17-06-AN

Showing No. 17-06-AN

CONTACT: A City Planner 988-633-5274

**CITY OF KONA  
PUBLIC HEARING NOTICE**

The City of Kona is holding a public hearing on the proposed [illegible] project. The hearing will be held on [illegible] at [illegible]. The purpose of the hearing is to provide an opportunity for the public to express their views on the proposed project. The hearing will be held in the [illegible] room of the [illegible] building. The hearing will begin at [illegible] o'clock [illegible] of the [illegible] day. The hearing will be held in the [illegible] room of the [illegible] building. The hearing will begin at [illegible] o'clock [illegible] of the [illegible] day. The hearing will be held in the [illegible] room of the [illegible] building. The hearing will begin at [illegible] o'clock [illegible] of the [illegible] day.



**Suggestions For  
Testifying at the  
Public Hearing:**

**Be informed . . .**

Review the proposal, the staff report, applicable provisions of the ordinance and comprehensive plan.

**Be on time . . .**

Although the item you are interested in may not be first on the agenda, you never know when it will be heard. The governing body has authority to adjust the schedule according to its discretion. Thus, anticipate attending from the beginning.

**Speak to the point . . .**

The governing body appreciates pertinent, well organized, and concise comments. Redundant testimony is prohibited and each individual is given three (3) minutes to comment. Long stories, abstract complaints, or generalities may not be the best use of time. Neighborhood groups are encouraged to organize testimony and have one (1) person speak on behalf of the group – "opposition representative," like the applicant's representative, receives 10 minutes to make comments. Applicant has five (5) minutes to rebut or discuss issues raised by any opposition.

**If you don't wish to speak, write . . .**

At most hearings, previously submitted written testimony may be reviewed by the governing body before the meeting. It is unreasonable to submit extensive written comments or information at the hearing and expect them to be reviewed prior to a decision. All documents or written comments should be submitted to the City of Kuna at least one (1) week prior to the hearing.

City of Kuna  
Planning and Zoning  
PO Box 13  
Kuna, ID 83634

**LEGAL NOTICE**

Exhibit

C-4

CARDOZA ANTHONY TRUST A  
CARDOZA FLORENCE TRUSTEE  
PO BOX 77446  
CORONA CA 92877 0000

NIXIE 910 DE 1 0011/15/17

RETURN TO SENDER  
NOT DELIVERABLE AS ADDRESSED  
UNABLE TO FORWARD

BC: 83634001313 \*2952-04341-15-32

836340013

NEOPOST

FIRST-CLASS MAIL

11/07/2017

US POSTAGE \$000.46<sup>9</sup>



ZIP 83634  
041L11256686



CITY OF KUNA  
**PLANNING & ZONING DEPARTMENT**  
PO Box 13 • 751 W. 4<sup>th</sup> St • Kuna, Idaho • 83634  
Phone (208) 922-5274 • Fax: (208) 922-5989  
www.kunacity.id.gov

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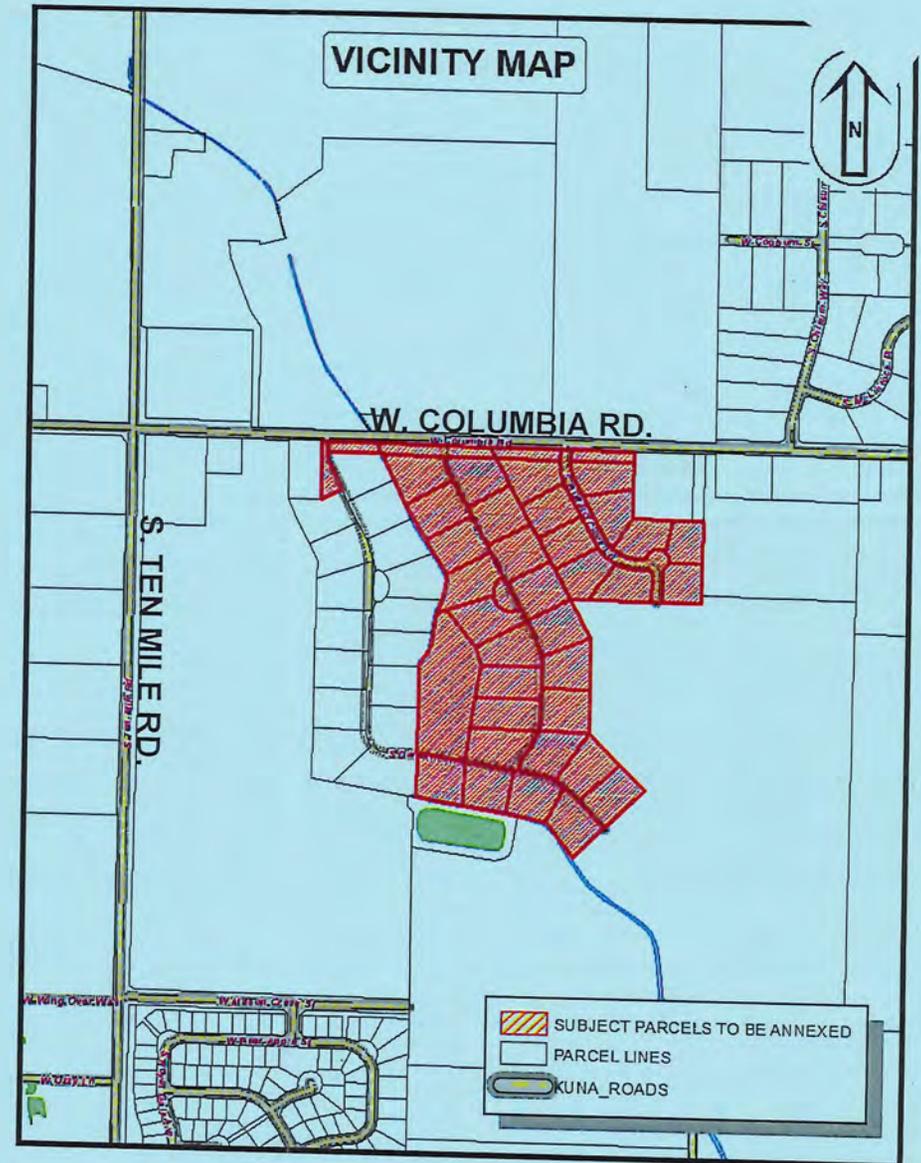
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MAILED 11/07/2017

In all correspondence concerning this case, please refer to the following case number(s): **17-08-AN (Annexation): Danskin Ridge Subdivisions No. 2, 3 & 5**



# City of Kuna

## Planning & Zoning Staff Report

P.O. Box 13  
Kuna, ID 83634  
Phone: (208) 922-5274  
Fax: (208) 922-5989  
Kunacity.Id.gov

**To:** Planning and Zoning Commission

**Case Number(s):** 17-11-S (Subdivision) and  
17-25-DR (Design Review) for  
*Merino Cove Subdivision.*

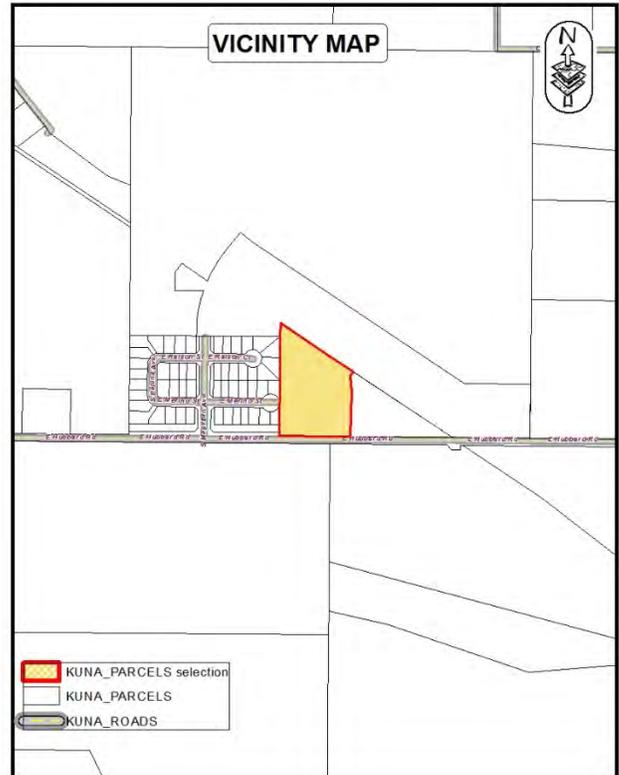
**Site Location:** 882 E. Hubbard Rd.  
Kuna, ID 83634

**Planner:** Trevor Kesner, Planner II

**Hearing Date:** November 28, 2017

**Applicant:** Quadrant Consulting,  
*Chuck Christensen*  
1904 W. Overland Rd.  
Boise, ID 83702  
[chuck@quadrant.cc](mailto:chuck@quadrant.cc)

**Owner:** Varriale Construction, Inc  
2018 S. Pond St.  
Boise, ID 83705



**Table of Contents:**

- A. Course of Proceedings
- B. General Facts and Staff Analysis
- C. Applicable Standards
- D. Comprehensive Plan Analysis
- E. Proposed Findings of Fact
- F. Proposed Conclusions of Law
- G. Proposed Decision by the Commission

**A. Course of Proceedings**

1. A Preliminary Plat for a residential subdivision is designated in Kuna City Code (KCC), 1-14-3 as a public hearing matter, with the Planning and Zoning Commission as the recommending body, and City Council as the decision-making body. A Design Review request is designated in KCC 1-14-3 as a public meeting matter, with the Planning and Zoning Commission acting as the Design Review Board, as the decision-making body. No public noticing procedures are required for the Design Review request.

**a. Agency Notifications**

- |                            |                   |
|----------------------------|-------------------|
| i. Agencies                | November 28, 2017 |
| ii. 300' Property Owners   | November 7, 2017  |
| iii. Kuna, Melba Newspaper | November 8, 2017  |
| iv. Site Posted            | November 18, 2017 |

2. In accordance with KCC Title 6 in Kuna City Code (KCC) this application seeks Design Review approval and recommendation for approval for a Preliminary Plat (residential subdivision) known as Merino Cove Subdivision.

**B. General Project Facts and Staff Analysis**

1. **Request:** A request from Quadrant Consulting, representing Varialle Construction for preliminary plat and Design Review approval for an approximately 6.8-acre subject parcel within an existing R-6 zone, in order to subdivide the land into 25 single family lots, and an additional two (2) common lots. The site is located on the north side of W. Hubbard Road, approximately 500 feet east of S. Magellan Avenue; addressed as 882 E. Hubbard Road, Kuna, Idaho 83634 (APN#: #S1407347180).
2. The applicant has submitted all the required documents and materials for review, held the neighborhood meeting, and posted the site in accordance with KCC posting requirements and the requirements set forth in Idaho State Code, Title 67, Chapter 65 of the Local Land Use Planning Act.
3. **History:** The subject parcel was approved for annexation by Kuna City Council in October, 2017. The parcel is situated within Kuna City limits with an existing R-6 residential zoning designation. The site has historically been used as an agricultural pasture.
4. **Legal Description:** A legal description was included with the application.
5. **Comprehensive Plan Designation:** The Comprehensive Plan Future Land Use map indicates the site has a future designation of *Mixed Use General* with residential densities ranging from 2 to 20 units per acre.



**6. Surrounding Land Uses:**

Direction	Current Zoning and Jurisdiction	
<b>North</b>	R-6	Medium Density Residential – Kuna City
<b>South</b>	RR	Rural Residential – <i>Ada County</i>
<b>East</b>	RR / R-6	Rural Residential – <i>Ada County</i> / Med. Density Res. – Kuna City
<b>West</b>	R-6	Medium Density Residential – Kuna City

**6.1 Aerial Map:**



*\*Copyrighted*

**6.2 Parcel Number:** S1407347180

**6.3 Parcel Size and Current Zoning:**

Approximate acres: 6.8

Zoning: R-6 (Medium Density Residential)

**6.4 Public Services, Utilities and Facilities:**

Fire Protection – Kuna Fire District

Police Protection – Kuna City Police (Ada County Sheriff's office)

Sanitary Sewer– City of Kuna

Potable Water – City of Kuna

Irrigation District – New York Irrigation District

Pressurized Irrigation – City of Kuna (KMID)

Sanitation Services – J&M Sanitation

**6.5 Existing Structures, Vegetation and Natural Features:** There appears to be a horse shelter and two (2) ancillary structures (presumably, tack sheds) on the subject parcel. These structures will be removed prior to development. The site is relatively flat with an average slope of 0% to 2%. Bedrock depth is estimated to be greater than sixty (60) inches, according to the USDA Soil Survey for Ada County. The existing vegetation on site are those commonly associated with farm fields and agricultural and horse pasturing activities.

**6.6 Transportation / Connectivity:** The applicant proposes access to the site by extending Merino Street, which is currently stubbed within the Patagonia development at the site's western boundary, into the site as a 36-foot wide street section with curb, gutter and 5-foot wide attached sidewalks. Merino Street will terminate as a 50-foot radius cul-de-sac internally, however, applicant proposes a 24-foot wide

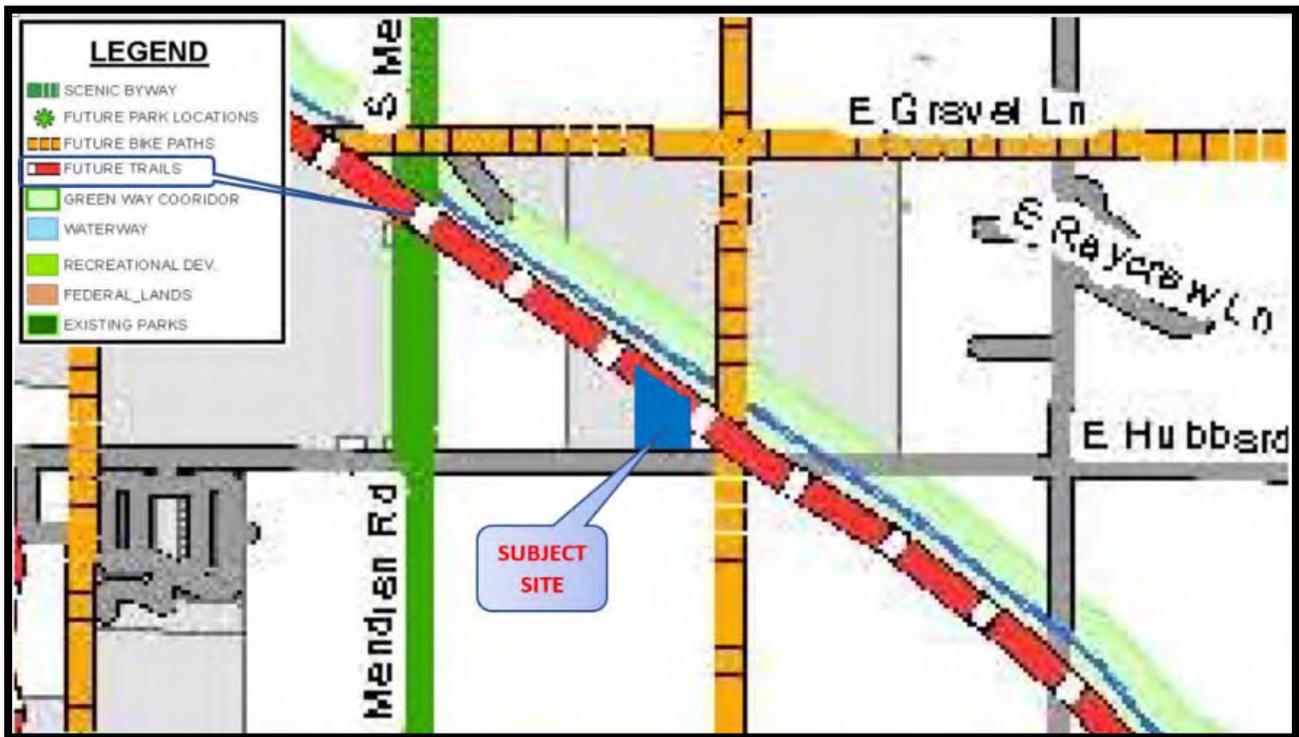
emergency access easement from Hubbard Road situated on lots 4 and 5. The subject site's road frontage is located on the north side of Hubbard Road. Hubbard Road is designated as a future 3-lane residential arterial roadway; therefore, it is recommended that the applicant dedicate additional right-of-way to accommodate 35 feet from centerline and the existing pavement should be widened to a minimum of 17-feet from centerline. Although ACHD has provided site specific recommendations for roadway improvements on the site's Hubbard Road frontage, the applicant's proposal does not meet Kuna City Code (KCC) 6-4-2-C standards, which requires vertical curb and gutter be installed on functionally classified collector and arterial streets. The applicant should be conditioned to improve the site's Hubbard Road frontage with curb and gutter, following Kuna and ACHD standards to align the Patagonia development's frontage improvements to the west.

**6.7 Agency Recommendations:**

The following agencies returned comments which are included as exhibits in this case file:

- Kuna School District .....Exhibit B1
- Idaho Department of Environmental Quality (DEQ) .....Exhibit B2
- Central District Health Department (CDHD) .....Exhibit B3
- Ada County Highway District (ACHD) .....Exhibit B4
- Kuna Public Works Department.....Exhibit B5

**6.8 Recreation and Pathways Master Plan Map:** Kuna's Master Recreation and Pathways map indicates a future trail along the Canal as it abuts the subject sites northern boundary.



Staff is not recommending that the applicant construct a trail or pathway along the Mason Creek Feeder along the project's northern boundary because the adjacent Patagonia development will install a regional pathway on the northern side of the Mason Creek Feeder. The applicant has not proposed any internal pathways for the project, but pedestrians may be able to utilize the emergency access easement as a direct connection to sidewalks along Hubbard Road.

The proposed site plans configuration constrains future residents' access to the regional pathway on the north side of the canal. Therefore, staff recommends the applicant be conditioned to work with the property owners to the west, east and north of the project to construct a pathway that provides better cohesion between neighborhoods, and accommodates pedestrian access and connectivity to the regional pathway system along the north side of the Teed Lateral.

**C. Applicable Standards:**

1. City of Kuna Zoning Ordinance No. 230
2. City of Kuna Design Review Ordinance, 2011-08
3. City of Kuna Subdivision Ordinance No. 2010-15, Title 6 Subdivision Regulations
4. City of Kuna Landscape Ordinance No. 2006-100
5. City of Kuna Comprehensive Plan
6. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act

**D. Comprehensive Plan Analysis:**

The Kuna Planning and Zoning Commission determines that the subdivision of the subject site *is/is not* consistent with the following Comprehensive Plan components:

Housing: Residents envisioned higher densities in the City's core to include opportunities for mixed residential and light commercial activity. They expressed interest in a mix of residential type dwellings applications; including **single-family**, multi-family, apartments and condominiums. They were receptive to a greater mix of lot sizes and house price to appeal to a variety of people. A goal expressed was the preservation of large lots and rural cluster development in appropriate balance with a complement of other types of residential development (Page 21 Comprehensive Plan [CP]).

***Comment:** The Comprehensive Plan and the corresponding Future Land Use Map (with land use designations) provides for a medium density residential (R-6) zone. This project has proposed a density of less than six units per acre, therefore it conforms to the Comprehensive Plan and the Future Land Use Map.*

Private Property Rights Goals and Objectives - Section 2 – Summary:

Ensure City land use policies, restrictions, conditions and fees do not violate private property rights and ensure that *land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property*. Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right and staff shall evaluate with guidance from the City attorney; the Idaho Attorney General's six criterion established to determine the potential for property taking.

***Comment:** Utilizing the Idaho Attorney General's criteria, and a review by the City Attorney, this project does not constitute a "takings" and the Economic value is fully intact.*

Economic Development Goals and Objectives - Section 5 - Summary:

Ensure an adequate supply of housing for all income levels and facilitate pedestrian connections, both visually and physically, to enhance pedestrian movement (Pg. 42 – 1.5 and Pg. 43 – 3.1 [CP]).

***Comment:** The Comprehensive Plan encourages adequate housing for all income levels and calls for increasing pedestrian connections. This project supplies additional housing types to Kuna's inventory and provides opportunities for a quality housing mix. This development has an opportunity to enhance the City's network for pedestrian and non-motorized transportation choices by constructing new sidewalks which connect to existing sidewalks.*

Land Use Goals and Objectives - Section 6 - Summary:

Adopt a future land use plan and map that includes natural and developed open spaces, while providing a variety of housing densities and types to accommodate various lifestyles, ages and economic groups. Protect existing neighborhoods and ensure new development is sustainable and keeps Kuna desirable. Develop cohesive

neighborhoods with character and quality while incorporating a variety of densities and styles (Pg. 64 – 3.1 & Goal 3 and Pg. 65 – 4.3 [CP]).

**Comment:** *This project adds quality housing varieties to the City's inventory for all types of lifestyles, ages and economic groups. Utilizing existing stub streets for roadway access also provides for more cohesive neighborhoods.*

Housing Goals and Objectives - Section 12 - Summary:

Encourage developers to provide high-quality development with a variety of lot sizes, dwelling types, densities and price points to meet the needs of current and future populations while creating safe and aesthetically-pleasing neighborhoods. Ensure housing is available throughout the community for all income levels and those with special needs. Encourage logical and orderly residential development while discouraging developers from developing land divisions greater than one half acre because large lot subdivisions increase municipal costs, require public subsidy and create sprawl (Pg. 155 – Obj. 1.1, Pg. 163 12.4 and Pg. 165 – 2.1 [CP]).

Encourage mixed-use development that includes town centers, **single-family**, multi-family, accessory units, and other types of residential development. – Policy 1.1.2, Section 12, Housing (Page 155 [CP]).

**Comment:** *Applicant proposes a development with a variety of dwelling types and varying price points for different income levels as encouraged by the Comprehensive Plan. This project adds to the City's overall network of public utilities, sidewalks and roadways; therefore, it complies with the logical, orderly development goal. The proposed land divisions are smaller than one half acre and will connect to available public services abutting the site; thus, the development avoids increased municipal services costs and the potential for urban sprawl.*

Community Design Goals and Objectives - Section 13 - Summary:

Strengthen Kuna's Image through good community and urban design principles that create self-sufficient neighborhoods. Foster good community design concepts that incorporate landscape features to serve as buffers between incompatible uses while reducing scale and creating a sense of place (Pg.167 – Goal 1 and Pg. 168 – 1.2[CP]).

**Comment:** *Applicant proposes good community and urban design principles by designing under the allowed densities of the R-6 zone. This development also incorporates landscape buffers, and creates a sense of place for current and future citizens while adding to the City's sidewalk networks for adjoining property owners and future developments. In this sense, the project generally complies with the Comprehensive Plan goal.*

Neighborhoods:

Kuna's Comprehensive Plan advocates for development of self-sufficient neighborhoods. These neighborhoods are intended to be connected by transit and other non-motorized methods of transportation. Each neighborhood will have a center, a core and an edge (Page 179 [CP]).

**Comment:** *Kuna is not currently served with transit services; however, the applicant proposes an extension of the roadway system in compliance with the Street Circulation Plan adopted by Kuna. Applicant proposes R-6 housing densities, thereby complying with the Medium Density land use designation as outlined within the Comprehensive Plan and Comprehensive Plan Future Land Use Map.*

**E. Proposed Findings of Fact:**

1. All required procedural items have been completed as detailed in this staff report.
2. The residential development complies with Section 6.0 of Kuna's Comprehensive Plan.
3. The residential development complies with the Kuna City Code.
4. Public services are available and are adequate to accommodate this site's development.
5. The preliminary plat will not be detrimental to the public's health, safety and general welfare.

6. The applicant's subdivision request is in general conformance with the Kuna Comprehensive Plan Future Land Use map.
7. The site is suitable for use as a residential subdivision, after acquiring the proper approvals.
8. The project description, staff analysis and findings of fact are correct.

**F. Proposed Conclusions of Law:**

1. The preliminary plat use is consistent with Kuna City Code.
2. The preliminary plat use meets the general objectives of Kuna's Comprehensive Plan.
3. The site is physically suitable for the proposed residential preliminary plat use.
4. The preliminary plat use is not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.
5. The preliminary plat is not likely to cause adverse public health problems.
6. The preliminary plat is generally in compliance with all ordinances and laws of the City.
7. The preliminary plat will not be detrimental to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.
8. The existing street and utility services in proximity to the site are suitable and adequate for residential subdivision development purposes.
9. Based on evidence contained in Case Nos. 17-11-S and 17-25-DR, this proposal generally complies with KCC Title 6.
10. Based on the evidence contained in Case Nos. 17-11-S and 17-25-DR, this proposal complies with Section 6.0 of Kuna Comprehensive Plan and Future Land Use Map.
11. The Planning and Zoning Commission of Kuna, Idaho, has the authority to recommend approval or denial for the preliminary plat application.
12. The Planning and Zoning Commission of Kuna, Idaho, has the authority to approve or deny the design review application.
13. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and Kuna City Ordinances.

**G. Proposed Decisions by the Commission:**

**17-25-DR (Design Review)**

*Note: The motion is to approve or deny the design review request. However, if the Planning and Zoning Commission wishes to approve or deny specific parts of the request, those changes must be specified.*

Based on the facts outlined in staff's report and public testimony as presented (if any), the Planning and Zoning Commission of Kuna, Idaho, hereby (*approves/conditionally approves/denies*) Case No. 17-25-DR, a design review for common area landscaping within the Merino Cove Subdivision.

**17-11-S (Subdivision)**

*Note: This motion is to recommend approval or denial for this request to City Council. However, if the Planning and Zoning Commission wishes to recommend approval or denial for specific parts of the requests as detailed in this report, those changes must be specified.*

Based on the facts outlined in staff's report and public testimony as presented (*if any*), the Planning and Zoning Commission of Kuna, Idaho, hereby recommends (*approval or denial*) for Case Nos. 17-07-AN (Annexation) and 17-11-S, an annexation and subdivision request by Quadrant Consulting (*with or without*) the following conditions of approval:

1. The applicant shall obtain written approval of the construction plans from the agencies noted below. The approval may be either on agency letterhead referring to the approval use or may be written or stamped upon a copy of the approved plan. A copy of the agencies approvals shall be provided to Kuna's Planning and Zoning Department. All site improvements are prohibited prior to approval of these agencies.

- a) The City's Engineer shall approve the sewer, water and pressure irrigation utility extensions and hook-ups.
  - b) The City's Engineer shall approve a grading and surface drainage run-off plan (if required). Per Central District Health Department, the plan shall be designed and facilities constructed in conformance with standards contained in "Catalog for Best Management Practices for Idaho Cities and Counties". No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of a site drainage design plan from Kuna's City Engineer. The drainage design plan shall include all site grading.
  - c) Kuna Fire District shall approve all fire flow requirements and access easements.
  - d) The New York Irrigation District shall approve any modifications to the existing irrigation system.
  - e) Approval from Ada County Highway District shall be obtained, and assessed impact fees shall be paid prior to the issuance of any building permits.
2. All public right-of-way shall be dedicated and constructed to the standards of Kuna City and Ada County Highway District. No public street construction may be commenced without the approval of the Ada County Highway District. Any work within the Ada County Highway District right-of-way requires a permit. For information regarding the requirements to obtain a permit, contact Ada County Highway District Development Services at 387-6100.
  3. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground.
  4. Compliance with Idaho Code Section §31-3805 pertaining to irrigation waters is required. The flow of any irrigation/drainage waters shall not be impeded by any construction or uses on site.
  5. Lighting within the site shall comply with Kuna City Code.
  6. Fencing within and around the sites shall comply with Kuna City Code (Except as specifically approved otherwise). A permit from Kuna Building Department shall be obtained prior to construction of fencing.
  7. Subdivision signage shall comply with Kuna City Code. The applicant shall apply for a sign design review and secure a permit prior to sign construction.
  9. The applicant shall adhere to all requirements for sanitary sewer, potable water, pressure irrigation system connections, rights-of-way, and all other requirements of the Public Works Director, as outlined in the memorandum dated July 25th, 2017 for case No. 17-04-AN (referenced as Exhibit B5).
  10. Prior to submitting the final plat mylars for signature, submit a petition to the City, consenting to the pooling of irrigation surface water rights for delivery purpose and request to annex the irrigation surface water rights appurtenant to the property to the Kuna Municipal Pressure Irrigation District (KMID).
  12. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace any unhealthy or dead plant material immediately (within 3 days as weather permits or as the planting season permits), as required to meet the standards of this requirement. Maintenance and planting within public right-of-way shall be with approval from the public and/or private entities owning the property.
  13. The applicant shall comply with all conditions of approval listed in the Kuna staff report and as approved by the Commission, and any other applicable agency comments.
  14. Applicant shall comply with all local, state and federal laws.

**DATED:** this day \_\_\_\_\_ of \_\_\_\_\_, 2017.

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Lee Young, Chairman  
Kuna Planning and Zoning Commission

**ATTEST:**

---

Trevor Kesner, Planner II  
Kuna Planning and Zoning Department



City of Kuna  
 Planning & Zoning  
 Department  
 P.O. Box 13  
 Kuna, Idaho 83634  
 208.922.5274  
 Fax: 208.922.5989  
 Website: www.kunacity.id.gov

## Preliminary Plat Checklist

Preliminary Plats require public hearings with both the Planning & Zoning Commission and City Council. Public hearing signs will be required to be posted by the applicant for both meetings. Sign posting regulations are available online.

**Project name:** Merino Cove Subdivision      **Applicant:** Quadrant Consulting, Inc.

All applications are required to contain one copy of the following:

Applicant (✓)	Description	Staff (✓)
✓	Completed and signed Commission & Council Review Application.	✓
✓	Vicinity map showing relationship of the proposed plat to the surrounding area with a 2-mile radius.	✓
✓	Homeowner's maintenance agreement for the care of landscaped common areas.	✓
✓	Legal description of the preliminary plat area: Include a metes & bounds description to the section line of all adjacent roadways stamped & signed by a registered professional land surveyor with a calculated closure sheet & a map showing the boundaries of the legal description.	✓
✓	Proof of ownership—A copy of your deed <u>and</u> Affidavit of Legal Interest (for all interested parties involved).	✓
✓	Letter of Intent indicating reasons and details for preliminary plat.	✓
✓	Commitment of Property Posting form signed by the applicant/agent.	✓
n/a	If preliminary plat includes 100 lots or more, please submit a traffic impact study. If preliminary plat includes 50 lots or more, please submit an estimate of tax revenue generation and an estimate of the public service costs to provide adequate service to the development.	N/A
✓	A letter from Ada County Engineer with the Subdivision Name reservation. <b>ANY</b> name change(s) needs to be submitted and approved by the Planning & Zoning Director and Ada County Engineer.	✓
n/a	Phasing Plan <span style="float: right;">ONLY 1 PHASE</span>	N/A
n/a	Include Large Scale Development Requirements. KCC 6-5-4	N/A
✓	Landscape Plan— (in color)	✓
✓	Neighborhood meeting certification (certification & neighborhood meeting list forms shall accompany this application).	✓ * Not Signed
✓	8 1/2 x 11 proposed preliminary plat.	✓
✓	Preliminary plat drawing on 24x36 quality paper drawn to scale of 1 to 100' or more. The following information shall be contained on the preliminary plat: <ul style="list-style-type: none"> <li>◊ Topography at two foot (2') intervals</li> <li>◊ Land uses (location, layout, types &amp; dimensions): residential, commercial &amp; industrial land uses.</li> <li>◊ Street right-of-ways: dimensions of right-of-way dedication for all roadways, street sections, improvements, etc.</li> <li>◊ Easements/common space: utility easements, parks, community spaces</li> <li>◊ Lots: layout and dimensions of lots</li> <li>◊ Preliminary improvement drawing: show water, sewer, drainage, electricity, irrigation, telephone, natural gas, proposed street lighting, proposed street names, proposed subdivision name, fire hydrant placement, storm water disposal, underground utilities, and sidewalks..</li> </ul>	✓

Note: Only one copy of the above items need to be submitted when applying for multiple applications. This application shall not be considered complete (nor will a Public Hearing be set) until Staff has received all required information. Once the application is deemed complete, Staff will notify the applicant of the scheduled hearing date, fees due, additional copies needed, etc.



City of Kuna  
 Planning & Zoning  
 Department  
 P.O. Box 13  
 Kuna, Idaho 83634  
 208.922.5274  
 Fax: 208.922.5989  
 Website: www.kunacity.id.gov

## Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

\*Please submit the appropriate checklist (s) with application

### Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	17-11-S
Project name	MERINO SUB
Date Received	10-24-17
Date Accepted/ Complete	
Cross Reference Files	17-26-DR
Commission Hearing Date	
City Council Hearing Date	

### Contact/Applicant Information

Owners of Record: <u>Varriale Construction, Inc.</u>	Phone Number: <u>208 888 3340</u>
Address: <u>2018 S. Pond Street</u>	E-Mail: <u>ghvcshannan@qwestoffice.net</u>
City, State, Zip: <u>Boise, ID 83705</u>	Fax #: _____
Applicant (Developer): <u>Varriale Construction, Inc</u>	Phone Number: <u>208 888 3340</u>
Address: <u>2018 S. Pond Street</u>	E-Mail: <u>ghvcshannan@qwestoffice.net</u>
City, State, Zip: <u>Boise, ID 83705</u>	Fax #: _____
Engineer/Representative: <u>Quadrant Consulting</u>	Phone Number: <u>208 342 0091</u>
Address: <u>Chuck Christensen 1904 W Overland</u>	E-Mail: <u>chuck@quadrant.cc</u>
City, State, Zip: <u>Boise, ID 83702</u>	Fax #: <u>208 342 0092</u>

### Subject Property Information

Site Address: <u>882 East Hubbard Road</u>
Site Location (Cross Streets): <u>Hubbard Road and Meridian Road</u>
Parcel Number (s): <u>S1407347180</u>
Section, Township, Range: <u>S 7, T2N, R1E</u>
Property size : <u>6.8 Acres</u>
Current land use: <u>Vacant</u> Proposed land use: <u>Single Family Res.</u>
Current zoning district: <u>R6</u> Proposed zoning district: <u>R6</u>



**Project Description**

Project / subdivision name: Merino Cove Subdivision  
 General description of proposed project / request: Subdivide the property into 25 single family residential lots  
 Type of use proposed (check all that apply):  
 Residential \_\_\_\_\_  
 Commercial \_\_\_\_\_  
 Office \_\_\_\_\_  
 Industrial \_\_\_\_\_  
 Other \_\_\_\_\_  
 Amenities provided with this development (if applicable): Landscaping along Hubbard Road

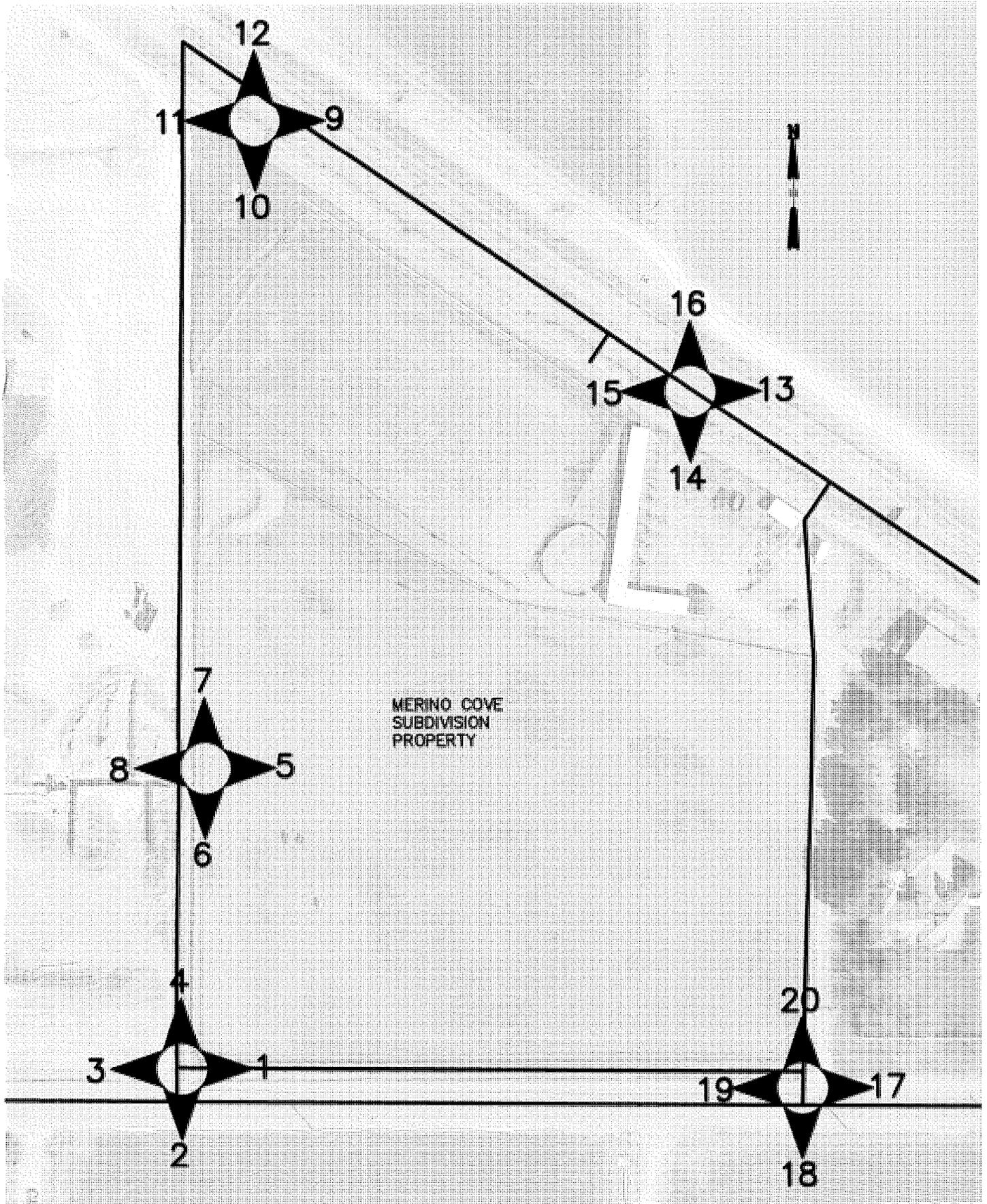
**Residential Project Summary (if applicable)**

Are there existing buildings?  Yes  No  
 Please describe the existing buildings: \_\_\_\_\_  
 Any existing buildings to remain?  Yes  No  
 Number of residential units: 25 Number of building lots: 25  
 Number of common and/or other lots: 2 common area lots  
 Type of dwellings proposed:  
 Single-Family 25  
 Townhouses \_\_\_\_\_  
 Duplexes \_\_\_\_\_  
 Multi-Family \_\_\_\_\_  
 Other \_\_\_\_\_  
 Minimum Square footage of structure (s): \_\_\_\_\_  
 Gross density (DU/acre-total property): 3.8 Net density (DU/acre-excluding roads): 4.2  
 Percentage of open space provided: 11% Acreage of open space: 0.75 Ac  
 Type of open space provided (i.e. landscaping, public, common, etc.):  
Common area landscaping and canal easement

**Non-Residential Project Summary (if applicable)**

Number of building lots: \_\_\_\_\_ Other lots: \_\_\_\_\_  
 Gross floor area square footage: \_\_\_\_\_ Existing (if applicable): \_\_\_\_\_  
 Hours of operation (days & hours): \_\_\_\_\_ Building height: \_\_\_\_\_  
 Total number of employees: \_\_\_\_\_ Max. number of employees at one time: \_\_\_\_\_  
 Number and ages of students/children: \_\_\_\_\_ Seating capacity: \_\_\_\_\_  
 Fencing type, size & location (proposed or existing to remain): \_\_\_\_\_  
 Proposed Parking: a. Handicapped spaces: \_\_\_\_\_ Dimensions: \_\_\_\_\_  
 b. Total Parking spaces: \_\_\_\_\_ Dimensions: \_\_\_\_\_  
 c. Width of driveway aisle: \_\_\_\_\_  
 Proposed Lighting: \_\_\_\_\_  
 Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): \_\_\_\_\_

Applicant's Signature: [Signature] Date: 10/11/2017

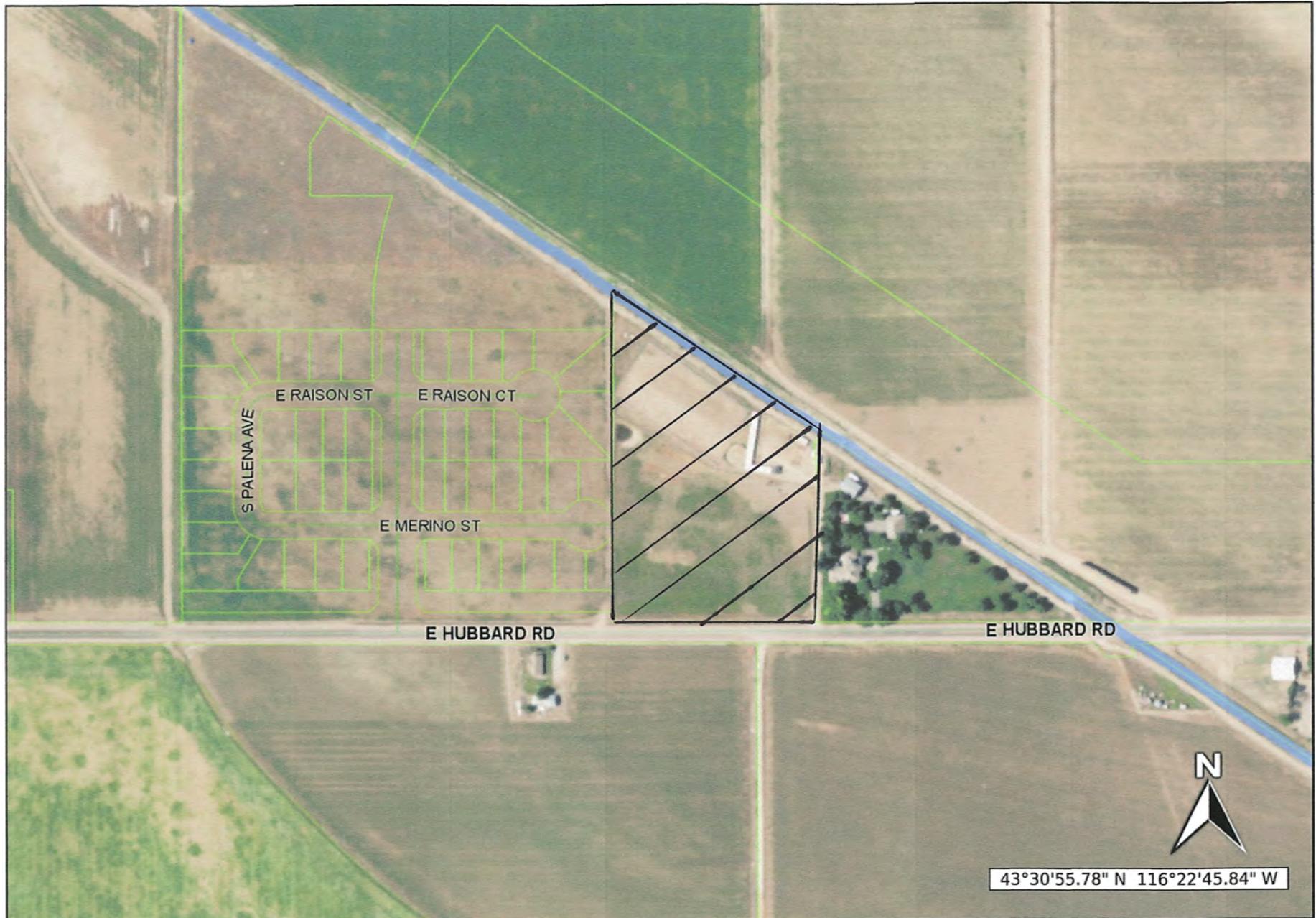


PICTURE ORIENTATION EXHIBIT —  
MERINO COVE SUBDIVISION



# landproDATA PDF

## Aerial Photo- Merino Cove Subdivision



4.5 Duties of the Association. In addition to the powers granted by the Operating Agreement and this Declaration, and without limiting the generality thereof, the Association, by its Manager, shall conduct all general business affairs of common interest to all Owners and Members including the following:

a. Operation and Maintenance of Common Area and Common Property. Operate, maintain, and otherwise manage or provide for the operation, maintenance, and management of all Common Area lots (now existing or created by future platting of annexed Bridgetower Crossing Subdivisions, and conveyed to the Association) including all Common Area equipment and property, common systems, and common fences, including the repair and replacement of any common property damaged or destroyed.

b. Operation and Maintenance of Lots in the Primeland Subdivision. Lots 1 and 3 of Block 2; Lots 1 and 4 of Block 1; and Lot 1 of Block 3 of the Primeland Subdivision, as described by the official plat thereof, are common area lots in the Primeland Subdivision and shall be conveyed by Declarant to the Association, and the Association, through its Manager, shall undertake the duty of operating and maintaining these five Primeland Subdivision Common Area lots. These five common area lots in the Primeland Subdivision shall be developed by the Declarant for the uses more particularly described in Declaration of Covenants, Conditions, and Restrictions for Primeland Subdivision. However, these five Primeland Subdivision common area lots were created primarily for the use and benefit of Bridgetower Subdivision No. 1 and for future use and benefit of other Bridgetower Crossing Subdivisions to be Platted and annexed, as entry way lots for the residential Subdivisions and for a source of backup (to the water delivered by Irrigation Districts) irrigation water for the Pressurized Irrigation Water system for all Subdivisions. An irrigation well and related pumping equipment is located on Lot 3, Block 2 of the Primeland Subdivision. The Association, through its Service Provider or Manager, shall operate that well in the interests of all lot Owners who have the right to the beneficial use of the water according to law. The Members specifically recognize that Association assessments, and not the lot owners in Primeland Subdivision, will be paying for the maintenance of Primeland Subdivision Common area lots conveyed to the Association and for the maintenance and repair of the well and related pumping equipment located thereon.

c. Taxes and Assessments. Pay all real and personal property taxes and assessments separately levied against the Common Area owned by the Association, including the five Primeland Subdivision common area lots referred to in subparagraph "b." above. Such taxes and assessments may be contested or compromised by the Manager of the Association, provided, however, that such taxes

EXHIBIT A

A parcel of land being a portion of Parcel "B" of Record of Survey No. 5995, located in the South 1/2 of Section 7, Township 2 North, Range 1 East of the Boise Meridian, Ada County, Idaho, being more particularly described as follows:

Commencing at the Southwest corner of the SE 1/4 (South 1/4 corner) of Section 7, T.2N., R.1E., B.M., THE REAL POINT OF BEGINNING of this description;  
Thence N 89°27'26"W 334.50 feet along the South line of the SW 1/4 of said Section 7 to a point;  
Thence N 00°34'15" E 789.51 feet to a point on the centerline of the Mason Creek Feeder;  
Thence S 55°26'08" E 385.55 feet along said centerline to a point;  
Thence S 55°46'15" E 198.38 feet along said centerline to a point;  
Thence S 34°13'45" W 34.00 feet to a point;  
Thence S 03°53'50" E 103.91 feet to a point;  
thence S 01°48'15" W 332.01 feet to a point on the south line of the SE 1/4 of said Section 7;  
thence N 89°25'45" W 132.39 feet along said south line to THE REAL POINT OF BEGINNING of this description.



Exhibit  
A-2d

# Parcel Map Check Report

**Client:**

Client  
Client Company  
Address 1

Date: 10/10/2017 12:40:25 PM

**Prepared by:**

Preparer  
Your Company Name  
123 Main Street

Parcel Name: Site 1 - Standard : 1

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 698,215.9135'

East: 2,498,907.4423'

Segment# 1: Line

Course: N89° 27' 26.00"W

Length: 334.496'

North: 698,219.0822'

East: 2,498,572.9614'

Segment# 2: Line

Course: N0° 34' 15.00"E

Length: 789.502'

North: 699,008.5450'

East: 2,498,580.8270'

Segment# 3: Line

Course: S55° 26' 08.00"E

Length: 385.550'

North: 698,789.8099'

East: 2,498,898.3230'

Segment# 4: Line

Course: S55° 46' 15.00"E

Length: 198.380'

North: 698,678.2203'

East: 2,499,062.3425'

Segment# 5: Line

Course: S34° 13' 45.00"W

Length: 34.000'

North: 698,650.1092'

East: 2,499,043.2173'

Segment# 6: Line

Course: S3° 53' 50.00"E

Length: 103.910'

North: 698,546.4395'

East: 2,499,050.2797'

Segment# 7: Line

Course: S1° 48' 16.00"W

Length: 332.010'

North: 698,214.5942'

East: 2,499,039.8253'

Segment# 8: Line

Course: N89° 25' 45.00"W

Length: 132.390'

North: 698,215.9131'

East: 2,498,907.4419'

Perimeter: 2,310.238'

Area: 297,006.29Sq.Ft.

Error Closure: 0.0006

Course: S51° 09' 19.73"W

Error North : -0.00036

East: -0.00045

Precision 1: 3,850,396.667

# RECORD OF SURVEY

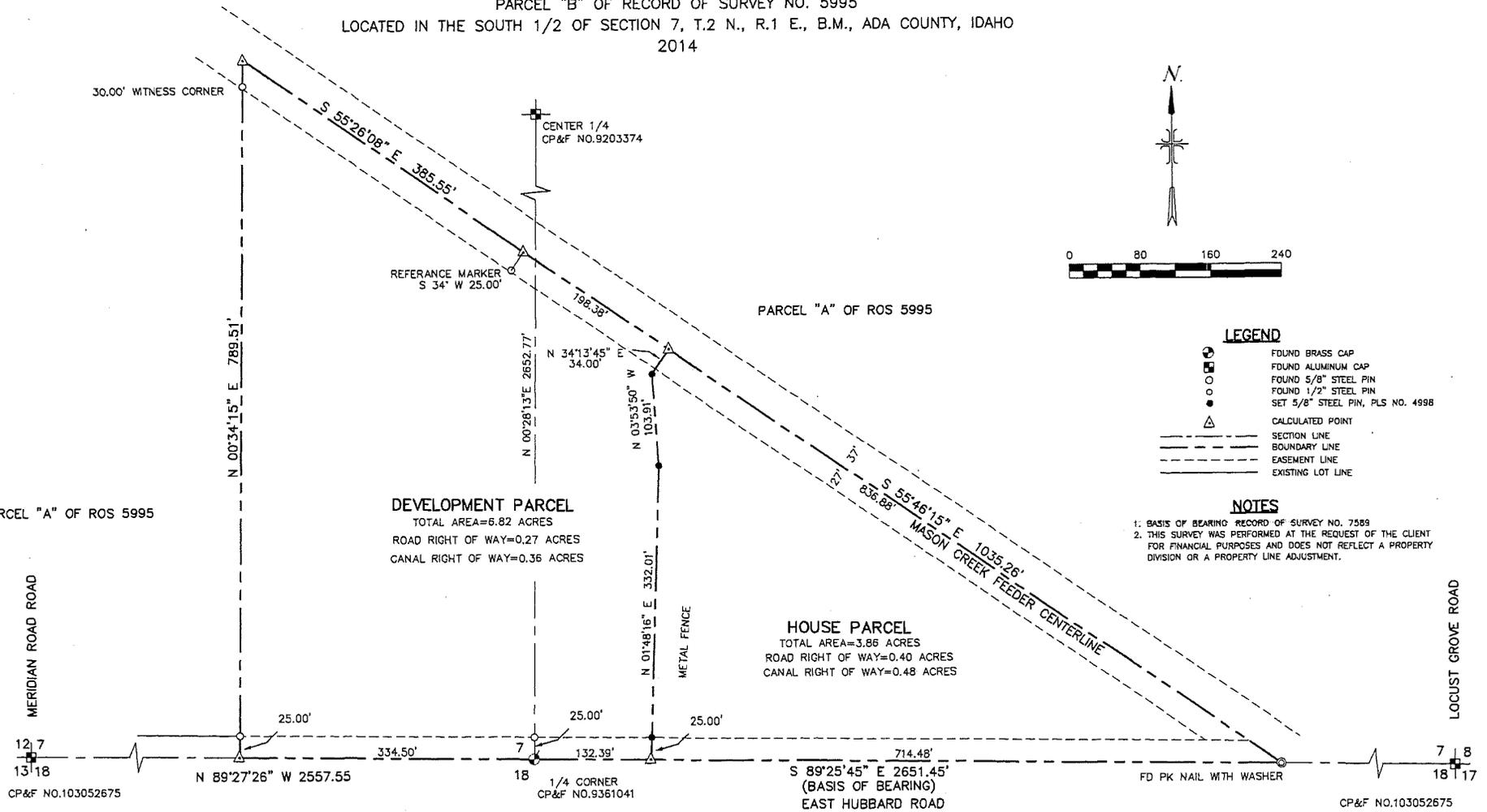
for

## JOHN BROWNING

PARCEL "B" OF RECORD OF SURVEY NO. 5995

LOCATED IN THE SOUTH 1/2 OF SECTION 7, T.2 N., R.1 E., B.M., ADA COUNTY, IDAHO  
2014

ROS NO. 9940



### CERTIFICATE OF SURVEY

I, MICHAEL E. MARKS, DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF IDAHO, AND THAT THIS MAP HAS BEEN PREPARED FROM A SURVEY MADE ON THE GROUND UNDER MY SUPERVISION, AND THAT THIS MAP IS AN ACCURATE REPRESENTATION OF SAID SURVEY, AND IS IN CONFORMITY WITH TITLE 55, CHAPTER 16, CORNER PERPETUATION AND FILLING ACT, OF THE IDAHO STATE CODE.

MICHAEL E. MARKS  
L.S. No. 4998



### CERTIFICATE OF COUNTY RECORDER

COUNTY OF ADA }  
STATE OF IDAHO }  
INSTRUMENT NO. 2014-087909  
FILED FOR RECORD AT THE REQUEST OF MICHAEL E. MARKS  
AT 54 MINUTES PAST 2 O'CLOCK, 28 M., THIS 28 DAY  
OF DEC, 2014.  
CHRISTOPHER D. BICH, RECORDER  
By: AB DEPUTY  
FEE: 30

211-07-0-0-00-00





# City of Kuna AFFIDAVIT OF LEGAL INTEREST

City of Kuna  
P.O. Box 13  
Kuna, Idaho 83634

Phone: (208) 922-5274  
Fax: (208) 922-5989  
Web: www.cityofkuna.com

State of Idaho )  
                          ) ss.  
County of Ada )

I, Frank S. Varriale, President , 2018 S Pond Street  
**Name** Varriale Construction, Inc. **Address**  
Boise Idaho 83705  
**City** **State** **Zip Code**

being first duly sworn upon oath, depose and say:

**(If Applicant is also Owner of Record, skip to B)**  
Varriale Construction, Inc. is

A. That I am the record owner of the property described on the attached, and I grant my permission to Quadrant Consulting, Inc., Chuck Christensen 1904 W Overland Boise, ID 83705  
**Name** **Address**  
to submit the accompanying application pertaining to that property.

B. I agree to indemnify, defend and hold City of Kuna and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

C. I hereby grant permission to the City of Kuna staff to enter the subject property for the purpose of site inspections related to processing said application(s),

Dated this 10th day of October, 2017

Frank S. Varriale  
Signature

Subscribed and sworn to before me the day and year first above written.

R. Craig Callahan  
Notary Public for Idaho

Residing at: Meridian, Idaho

My commission expires: 7/27/2019





8151 W. Rifleman Street  
Boise, ID 83704

ELECTRONICALLY RECORDED-DO NOT REMOVE THE COUNTY STAMPED FIRST PAGE AS IT IS NOW INCORPORATED AS PART OF THE ORIGINAL DOCUMENT

File No. 633121 SRM/MA

ADA COUNTY RECORDER Christopher D. Rich  
BOISE IDAHO Pgs=2 BONNIE OBERBILLIG  
PIONEER TITLE COMPANY OF ADA COUNTY

2017-089611  
09/22/2017 09:56 AM  
\$15.00

### WARRANTY DEED

For Value Received John W. Browning, an unmarried man on November 17, 2014 the date of acquiring title

hereinafter referred to as Grantor, does hereby grant, bargain, sell, warrant and convey unto

Varriale Construction, Inc.

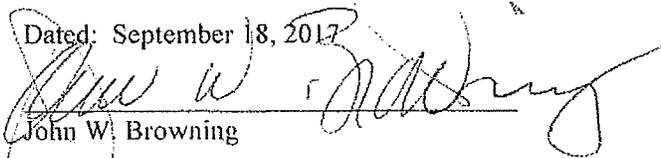
hereinafter referred to as Grantee, whose current address is 2018 S Pond ST, Boise, ID 83705

The following described premises, to-wit:

See Exhibit A attached hereto and made a part hereof.

To HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee(s), and Grantees(s) heirs and assigns forever. And the said Grantor(s) does (do) hereby covenant to and with the said Grantee(s), the Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee(s); and subject to U.S. Patent reservations, restrictions, dedications, easements, rights of way and agreements, (if any) of record, and current years taxes, levies, and assessments, includes irrigation and utility assessments, (if any) which are not yet due and payable, and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

Dated: September 18, 2017

  
John W. Browning

State of Idaho, County of Ada

On this 21<sup>st</sup> day of September in the year of 2017, before me, the undersigned, a Notary Public in and for said State, personally appeared John W. Browning known or identified to me to be the person/persons whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she/they executed the same.

  
Residing at: \_\_\_\_\_  
Commission Expires: \_\_\_\_\_

Residing at Caldwell, ID  
My Commission Expires: 05-05-2023

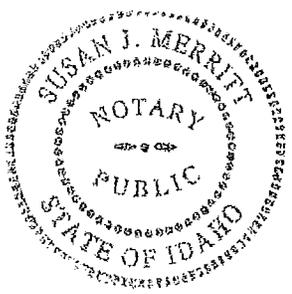


EXHIBIT A

A parcel of land being a portion of Parcel "B" of Record of Survey No. 5995, located in the South 1/2 of Section 7, Township 2 North, Range 1 East of the Boise Meridian, Ada County, Idaho, being more particularly described as follows:

Commencing at the Southwest corner of the SE 1/4 (South 1/4 corner) of Section 7, T.2N., R.1E., B.M., THE REAL POINT OF BEGINNING of this description;

Thence N 89°27'26"W 334.50 feet along the South line of the SW 1/4 of said Section 7 to a point;

Thence N 00°34'15" E 789.51 feet to a point on the centerline of the Mason Creek Feeder;

Thence S 55°26'08" E 385.55 feet along said centerline to a point;

Thence S 55°46'15" E 198.38 feet along said centerline to a point;

Thence S 34°13'45" W 34.00 feet to a point;

Thence S 03°53'50" E 103.91 feet to a point;

thence S 01°48'15" W 332.01 feet to a point on the south line of the SE 1/4 of said Section 7;

thence N 89°25'45" W 132.39 feet along said south line to THE REAL POINT OF BEGINNING of this description.

# Varriale Construction, Inc

PO Box 16588

Boise, Idaho 83715

Office: 208-888-3340

---

October 12, 2017

City of Kuna

Planning & Zoning Department

PO Box 13

Kuna, Idaho 83634

To Whom It May Concern,

The proposed Merino Cove Subdivision is an approximate 6.8 acre parcel of land, which is located off of Hubbard Rd. The intent and plan is to develop 25 lots designed for single family homes. Included within the design is common area landscape along Hubbard Road and open space along the irrigation canal.

Sincerely,

Frank S. Varriale

President

Varriale Construction, Inc.

Exhibit

A-2f



*City of Kuna*  
**COMMITMENT TO  
PROPERTY POSTING**

City of Kuna  
P.O. Box 13  
Kuna, Idaho 83634

Phone: (208) 922-5274  
Fax: (208) 922-5989  
Web: [www.cityofkuna.com](http://www.cityofkuna.com)

Per City Code 5-1A-8, the applicant for all applications requiring a public hearing shall post the subject property not less than ten (10) days prior to the hearing. The applicant shall post a copy of the public hearing notice or the application (s) on the property under consideration.

The applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the City no later than seven (7) days prior to the public hearing attesting to where and when the sign (s) were posted. Unless such Certificate is received by the required date, the hearing will be continued.

The sign (s) shall be removed no later than three (3) days after the end of the public hearing for which the sign (s) had been posted.

I am aware of the above requirements and will comply with the posting requirements as stated in Kuna City Code 5-1A-8

*[Handwritten signature]*

Applicant/agent signature

*10/10/2017*

Date

## Chuck Christensen

---

**To:** Sub Name Mail  
**Subject:** RE: Merino Cove Subdivision Name Reservation

**From:** Sub Name Mail [mailto:subnamemail@adaweb.net]  
**Sent:** Tuesday, October 10, 2017 1:51 PM  
**To:** Chuck Christensen <chuck@quadrant.cc>  
**Cc:** Pete Lounsbury (pete@quadrant.cc) <pete@quadrant.cc>  
**Subject:** Merino Cove Subdivision Name Reservation

October 10, 2017

Chuck Christensen, Quadrant Consulting  
Pete Lounsbury, Quadrant Consulting

RE: Subdivision Name Reservation: **MERINO COVE SUBDIVISION**

At your request, I will reserve the name **Merino Cove Subdivision** for your project. I can honor this reservation only as long as your project is in the approval process. Final approval can only take place when the final plat is recorded.

This reservation is available for the project as long as it is in the approval process unless the project is terminated by the client, the jurisdiction or the conditions of approval have not been met, in which case the name can be re-used by someone else.

Sincerely,



**Jerry L. Hastings, PLS 5359**  
**County Surveyor**  
**Deputy Clerk Recorder**  
**Ada County Development Services**  
200 W. Front St., Boise, ID 83702  
(208) 287-7912 office  
(208) 287-7909 fax

---

**From:** Chuck Christensen [mailto:chuck@quadrant.cc]  
**Sent:** Monday, October 09, 2017 12:14 PM  
**To:** Sub Name Mail  
**Subject:** RE: Subdivision Name Reservation

Glen,

Hi! Has this name been approved? I sent the information you requested last week.

Chuck Christensen

---

**From:** Sub Name Mail [mailto:subnamemail@adaweb.net]  
**Sent:** Wednesday, October 04, 2017 2:35 PM

**To:** Chuck Christensen <[chuck@quadrant.cc](mailto:chuck@quadrant.cc)>  
**Subject:** RE: [EXTERNAL] Subdivision Name Reservation

Chuck;

Who is the developer, and who is the surveyor going to be?



**Glen Smallwood**  
***Surveying Technician***  
**Ada County Development Services**  
200 W. Front St., Boise, ID 83702  
(208) 287-7926 *office*  
(208) 287-7909 *fax*

---

**From:** Chuck Christensen [<mailto:chuck@quadrant.cc>]  
**Sent:** Tuesday, October 03, 2017 11:40 AM  
**To:** Sub Name Mail  
**Cc:** 'Frank Varriale'  
**Subject:** Subdivision Name Reservation

To Whom It May Concern:

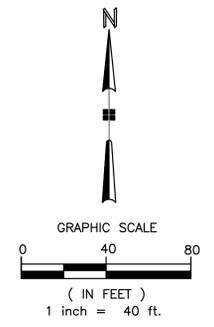
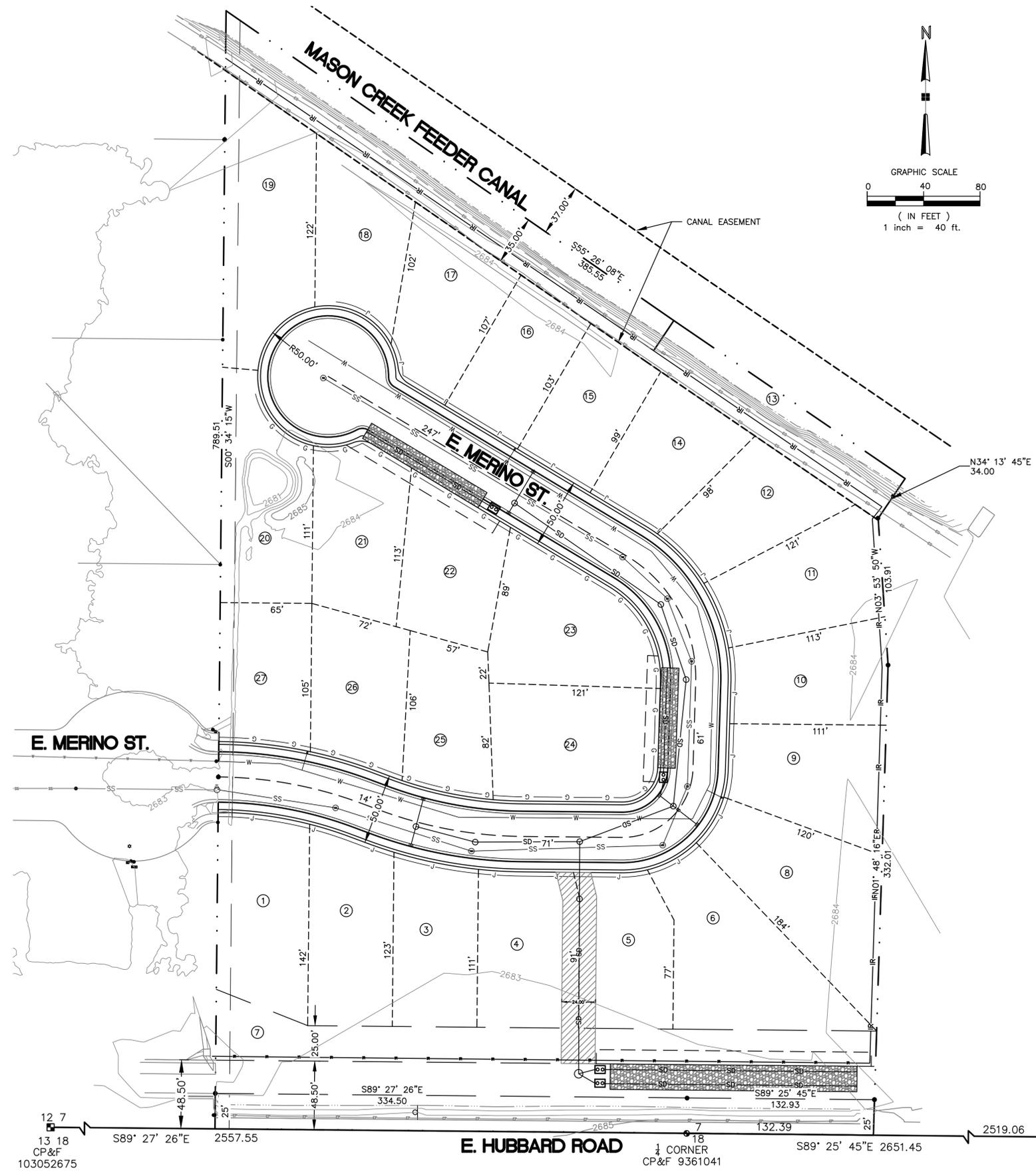
We would like to reserve the name "Merino Cove" for a proposed subdivision in Kuna.

The property is located on Hubbard Road, east of Meridian Road, and is highlighted on the attached pdf file.

The property's tax parcel number is S1407347180.

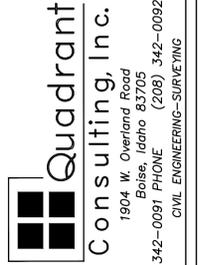
Thanks for your help!

Chuck Christensen  
Quadrant Consulting, Inc.



**LEGEND**

- FOUND 1/2" REBAR
- DECIDUOUS TREE
- STORM DRAIN MANHOLE
- STORM DRAIN GRATES
- IRRIGATION CONTROL VALVE
- ELECTRICAL BOX
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN OUT
- LIGHT POLE
- FIRE HYDRANT
- WATER VALVE
- WATER METER
- SIGN
- CABLE TELEVISION PEDESTAL
- TELEPHONE PEDESTAL
- PROPERTY LINE
- CENTER LINE
- EASEMENT
- 2660 CONTOUR LINE
- SANITARY SEWER LINE
- GAS LINE
- PRESSURIZED IRRIGATION LINE
- JOINT UTILITY TRENCH
- WATER LINE
- STORM DRAIN LINE
- EDGE OF GRAVEL
- EDGE OF PAVEMENT
- CURB AND GUTTER
- PROPOSED SEEPAGE BED
- PROPOSED SEDIMENT VAULT
- PROPOSED LOT NUMBER
- PROPOSED LOT BOUNDARY



**Quadrant Consulting, Inc.**  
 1904 W. Overland Road  
 Boise, Idaho 83705  
 (208) 342-0091 PHONE (208) 342-0092 FAX  
 CIVIL ENGINEERING-SURVEYING

**VARRIALE CONSTRUCTION, INC.**  
 MERINO COVE SUBDIVISION  
 PRELIMINARY PLAT

IDAHO  
 PROJECT NO. 395-21  
 DRAWING FILE NAME:  
 SCALE: 1"=40'



DESIGNED BY:	CHECKED BY:	DATE:	REVISION	CK'D	APPR.
CEC					

SHEET  
**3-1**

12 7  
 13 18  
 CP&F  
 103052675

S89° 27' 26"E 2557.55

**E. HUBBARD ROAD**

1/4 CORNER  
 CP&F 9361041

S89° 25' 45"E 2651.45

18 17  
 CP&F 7907120



# City of Kuna Design Review Application

RECEIVED  
11/01/17

P.O. Box 13  
Kuna, Idaho 83634  
(208) 922.5274  
Fax: (208) 922.5989  
Website: www.kunacity.id.gov

FILE NO.:	17-26-DR (Design Review)
CROSS REF.:	17-11-5 (Subdivision)
FILES:	Merino Core - Quadrant/Variants

The City of Kuna has adopted a Design Review process whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in the Design Review Ordinance No. 2007-02 and the Architecture and Site Design Booklet. Both documents can be found online ([www.cityofkuna.com](http://www.cityofkuna.com)) or are picked up in the City's Planning and zoning department is located at 751 W 4<sup>th</sup> Street, Kuna ID.

### The Design Review application applies to the following land use actions:

- ▶ Multi-family dwellings (3 or more)
- ▶ Commercial
- ▶ Industrial
- ▶ Institutional
- ▶ Office
- ▶ Common Area
- ▶ Subdivision Signage
- ▶ Proposed Conversions
- ▶ Proposed changes in land use and/or building use or exterior remodeling
- ▶ Exterior restoration, and enlargement or expansion of existing buildings, signs or sites.

### Application Submittal Requirements

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	Date of pre-application meeting : <u>May 24, 2017, June 1, 2017</u> <i>Note: Pre-Applications are valid for a period of three (3) months.</i>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	A complete Design Review Application form <i>Note: It is the applicant's responsibility to use a current application.</i>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with Design Review standards.	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	One (1) Vicinity Map (8 1/2" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets.	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	One 8 1/2" x 11" colored aerial photo depicting proposed site, street names, and surrounding area within five-hundred feet (500').	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	Copy of Deed; and, if the applicant is not the owner, an <b>original</b> notarized statement (affidavit of legal interest) from the owner (and all interested parties) stating the applicant is authorized to submit this application.	<input checked="" type="checkbox"/>

x

Detailed site, landscape, drainage plan, elevation and to scale. (No smaller than 1"=30', unless otherwise approved.)

**One of each plan** (site, landscape, drainage plan and elevations) is required to be submitted in the following plan sizes:

- (2) 24" x 36" LARGE FORMAT PLANS
- (1) 11" X 17" PLAN REDUCATIONS
- (1) 8 1/2" x 11" PLAN REDUCATIONS

n/a

Provide a color rendering and material sample board specifically noting where each color and material is to be located on the structure.

Note: Provide photo of the colored rendering and material samples board to City Staff electronically in a JPG or PDF format.

The Applicant is obligated to provide a site plan that graphically portrays the site and includes the following features:

**Site Plan** n/a

Applicant Use		Staff Use
<input type="checkbox"/>	North Arrow	<input type="checkbox"/>
<input type="checkbox"/>	To scale drawings	<input type="checkbox"/>
<input type="checkbox"/>	Property lines	<input type="checkbox"/>
<input type="checkbox"/>	Name of "Plan Preparer" with contact information	<input type="checkbox"/>
<input type="checkbox"/>	Name of project and date	<input type="checkbox"/>
<input type="checkbox"/>	Existing structures, identify those which are to be relocated or removed	<input type="checkbox"/>
<input type="checkbox"/>	On-site and adjoining streets, alleys, private drives and rights-of-way	<input type="checkbox"/>
<input type="checkbox"/>	Drainage location and method of on-site retention / detention	<input type="checkbox"/>
<input type="checkbox"/>	Location of public restrooms	<input type="checkbox"/>
<input type="checkbox"/>	Existing / proposed utility service and any above-ground utility structures and their location	<input type="checkbox"/>
<input type="checkbox"/>	Location and width of easements, canals and drainage ditches	<input type="checkbox"/>
<input type="checkbox"/>	Location and dimension of off-street parking	<input type="checkbox"/>
<input type="checkbox"/>	Locations and sizes of any loading area, docks, ramps and vehicle storage or service areas	<input type="checkbox"/>
<input type="checkbox"/>	Trash storage areas and exterior mechanical equipment, with proposed method of screening	<input type="checkbox"/>
<input type="checkbox"/>	Sign locations (a separate sign application must be submitted with this application)	<input type="checkbox"/>
<input type="checkbox"/>	On-site transportation circulation plan for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input type="checkbox"/>	Locations and uses of ALL open spaces	<input type="checkbox"/>
<input type="checkbox"/>	Locations, types and sizes of sound and visual buffers (Note: all buffers must be located outside the public right-of-way)	<input type="checkbox"/>
<input type="checkbox"/>	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	<input type="checkbox"/>
<input type="checkbox"/>	Locations of subdivision lines (if applicable)	<input type="checkbox"/>
<input type="checkbox"/>	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input type="checkbox"/>	Location of walls and fences and indication of their height and material of construction	<input type="checkbox"/>
<input type="checkbox"/>	Roofline and foundation plan of building, location on the site	<input type="checkbox"/>
<input type="checkbox"/>	Location and designations of all sidewalks	<input type="checkbox"/>
<input type="checkbox"/>	Location and designation of all rights-of-way and property lines	<input type="checkbox"/>

## Landscape and Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscaped and streetscape plans must be colored. The Planning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Applicant  
Use

North Arrow

To scale drawings

Boundaries, property lines and dimensions

Name of "Plan Preparer" with contact information

Name of project and date

Type and location of all plant materials and other ground covers.

*Please review the City's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of all proposed landscape materials at the time of planting, and at maturity. A list of acceptable trees is available upon request from City Planning Staff. If there are any questions, please contact the City Forester, Natalie Reeder, at 208.880.0953*

Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed.

Method of irrigation.

*Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance.*

Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fences, fountains street/pathway furniture (benches, etc.), etc.

n/a

Sign locations

*Note: A separate sign application must be submitted with this application*

Locations and uses for open spaces

n/a

Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle

Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles

Location and designations of all sidewalks

Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved design review application, a detailed site grading and drainage plan, prepared by a registered professional engineer (PE) shall be submitted to the City for review and approval by the City Engineer.

Staff  
Use






























## Building Elevations n/a

Applicant  
Use

Detailed elevation plans of each side of any proposed building(s) or additions(s)

*Note: Four (4) elevations to include all sides of development and must be in color*

Identify the elevations as to north, south, east, and west orientation

Staff  
Use

- Colored copies of all proposed building materials and indication where each material and color application is to be located  
*Note: Submit as 11"x17" reductions*
- Screening/treatment of mechanical equipment
- Provide a cross-section of the building showing any roof top mechanical units and their roof placement
- Detailed elevation plans showing the materials to be used in construction of trash enclosures

**Lighting Plan**

- |                  |  |              |
|------------------|--|--------------|
| Applicant<br>Use | <ul style="list-style-type: none"> <li><input type="checkbox"/> Exterior lighting including detailed cut sheets and photometric plan (pedestrian, vehicle, security, decoration)</li> <li><input type="checkbox"/> Types and wattage of all light fixtures<br/><i>Note: The City encourages use of "dark sky" lighting fixtures</i></li> <li><input type="checkbox"/> Placement of all light fixtures shown on elevations and landscaping plans</li> </ul> | Staff<br>Use |
|------------------|--|--------------|

**Roof Plans**

- |                  |   |              |
|------------------|---|--------------|
| Applicant<br>Use | <ul style="list-style-type: none"> <li><input type="checkbox"/> Size and location of all roof top mechanical units</li> </ul> | Staff<br>Use |
|------------------|---|--------------|

# Design Review Application

Applicant: Quadrant Consulting, Inc.  
attn: Chuck Christensen Phone: 208 342 0091

Owner  Representative Fax/Email: chuck@quadrant.cc

Applicant's Address: 1904 W Overland  
Boise, ID Zip: 83702

Owner: Varriale Construction, Inc. Phone: 208 888 3340  
Owner's Address: 2018 S Pond Street Email: ghvcshannan@qwestoffice.net

Boise, ID Zip: 83702

Represented By: *(if different from above)* n/a Phone: \_\_\_\_\_

Address: \_\_\_\_\_ Email: \_\_\_\_\_

Zip: \_\_\_\_\_

Address of Property: 882 East Hubbard Road, Kuna

Distance from Major Cross Street: about 1/2 mile from Meridian Road, north of Hubbard Road Zip: \_\_\_\_\_  
Street Name(s): \_\_\_\_\_

*Please check the box that reflects the intent of the application*

- BUILDING DESIGN REVIEW  DESIGN REVIEW MODIFICATION  
 SUBDIVISION / COMMON AREA LANDSCAPE  STAFF LEVEL APPLICATION

This Design Review application is a request to construct, add or change the following: *(Briefly explain the nature of the request.)*

Approval of common area landscaping

1. Dimension of Property: \_\_\_\_\_
2. Current Land Use(s): agricultural
3. What are the land uses of the adjoining properties?  
North: Canal/single family residential  
South: agriculture  
East: Single family residential  
West: Single family residential
4. Is the project intended to be phased, if so what is the phasing time period? n/a



Type: vinyl  
Size: 6'  
Location: Surrounds entire subdivision boundary

*(Please note that the City has height limitations of fencing material and requires a fence permit to be obtained prior to installation)*

13. Proposed method of On-site Drainage Retention/Detention:  
on-site subsurface seepage beds

14. Percentage of Site Devoted to Building Coverage: n/a

% of Site Devoted to Landscaping: \_\_\_\_\_ Square Footage: \_\_\_\_\_  
*(Including landscaped rights-of-way)*

% of Site that is Hard Surface: \_\_\_\_\_ Square Footage: \_\_\_\_\_  
*(Paving, driveways, walkways, etc.)*

% of Site Devoted to other uses: \_\_\_\_\_

Describe: \_\_\_\_\_

% of landscaping within the parking lot (landscaped islands, etc.): \_\_\_\_\_

15. For details, please provide dimensions of landscaped areas within public rights-of-way:  
n/a

16. Are there any existing trees of 4" or greater in caliper on the property? *(Please provide the information on the site plans.)*  
If yes, what type, size and the general location? *(The City's goal is to preserve existing trees with a four inch (4") or greater caliper whenever possible);*  
none

17. Dock Loading Facilities:  
Number of docking facilities and their location: n/a

Method of screening: \_\_\_\_\_

18. Pedestrian Amenities: *(bike racks, receptacles, drinking fountains, benches, etc.)* none

19. Setbacks of the proposed building from property lines: n/a  
Front \_\_\_\_\_ -feet      Rear \_\_\_\_\_ -feet      Side \_\_\_\_\_ -feet      Side \_\_\_\_\_ -feet

20. Parking requirements: n/a

Total Number of Parking Spaces: \_\_\_\_\_ Width and Length of Spaces: \_\_\_\_\_

Total Number of Compact Spaces 8'x17': \_\_\_\_\_

21. Is any portion of the property subject to flooding conditions?      Yes \_\_\_\_\_      No X

**IF THE PLANNING DIRECTOR OR DESIGNEE, THE DESIGN REVIEW BOARD AND/OR THE CITY COUNCIL DETERMINE THAT ADDITIONAL AND/OR REVISED INFORMATION IS NEEDED, AND/OR IF OTHER UNFORESEEN CIRCUMSTANCES ARISE, ANY DATES OUTLINED FOR PROCESSING MAY BE RE-SCHEDULED BY THE CITY. APPLICANT/REPRESENTATIVE MUST ATTEND THE DESIGN REVIEW BOARD MEETING/PLANNING AND ZONING MEETINGS.**

The Ada County Highway District may also conduct public meetings regarding this application. If you have questions about the meeting date or the traffic that this development may generate or the impact of that traffic on streets in the area, please contact the Ada County Highway District at 208.387.6170. In order to expedite your request, please have ready the file number indicated in this notice.

Signature of Applicant

*J. Jundtensen*

Date

*10/30/2017*

City staff comments:

\_\_\_\_\_  
\_\_\_\_\_

Signature of receipt by City Staff

*J. Jundtensen*

Date

*11/04/17*

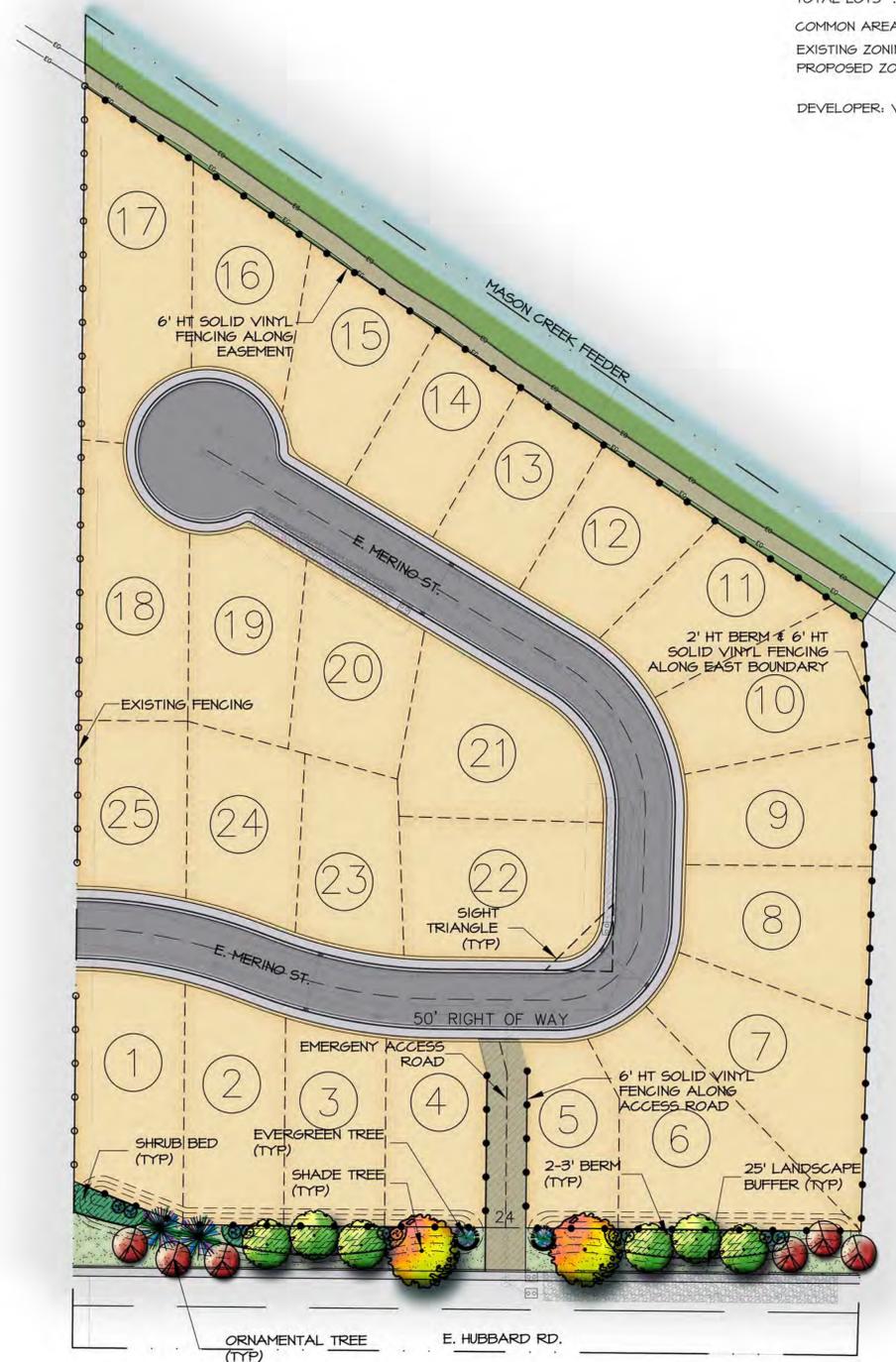
**FOR ADDITIONAL INFORMATION:**  
(Please list page number and item in reference)

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## DEVELOPMENT DATA

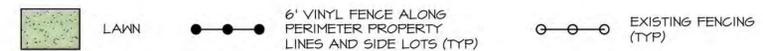
TOTAL AREA .....	6.8 ACRES
RESIDENTIAL LOTS .....	25
COMMON LOTS .....	1
TOTAL LOTS .....	26
COMMON AREA .....	.75 ACRES (11%)
EXISTING ZONING .....	KUNA-R-6
PROPOSED ZONING .....	KUNA-R-6

DEVELOPER: VARRIALE CONSTRUCTION, INC.



## PLANT PALETTE

SYM	COMMON NAME	BOTANICAL NAME	SIZE	MATURE SIZE
<b>EVERGREEN TREES</b>				
	AUSTRIAN PINE	PINUS NIGRA	6-8' HT B4B	50' HT x 20' W
	BLACK HILLS SPRUCE	PICEA ABIES	6-8' HT B4B	25' HT x 12' W
	FAT ALBERT BLUE SPRUCE	PICEA PUNGENS 'FAT ALBERT'	6-8' HT B4B	15' HT x 15' W
	MOONGLOW JUNIPER	JUNIPERUS SCOPULORUM 'MOONGLOW'	6-8' HT B4B	20' HT x 8' W
	NORWAY SPRUCE	PICEA ABIES	6-8' HT B4B	50' HT x 25' W
	VANDERWOLFS PINE	PINUS FLEXILIS 'VANDERWOLFS'	6-8' HT B4B	30' HT x 15' W
<b>STREET TREES (CLASS III/III)</b>				
	AUTUMN PURPLE ASH	FRAXINUS AMERICANA 'AUTUMN PURPLE'	2" CAL B4B	45' HT x 35' W
	SKYLINE HONEYLOCUST	GLEDTISIA TRIACANTHOS INERMIS 'SKYCOLE'	2" CAL B4B	45' HT x 30' W
	LITTLELEAF LINDEN	TILIA GORDATA	2" CAL B4B	40' HT x 30' W
	LONDON PLANETREE	PLATANUS x ACERIFOLIA	2" CAL B4B	75' HT x 60' W
	RED OAK	QUERCUS RUBRA	2" CAL B4B	70' HT x 45' W
	AMERICAN SWEETGUM	LIQUIDAMBER STRYACIFLUA	2" CAL B4B	60' HT x 40' W
	TULIP TREE	LIRIODENDRON TULIPIFERA	2" CAL B4B	50' HT x 30' W
	<b>ORNAMENTAL TREES (CLASS I)</b>			
	AMUR MAPLE	ACER GINNALA 'FLAME'	2" CAL B4B	20' HT x 25' W
	CHANTICLEER PEAR	PYRUS CALLERYANA 'GLEN'S FORM'	2" CAL B4B	30' HT x 15' W
	ROYAL RAINDROPS CRABAPPLE	MALUS x 'JFS-KMS'	2" CAL B4B	20' HT x 15' W
SPRINGSNOW CRABAPPLE	MALUS 'SPRINGSNOW'	2" CAL B4B	20' HT x 15' W	
<b>SHRUBS/ORNAMENTAL GRASSES/PERENNIALS</b>				
	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'	1 GAL, 24" O.C.	2' HT x 2' W
	BLUE RUG JUNIPER	JUNIPERUS HORIZONTALIS 'WILTONI'	2 GAL	6' HT x 6' W
	CREeping MAHONIA	MAHONIA REPENS	3 GAL	18" HT x 3' W
	RED FLOWER CARPET ROSE	ROSA 'FLOWER CARPET- NOARE'	3 GAL	3' HT x 3' W
	DWARF FOUNTAIN GRASS	PENNISETUM ALOPECUROIDES 'HAMELN'	5 GAL	2' HT x 2' W
	DARTS GOLD NINEBARK	PHYSCARPUS OPULIFOLIUS 'DART'S GOLD'	1 GAL	4' HT x 4' W
	STELLA D'ORO DAYLILY	HEMEROCALLIS 'STELLA D'ORO'	3 GAL	15' HT x 2' W
	EMERALD N' GOLD BUONNYMUS	EUONYMUS FORTUNEI 'EMERALD N' GOLD'	5 GAL	2' HT x 4' W
	ENDLESS SUMMER HYDRANGEA	HYDRANGEA ARBORESCENS 'PIHM-I'	3 GAL	4' HT x 4' W
	FINE LINE BUCKTHORN	RHAMNUS FRAGULA 'RON WILLIAMS'	5 GAL	6' HT x 2.5' W
	GOLDFLAME SPIREA	SPIRAEA x BIMALDA 'GOLDFLAME'	3 GAL	4' HT x 4' W
	GRO-LOW SUMAC	RHUS AROMATICA 'GRO-LOW'	5 GAL	2.5' HT x 6' W
	IVORY HALO DOGWOOD	CORNUS ALBA 'BAILHALO'	5 GAL	5' HT x 6' W
	KARL FOERSTER REED GRASS	CALAMAGROSTIS ARUNDINACEA 'K.F.'	1 GAL	4' HT x 2' W
	LITTLE DEVIL NINEBARK	PHYSCARPUS OPULIFOLIUS 'DONNA MAY'	5 GAL	3' HT x 3' W
	HIDCOTE BLUE ENGLISH LAVENDER	LAVANDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	3 GAL	3' HT x 3' W
	OTTO LUYKEN LAUREL	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	5 GAL	3' HT x 6' W
	PJM RHODODENDRON	RHODODENDRON 'PJM'	5 GAL	4' HT x 4' W
	MAIDEN GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	1 GAL	7' HT x 4' W
	SUMMERWINE NINEBARK	PHYSCARPUS OPULIFOLIA 'SEWARD'	5 GAL	6' HT x 6' W



## NOTES

- ALL LANDSCAPE SHALL BE INSTALLED IN ACCORDANCE WITH KUNA CITY ORDINANCE REQUIREMENTS. ALL LOTS WILL COMPLY WITH KUNA CITY ORDINANCE REQUIRING ONE (1) TREE PER LOT (PROVIDED BY BUILDER AND/OR DEVELOPER).
- ALL PLANTING AREAS TO BE WATERED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
- TREES SHALL NOT BE PLANTED WITHIN THE 10'-CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES. SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- NO TREES SHALL IMPEDE THE 40' STREET AND DEPARTURE VISION TRIANGLES AT ALL INTERSECTIONS. NO CONIFEROUS TREES OR SHRUBS OVER 3' HIGH AT MATURITY WILL BE LOCATED WITHIN VISION TRIANGLE OR ACHD ROW. AS TREES MATURE, THE OWNER SHALL BE RESPONSIBLE FOR PRUNING TREE CANOPIES TO MEET ACHD REQUIREMENTS FOR MAINTAINING CLEAR VISIBILITY WITHIN 40' STREET AND DEPARTURE VISION TRIANGLE. TREES SHALL BE PLANTED NO CLOSER THAN 50' FROM STOP SIGNS.
- LANDSCAPE AND TREES IN FRONT OF BUILDING LOTS ON INTERIOR STREETS TO BE COMPLETED DURING CONSTRUCTION OF THESE LOTS. TREE LOCATIONS MAY BE ALTERED TO ACCOMMODATE DRIVEWAYS AND UTILITIES. TREES SHALL NOT BE PLANTED WITHIN 5' OF WATER METERS OR UTILITY LINES.
- PLANT LIST IS REPRESENTATIVE AND SUBJECT TO SUBSTITUTIONS OF SIMILAR SPECIES BY OWNER, SUBJECT TO CITY FORESTER'S PRE-APPROVAL. PLANTING BED DESIGN AND QUANTITIES MAY BE ALTERED DURING FINAL PLAT LANDSCAPE PLAN DESIGN. BURLAP AND WIRE BASKETS TO BE REMOVED FROM ROOT BALL AS MUCH AS POSSIBLE, AT LEAST HALFWAY DOWN THE BALL OF THE TREE. ALL NYLON ROPES TO BE COMPLETELY REMOVED FROM TREES.

## LANDSCAPE CALCULATIONS

LANDSCAPE BUFFER ARE REQUIRED TO BE PLANTED WITH THE FOLLOWING PLANTS PER 100' LINEAR FEET: TWO (2) SHADE TREES, THREE (3) EVERGREEN TREES, AND TWELVE (12) SHRUBS. EACH REQUIRED SHADE TREE MAY BE SUBSTITUTED FOR TWO (2) FLOWERING/ORNAMENTAL TREES.

LOCATION	BUFFER WIDTH	LENGTH	REQUIRED	PROVIDED
E. HUBBARD RD.	25'	470' / 100' =	9 TREES 14 EVERGREENS 56 SHRUBS	11 TREES (8 SHADE TREES + 6 ORNAMENTAL TREES) 14 EVERGREENS 63 SHRUBS

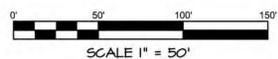
# MERINO COVE SUBDIVISION

KUNA, ID

PRELIMINARY PLAT LANDSCAPE PLAN



OCTOBER 11, 2017



**JENSEN BELTS ASSOCIATES**  
Site Planning / Landscape Architecture  
1508 Tyrrel Lane, Ste 150 Boise, ID 83708  
PH: (208) 545-7176, FX: (208) 545-7178



# Neighborhood Meeting Certification

CITY OF KUNA PLANNING & ZONING \* 763 W. Avalon, Kuna, Idaho, 83634 \* www.kunacity.id.gov \* (208) 922-5274 \* Fax: (208) 922-5989

### GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 8-7A-3 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

**Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.**

**Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.**

Description of proposed project: 25 single family, residential lot subdivision

Date and time of neighborhood meeting: October 10, 2017 at 7:00 pm

Location of neighborhood meeting: Kuna Public Library

### SITE INFORMATION:

Location: Quarter: S 1/2 Section: 7 Township: 2N Range: 1E Total Acres: 6.8

Subdivision Name: Merino Cove Subdivision Lot: \_\_\_\_\_ Block: \_\_\_\_\_

Site Address: 882 East Hubbard Road Tax Parcel Number(s): S1407347180

Please make sure to include **all** parcels & addresses included in your proposed use.

### CURRENT PROPERTY OWNER:

Name: Varriale Construction, Inc.

Address: 2018 South Pond Street City: Boise State: ID Zip: 83705

### CONTACT PERSON (Mail recipient and person to call with questions):

Name: Chuck Christensen Business (if applicable): Quadrant Consulting, Inc.

Address: 1904 W Overland Road City: Boise State: ID Zip: 83705



**PROPOSED USE:**

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

**Application Type**

**Brief Description**

Annexation

Re-zone

Subdivision (Sketch Plat and/or Prelim. Plat)

Special Use

Variance

Expansion of Extension of a Nonconforming Use

Zoning Ordinance Map Amendment

Preliminary Plat for 25 single family residential lots

**APPLICANT:**

Name: Quadrant Consulting, Inc., Attn.: Chuck Christensen

Address: 1904 W Overland Road

City: Boise State: ID Zip: 83705

Telephone: 208 342 0091 Fax: 208 342 0092

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 5-1A-2 of the Kuna City Code

Signature: (Applicant) \_\_\_\_\_ Date \_\_\_\_\_

# SIGN IN SHEET

PROJECT NAME: Merino Cove Subdivision

Date: 10/10/2017

	<u>Name</u>	<u>Address</u>	<u>Zip</u>	<u>Phone</u>
1	<u>Chuck Christiansen</u>	<u>1904 W. Overland</u>	<u>83702</u>	<u>208 342 0091</u>
2	<u>Shannon Buzzini</u>	<u>4702 Hillcrest View Dr.</u>	<u>83705</u>	<u>208 - 890-8789</u>
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October 3, 2017

Stacy Construction, Inc.  
1200 East Watertower Street, Suite 120  
Meridian, ID 83642-5028..

To Whom It May Concern:

Quadrant Consulting, Inc. is inviting you to come by and learn about the next step being taken to develop the property immediately east of the existing Patagonia Subdivision. The property is shown on the attached exhibit and is a little larger than six acres. The site is to be developed with 25 single-family residential lots. Although no improvements or homes are proposed at this time, we are preparing the applications for the City of Kuna's review and are inviting you to come by and learn a little about the owner's plans for the site.

Since this is not a formal public hearing, no public officials will be present. We will however be available for questions and comments about the application at the time and place shown below:

When: Tuesday, October 10, 2017 from 7:00 to 8:00 p.m.  
Where: Kuna Public Library Meeting Room  
457 North Locust Avenue  
Kuna, ID

Thank you for your attention. If you have any questions, please contact me.

Sincerely,  
**QUADRANT CONSULTING, INC.**

Chuck Christensen, P.E.  
Project Manager

attachment

STYLISH HOMES LLC  
12849 N 12TH AVE  
BOISE, ID 83714-0000

SCHROEDER ENTERPRISES  
1825 E SPIRIT HAWK LN  
KUNA, ID 83634-0000

YAUGO PATSY  
557 E MERINO ST  
KUNA, ID 83634-0000

ARBOR RIDGE LLC  
P O BOX 344  
MERIDIAN, ID 83680-0000

ARGIER JOSEPH  
ARGIER LINDA  
535 E MERINO ST  
KUNA, ID 83634-0000

BROWNING JOHN W  
880 E HUBBARD RD  
KUNA, ID 83634-0000

COLBERT RONALD  
COLBERT TAMARA  
590 E RAISON CT  
KUNA, ID 83634-0000

ENGLISH TERRY L  
ENGLISH DONNA K  
570 E RAISON CT  
KUNA, ID 83634-0000

FAULKNER JACOB  
FAULKNER YOLANDI  
620 E MERINO ST  
KUNA, ID 83634-0000

HALL JUSTIN  
HALL JULIE  
613 E RAISON CT  
KUNA, ID 83634-0000

JOHNSON T J  
JOHNSON G ELAINE  
2425 N LOCUST GROVE RD  
KUNA, ID 83634-1313

KOUDELKA J J JR  
KOUDELKA MADGE H  
PO BOX 1564  
NAMPA, ID 83653-1564

KW HOMES INC  
3866 S LAMONE WAY  
MERIDIAN, ID 83642-0000

MOMMI ADRIANO  
MOMMI CYNTHIA  
662 E MERINO ST  
KUNA, ID 83634-0000

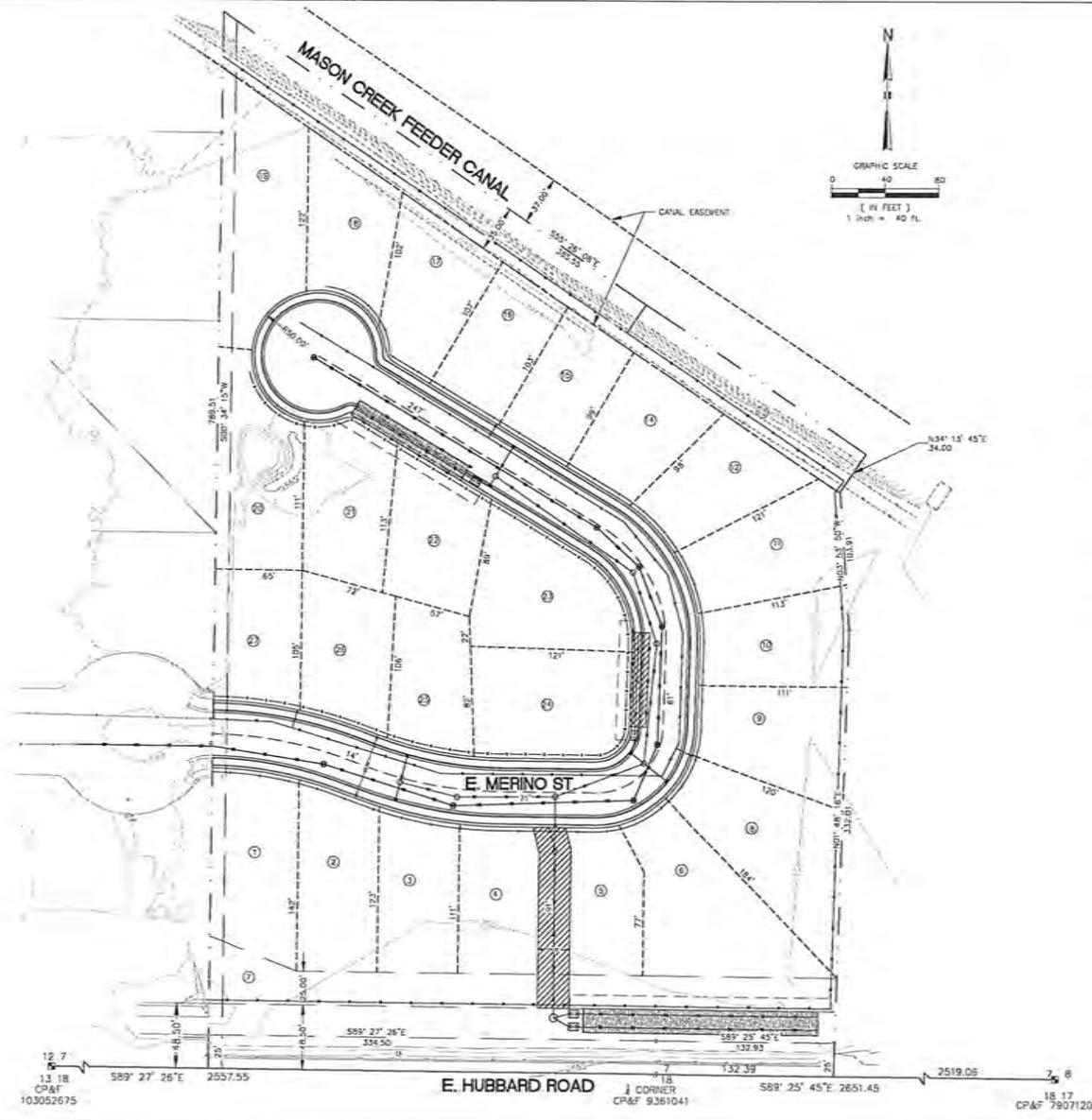
NORRIS CHRIS D  
554 E MERINO ST  
KUNA, ID 83634-0000

PATAGONIA DEVELOPMENT LLC  
PO BOX 344  
MERIDIAN, ID 83680-0000

RIVERWOOD HOMES INC  
2335 N OLD LACE AVE  
KUNA, ID 83634-0000

STACY CONSTRUCTION INC  
1200 E WATERTOWER ST STE 120  
MERIDIAN, ID 83642-5028





- LEGEND**
- FOUND TREE
  - DECIDUOUS TREE
  - STORM DRAIN MANHOLE
  - STORM DRAIN GRATES
  - IRRIGATION CONTROL VALVE
  - ELECTRICAL BOX
  - SANITARY SEWER MANHOLE
  - SANITARY SEWER CLEAN OUT
  - LIGHT POLE
  - FIRE HYDRANT
  - WATER VALVE
  - WATER METER
  - SIGN
  - CABLE TELEVISION PEDESTAL
  - TELEPHONE PEDESTAL
  - PROPERTY LINE
  - CENTER LINE
  - EASEMENT
  - CONTOUR LINE
  - GAS LINE
  - CABLE TV LINE
  - TELEPHONE LINE
  - UNDERGROUND POWER
  - WATER LINE
  - STORM DRAIN LINE
  - EDGE OF GRAVEL
  - EDGE OF PAVEMENT
  - CURB AND GUTTER
  - ▨ PROPOSED SEEPAGE BED
  - ▨ PROPOSED SEDIMENT VAULT

**Quadrant Consulting, Inc.**  
 1104 W. Overland Road  
 Suite 200  
 Overland Park, KS 66204  
 (913) 342-0888  
 FAX: (913) 342-0889  
 WWW.QUADRANTCONSULTING.COM

**VARRIALE CONSTRUCTION, INC.**  
 MERINO COVE SUBDIVISION  
 PRELIMINARY PLAT  
 PROJECT NO. 355-21  
 SCALE: 1"=40'  
 METRIC DRAWING FILE NAME: 355-21-01.DWG



DESIGNED BY: REC	CHECKED BY: [ ]	PLAT DATE: 10/17/17
DRAWN BY: [ ]	REVISION: [ ]	DATE: [ ]
DATE BY: [ ]	DATE: [ ]	DATE: [ ]
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SHEET  
**S-1**

Exhibit  
 A-20



# CITY OF KUNA

## PLANNING & ZONING DEPARTMENT

751 West 4<sup>th</sup> Street  
P.O. Box 13  
Kuna, ID 83634  
Phone: 208-922-5274  
Fax: 208-922-5989  
[www.kunacity.id.gov](http://www.kunacity.id.gov)

November 2, 2017

**Owner:**

Varriale Construction, Inc.  
2018 S. Pond St.  
Boise, ID 83705

**Representative:**

**Quadrant Consulting**  
Chuck Christensen  
1904 W. Overland Rd.  
Boise, ID 83702  
208.342.0091  
[chuck@quadrant.cc](mailto:chuck@quadrant.cc)

**RE: Merino Cove Subdivision; Preliminary Plat and Design Review Application:**

Dear applicant/representative:

On November 2, 2017, Kuna Planning and Zoning staff finished reviewing the Pre-Plat and Design Review applications for the proposed *Merino Cove Subdivision* for completeness. This letter is to advise you that the City now considers the application complete.

Staff has tentatively scheduled the actions to be heard by the Kuna the Planning and Zoning Commission on **November 28, 2017**. The public hearing will begin at 6:00 pm at City Hall. We encourage a representative to attend the hearing to respond to any questions the public or the Commission may have.

Staff sends applications to agencies who provide essential services, and request comments from those agencies relative to your proposal. If our office does not receive critical agency responses related to this project in time to include them with our staff report, the hearing may be delayed.

The following inspection fees will be required when construction is completed and prior to signature on the final plat being requested:

**Design Review Compliance Inspection Fees:**

- Subdivision Common Area Landscaping Inspection Fee: **\$150**
- Street Light Inspection Fee: **\$35** (first inspection; \$20 each additional inspection).

Kuna encourages pre-payment of inspection related fees in order to avoid delays as the project winds-down and timelines are critical.

If you have any questions regarding this information or the process, please contact me at 208.387.7731 or by e-mail: [tkesner@kunaid.gov](mailto:tkesner@kunaid.gov).

Respectfully,

Trevor Kesner, MRCP  
Planner II  
Kuna Planning and Zoning Department

Cc: Wendy Howell, Director of Planning Services



City of Kuna  
Planning & Zoning Department

**City of Kuna**  
P.O. Box 13  
Kuna, Idaho 83634  
Phone: (208) 922-5274  
Fax: (208) 922-5989  
[www.Kunacity.id.gov](http://www.Kunacity.id.gov)

## Agency Transmittal

November 2, 2017

Notice is hereby given by the City of Kuna that the following actions are under consideration:

<b>FILE NUMBER:</b>	17-11-S (Subdivision Pre-Plat) and 17-26-DR (Design Review) Merino Cove; Residential Subdivision.
<b>PROJECT DESCRIPTION</b>	Applicant requests preliminary plat and Design Review approval for an approximately 6.8-acre subject parcel within an existing R-6 zone, in order to subdivide the land into 25 single family lots, and an additional two (2) common lots. The proposed gross density is 3.8 dwelling units per acre.
<b>SITE LOCATION</b>	North side of W. Hubbard Road, approximately 500 feet east of S. Magellan Avenue; addressed as 882 E. Hubbard Road, Kuna, Idaho 83634 – <i>The subject parcel was recently annexed into Kuna City limits.</i>
<b>REPRESENTATIVE</b>	<i>Quadrant Consulting</i> Chuck Christensen 1904 W. Overland Rd. Boise, ID 83702 208.342.0092 <a href="mailto:chuck@quadrant.cc">chuck@quadrant.cc</a>
<b>SCHEDULED HEARING DATE</b>	Tuesday, <b>November 28, 2017</b> 6:00 P.M. – Kuna City Hall 451 W. 4 <sup>th</sup> Street, Kuna, ID 83634
<b>STAFF CONTACT</b>	Trevor Kesner <a href="mailto:tkesner@kunaid.gov">tkesner@kunaid.gov</a> Phone: 922.5274 Fax: 922.5989

We have enclosed information to assist you with your consideration and response. ***No response within 15 business days will indicate you have no objection or comments for this project.*** We would appreciate any information as to how this action would affect the service(s) your agency provides. The hearing is scheduled to begin at 6:00 p.m. or as soon as it may be heard. Kuna City Hall is located at 751 W. 4<sup>th</sup> Street, Kuna, ID 83634. Please contact staff with questions. ***If your agency needs different plans or paper copies to review, notify our office now and we will send them to you. Please notify our office who future packets should be sent to, and include their email as well.*** If your agency needs additional time for review, please let our office know ASAP.

## Trevor Kesner

---

**From:** Brenda Saxton <bsaxton@kunaschools.org>  
**Sent:** Friday, November 3, 2017 10:57 AM  
**To:** Trevor Kesner  
**Cc:** Yvonna Bocci  
**Subject:** Re: City of Kuna - Planning & Zoning Subdivision Application Request for Agency Comment

Thank you Trevor

Yes, we will use the same bus stop that is use for Patagonia.

Have an awesome weekend

Brenda

On Fri, Nov 3, 2017 at 8:47 AM, Trevor Kesner <[tkesner@kunaid.gov](mailto:tkesner@kunaid.gov)> wrote:

Brenda:

Yes, this development of 25 home sites is accessed via E. Merino Street in the Patagonia Development.

There is no access to the neighborhood from Hubbard Road, with the exception of an emergency access easement.

It is somewhat of an 'enclave' subdivision. I would anticipate students from this neighborhood to utilize the same bus stop area as other students residing in Patagonia Sub.

Let me know if you have any suggestions or recommendations.

Thanks much.

**Trevor Kesner, MCRP**  
*Planner II*

*KUNA PLANNING & ZONING DEPT.*

*(208) 387-7731*  
*[tkesner@kunaid.gov](mailto:tkesner@kunaid.gov)*





City of Kuna

751 W. 4th Street

Kuna, ID 83634

**CONFIDENTIALITY NOTICE**

This e-mail and any attachments may contain confidential or privileged information. If you are not the intended recipient, you are not authorized to use or distribute any information included in this e-mail or its attachments. If you receive this e-mail in error, please delete it from your system and contact the sender.

**From:** Brenda Saxton [mailto:[bsaxton@kunaschools.org](mailto:bsaxton@kunaschools.org)]

**Sent:** Friday, November 3, 2017 6:43 AM

**To:** Trevor Kesner <[tkesner@kunaid.gov](mailto:tkesner@kunaid.gov)>

**Subject:** Re: City of Kuna - Planning & Zoning Subdivision Application Request for Agency Comment

Hi Trevor,

Will this sub have attached roads into the other sub to the west.

Brenda

On Thu, Nov 2, 2017 at 10:40 AM, Trevor Kesner <[tkesner@kunaid.gov](mailto:tkesner@kunaid.gov)> wrote:

Notice is hereby given by the City of Kuna that the following actions are under consideration:

<b>FILE NUMBER:</b>	17-11-S (Subdivision Pre-Plat) and 17-26-DR (Design Review) Merino Cove; Residential Subdivision.
<b>PROJECT DESCRIPTION</b>	Applicant requests preliminary plat and Design Review approval for an approximately 6.8-acre subject parcel within an existing R-6 zone, in order to subdivide the land into 25 single family lots, and an additional two (2) common lots. The proposed gross density is 3.8 dwelling units per acre.
<b>SITE LOCATION</b>	North side of W. Hubbard Road, approximately 500 feet east of S. Magellan Avenue; addressed as <u>882 E. Hubbard Road, Kuna, Idaho 83634</u> – <i>The subject parcel was recently annexed into Kuna City limits.</i>
<b>REPRESENTATIVE</b>	<p><i>Quadrant Consulting</i></p> <p>Chuck Christensen</p> <p><u>1904 W. Overland Rd.</u></p> <p><u>Boise, ID 83702</u></p> <p><u>208.342.0092</u></p> <p><u>chuck@quadrant.cc</u></p>
<b>SCHEDULED HEARING DATE</b>	<p>Tuesday, <b>November 28, 2017</b></p> <p>6:00 P.M. – Kuna City Hall</p> <p><u>451 W. 4<sup>th</sup> Street, Kuna, ID 83634</u></p>
<b>STAFF CONTACT</b>	<p>Trevor Kesner</p> <p><u>tkesner@kunaid.gov</u></p> <p>Phone: 922.5274</p> <p>Fax: 922.5989</p>
<p>We have enclosed information to assist you with your consideration and response. <i>No response within 15 business days will indicate you have no objection or comments for this project.</i> We would appreciate any information as to how this action would affect the service(s) your agency provides. The hearing is scheduled to begin at 6:00 p.m. or as soon as it may be heard. Kuna City Hall is located at <u>751 W. 4<sup>th</sup> Street, Kuna, ID 83634</u>. Please contact staff with questions. <b><i>If your agency needs different plans or paper copies to review, notify our office now and we will send them to you. Please notify our office</i></b></p>	

**who future packets should be sent to, and include their email as well.** If your agency needs additional time for review, please let our office know ASAP.

**Trevor Kesner, MCRP**  
*Planner II*

*KUNA PLANNING & ZONING DEPT.*

(208) 387-7731  
[tkesner@kunaid.gov](mailto:tkesner@kunaid.gov)



City of Kuna

751 W. 4th Street

Kuna, ID 83634

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STATE OF IDAHO  
DEPARTMENT OF ENVIRONMENTAL QUALITY  
BOISE REGIONAL OFFICE  
1445 North Orchard Street • Boise, ID 83706-2239 • (208) 373-0550

## *DEQ Response to Request for Environmental Comment*

Date: November 8, 2017  
Agency Requesting Comments: City of Kuna  
Date Request Received: November 2, 2017  
Applicant/Description: 17-11-S (Subdivision Pre-Plat) and 17-26-DR (Design Review) Merino Cove; Residential Subdivision.

*Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at <http://www.deq.idaho.gov/ieg/>.*

*The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:*

### **1. Air Quality**

- *Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).*

*The property owner, developer, and their contractor(s) must ensure that reasonable controls to prevent fugitive dust from becoming airborne are utilized during all phases of construction activities per IDAPA 58.01.01.651.*

*For questions, contact David Luft, Air Quality Manager, at 373-0550.*

### **2. Wastewater and Recycled Water**

- *DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.*
- *IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.*

*All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.*

- *DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system*

*along with best management practices for communities to protect ground water.*

- *DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.*

*For questions, contact Todd Crutcher, Engineering Manager, at 373-0550.*

### **3. Drinking Water**

- *DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.*
- *IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.*

*All projects for construction or modification of public drinking water systems require preconstruction approval.*

- *DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at <http://www.deq.idaho.gov/water-quality/drinking-water.aspx>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.*
- *If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.*
- *DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.*
- *DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.*

*For questions, contact Todd Crutcher, Engineering Manager at 373-0550.*

### **4. Surface Water**

- *A DEQ short-term activity exemption (STAE) from this office is required if the project will involve de-watering of ground water during excavation and discharge back into surface water, including a description of the water treatment from this process to prevent excessive sediment and turbidity from entering surface water.*
- *Please contact DEQ to determine whether this project will require a National Pollution Discharge Elimination System (NPDES) Permit. If this project disturbs more than one acre, a stormwater permit from EPA may be required.*
- *If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's*

water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.

- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call 208-334-2190 for more information. Information is also available on the IDWR website at: <http://www.idwr.idaho.gov/WaterManagement/StreamsDams/Streams/AlterationPermit/AlterationPermit.htm>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at 373-0550.

#### **5. Hazardous Waste And Ground Water Contamination**

- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards, Rules and Regulations for Hazardous Waste, and Rules and Regulations for the Prevention of Air Pollution.
- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852).

Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.

- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

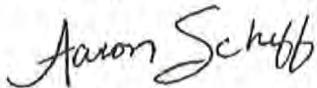
For questions, contact Albert Crawshaw, Waste & Remediation Manager, at 373-0550.

**6. Additional Notes**

- *If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at 373-0550, or visit the DEQ website (<http://www.deq.idaho.gov/waste-mgmt-remediation/storage-tanks.aspx>) for assistance.*
- *If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.*

*We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at 208-373-0550.*

Sincerely,



Aaron Scheff  
[aaron.scheff@deq.idaho.gov](mailto:aaron.scheff@deq.idaho.gov)  
Regional Administrator  
Boise Regional Office  
Idaho Department of Environmental Quality

ec: TRIM 2017AEK150



CENTRAL DISTRICT HEALTH DEPARTMENT
Environmental Health Division

Return to:

- ACZ
Boise
Eagle
Garden City
Kuna
Meridian
Star

Rezone #

Conditional Use #

Preliminary / Final / Short Plat 17-11-S / 17-26-DR

Merino cave
Sub.

- 1. We have No Objections to this Proposal.
2. We recommend Denial of this Proposal.
3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
4. We will require more data concerning soil conditions on this Proposal before we can comment.
5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
high seasonal ground water
bedrock from original grade
waste flow characteristics
other
6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
8. After written approval from appropriate entities are submitted, we can approve this proposal for:
central sewage
interim sewage
individual sewage
community sewage system
central water
individual water
community water well
9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
central sewage
sewage dry lines
community sewage system
central water
community water
10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
12. We will require plans be submitted for a plan review for any:
food establishment
beverage establishment
swimming pools or spas
grocery store
child care center
13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDHD.
14. Reviewed By: [Signature]
Date: 11/6/17

Exhibit

B-3



**Project/File:** KPP17-0014 / 17-26-DR & 17-11-S / Merino Cove Subdivision  
 The applicant is requesting design review and preliminary plat approval for Merino Cove Subdivision. The proposed subdivision consists of 25-single family dwelling units on 6.8-acres in Kuna, Idaho.

**Lead Agency:** City of Kuna

**Site address:** Parcel S1407347180 (Hubbard Road ½ mile east of Meridian Road)

**Staff Approval:** November 15, 2017

**Applicant:** Chuck Christensen  
 Quadrant Consulting  
 1904 W. Overland Road  
 Boise, ID 83702

**Staff Contact:** Austin Miller  
 Phone: 387-6335  
 E-mail: [amiller@achdidaho.org](mailto:amiller@achdidaho.org)



## A. Findings of Fact

1. **Description of Application:** The applicant is requesting design review and preliminary plat approval for Merino Cove Subdivision. The proposed subdivision consists of 25-single family dwelling units on 6.8-acres in Kuna, Idaho. The property is currently zoned R-8 and the proposed use is consistent with the City of Kuna’s comprehensive plan.

2. **Description of Adjacent Surrounding Area:**

Direction	Land Use	Zoning
North	Medium Density Residential	R-6
South	Rural Residential (Ada County)	RR
East	Rural Residential (Ada County)	RR
West	Medium Density Residential	R-6

3. **Site History:** ACHD previously reviewed this site for annexation and rezoning. The findings of this report are consistent with those listed in the previous action.
4. **Adjacent Development:** The following developments are pending or underway in the vicinity of the site:
- Patagonia, a 470 lot residential subdivision, located adjacent to the site is in various stages of development and was approved by ACHD on October 21, 2014.
5. **Transit:** Transit services are not available to serve this site.
6. **New Center Lane Miles:** The proposed development includes 0.16 centerline miles of new public road.



7. **Impact Fees:** There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time.
8. **Capital Improvements Plan (CIP)/ Integrated Five Year Work Plan (IFYWP):**
  - The intersection of Hubbard Road and SH-69/ Meridian Road is listed in the CIP to be widened to 6-lanes on the north leg, 5-lanes on the south, 4-lanes east, and 3-lanes on the west leg, and signalized between 2031 and 2035.

## **B. Traffic Findings for Consideration**

1. **Trip Generation:** This development is estimated to generate 238 additional vehicle trips per day; 25 additional vehicle trips per hour in the PM peak hour, based on the Institute of Transportation Engineers Trip Generation Manual, 9<sup>th</sup> edition.
2. **Condition of Area Roadways**  
Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
**State Highway 69 Meridian Road	None	Principal Arterial	1,359	Better than "E"
Hubbard Road	469-feet	Minor Arterial	301	Better than "E"

\*\* ACHD does not set level of service thresholds for State Highways.

\* Acceptable level of service for a two-lane minor arterial is "E" (575 VPH).

3. **Average Daily Traffic Count (VDT)**  
*Average daily traffic counts are based on ACHD's most current traffic counts.*
  - The average daily traffic count for SH-69 / Meridian Road south of Columbia Road was 21,456 on 03/23/17.
  - The average daily traffic count for Hubbard Road west of Locust Grove Road was 27 on 10/27/15.

## **C. Findings for Consideration**

1. **Hubbard Road**
  - a. **Existing Conditions:** Hubbard Road is improved with 2-travel lanes, 24-feet of pavement, and no curb, gutter or sidewalk abutting the site. There is 50-feet of right-of-way for Hubbard Road (30-feet from centerline line).
  - b. **Policy:**

**Arterial Roadway Policy:** District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

**Master Street Map and Typology Policy:** District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map and Livable Streets Design Guide. The developer or engineer should contact the District before starting any design.

**Street Section and Right-of Way Width Policy:** District Policy 7205.2.1 & 7205.5.2 states that the standard 3-lane street section shall be 46-feet (back-of-curb to back-of-curb) within 70 feet of right-of-way. This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

**Right-of-Way Dedication:** District Policy 7205.2 states that The District will provide compensation for additional right-of-way dedicated beyond the existing right-of-way along arterials listed as impact fee eligible in the adopted Capital Improvements Plan using available impact fee revenue in the Impact Fee Service Area.

No compensation will be provided for right-of-way on an arterial that is not listed as impact fee eligible in the Capital Improvements Plan.

The District may acquire additional right-of-way beyond the site-related needs to preserve a corridor for future capacity improvements, as provided in Section 7300.

**Sidewalk Policy:** District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all arterial streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

**Frontage Improvements Policy:** District Policy 7205.2.1 states that the developer shall widen the pavement to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site. Curb, gutter and additional pavement widening may be required (See Section 7205.5.5).

**ACHD Master Street Map:** ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. This segment of Hubbard Road is designated in the MSM as a Residential Arterial with 3-lanes and on-street bike lanes, a 46-foot street section within 70-feet of right-of-way.

- c. **Applicant Proposal:** The applicant is proposing to improve Hubbard Road with 17-feet of pavement from centerline abutting the site, along with an 8-foot wide concrete sidewalk.
- d. **Staff Comments/Recommendations:** Consistent with the MSM the applicant should be required to dedicate additional right-of-way to total 35-feet from centerline of Hubbard Road abutting the site. No compensation will be provided for right-of-way on Hubbard Road as it is not listed as impact fee eligible in the CIP. In lieu of dedicating right-of-way, the applicant can provide a right-of-way easement or sidewalk easement.

The applicant's proposal to construct an 8-foot wide detached concrete sidewalk exceeds ACHD Policy which requires the construction of a 5-foot wide sidewalk, and should be approved, as proposed. The sidewalk should be located a minimum of 28-feet from centerline of Hubbard Road abutting the site. The sidewalk should tie into the existing sidewalk for the Patagonia Subdivision to the west.

The applicant should be required to provide a permanent right-of-way easement for detached sidewalks located outside of the dedicated right-of-way.

## 2. Merino Street

- a. **Existing Conditions:** Merino Street is stubbed at the site's west property line.
- b. **Policy:**

**Local Roadway Policy:** District Policy 7207.2.1 states that the developer is responsible for improving all local street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

**Street Section and Right-of-Way Policy:** District Policy 7207.5 states that right-of-way widths for all local streets shall generally not be less than 50-feet wide and that the standard street section shall be 36-feet (back-of-curb to back-of-curb). The District will consider the utilization of a street width less than 36-feet with written fire department approval.

**Standard Urban Local Street—36-foot to 33-foot Street Section and Right-of-way Policy:** District Policy 7207.5.2 states that the standard street section shall be 36-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot concrete sidewalks on both sides and shall typically be within 50-feet of right-of-way.

The District will also consider the utilization of a street width less than 36-feet with written fire department approval. Most often this width is a 33-foot street section (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size.

**Continuation of Streets Policy:** District Policy 7207.2.4 states that an existing street, or a street in an approved preliminary plat, which ends at a boundary of a proposed development shall be extended in that development. The extension shall include provisions for continuation of storm drainage facilities. Benefits of connectivity include but are not limited to the following:

- Reduces vehicle miles traveled.
- Increases pedestrian and bicycle connectivity.
- Increases access for emergency services.
- Reduces need for additional access points to the arterial street system
- Promotes the efficient delivery of services including trash, mail and deliveries.
- Promotes appropriate intra-neighborhood traffic circulation to schools, parks, neighborhood commercial centers, transit stops, etc.
- Promotes orderly development.

**Sidewalk Policy:** District Policy 7207.5.7 states that five-foot wide concrete sidewalk is required on both sides of all local street, except those in rural developments with net densities of one dwelling unit per 1.0 acre or less, or in hillside conditions where there is no direct lot frontage, in which case a sidewalk shall be constructed along one side of the street. Some local jurisdictions may require wider sidewalks.

The sidewalk may be placed next to the back-of-curb. Where feasible, a parkway strip at least 8-feet wide between the back-of-curb and the street edge of the sidewalk is recommended to provide increased safety and protection of pedestrians and to allow for the planting of trees in accordance with the District's Tree Planting Policy. If no trees are to be planted in the parkway strip, the applicant may submit a request to the District, with justification, to reduce the width of the parkway strip.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

**Cul-de-sac Streets Policy:** District policy 7207.5.8 requires cul-de-sacs to be constructed to provide a minimum turning radius of 45-feet; in rural areas or for temporary cul-de-sacs the emergency service providers may require a greater radius. Landscape and parking islands

may be constructed in turnarounds if a minimum 29-foot street section is constructed around the island. The pavement width shall be sufficient to allow the turning around of a standard AASHTO SU design vehicle without backing. The developer shall provide written approval from the appropriate fire department for this design element.

The District will consider alternatives to the standard cul-de-sac turnaround on a case-by-case basis. This will be based on turning area, drainage, maintenance considerations and the written approval of the agency providing emergency fire service for the area where the development is located.

- c. **Applicant's Proposal:** The applicant is proposing to extend Merino Street into the site constructed as a 36-foot street section with curb, gutter and 5-foot wide attached concrete sidewalk.

The applicant is proposing to construct a cul-de-sac with a 50-foot radius at the terminus of Merino Street.

The applicant is proposing a 24-foot wide emergency access from Merino Street to Hubbard Road.

- d. **Staff Comments/Recommendations:** The applicant's proposal meets District policy and should be approved as proposed.

The applicant should be required to barricade the emergency access (ex: bollards, gate, etc.) as determined by the fire department.

### 3. **Tree Planters**

**Tree Planter Policy:** Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

### 4. **Landscaping**

**Landscaping Policy:** A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

### 5. **Other Access**

Hubbard Road is classified as a minor arterial roadway. Other than the access specifically approved with this application, direct lot access is prohibited to this roadway and should be noted on the final plat.

## **D. Site Specific Conditions of Approval**

1. Dedicate additional right-of-way to total a minimum of 35-feet from centerline of Hubbard Road abutting the site. No compensation will be provided for right-of-way on Hubbard Road as it is not listed as impact fee eligible in the CIP.
2. Improve Hubbard Road with 17-feet of pavement from centerline abutting the site with a 3-foot wide gravel shoulder and barrow ditch.
3. Construct an 8-foot wide detached concrete sidewalk located a minimum of 28-feet from centerline of Hubbard Road abutting the site.

4. Provide a permanent right-of-way easement if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.
5. Extend Merino Street into the site. Construct the roadway as a 36-foot street section with curb, gutter and 5-foot wide concrete sidewalk within 50-feet of right-of-way.
6. Construct a cul-de-sac with a minimum of 45-foot radius at the terminus of Merino Street.
7. Barricade the emergency access (ex: bollards, gate, etc.) as determined by the fire department.
8. Direct lot access is prohibited to Hubbard Road and shall be noted on the final plat.
9. Payment of impact fees is due prior to issuance of a building permit.
10. Comply with all Standard Conditions of Approval.

## **E. Standard Conditions of Approval**

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized

representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.

12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

## **F. Conclusions of Law**

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

## **G. Attachments**

1. Vicinity Map
2. Site Plan
3. Utility Coordinating Council
4. Development Process Checklist
5. Request for Appeal of Staff Decision

VICINITY MAP





# Ada County Utility Coordinating Council

## Developer/Local Improvement District Right of Way Improvements Guideline Request

*Purpose: To develop the necessary avenue for proper notification to utilities of local highway and road improvements, to help the utilities in budgeting and to clarify the already existing process.*

- 1) **Notification:** Within five (5) working days upon notification of required right of way improvements by Highway entities, developers shall provide written notification to the affected utility owners and the Ada County Utility Coordinating Council (UCC). Notification shall include but not be limited to, project limits, scope of roadway improvements/project, anticipated construction dates, and any portions critical to the right of way improvements and coordination of utilities.
- 2) **Plan Review:** The developer shall provide the highway entities and all utility owners with preliminary project plans and schedule a plan review conference. Depending on the scale of utility improvements, a plan review conference may not be necessary, as determined by the utility owners. Conference notification shall also be sent to the UCC. During the review meeting the developer shall notify utilities of the status of right of way/easement acquisition necessary for their project. At the plan review conference each company shall have the right to appeal, adjust and/or negotiate with the developer on its own behalf. Each utility shall provide the developer with a letter of review indicating the costs and time required for relocation of its facilities. Said letter of review is to be provided within thirty calendar days after the date of the plan review conference.
- 3) **Revisions:** The developer is responsible to provide utilities with any revisions to preliminary plans. Utilities may request an updated plan review meeting if revisions are made in the preliminary plans which affect the utility relocation requirements. Utilities shall have thirty days after receiving the revisions to review and comment thereon.
- 4) **Final Notification:** The developer will provide highway entities, utility owners and the UCC with final notification of its intent to proceed with right of way improvements and include the anticipated date work will commence. This notification shall indicate that the work to be performed shall be pursuant to final approved plans by the highway entity. The developer shall schedule a preconstruction meeting prior to right of way improvements. Utility relocation activity shall be completed within the times established during the preconstruction meeting, unless otherwise agreed upon.

**Notification to the Ada County UCC can be sent to:** 50 S. Cole Rd. Boise 83707, or Visit [iducc.com](http://iducc.com) for e-mail notification information.

# Development Process Checklist

## Items Completed to Date:

- Submit a development application to a City or to Ada County
- The City or the County will transmit the development application to ACHD
- The ACHD **Planning Review Section** will receive the development application to review
- The **Planning Review Section** will do one of the following:
  - Send a "No Review" letter to the applicant stating that there are no site specific conditions of approval at this time.
  - Write a **Staff Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.
  - Write a **Commission Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.

## Items to be completed by Applicant:

- For **ALL** development applications, including those receiving a "No Review" letter:
  - The applicant should submit one set of engineered plans directly to ACHD for review by the **Development Review Section** for plan review and assessment of impact fees. (Note: if there are no site improvements required by ACHD, then architectural plans may be submitted for purposes of impact fee assessment.)
  - The applicant is required to get a permit from Construction Services (ACHD) for **ANY** work in the right-of-way, including, but not limited to, driveway approaches, street improvements and utility cuts.
- Pay Impact Fees prior to issuance of building permit. Impact fees cannot be paid prior to plan review approval.

### DID YOU REMEMBER:

#### *Construction (Non-Subdivisions)*

#### **Driveway or Property Approach(s)**

- Submit a "Driveway Approach Request" form to ACHD Construction (for approval by Development Services & Traffic Services). There is a one week turnaround for this approval.

#### **Working in the ACHD Right-of-Way**

- Four business days prior to starting work have a bonded contractor submit a "Temporary Highway Use Permit Application" to ACHD Construction – Permits along with:
  - a) Traffic Control Plan
  - b) An Erosion & Sediment Control Narrative & Plat, done by a Certified Plan Designer, if trench is >50' or you are placing >600 sf of concrete or asphalt.

#### *Construction (Subdivisions)*

#### **Sediment & Erosion Submittal**

- At least one week prior to setting up a Pre-Construction Meeting an Erosion & Sediment Control Narrative & Plan, done by a Certified Plan Designer, must be turned into ACHD Construction to be reviewed and approved by the ACHD Stormwater Section.

#### **Idaho Power Company**

- Vic Steelman at Idaho Power must have his IPCO approved set of subdivision utility plans prior to Pre-Con being scheduled.

- Final Approval from Development Services is required** prior to scheduling a Pre-Con.

## Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
  - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
  - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
  - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
  - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
  - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.



**CITY OF KUNA**  
**P.O. BOX 13**  
**KUNA, ID 83634**  
[www.KunaID.gov](http://www.KunaID.gov)

**MICHAEL L. BORZICK**  
**GIS MAPPING**

**Telephone (208) 287-1726; Fax (208) 287-1731**  
**Email: [mborzick@kunaID.gov](mailto:mborzick@kunaID.gov)**

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## **MEMORANDUM**

**TO:** Director of Kuna Planning and Zoning

**FROM:** In Place of the Kuna City Engineer  
Michael L. Borzick  
GIS Manager

**RE:** John Browning Annexation  
North of Hubbard Road and East of Patagonia 1 Subdivision  
Annexation Request  
17-04-AN

**DATE:** July 25, 2017

---

The City Engineer has reviewed the request of the above applicant dated May 16, 2017. It is noted that specific development plans are not provided except those implied as allowed or permitted in a "R-8" zone. The recommendation of the City is to proceed with this Annexation and address any issues and conditions raised below in connection with this application during plan review. Accordingly, the City GIS manager provides the following comments in lieu of a City Engineer:

### **1. Sanitary Sewer Needs**

- a) The applicant's property contains some scattered agriculture and does not appear to require immediate City service depending on the location of the existing drain field in regards to proposed buildings, parking areas, watermains, etc. Depending on the location of any drain fields or with additional development, it may require municipal sewer service. The City would ultimately recommend connection to City facilities at such time as existing systems fail or in connection with this future development.
- b) Wastewater from the applicant's property has the future option of being treated at the North Treatment Plant which has sufficient capacity to serve this site. The nearest point of connection for the Browning property is located within E Merino St near the Southeast corner of the Patagonia 1 Subdivision which sewer line discharges into the Danskin Lift Station. When connecting to the

sewer system, the applicant will need to abide by any relevant sewer reimbursement policies and agreements and any relevant connection fees.

- c) Applicant must conform to City of Kuna Sewer Master Plan.
- d) For assistance in locating existing facilities and understanding issues associated with connection, please contact the City GIS Manager at 287-1726.

## **2. Potable Water Needs**

- a) The applicant's property to be annexed is presently used under agriculture purposes, has at least one (1) private water system and does not require immediate City service unless the private well is too close to the septic system. The City Engineer recommends connection to City facilities at the commencement of development because facilities are now within 300'.
- b) The nearest point of connection for this property is in an 8-inch water main within E Merino St and E Hubbard Rd. When connecting to the water system, the applicant will need to abide by any relevant water reimbursement policies and agreements and any relevant connection fees.
- c) Improvements necessary to provide adequate fire protection as required by Kuna Fire District will be required of the development.
- d) Applicant must conform to City of Kuna Water Master Plan.
- e) For assistance in locating existing facilities, please contact the City GIS Manager at 287-1726.

## **3. Pressure Irrigation**

- a) The property's irrigation needs are presently served from surface water rights delivered through local canals and from private wells and does not require immediate City service. The applicants' property will need to show how they can maintain surface water rights for proper irrigation or they will need to connect to the City's Pressurized Irrigation system so public potable water is not used for irrigation purposes. The City recommends ultimate connection to City facilities in connection with future development or when facilities are within 300' of the dwelling.
- b) The nearest point of connection for the property is directly adjacent and to the West in an 12-inch pressure irrigation main. When connecting to the pressure irrigation system, the applicant will need to abide by any relevant pressure irrigation reimbursement policies and agreements and any relevant connection fees.
- c) As a condition related to paragraph 3(a), connection to pressure irrigation shall constitute an automatic petition for inclusion in the municipal irrigation system and an agreement to the pooling of this property's water rights for delivery purposes.
- d) Applicant must conform to City of Kuna Irrigation Master Plan.
- e) For assistance in locating existing facilities, please contact the City GIS Manager at 287-1726.

## **4. Grading and Storm Drainage**

The following is not required for annexation but will be required when alteration of surface features is proposed (such as grading or paving) in connection with future land use applications:

- a) Please provide a grading and drainage plan which supports and maintains all upstream drainage rights and all downstream irrigation delivery rights as they presently exist for this property.
- b) If impervious area is increased, please provide a storm water disposal plan acceptable to the City Engineer which accounts for the increased storm water drainage. Please provide detail drawings of

drainage facilities for review. The city relies on the ACHD Storm water policy as guidance for design.

- c) Any increase in quantity or rate of runoff or decrease in quality of runoff from the site compared to historical conditions must be detained, treated and released at rates no greater than historical amounts.
- d) If offsite disposal of storm water in excess of historical rates or conditions is proposed, or disposed at locations different than provided historically, the approval of the affected entities is required.

## 5. General

- a) With the addition of this property into the corporate limits of Kuna and its potential connection to both potable water and irrigation services, this property will be placing demand not only on constructed facilities but on water rights provided by others. It is the reasonable expectation, in return, that this property transfer to the City at time of connection (ie development) any conveyable water rights by deed and “Change of Ownership” form from IDWR that are presently associated with the property. The domestic water right associated solely with a residence and ½ acre or less is not conveyable. The water right held in trust by an irrigation district is also not conveyable.
- b) A plan approval letter will be required if this project affects any local irrigation districts.
- c) Verify that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties.
- d) State the vertical datum used for elevations on all drawings.
- e) Provide engineering certification on all final engineering drawings.

## 6. Inspection Fees

An inspection fee will be required for City inspection of the construction of any **public** water, sewer and irrigation facility associated with this development. The developer will still require a qualified responsible engineer to do sufficient inspection to justly certify to DEQ the project was completed in accordance with approved plans and specifications and to provide accurate as-built drawings to the City. The developer’s engineer and the City’s inspector are permitted to coordinate inspections as much as possible. The current inspection fee is \$1.00 per lineal foot of sewer, water and pressure irrigation pipe and payment is due and payable prior to City’s approval of final construction plans.

## 7. Right-of-Way

The subject property fronts on existing section line arterial street (Hubbard Road). The following conditions are related to these classified streets and future quarter line classified streets and apply at the time of additional development:

- a) Sufficient half right-of-way on the quarter line and section line for existing and future classified streets should be provided pursuant to City and ACHD standards. The City recommends right-of-way at full width is provided across the entire Hubbard Rd frontage, including proposed out-parcel.
- b) It is recommended new and existing approaches onto the classified streets comply with ACHD approach policies.
- c) It is recommended sidewalk, curb and gutter, street widening and any related storm drainage facilities, consistent with city code and policies, are provided at the time of land-use change or re-development.

**8. As-Built Drawings**

As-built drawings are required at the conclusion of any public facility construction project and are the responsibility of the developer's engineer. The city may help track changes, but will not be responsible for the finished product. As-built drawings will be required before occupancy or final plat approval is granted.

**9. Property Description**

a) The applicant provided a metes and bounds property description of the subject parcel.

We look forward to working with you on this project. If we may be of further assistance, feel free to contact me at 287-1726.

Sincerely,

*Michael L. Borzick*

Michael L. Borzick  
GIS Mapper

PRIMOWNER  
ARBOR RIDGE LLC  
BERKELEY BUILDING COMPANY INC  
BROWNING JOHN W  
COLBERT RONALD  
JOHNSON T J  
KOUDELKA J J JR  
KW HOMES INC  
PATAGONIA DEVELOPMENT LLC  
RIVERWOOD HOMES INC  
SCHROEDER ENTERPRISES  
STACY CONSTRUCTION INC  
STYLISH HOMES LLC

SECOWNER  
  
COLBERT TAMARA  
JOHNSON G ELAINE  
KOUDELKA MADGE H

ADDCONCAT  
P O BOX 344  
PO BOX 5927  
880 E HUBBARD RD  
590 E RAISON CT  
2425 N LOCUST GROVE RD  
PO BOX 1564  
3866 S LAMONE WAY  
PO BOX 344  
PO BOX 344  
1825 E SPIRIT HAWK LN  
1200 E WATERTOWER ST  
12849 N 12TH AVE

STATCONCAT

MERIDIAN, ID 83680-0000

BOISE, ID 83705-0000

KUNA, ID 83634-0000

KUNA, ID 83634-0000

KUNA, ID 83634-1313

NAMPA, ID 83653-1564

MERIDIAN, ID 83642-0000

MERIDIAN, ID 83680-0000

MERIDIAN, ID 83680-0000

KUNA, ID 83634-0000

MERIDIAN, ID 83642-5028

GARDEN CITY, ID 83714-0000

**SCHROEDER ENTERPRISES  
1825 E SPIRIT HAWK LN  
KUNA, ID 83634**

**BERKELEY BUILDING COMPANY  
PO BOX 5927  
BOISE, ID 83705**

**John Browning  
880 E HUBBARD RD  
KUNA, ID 83634**

**ARBOR RIDGE LLC  
P O BOX 344  
MERIDIAN, ID 83680**

**Elaine Johnson  
2425 N LOCUST GROVE RD  
KUNA, ID 83634**

**Madge Koudelka  
PO BOX 1564  
NAMPA, ID 83653**

**Ronald & Tamara Colbert  
590 E RAISON CT  
KUNA, ID 83634**

**PATAGONIA DEVELOPMENT LLC  
PO BOX 344  
MERIDIAN, ID 83680**

**RIVERWOOD HOMES INC  
PO BOX 344  
MERIDIAN, ID 83680**

**KW HOMES INC  
3866 S LAMONE WAY  
MERIDIAN, ID 83642**

**STACY CONSTRUCTION INC  
1200 E WATERTOWER ST  
MERIDIAN, ID 83642**

**STYLISH HOMES LLC  
12849 N 12TH AVE  
GARDEN CITY, ID 83714**

**SCHROEDER ENTERPRISES  
1825 E SPIRIT HAWK LN  
KUNA, ID 83634**

**BERKELEY BUILDING COMPANY  
PO BOX 5927  
BOISE, ID 83705**

**John Browning  
880 E HUBBARD RD  
KUNA, ID 83634**

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1200 E WATERTOWER ST  
MERIDIAN, ID 83642**

**STYLISH HOMES LLC  
12849 N 12TH AVE  
GARDEN CITY, ID 83714**



**when it will be heard. The governing body has authority to adjust the schedule according to its discretion. Thus, anticipate attending from the beginning.**

**Speak to the point . . .**

The governing body appreciates pertinent, well organized, and concise comments. Redundant testimony is prohibited and **each individual is given three (3) minutes to comment.** Long stories, abstract complaints, or generalities may not be the best use of time. Neighborhood groups are encouraged to organize testimony and have one (1) person speak on behalf of the group -- "opposition representative," like the applicant's representative, receives 10 minutes to make comments. Applicant has five (5) minutes to rebut or discuss issues raised by any opposition.

**If you don't wish to speak, write . . .**

At most hearings, previously submitted written testimony may be reviewed by the governing body before the meeting. It is unreasonable to submit extensive written comments or information at the hearing and expect them to be reviewed prior to a decision. All documents or written comments should be submitted to the City of Kuna at least one (1) week **prior** to the hearing.

**Suggestions For Testifying at the Public Hearing:**

**Be informed . . .**

Review the proposal, the staff report, applicable provisions of the ordinance and comprehensive plan.

**Be on time . . .**

**Although the item you are interested in may not be first on the agenda, you never know**

**DO NOT FORGET**

the gym. For more information, please contact Laurie Weatherby at 208-955-0200 ext. 2096 or 208-861-9491.

■ Support the troops by attending VFW's Veterans Breakfast 7-11 a.m. Saturday

is sponsored by Kuna VFW Post #7019. For tickets and information call Dave at 208-861-9131.

■ The Holiday Artist and Crafters Show is 10 a.m. to 5 p.m. Saturday, Nov. 11 at

to collect donations to help those in need, admission is one can of food per person for admission to the talent show. Additional donations will be collected at the door.

■ Kuna Mayor Joe Stear will give his State of the City address 6 p.m. Thursday, Nov. 16 at Kuna City Hall. The

event is free and open to the public. Refreshments will be available.

■ The Mary Woodbury Memorial 5K is 9:30 a.m. Saturday, Nov. 18 starting at Kuna Park (Greenbell). Register on Facebook.

ALX STEVENS/KUNA M  
 ■ Melba senior center annual Christmas bazaar 9 a.m. to 3 p.m. Saturday, Nov. 18. If you are wanting to serve a spot for a booth at the center at 208-495-

■ Kuna Senior Center is hosting a Fall Bazaar

# LEGAL NOTICES

## LEGAL NOTICE

File # 17-08-AN  
 (Annexation); Danskin  
 Ridge Subdivisions  
 No.'s 2, 3 & 5

NOTICE IS HEREBY GIVEN; the Kuna Planning & Zoning Commission will hold a public hearing, Tuesday, November 27, 2017 at 6:00 pm, or as soon as can be heard at Kuna City Hall, 751 W. 4th St., Kuna, ID; in connection with a request from the City of Kuna, Idaho to annex approximately 37.9 acres; also known as Danskin Ridge Subdivisions No.'s 2, 3 and 5, and portions of No. 1, into Kuna City limits with an R-2 zoning designation.

The subject lands are located on W. Columbia Road approximately 850 feet east of S. Ten Mile Road, Kuna, ID 83634; in the Northwest quarter, and the Northeast quarter of the Northwest quarter of Section 11, Township 2 North, Range 1 West, Boise Meridian, Kuna, Ada County.

All persons wishing to testify must state his/her name and residential address. No person shall speak until recognized by the Chairman. A three (3) minute time limit may be placed on all testimony.

The public is invited to present written and/or oral comments. Any written testimony must be received by close of business November 23rd, 2017, or it may not be considered. Please mail to P.O. Box 13 Kuna, ID 83634, or drop off at City Hall 751 W. 4th Street, Kuna, ID.

Please do not contact anyone who would be involved in this decision-making process, which includes the Planning & Zoning Commissioners, City Council Members, or the Mayor; as such private conversations would be considered ex parte (one sided) and could jeopardize the public hearing process.

If you have any questions or require special accommodations, please contact the Kuna Planning & Zoning Department prior to the meeting at 922-5274.

Kuna Planning & Zoning  
 Department

November 8, 2017

1692256

## LEGAL NOTICE

File #'s 17-11-S  
 (Subdivision)  
 Merino Cove Subdivision

NOTICE IS HEREBY GIVEN; the Kuna Planning & Zoning Commission will hold a public hearing, Tuesday, November 28, 2017 at 6:00 pm, or as soon as can be heard at Kuna City Hall, 751 W. 4th St., Kuna, ID; in connection with a request from Quadrant consulting, representing Variable Construction for preliminary plat and Design Review approval for an approximately 6.8-acre subject parcel within an existing R-6 zone, in order to subdivide the land into 25 single family lots, and an additional two (2) common lots. The site is located on the north side of W. Hubbard Road, approximately 500 feet east of S. Magellan Avenue; addressed as 882 E. Hubbard Road, Kuna, Idaho 83634 (APN#: #S1407347180).

All persons wishing to testify must state his/her name and residential address. No person shall speak until recognized by the Chairman. A three (3) minute time limit may be placed on all testimony.

The public is invited to present written and/or oral comments. Any written testimony must be received by close of business November 23, 2017, or it may not be considered. Please mail to P.O. Box 13 Kuna, ID 83634, or drop off at City Hall 751 W. 4th Street, Kuna, ID.

Please do not contact anyone who would be involved in this decision-making process, which includes the Planning & Zoning Commissioners, City Council Members, or the Mayor; as such private conversations would be considered ex parte (one sided) and could jeopardize the public hearing process.

If you have any questions or require special accommodations, please contact the Kuna Planning & Zoning Department prior to the meeting at 922-5274.

Kuna Planning & Zoning  
 Department

November 8, 2017

1692261

# PUZZLE SOLUTIONS

B	A	L	S	A	S	I	B	B	R	A	T		
A	M	O	N	G	E	K	E	P	O	O	C	H	
G	O	G	O	L	W	E	E	E	N	T	R	Y	
K	O	R	E	A	N	F	R	A	N	C	E		
		T	A	B	C	Y	A	N					
H	A	Y	M	E	S	A	T	U	N	E	U	P	
A	C	E	S	T	H	R	U	T	E	M	P	O	
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		B	E	R	L	I	N	P	O	W	E	L	L
E	E	R	I	E	T	W	O	I	V	I	E	D	
B	L	I	N	D	E	W	E	N	E	R	V	E	
B	L	E	D		R	I	M	D	R	A	I	N	

4	6	2
5	7	9
8	3	1
2	4	6
1	8	7
3	9	5
7	5	3
6	2	8
9	1	4

# PETS OF THE WEEK



**ZORRO** is a 1½-year old, 58-pound neutered male border collie-German shorthaired Pointer mix. Intelligent, athletic and shy. Eager to please and will benefit

from obedience training. Will do best in an active home. Loving and loyal to those he trusts. (Kennel 407 - #35428187)



Brought in as a stray (Kennel 2 - #3647)

The Idaho Humane Society is located at 4775 Dorman St. and open from 10 a.m. to 6 p.m. every day. The PetSmart Everyday Adoption Center is located at 130 N. Milwaukee St. and open from 11 a.m. to 7 p.m. every day except Sunday, when it closes at 6 p.m. You can learn more and see other adoptable pets at idahohumane.org.



**AUTOMOTIVE REPAIR**

**ELECTRICIAN**

**FINANCIAL**

**LUMBER**

AFFIDAVIT OF SIGN POSTING

STATE OF Idaho )  
 ) ss:  
County of Ada )

I, Blue Sun Posting LLC, rep. Mike Brown,  
being first duly sworn upon oath, depose and say:

In accordance with the City of Kuna public hearing process listed in KCC 5-1A-8,  
I personally posted or attest that the subject property was properly posted on,  
18-Nov-17 which is at least ten (10) days prior to the scheduled  
public hearing for Merino Cove  
Planning and Zoning Hearing on 11/28/17

I have submitted photograph(s) of the posting to the City, concurrent with this  
affidavit. The sign(s) will be removed no later than three (3) days after the public  
hearing.

Dated this 20th day of November, 2017.

Signature Mike Brown  
Digitally signed by Mike Brown  
Date: 2017.11.20 20:47:05  
-07'00'

On this 20th day of November, 2017 before me,  
the undersigned, a Notary Public in and for said State, personally appeared  
Blue Sun Posting LLC, rep. Mike Brown known or identified to me  
to be the Company, Corporation or Entity that executed the foregoing instrument  
or the person who executed the foregoing instrument on behalf of said Company,  
Corporation or Entity, and acknowledged to me that such Company, Corporation  
or Entity executed the same.

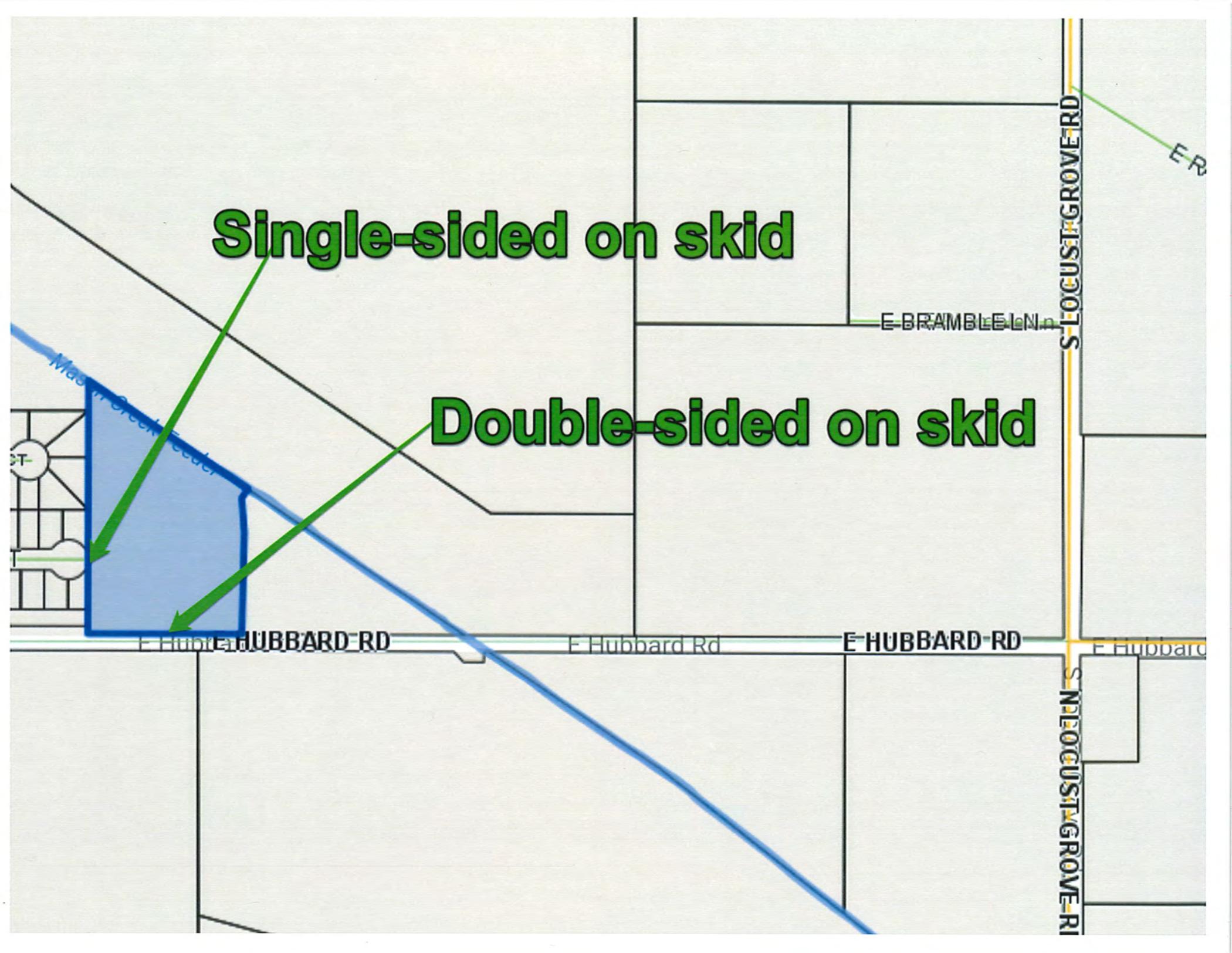
IN WITNESS WHEREOF, I have hereto set my hand and affixed my  
official seal the day and year in this certificate written.



[Signature]  
Notary Public for Idaho  
Residing at McAdams Id  
My commission expires: 7-23-17

**Single-sided on skid**

**Double-sided on skid**









# City of Kuna

## P & Z Staff Report

P.O. Box 13  
Phone: (208) 922-5274  
Fax: (208) 922-5989  
[www.Kunacity.id.gov](http://www.Kunacity.id.gov)

**To:** Planning and Zoning Commission (**P & Z**)

**Case Numbers:** 17-10-S (Subdivision) & 17-23-DR (Design Review)  
**Gran Prado Sub**

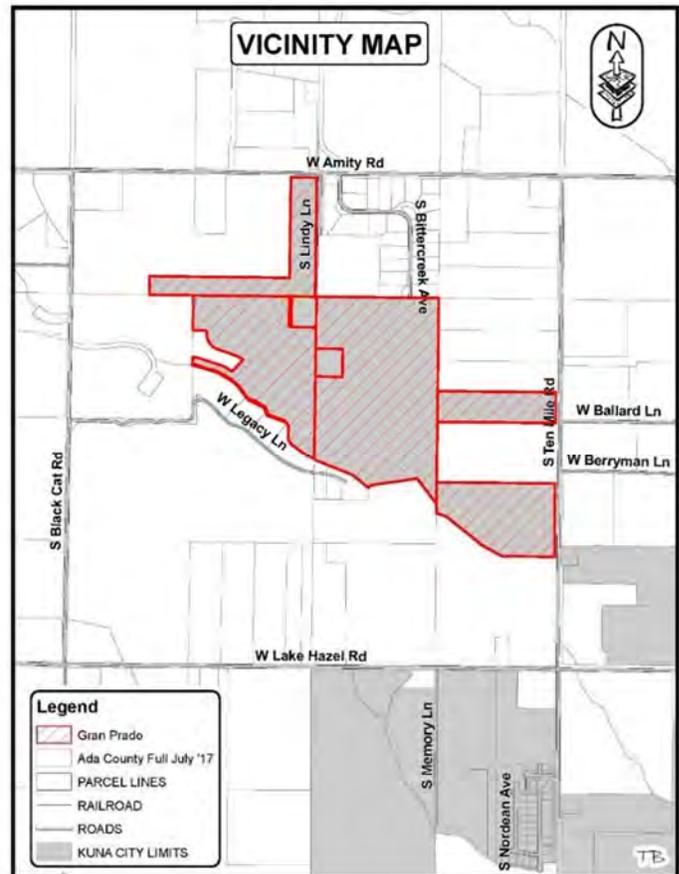
**Site Location:** Near the northwest and northeast Corner of Ten Mile and Lake Hazel Roads,  
Meridian, Idaho 83642

**Planner:** Troy Behunin,  
Planner III

**Hearing Date:** *November 28, 2017*

**Engineer:** **KM Engineering**  
Kirsti Grabo  
9233 W. State St,  
Boise, ID 83714  
208.639.6930  
[KGrabo@kmengllp.com](mailto:KGrabo@kmengllp.com)

**Owners (2):** *Renascence Farm, LLC  
& Waters Edge Farm, LLC,*  
6152 W. Half Moon Ln.  
Eagle, ID, 83616



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### A. Process and Noticing:

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states that design reviews are designated as *public meetings*, with the Planning and Zoning Commission (acting as the Design Review Board) as the decision-making body; and that preliminary plats are designated as public hearings, with the P & Z Commission as a recommending body and City Council as the decision making body. These land use applications were given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Local Planning Act.

**a. Notifications**

- |                                  |                                    |
|----------------------------------|------------------------------------|
| i. Neighborhood Meeting          | June 7, 2017 (12 persons attended) |
| ii. Agency Comment Request       | September 20, 2017                 |
| iii. 350' Property Owners Notice | November 3 and 6, 2017             |
| iv. Kuna, Melba Newspaper        | October 25, 2017                   |
| v. Site Posted                   | November 2, 2017                   |

**B. Applicant's Request:**

On behalf of Renaissance Farm, LLC and Waters Edge Farm, LLC, the applicant Kirsti Grabo with KM Engineering, requests approval to subdivide approximately 132.80 acres, (previously zoned R-4), into 530 single family residential lots and 67 common lots, with one shared driveway and have reserved the name Gran Prado Subdivision. A Design Review application for the 67 common areas and buffer landscaping accompanies this application. The site is located at the northwest corner of Ten Mile and Lake Hazel Roads, and is located Between Amity and Lake Hazel, west of Ten Mile Road, Kuna, Idaho, In Section 34, T 23N, R 1W, APN #'s: (See the submitted application).

**C. Aerial Map:**



*©Copyrighted*

**D. Site History:**

These parcels were recently annexed into Kuna city limits, with historical uses, ranging from residential to farming.

**E. General Projects Facts:**

1. **Comprehensive Plan Map:** The Future Land Use Map (Comp Plan Map) is intended to serve as a *guide* for the decision making body for the City. The Comp Plan map indicates land use designations generally speaking, it is not the actual zone. Kuna's Council recently granted these lands the R-4 zone, which is the border between Low and Medium Density Residential.

2. **Recreation and Pathways Map:** The Recreation and Pathways Master Plan Map indicates a future trail through the northeast corner (NEC) of the site, situated along the Mason Creek feeder on the south side of the site. Accordingly, it is the City’s goal and desire to increase the number of trails and pathways in Kuna. Staff highly recommends that developers design and construct trails and pathways along frontages of their canals and ditches to comply with the Master Plan’s goals by either starting a pathway, or extending current ones at time of development.



3. **Surrounding Land Uses:**

<b>North</b>	RUT	Rural Urban Transition – Ada County
<b>South</b>	A	Agriculture – Kuna City
<b>East</b>	RR	Rural Residential – Ada County
<b>West</b>	C-1	Neighborhood Commercial – Kuna City

4. **Parcel Sizes, Current Zoning, Parcel Numbers:**

<b>Property Owner</b>	<b>Parcel Size (Approximately)</b>	<b>Current Zone: (RUT) Rural Urban Transition</b>	<b>Parcel Number</b>
Renascence Farms, LLC	57.12 acres	R-4, Kuna City	R0967660156
Renascence Farms, LLC	30.38 acres	R-4, Kuna City	R0967660155
Renascence Farms, LLC	9.64 acres	R-4, Kuna City	S1234142351
Renascence Farms, LLC	0.20 acres	R-4, Kuna City	R0967660151
Renascence Farms, LLC	14.96 acres	R-4, Kuna City	S1234212935
Renascence Farms, LLC	0.42 acres	R-4, Kuna City	S1234244310
Renascence Farms, LLC	0.44 acres	R-4, Kuna City	S1234121105
Renascence Farms, LLC	0.44 acres	R-4, Kuna City	S1234212405
Waters’ Edge Farm, LLC	19.2 acres	R-4, Kuna City	S1234417520
<b>Total Acres 132.81</b>			

5. **Services:**

- Sanitary Sewer– City of Kuna
- Potable Water – City of Kuna
- Pressurized Irrigation – City of Kuna (KMID)

Fire Protection – Meridian Rural Fire District  
Police Protection – Kuna Police (Ada County Sheriff's office)  
Sanitation Services – J & M Sanitation

6. **Existing Structures, Vegetation and Natural Features:**

Approximate 131 acres of these lands are being used for agricultural purposes while the remainder is being used as residential. Applicant anticipates that the land will continue the historic agricultural uses on the lands until future phases begin development. The current residences will remain as residential uses until development occurs. The site is relatively flat with an estimated average slope of 0% to 2% towards the Mason Creek Feeder. Bedrock depth is estimated to be between twenty and forty inches according to the USDA Soil Survey for Ada County

7. **Transportation / Connectivity:**

The applicant has proposed connections to public streets in three places for the project as a whole, in different phases and locations. All proposed access points will need to follow design standards according to City and ACHD (Ada County Highway Dist.) codes. Current legal points of access being used at this time may remain until development requires a change.

8. **Environmental Issues:**

Staff is not aware of any environmental issues, health or safety conflicts beyond the designation of being in the nitrate priority area. Idaho Department of Environmental Quality (DEQ) has provided recommendations for surface and groundwater protection practices and requirements for development of the site.

9. **Agency Responses:** The following responding agency comments are included as exhibits with this case file:

- Kuna City Public Works – Exhibit B-1
- Ada County Highway District (ACHD) – Exhibit B-2
- Boise Project Board of Control – Exhibit B-3
- Central District Health Department (CDHD) – Exhibit B-4
- Community Planning Association of Southwest Idaho (COMPASS) – Exhibit B-5
- Department of Environmental Quality – Exhibit B-6
- Idaho Transportation Department (ITD) – Exhibit B-7
- Meridian Fire Department – Exhibit B-8

F. **Staff Analysis:**

The applicant previously annexed the land as part of the Renaissance Farms and Mason Creek Farms application and now submits an application for subdivision, design review approvals and entitlements.

These properties were annexed into Kuna City limits with an approved for R-4 zoning (Low/Med. Density). During the public hearings for said annexation, certain development conditions were applied and approved by the Commission and City Council. Staff finds that this proposal conforms to each condition as outlined in the findings of fact and conclusions of law and concludes the developer has made every effort to be compliant with those conditions.

This project is adjacent to or near three principle arterials, Ten Mile, Amity and Lake Hazel Roads. All major public utilities are approximately 700 feet south of Lake Hazel Road. Applicant is aware that development of these parcels will require connection to all city services and associated connection fees at time of building permit submittal. It is anticipated that development will take a number of years for full build out, and may require up to ten (10) phases. It is also important to remember that the developer is connecting to City services in Ten Mile near Lake Hazel, and development will proceed west, as development typically follows sewer lines.

The applicant has met with Kuna and ACHD staffs on multiple occasions, in order to produce a development that fits the Kuna comp plan. In an effort to do so, those meetings have produced a pre plat that has been slightly altered to accommodate the changes required by ACHD. These changes have not affected the lot count, density, or the open spaces. Rather, these changes have improved traffic safety, enhanced walkability and reduced the impact to adjacent development. Two (2) significant changes are 1) the absence of an east west and a north south mid mile collector system, and replaced it with a modified east west residential collector. And 2) the applicant proposes no connection to South Bittercreek Avenue in the north east corner of this project. Normally, City code requires both of these design elements, however, due to site constraints, and concerns of neighboring residents, staff supports these changes and recommends acceptance of these deviations from City Code.

Kuna's Comprehensive Plan (Comp Plan), encourages a variety of housing types for all income levels numerous times throughout the document. Pertinent sections of the Comp Plan that address housing types are included below, in Section K (Comp Plan Analysis) of this report. The City attempts to balance all housing types within the City. Staff has reviewed the proposed preliminary plat for technical compliance with Kuna City Code (KCC), and finds the pre plat and landscape plan is in compliance with applicable codes. Staff would recommend that the applicant work with Kuna's staff, ACHD, and Kuna Rural Fire District (KRFD) to conform to each agency's requirements.

Applicant and City staff have discussed on several occasions the need for a lift station to serve the areas that will not be served by gravity sewer, and the pre plat has a location designed to fulfill that need in a later phase. Staff and applicant have also held discussions about the need for a domestic well site and pump/pond for pressure irrigation needs as well and the locations for those facilities.

A design review application was submitted for review prior to the required ACHD changes. Staff found that the landscape plan submitted followed the requirements in City code. It is for the Commission to decide if a new landscape plan reflecting the changes must be submitted for their review, or if the applicant should meet with staff to ensure conformance. All monument signage shall go to the Commission for review and approval. No application for signage was submitted with this application, and shall be submitted prior to installation.

Staff has determined this application complies with the goals and policies for Kuna City, Title 5 of the Kuna City Code; Idaho Statute § 67-6511; and the Kuna Comprehensive Plan document; and forwards a recommendation of approval for Case No's 17-10-S and 17-23-DR, subject to any conditions of approval outlined by Kuna's Commission and City Council.

**G. Applicable Standards:**

1. Kuna City Code Chapter 6 – Chapter 1-6; Subdivision Regulations,
2. City of Kuna Zoning Ordinance Title 5, Chapter 13.
3. City of Kuna Comprehensive Plan, adopted September 1, 2009.
4. City of Kuna Design Review Code Title 5, Chapter 4
5. City of Kuna Landscape Code Title 5, Chapter 17
6. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

**H. Procedural Background:**

On November 28, 2017, the Planning and Zoning Commission considered the case, including the application, agency comments, staff's memo, the application exhibits and public testimony presented or given.

**I. Factual Summary:**

These parcels are located near the northwest corners of Ten Mile and Lake Hazel Roads. The project consists of 132.80 (approx.) acres, within City limits and all parcels are zoned R-4 (Low Density Residential). Applicant requests

preliminary plat approval for 530 homes, 67 common lots and one shared driveway with access taken from Ten Mile in two places and Amity. All parcels in this application are near either Ten Mile Road, Lake Hazel Road or Amity Road; all roads are classified as principle arterials.

**J. Proposed Findings of Fact:**

Based upon the record contained in Case No's **17-10-S, and 17-23-DR** including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, including the exhibits, and the testimony during the public hearing, the Kuna Commission hereby recommends *approves/denies* the Findings of Fact and Conclusions of Law, and conditions of approval for Case No's 17-10-S, and 17-23-DR, a request for preliminary plat and design review approval by the applicant follows:

*The Council concludes that the applications do/do not comply with the City of Kuna's Zoning regulations (Title 5) of KCC and/or the Subdivision regulations outlined in title 6 of KCC.*

1. The Kuna Commission accepts the facts as outlined in the staff memo, the public testimony and the supporting evidence list presented.

**Comment:** *The Kuna Commission held a public hearing on the subject applications on November 28, 2017, to hear from City staff, the applicant and to accept public testimony. The decision by the Commission is based on the application, staff report and public testimony, both oral and written.*

2. Based on the evidence contained in Case No's 17-10-S, and 17-23-DR, this proposal appears to *generally* comply with the Comprehensive Plan and City Code.

**Comment:** *The Comp Plan has listed numerous goals for providing commercial, single-family and multi-family housing in Kuna. The Comp Plan Map designates this property as Medium Density. As this project proposes to accommodate commercial and residential uses the project generally follows the goals of the Comp Plan and the Comp Plan Map.*

3. The Kuna Commission has the authority to recommend approval or denial of these applications.

**Comment:** *On November 28, 2017, the Commission voted to recommend approval/denial of case No's 17-10-S, and 17-23-DR.*

4. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

**Comment:** *As noted in the process and noticing sections, notice requirements were met to hold a public hearing on November 28, 2017.*

**K. City Commissions Comprehensive Plan Analysis:**

Commission determines the proposed annexation and zoning request for the *site is/is not* consistent with the following Comp Plan components:

Housing:

Residents expressed interest in a mix of residential type dwellings applications; including a variety of housing. They were receptive to a greater mix of lot sizes and house price to appeal to a variety of people. A goal expressed by many was the preservation of large lots and rural cluster development in appropriate balance with a complement of other types of residential development (Page 21 Comprehensive Plan [CP]).

**Comment:** *The Comp Plan provides for a mix of residential uses. This project has proposed a zone that provides an opportunity for a variety of densities, therefore it generally conforms to the Comp Plan goals and policies.*

Private Property Rights Goals and Objectives - Section 2 - Summary:

Ensure the City land use policies, restrictions, conditions and fees do not violate private property rights and ensure that land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property. Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right and staff shall evaluate with guidance from the City's attorney; the Idaho Attorney General's six criterion established to determine the potential for property taking.

**Comment:** Utilizing the Idaho Attorney General's criteria, and a review by the City Attorney, the proposed project does not constitute a "takings" and the Economic value is intact.

Economic Development Goals and Objectives - Section 5 - Summary:

Promote and ensure an adequate supply of housing for all income levels and facilitate pedestrian connections, both visually and physically, to enhance pedestrian movement (Pg. 42 – 1.5 and Pg. 43 – 3.1 [CP]).

**Comment:** *The Comp Plan encourages an adequate mix of housing for all income levels and calls for increasing pedestrian connections. The requested zoning for this project provides an opportunity for a number of additional housing types to Kuna's inventory and quality housing. At time of development, this project should be conditioned to add to the City's pedestrian network for non-motorized transportation, by proposing pathway connections for development to connect to in the future.*

Land Use Goals and Objectives - Section 6 - Summary:

Adopt a future land use plan and map that includes natural and developed open spaces, while providing a variety of housing densities and types to accommodate various lifestyles, ages and economic groups. Protect existing neighborhoods and ensure new development is sustainable and keeps Kuna desirable. Develop cohesive neighborhoods with character and quality while incorporating a variety of densities and styles (Pg. 64 – 3.1 & Goal 3, and Pg. 65 – 4.3 [CP]).

**Comment:** *The requested zoning provides for quality housing opportunities and multiple housing varieties to the City's inventory for all types of lifestyles, ages and economic groups.*

Housing Goals and Objectives - Section 12 - Summary:

Encourage developers to provide high-quality development with a variety of lot sizes, dwelling types, densities and price points to meet the needs of current and future population while creating safe and aesthetically-pleasing neighborhoods. Ensure housing is available throughout the community for all income levels and those with special needs. Encourage logical and orderly development while discouraging development of land divisions greater than one half acre because large lot subdivisions increase municipal costs, require public subsidy and create sprawl (Pg. 155 – Obj. 1.1, Pg. 163 12.4 and Pg. 165 – 2.1 [CP]).

**Comment:** *With the requested preliminary plat, applicant proposes a future high quality development with a variety of dwelling types, densities, and price points for all income levels Kuna as encouraged by the Comp Plan. In the future, this project could significantly add to the City's overall network of, utilities, sidewalks and roadways, therefore it complies with logical, orderly development and discourages land divisions and development greater than one half acre, and could avoid increased municipal services costs and sprawl.*

Community Design Goals and Objectives - Section 13 - Summary:

Strengthen Kuna's Image through good community and urban design principles that create well planned neighborhoods. Foster good community design concepts that incorporate landscape features to serve as buffers between incompatible uses while reducing scale and creates a sense of place (Pg.167 – Goal 1 and Pg. 168 – 1.2 and 2.1[CP]).

**Comment:** Applicant should be conditioned to offer good community and urban design principles through creation of greenspaces, add to the pedestrian pathway network and add to the City's sidewalk network. At time of future development, applicant shall improve classified roadways, which add to the roadway system thereby complying with the adopted Master Street Plan of Kuna (Functional Classified Road Map). At time of development, the applicant should be conditioned to incorporate landscape buffers creating a sense of place for citizens. In the future, applicant should be conditioned to follow sound community design concepts and comply with the Comp Plan goals and help strengthen Kuna's image.

**L. City Council's Idaho State Code Analysis:**

1. **IC §67-6511 (2) C** requires that the Commission analyze the proposed changes to zoning ordinances to ensure that they are not in conflict with the policies of the adopted comprehensive plan. If the request is found by the governing board to be in conflict with the adopted plan, **or** would result in demonstrable adverse impacts upon the delivery of services by any political subdivision providing public services, including school districts, within the planning jurisdiction.
2. **IC §67-6513** provides that the City provide for mitigation of the effects of subdivision development on the ability of political subdivisions of the state, including school districts, to deliver services without compromising quality of service delivery to current residents or imposing substantial additional costs upon current residents to accommodate the proposed subdivision.
3. Through discussions and comments submitted by public service providers, the project would not create demonstrable adverse impact to quality of emergency service and/or delivery of said services, or impose substantial additional costs to current residents.

**M. The Commission's Conclusions of Law:**

The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

1. The Commission feels the site *is/is not* physically suitable for development in the future.  
**Comment:** *The 132.80 acre (approximate) proposal does/does not appear to be suitable for annexation, as proposed.*
2. The preliminary plat and subdivision landscaping requests are not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.

**Comment:** *The land to be developed is not used as wildlife habitat. Roads, driveways, family units and open spaces are planned for construction according the City and ACHD requirements and best practices and will therefore not cause environmental damage or loss of habitat.*

3. These applications *are/are not* likely to cause adverse public health problems.

**Comment:** *The preliminary plat would generally comply with the Comp Plan. In the future, the project would connect to public sewer and potable water systems, therefore eliminating the occurrence of adverse public health problems.*

4. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

**Comment:** *Through correspondence with public service providers and application evaluation, this annexation request appears to avoid detriment to surrounding uses. Commission did consider the annexation and the location of the property with adjacent uses.*

5. The existing and proposed street and utility services in proximity to the site are suitable or adequate for future residential purposes.

**Comment:** *Correspondence from ACHD and Kuna Public Works confirms that the streets and utility services are suitable and adequate for a future project.*

6. Based on the evidence contained in Case No's 17-10-S, and 17-23-DR, Commission finds Case No's 17-10-S, and 17-23-DR do/do not adequately comply with Kuna City Code.
7. Based on the evidence contained in Case No's 17-10-S, and 17-23-DR, Commission finds Case No's 17-10-S, and 17-23-DR generally do/do not comply with Kuna City Codes.

**N. Recommended Conditions of Approval:**

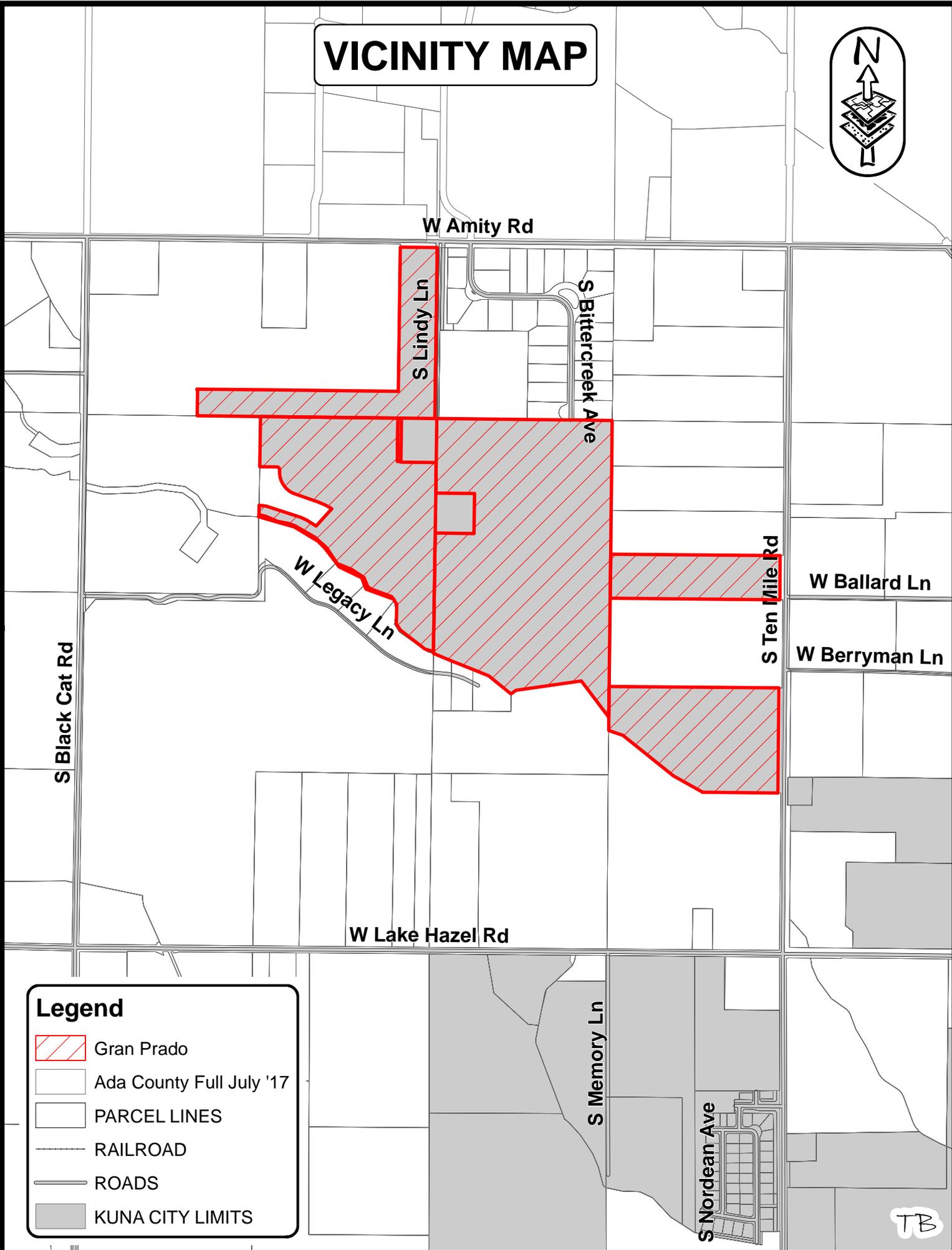
Based upon the Comp Plan, Kuna City Code, the record before the Commission, the applicant's presentation and testimony at the November 28, 2017, and discussion at the public hearing, the Kuna Commission votes to recommend approval/denial for Case No's 17-10-S, and 17-23-DR with the following conditions of approval:

1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
  - a. The City Engineer shall approve the sewer hook-ups.
  - b. The City Engineer shall approve the drainage and grading plans. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
  - c. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties".
  - d. The Meridian Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Meridian Fire District is required.
  - e. The *Boise-Kuna and Nampa-Meridian* Irrigation Districts shall approve any modifications to the existing irrigation system.
  - f. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
  - g. All public rights-of-way shall be dedicated and constructed to standards of the City and Ada County Highway District. No public street construction may commence without the approval and permit from Ada County Highway District.
2. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see **KCC 6-4-2-W**.
3. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
4. When required, submit a petition to the City (as necessary, confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and request to annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation system of the City (KMID).

5. Street lights and parking lights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Skies practices.
6. Parking within the site shall comply with Kuna City Code. (Unless specifically approved otherwise).
7. Fencing within and around the site shall comply with Kuna City Code (Unless specifically approved otherwise and permitted). Perimeter fencing (and permit) is required prior to requesting final plat signatures from Kuna City Clerk and Engineer.
8. All signage within/for the project shall comply with Kuna City Code and shall be approved in the design review process with all new commercial and multi-family.
9. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
10. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through public hearing processes.
11. Applicant shall follow staff, City engineers and other agency recommended requirements as applicable.
12. Developer/owner/applicant shall comply with all local, state and federal laws.

**DATED:** This \_\_\_\_ day of \_\_\_\_\_, 2017.

# VICINITY MAP



**Legend**

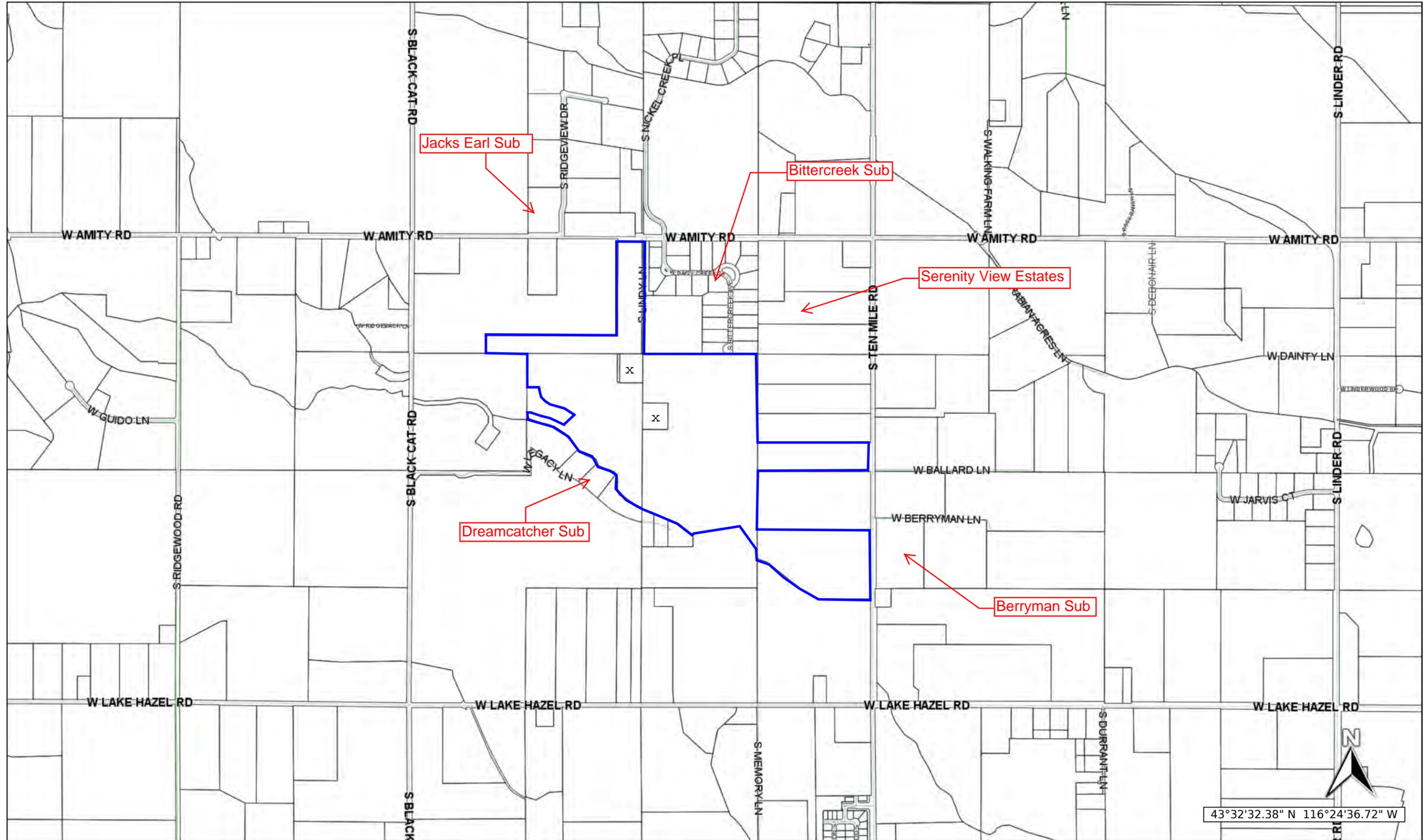
-  Gran Prado
-  Ada County Full July '17
-  PARCEL LINES
-  RAILROAD
-  ROADS
-  KUNA CITY LIMITS

TB

# Gran Prado Subdivision

## Vicinity Map

x = outparcel





August 25, 2017  
Project No.: 16-152

Mr. Troy Behunin  
Planning & Zoning Department  
City of Kuna  
751 West 4<sup>th</sup> Street  
Kuna, ID 83634

**RE: Gran Prado Subdivision – Kuna, ID  
Preliminary Plat, Design Review, Lot Line Adjustment, and Lot Split Applications**

Dear Mr. Behunin:

On behalf of Renascence Farm, LLC, and Waters Edge Farm, LLC, we are pleased to submit the attached applications and required supplements for preliminary plat and design review of Gran Prado Subdivision. This application package also includes the necessary materials for a lot line adjustment and lot split for the Andersons, as well as a lot line adjustment and lot split for the Spauldings, both of whom own outparcels within the subdivision boundary.

Gran Prado Subdivision

The subject property is approximately 133 acres of agricultural ground identified as follows:

Parcel Number	Address	Owner	Approximate Acreage
R0967660156	S. Bittercreek Ave.	Renascence Farm, LLC	57.12
R0967660155	S. Bittercreek Ave.	Renascence Farm, LLC	30.38
S1234142351	5561 S. Ten Mile Rd.	Renascence Farm, LLC	9.64
R0967660151	S. Bittercreek Ave	Renascence Farm, LLC	0.20
S1234212935	W. Amity Rd.	Renascence Farm, LLC	14.97
S1234244310	S. Bittercreek Ave.	Renascence Farm, LLC	0.42
S1234121105	W. Amity Rd.	Renascence Farm, LLC	0.44
S1234212405	W. Amity Rd.	Renascence Farm, LLC	0.44
S1234417520	5975 S. Ten Mile Rd.	Waters Edge Farm, LLC	19.2
			132.81

As you know, these properties were annexed into the City of Kuna earlier this year with the R-4 zone. The attached preliminary plat proposes 530 buildable single-family residential lots, 67 common lots, and 1 shared driveway lot for a total of 598 lots. The layout reflects a gross density of 4.0 units per acre, which is consistent with the R-4 zone. The project includes 12.5 acres of open space including walking paths to provide pedestrian connectivity throughout the neighborhood, as well as a large area for a pool and changing rooms. At this time, it is anticipated that the open space within the subdivision will be owned and maintained by the homeowners' association, and draft CC&Rs including language for maintenance of the common lots are included herewith.

Gran Prado Subdivision will be constructed in phases, and a phasing plan is included on the preliminary plat. This plan is intended to be conceptual only, as the phasing will ultimately be dictated by market conditions and demands.

As you can see on the preliminary plat, we are proposing access to the subdivision via two connections to Ten Mile Road and one connection to Amity Road. A number of stub streets are also provided to the surrounding undeveloped parcels for future connectivity. Phase 1 will be located in the southeast corner of the project and proposes one permanent connection to Ten Mile Road. A second temporary access to Ten Mile Road will be constructed with Phase 1 to accommodate emergency services until the second permanent connection to Ten Mile is completed in subsequent phases.

A Traffic Impact Study has been completed and submitted to ACHD for review, and the owner has coordinated extensively with ACHD regarding future improvements to Ten Mile and Amity Roads. Further, the owner has conducted multiple meetings with Kuna's City Engineer to understand sewer, water, and pressure irrigation facilities, each of which will be extended north from their current terminus in Ten Mile Road. These extensions will not only serve this property, but also aid the City in expanding vital infrastructure for its growing population.

We are not aware of any concerns in regards to other public services in the area and don't expect the project to create excessive additional requirements at the public's expense for public facilities and services because services will be supported by property taxes and/or fees paid directly to the service providers.

At this time, there are no known health, safety, or environmental problems that currently exist or that will be created by this development.

#### Design Review

Included with this submittal package is the design review application for common area landscaping within the subdivision. The new landscaping will consist of a combination of trees, shrubs, and other landscape and hardscape materials, which are detailed on the attached landscape plans, and we believe that the design complies with the City's Design Review standards. The pool and changing room schematic will be submitted for Design Review at a later date as the project progresses to that phase.

#### Anderson Lot Line Adjustment

In conjunction with the Gran Prado preliminary plat, we have included an application for a lot line adjustment and lot split for the Anderson outparcel. This outparcel is approximately 2 acres, is identified as Parcel No. S1234244200, and is annexed into the City with the R-4 zone. This lot line adjustment will rectify existing boundary issues while accommodating the subdivision layout, while the split will allow Mr. and Mrs. Anderson to have two buildable parcels for future use. Please see the attached exhibits for further details on the adjustment and split. Upon City approval, the appropriate Record of Survey and accompanying deeds with legal descriptions will be prepared and recorded to finalize the changes.

#### Spaulding Lot Line Adjustment and Lot Split

Also included with this submittal are applications for a lot line adjustment and lot split for the Spaulding outparcel. This outparcel is approximately 2 acres, is identified as Parcel No. S1234131300, and is annexed into the City with the R-4 zone. The adjustment will accommodate the subdivision layout and the split will allow Mr. and Mrs. Spaulding to have two buildable parcels for future use. Please see the attached exhibits for further details on the adjustment and split. Upon City approval, the appropriate Record of Survey and accompanying deeds with legal descriptions will be prepared and recorded to finalize the changes.

Should you have questions or require further information in order to process this application, please feel free to contact me.

Sincerely,  
**KM Engineering, LLP**

A handwritten signature in black ink, appearing to read "K Grabo".

Kirsti Grabo  
Development Coordinator

cc:     Renascence Farm, LLC  
          Waters Edge Farm, LLC  
          Mr. & Mrs. Spaulding  
          Mr. & Mrs. Anderson



City of Kuna  
 Planning & Zoning  
 Department  
 P.O. Box 13  
 Kuna, Idaho 83634  
 208.922.5274  
 Fax: 208.922.5989  
 Website: www.kunacity.id.gov

## Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

\*Please submit the appropriate checklist (s) with application

### Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	17-10-S (Sub) 17-23-DR (Design Rev.)
Project name	Gran Prado Sub
Date Received	8.25.2017- Late PM
Date Accepted/ Complete	9.21.2017
Cross Reference Files	
Commission Hearing Date	11.28. 2017 (Tabled on 11.14.17)
City Council Hearing Date	

### Contact/Applicant Information

Owners of Record: <u>Renascence Farm, LLC</u> and <u>Waters Edge Farm, LLC</u> Address: <u>6152 West Half Moon Lane</u> City, State, Zip: <u>Eagle, ID 83616</u>	Phone Number: _____ E-Mail: _____ Fax #: _____
Applicant (Developer): <u>same</u> Address: _____ City, State, Zip: _____	Phone Number: _____ E-Mail: _____ Fax #: _____
Engineer/Representative: <u>KM Engineering</u> Address: <u>9233 West State Street</u> City, State, Zip: <u>Boise, ID 83714</u>	Phone Number: <u>208.639.6939</u> E-Mail: <u>kqrabo@kmenqllp.com</u> Fax #: <u>208.639.6930</u>

### Subject Property Information

Site Address: <u>West Amity and South Ten Mile</u>
Site Location (Cross Streets): <u>South of Amity between Ten Mile &amp; Black Cat</u>
Parcel Number (s): <u>see letter</u>
Section, Township, Range: <u>Sections 34 &amp; 35, T3N, R1W</u>
Property size : <u>132.8 ac</u>
Current land use: <u>Agricultural</u> Proposed land use: <u>SFR</u>
Current zoning district: <u>R4</u> Proposed zoning district: <u>R4</u>

**Project Description**

Project / subdivision name: Gran Prado Subdivision  
General description of proposed project / request: residential subdivision

Type of use proposed (check all that apply):  
 Residential single-family  
 Commercial \_\_\_\_\_  
 Office \_\_\_\_\_  
 Industrial \_\_\_\_\_  
 Other \_\_\_\_\_

Amenities provided with this development (if applicable): pool, changing rooms, pathways, open space

**Residential Project Summary (if applicable)**

Are there existing buildings?  Yes  No  
Please describe the existing buildings: one house and miscellaneous outbuildings  
Any existing buildings to remain?  Yes  No  
Number of residential units: 530 Number of building lots: 530  
Number of common and/or other lots: 67 common lots + 1 shared driveway lot  
Type of dwellings proposed:  
 Single-Family \_\_\_\_\_  
 Townhouses \_\_\_\_\_  
 Duplexes \_\_\_\_\_  
 Multi-Family \_\_\_\_\_  
 Other \_\_\_\_\_  
Minimum Square footage of structure (s): \_\_\_\_\_  
Gross density (DU/acre-total property): 4.0 Net density (DU/acre-excluding roads): 5.27  
Percentage of open space provided: 9.4% Acreage of open space: 12.5 ac  
Type of open space provided (i.e. landscaping, public, common, etc.): landscaped common areas with walking paths and a pool with changing rooms

**Non-Residential Project Summary (if applicable)**

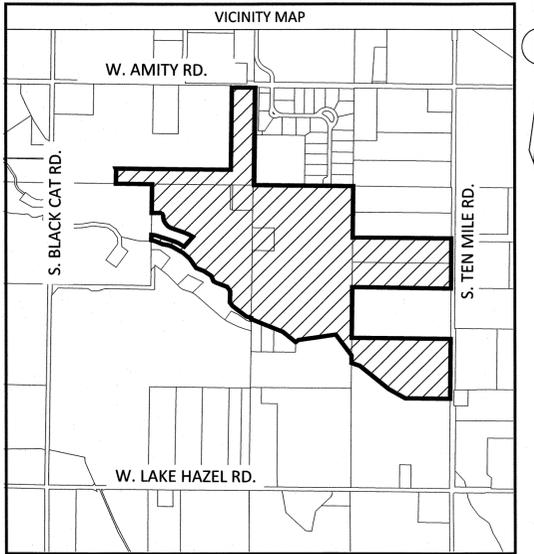
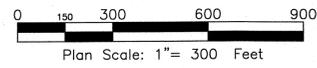
~~Number of building lots: \_\_\_\_\_ Other lots: \_\_\_\_\_  
Gross floor area square footage: \_\_\_\_\_ Existing (if applicable): \_\_\_\_\_  
Hours of operation (days & hours): \_\_\_\_\_ Building height: \_\_\_\_\_  
Total number of employees: \_\_\_\_\_ Max. number of employees at one time: \_\_\_\_\_  
Number and ages of students/children: \_\_\_\_\_ Seating capacity: \_\_\_\_\_  
Fencing type, size & location (proposed or existing to remain): \_\_\_\_\_  
Proposed Parking: a. Handicapped spaces: \_\_\_\_\_ Dimensions: \_\_\_\_\_  
b. Total Parking spaces: \_\_\_\_\_ Dimensions: \_\_\_\_\_  
c. Width of driveway aisle: \_\_\_\_\_  
Proposed Lighting: \_\_\_\_\_  
Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): \_\_\_\_\_~~

Applicant's Signature: [Signature] Date: 8-25-17  
*Rep*

# PRELIMINARY PLAT SHOWING GRAN PRADO SUBDIVISION

AUGUST 2017

A PORTION OF THE NORTHWEST 1/4, NORTHEAST 1/4, SOUTHEAST 1/4,  
AND NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 34,  
TOWNSHIP 3 NORTH, RANGE 1 EAST, BOISE MERIDIAN,  
ADA COUNTY, IDAHO

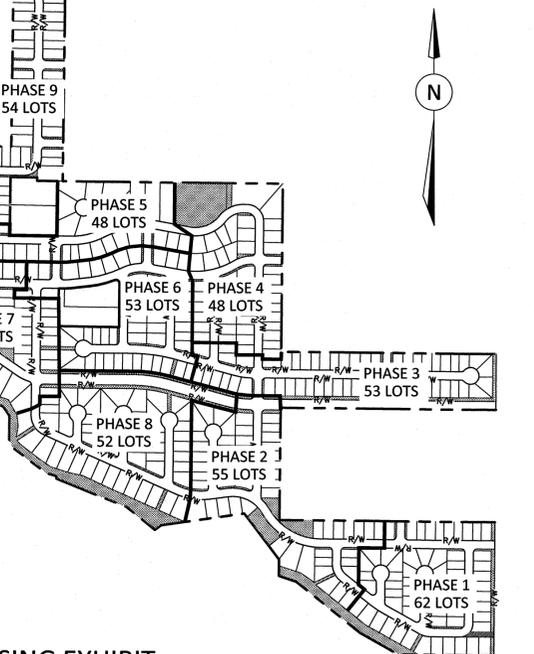


VICINITY MAP

NTS

## INDEX OF DRAWINGS

SHEET NO.	SHEET TITLE
SHEET PP 1.0	COVER SHEET
SHEET PP 1.1	EXISTING CONDITIONS PLAN
SHEET PP 2.0	PRELIMINARY PLAT - NORTH AREA
SHEET PP 2.1	PRELIMINARY PLAT - CENTER AREA
SHEET PP 2.2	PRELIMINARY PLAT - SOUTHEAST AREA
SHEET PP 3.0	ENGINEERING PLAN - NORTH AREA
SHEET PP 3.1	ENGINEERING PLAN - CENTRAL AREA
SHEET PP 3.2	ENGINEERING PLAN - SOUTHEAST AREA
SHEET PP 4.0	ENGINEERING PLAN - PRELIMINARY DRAINAGE
SHEET L 1.0	LANDSCAPE PLAN - COVER
SHEET L 2.0	LANDSCAPE PLAN
SHEET L 3.0	LANDSCAPE PLAN
SHEET L 4.0	LANDSCAPE PLAN
SHEET L 5.0	LANDSCAPE PLAN
SHEET L 6.0	LANDSCAPE PLAN



CONCEPTUAL PHASING EXHIBIT

NTS

## SURVEY CONTROL NOTES

- ALL SURVEY DATA IS BASED ON THE US GOVERNMENT HORIZONTAL (NAD83 ADJUSTED TO THE ADA COUNTY H.A.R.N. SURVEY) AND VERTICAL (NAVD 88) BENCHMARK DATUM.

## CONTACT INFORMATION

ENGINEERING CONSULTANT	OWNER
<b>KM ENGINEERING, LLP</b> 9233 WEST STATE STREET BOISE, IDAHO 83714 PHONE: (208) 639-6939 FAX: (208) 639-6930 CONTACT: KEVIN P. MCCARTHY, P.E. EMAIL: kevin@kmenllp.com	RENASCENCE FARM, LLC & WATERS EDGE FARM, LLC 8152 WEST HALF MOON LANE EAGLE, IDAHO 83618 CONTACT: TIM ECK

## GRAN PRADO SUBDIVISION COVER KUNA, IDAHO

### REVISIONS

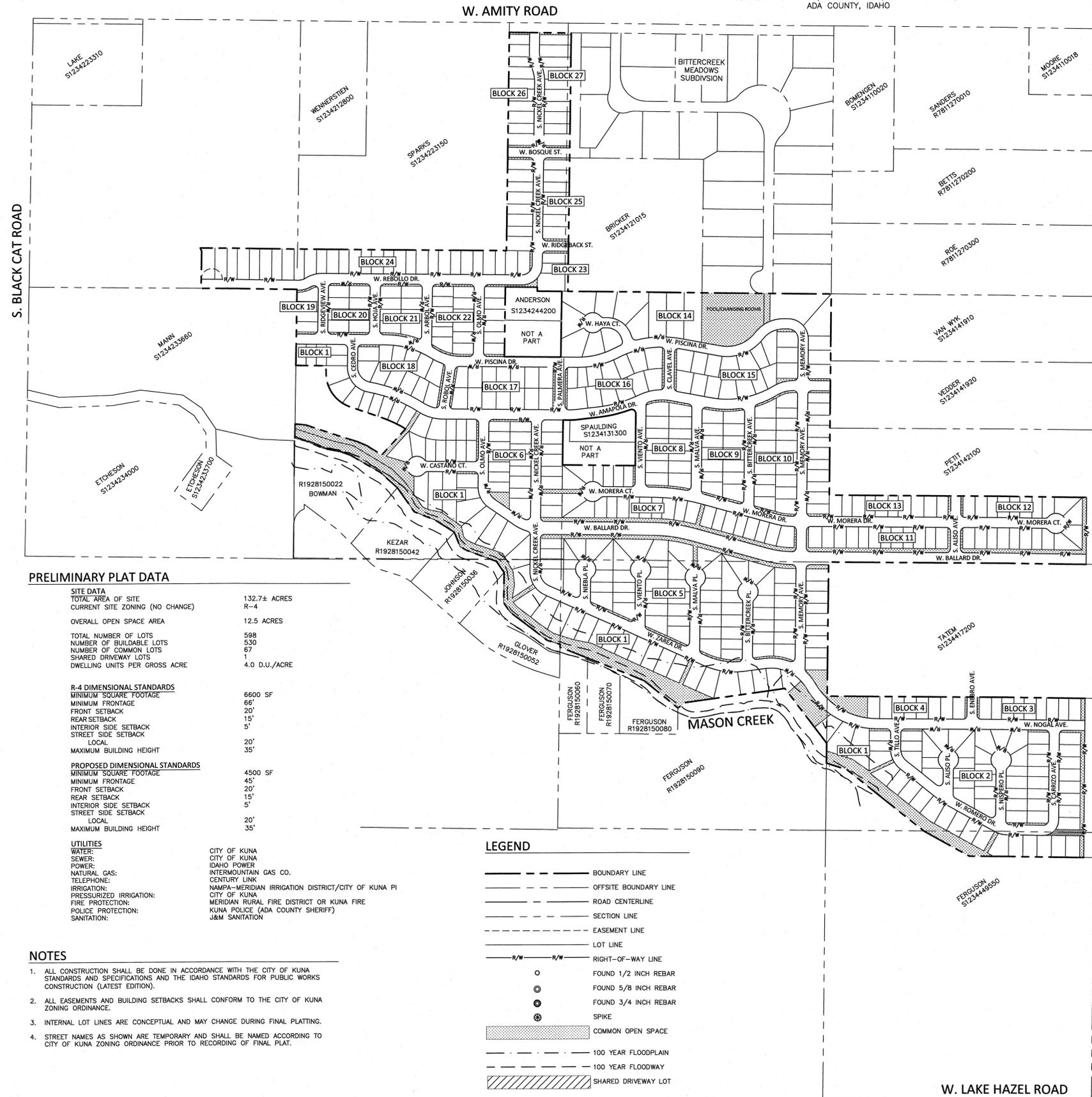
NO.	ITEM	DATE



9233 WEST STATE STREET  
BOISE, IDAHO 83714  
PHONE (208) 639-6939  
FAX (208) 639-6930



DATE: 8/25/17  
PROJECT: 16-152  
SHEET NO. PP1.0



## PRELIMINARY PLAT DATA

<b>SITE DATA</b>	
TOTAL AREA OF SITE	132.7± ACRES
CURRENT SITE ZONING (NO CHANGE)	R-4
OVERALL OPEN SPACE AREA	12.5 ACRES
TOTAL NUMBER OF LOTS	598
NUMBER OF BUILDABLE LOTS	530
NUMBER OF COMMON LOTS	67
SHARED DRIVEWAY LOTS	1
DWELLING UNITS PER GROSS ACRE	4.0 D.U./ACRE

R-4 DIMENSIONAL STANDARDS	
MINIMUM SQUARE FOOTAGE	6600 SF
MINIMUM FRONTAGE	66'
FRONT SETBACK	20'
REAR SETBACK	15'
INTERIOR SIDE SETBACK	5'
STREET SIDE SETBACK	20'
LOCAL MAXIMUM BUILDING HEIGHT	35'

PROPOSED DIMENSIONAL STANDARDS	
MINIMUM SQUARE FOOTAGE	4500 SF
MINIMUM FRONTAGE	45'
FRONT SETBACK	20'
REAR SETBACK	15'
INTERIOR SIDE SETBACK	5'
STREET SIDE SETBACK	20'
LOCAL MAXIMUM BUILDING HEIGHT	35'

UTILITIES	
WATER:	CITY OF KUNA
SEWER:	CITY OF KUNA
POWER:	IDAHO POWER
NATURAL GAS:	INTERMOUNTAIN GAS CO.
TELEPHONE:	CENTURY LINK
IRRIGATION:	NAMPA-MERIDIAN IRRIGATION DISTRICT/CITY OF KUNA PI
PRESSURIZED IRRIGATION:	CITY OF KUNA
FIRE PROTECTION:	MERIDIAN RURAL FIRE DISTRICT OR KUNA FIRE
POLICE PROTECTION:	KUNA POLICE (ADA COUNTY SHERIFF)
SANITATION:	J&M SANITATION

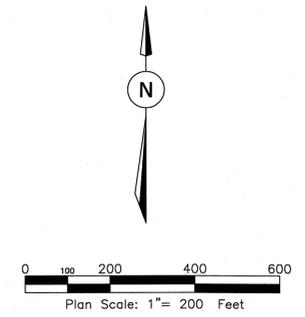
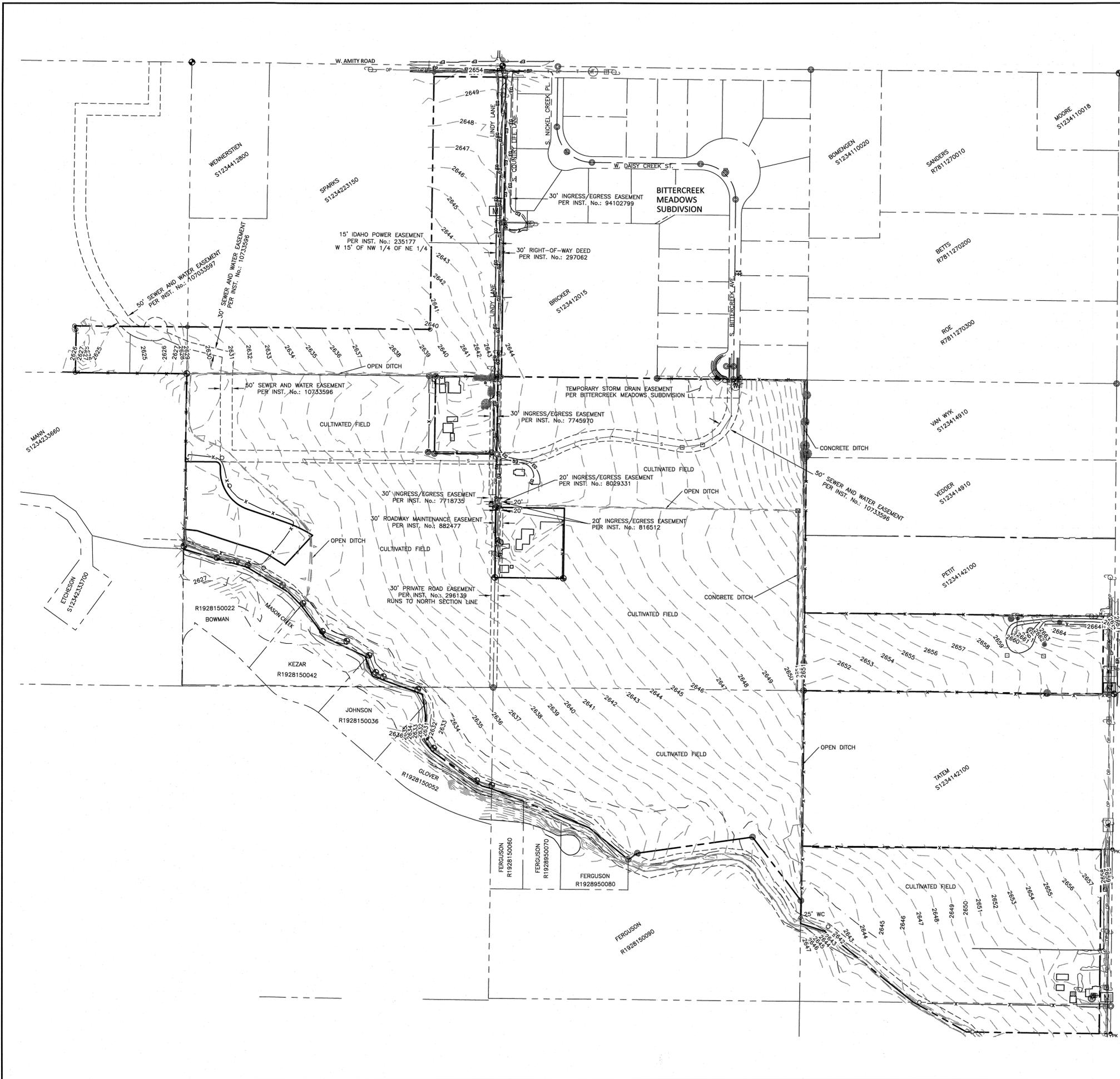
## LEGEND

	BOUNDARY LINE
	OFFSITE BOUNDARY LINE
	ROAD CENTERLINE
	SECTION LINE
	EASEMENT LINE
	LOT LINE
	RIGHT-OF-WAY LINE
	FOUND 1/2 INCH REBAR
	FOUND 5/8 INCH REBAR
	FOUND 3/4 INCH REBAR
	SPIKE
	COMMON OPEN SPACE
	100 YEAR FLOODPLAIN
	100 YEAR FLOODWAY
	SHARED DRIVEWAY LOT

## NOTES

- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CITY OF KUNA STANDARDS AND SPECIFICATIONS AND THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (LATEST EDITION).
- ALL EASEMENTS AND BUILDING SETBACKS SHALL CONFORM TO THE CITY OF KUNA ZONING ORDINANCE.
- INTERNAL LOT LINES ARE CONCEPTUAL AND MAY CHANGE DURING FINAL PLATTING.
- STREET NAMES AS SHOWN ARE TEMPORARY AND SHALL BE NAMED ACCORDING TO CITY OF KUNA ZONING ORDINANCE PRIOR TO RECORDING OF FINAL PLAT.

PRELIMINARY - NOT FOR CONSTRUCTION



**LEGEND**

- BOUNDARY LINE
- - - OFFSITE BOUNDARY LINE
- - - SETBACKS
- - - ROAD CENTERLINE
- - - LOT LINE LINE
- - - SECTION LINE
- R/W R/W RIGHT-OF-WAY LINE
- FOUND 1/2 INCH REBAR
- ⊙ FOUND 5/8 INCH REBAR
- EXISTING IMPROVEMENTS**
- S - S - SANITARY SEWER LINE
- W - W - WATER LINE
- G - G - GAS LINE
- OP - OP - OVERHEAD POWER LINE
- GI - GI - GRAVITY IRRIGATION LINE
- ⊙ SEWER MANHOLE
- ⊕ WATER VALVE
- ⊙ WATER METER
- ⊕ FIRE HYDRANT
- ⊙ POWER POLE
- ⊕ POWER BOX
- EP - EP - EDGE OF PAVEMENT
- EG - EG - EDGE OF GRAVEL
- ⊙ TREE DECIDUOUS
- 2645 - EXISTING GRADE CONTOUR
- - - FLOODWAY
- - - FLOODPLAIN

**GRAN PRADO SUBDIVISION  
EXISTING CONDITIONS  
KUNA, IDAHO**

REVISIONS		
NO.	ITEM	DATE

**km**  
ENGINEERING

9233 WEST STATE STREET  
BOISE, IDAHO 83714  
PHONE (208) 639-6939  
FAX (208) 639-6930

PROFESSIONAL ENGINEER  
REGISTERED  
10821  
8/25/17  
STATE OF IDAHO  
KEVIN P. MCCARTHY

DATE: 8/25/17  
PROJECT: 16-152  
SHEET NO.  
**PP1.1**

P:\16-152\GDP\PROJ\PRELIM\16-152 PREL1.DWG, SCOTT PHILLAMAN, 8/25/2017, 09:02:00, DCE, PLOT, WASTE, 36x48, 1/4"

PRELIMINARY - NOT FOR CONSTRUCTION

**LEGEND**

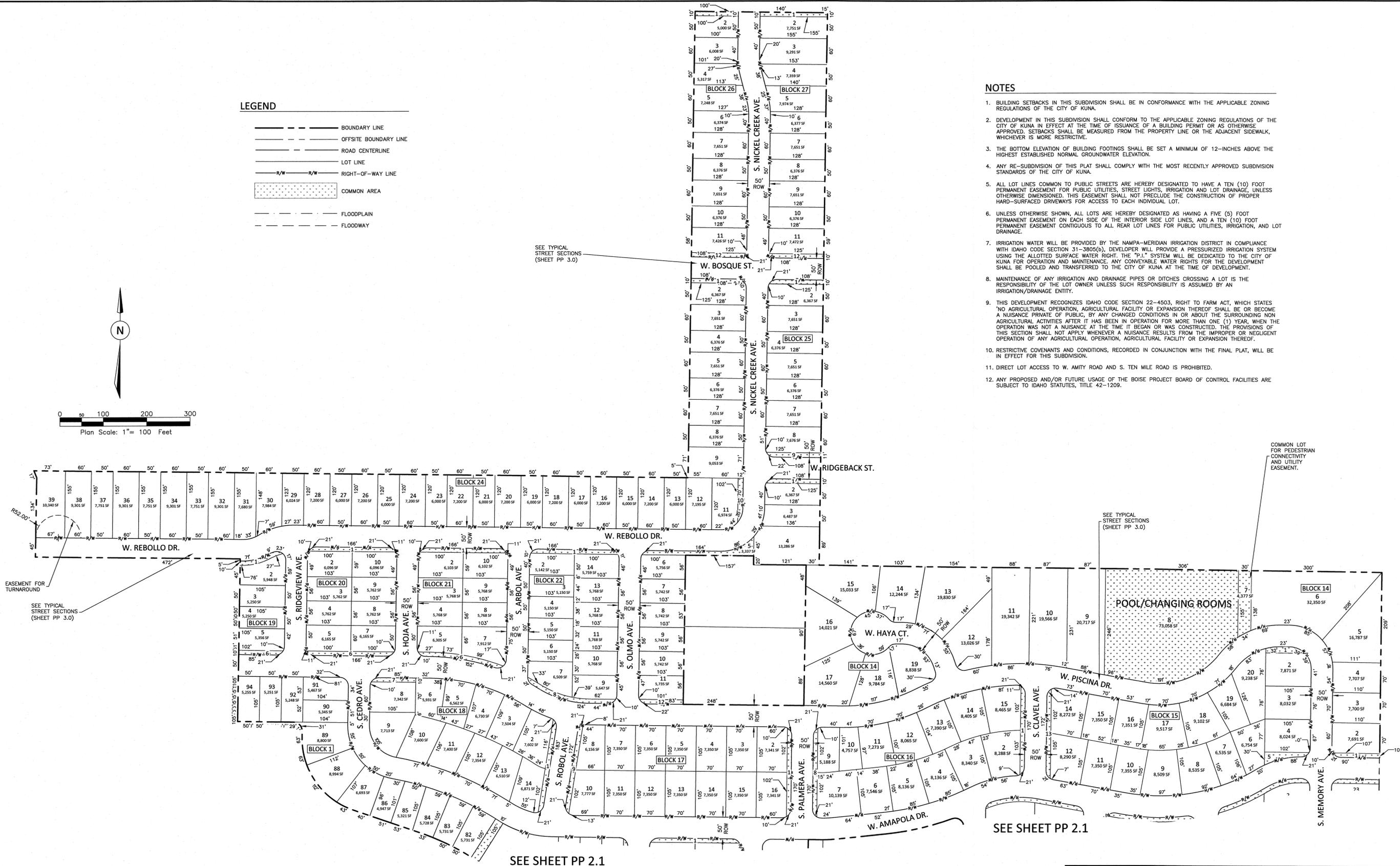
- BOUNDARY LINE
- - - OFFSITE BOUNDARY LINE
- - - ROAD CENTERLINE
- LOT LINE
- R/W --- R/W RIGHT-OF-WAY LINE
- [Pattern] COMMON AREA
- - - FLOODPLAIN
- - - FLOODWAY



0 50 100 200 300  
Plan Scale: 1" = 100 Feet

**NOTES**

1. BUILDING SETBACKS IN THIS SUBDIVISION SHALL BE IN CONFORMANCE WITH THE APPLICABLE ZONING REGULATIONS OF THE CITY OF KUNA.
2. DEVELOPMENT IN THIS SUBDIVISION SHALL CONFORM TO THE APPLICABLE ZONING REGULATIONS OF THE CITY OF KUNA IN EFFECT AT THE TIME OF ISSUANCE OF A BUILDING PERMIT OR AS OTHERWISE APPROVED. SETBACKS SHALL BE MEASURED FROM THE PROPERTY LINE OR THE ADJACENT SIDEWALK, WHICHEVER IS MORE RESTRICTIVE.
3. THE BOTTOM ELEVATION OF BUILDING FOOTINGS SHALL BE SET A MINIMUM OF 12-INCHES ABOVE THE HIGHEST ESTABLISHED NORMAL GROUNDWATER ELEVATION.
4. ANY RE-SUBDIVISION OF THIS PLAT SHALL COMPLY WITH THE MOST RECENTLY APPROVED SUBDIVISION STANDARDS OF THE CITY OF KUNA.
5. ALL LOT LINES COMMON TO PUBLIC STREETS ARE HEREBY DESIGNATED TO HAVE A TEN (10) FOOT PERMANENT EASEMENT FOR PUBLIC UTILITIES, STREET LIGHTS, IRRIGATION AND LOT DRAINAGE, UNLESS OTHERWISE DIMENSIONED. THIS EASEMENT SHALL NOT PRECLUDE THE CONSTRUCTION OF PROPER HARD-SURFACED DRIVEWAYS FOR ACCESS TO EACH INDIVIDUAL LOT.
6. UNLESS OTHERWISE SHOWN, ALL LOTS ARE HEREBY DESIGNATED AS HAVING A FIVE (5) FOOT PERMANENT EASEMENT ON EACH SIDE OF THE INTERIOR SIDE LOT LINES, AND A TEN (10) FOOT PERMANENT EASEMENT CONTIGUOUS TO ALL REAR LOT LINES FOR PUBLIC UTILITIES, IRRIGATION, AND LOT DRAINAGE.
7. IRRIGATION WATER WILL BE PROVIDED BY THE NAMPA-MERIDIAN IRRIGATION DISTRICT IN COMPLIANCE WITH IDAHO CODE SECTION 31-3805(b). DEVELOPER WILL PROVIDE A PRESSURIZED IRRIGATION SYSTEM USING THE ALLOTTED SURFACE WATER RIGHT. THE "P.I." SYSTEM WILL BE DEDICATED TO THE CITY OF KUNA FOR OPERATION AND MAINTENANCE. ANY CONVEYABLE WATER RIGHTS FOR THE DEVELOPMENT SHALL BE POOLED AND TRANSFERRED TO THE CITY OF KUNA AT THE TIME OF DEVELOPMENT.
8. MAINTENANCE OF ANY IRRIGATION AND DRAINAGE PIPES OR DITCHES CROSSING A LOT IS THE RESPONSIBILITY OF THE LOT OWNER UNLESS SUCH RESPONSIBILITY IS ASSUMED BY AN IRRIGATION/DRAINAGE ENTITY.
9. THIS DEVELOPMENT RECOGNIZES IDAHO CODE SECTION 22-4503, RIGHT TO FARM ACT, WHICH STATES "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NON AGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHENEVER A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF ANY AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF."
10. RESTRICTIVE COVENANTS AND CONDITIONS, RECORDED IN CONJUNCTION WITH THE FINAL PLAT, WILL BE IN EFFECT FOR THIS SUBDIVISION.
11. DIRECT LOT ACCESS TO W. AMITY ROAD AND S. TEN MILE ROAD IS PROHIBITED.
12. ANY PROPOSED AND/OR FUTURE USAGE OF THE BOISE PROJECT BOARD OF CONTROL FACILITIES ARE SUBJECT TO IDAHO STATUTES, TITLE 42-1209.



SEE TYPICAL STREET SECTIONS (SHEET PP. 3.0)

SEE TYPICAL STREET SECTIONS (SHEET PP. 3.0)

SEE TYPICAL STREET SECTIONS (SHEET PP. 3.0)

COMMON LOT FOR PEDESTRIAN CONNECTIVITY AND UTILITY EASEMENT.

SEE SHEET PP. 2.1

SEE SHEET PP. 2.1

**GRAN PRADO SUBDIVISION  
LOT LAYOUT NORTH AREA  
KUNA, IDAHO**

REVISIONS		
NO.	ITEM	DATE

**km**  
ENGINEERING

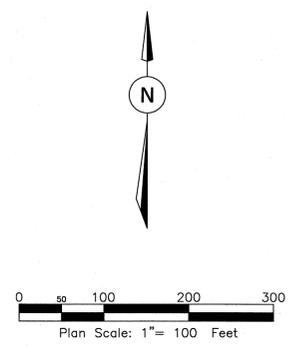
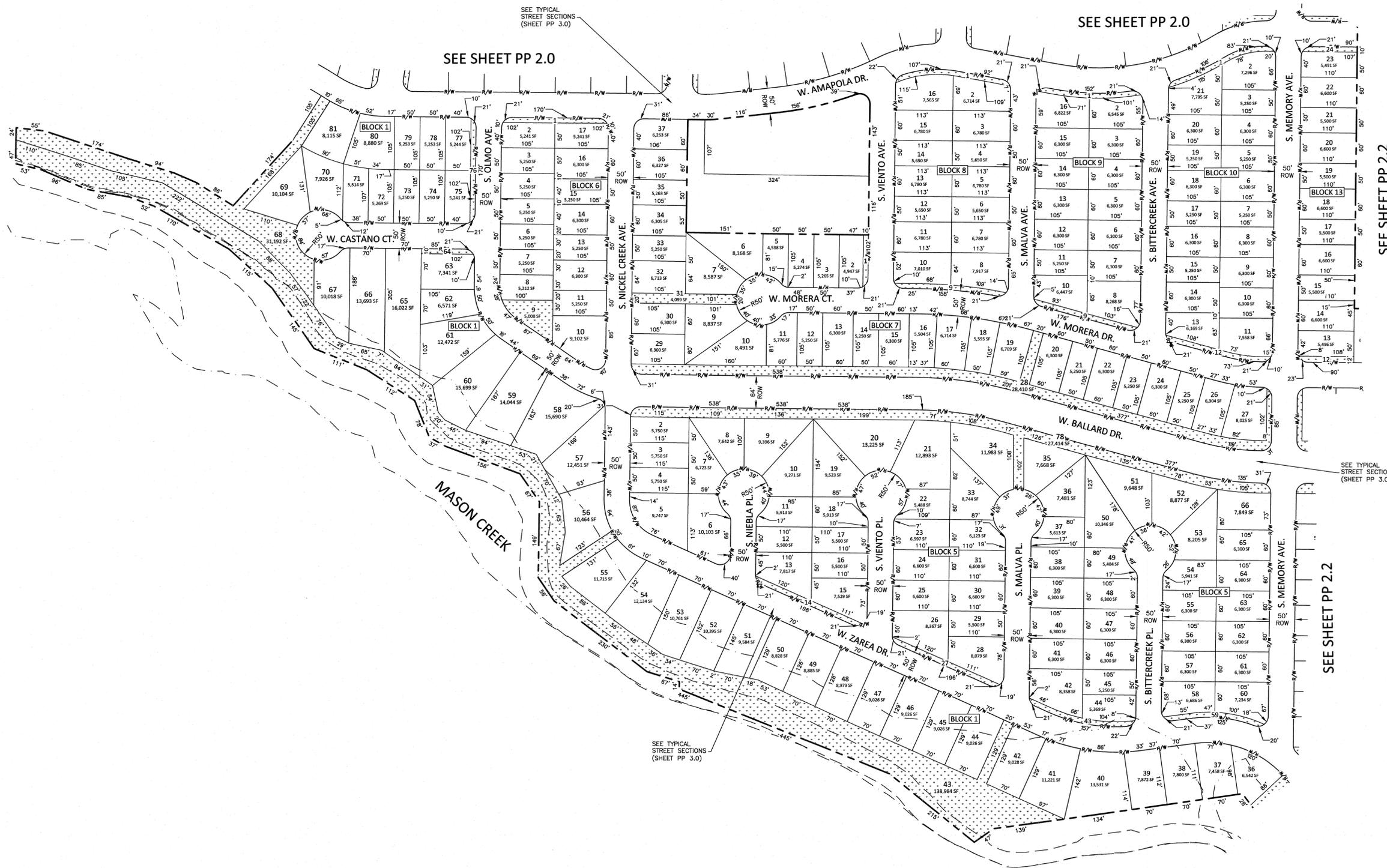
9233 WEST STATE STREET  
BOISE, IDAHO 83714  
PHONE (208) 639-6939  
FAX (208) 639-6930

PROFESSIONAL ENGINEER  
REGISTERED  
10821  
8/25/17  
STATE OF IDAHO  
KEVIN P. MCCARTHY

DATE: 8/25/17  
PROJECT: 16-152  
SHEET NO.  
**PP.2.0**

PRELIMINARY - NOT FOR CONSTRUCTION

P:\16-152\CD\PP.2.0\PRELIM\16-152 PRELAT LOTS.DWG, SCOTT PRILAMAN, 8/25/2017, 02:00:00 PM, 360 PLOT



SEE SHEET PP 2.2

SEE SHEET PP 2.2

SEE TYPICAL STREET SECTIONS (SHEET PP 3.0)

SEE TYPICAL STREET SECTIONS (SHEET PP 3.0)

SEE SHEET PP 2.0

SEE SHEET PP 2.0

SEE TYPICAL STREET SECTIONS (SHEET PP 3.0)

**GRAN PRADO SUBDIVISION**  
**LOT LAYOUT CENTRAL AREA**  
**KUNA, IDAHO**

REVISIONS		
NO.	ITEM	DATE

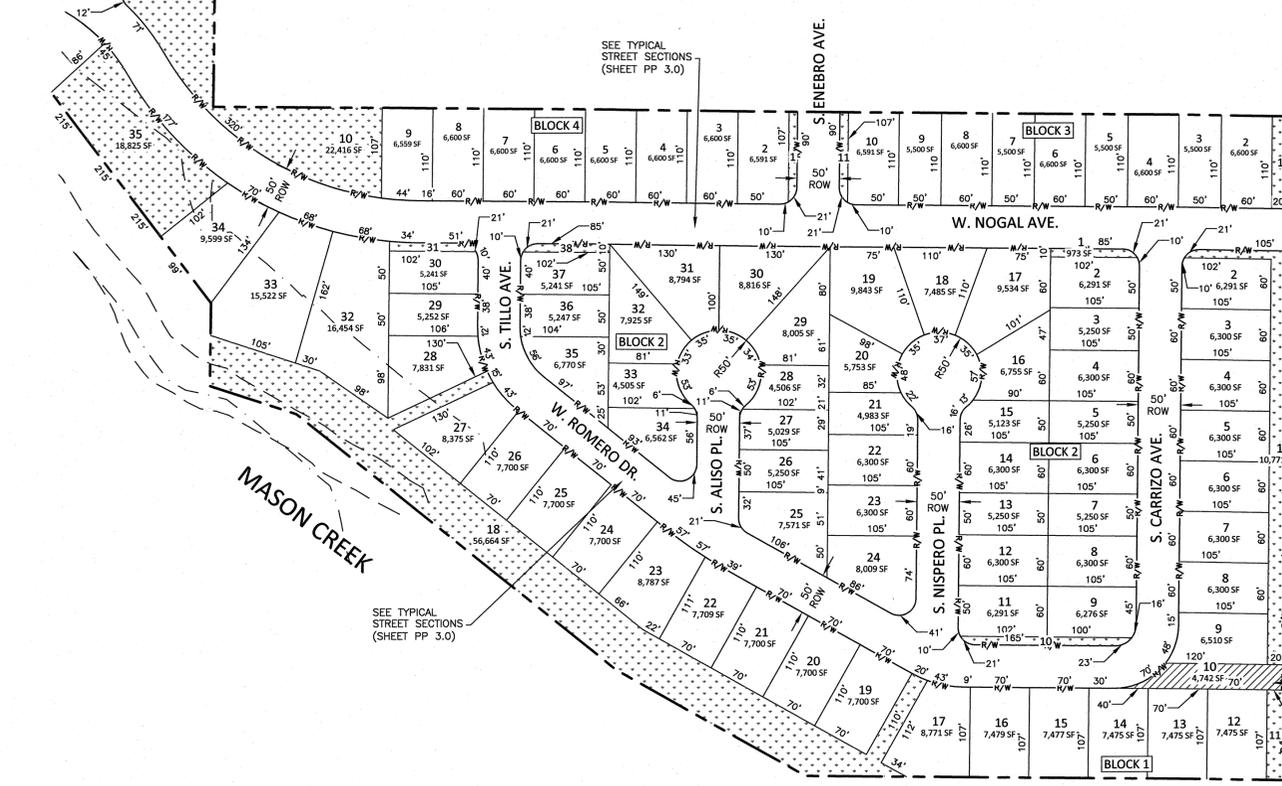
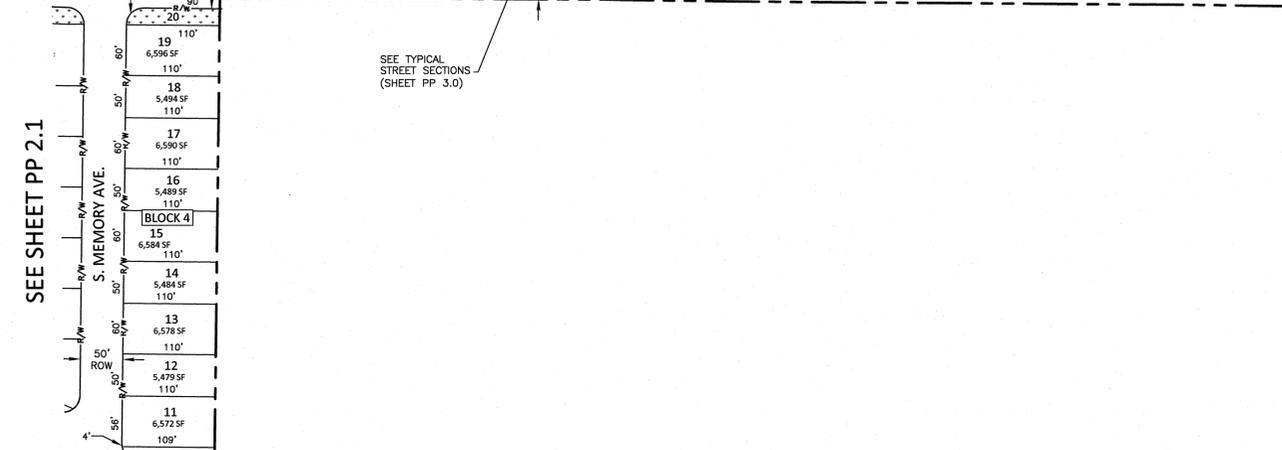
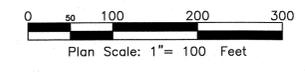
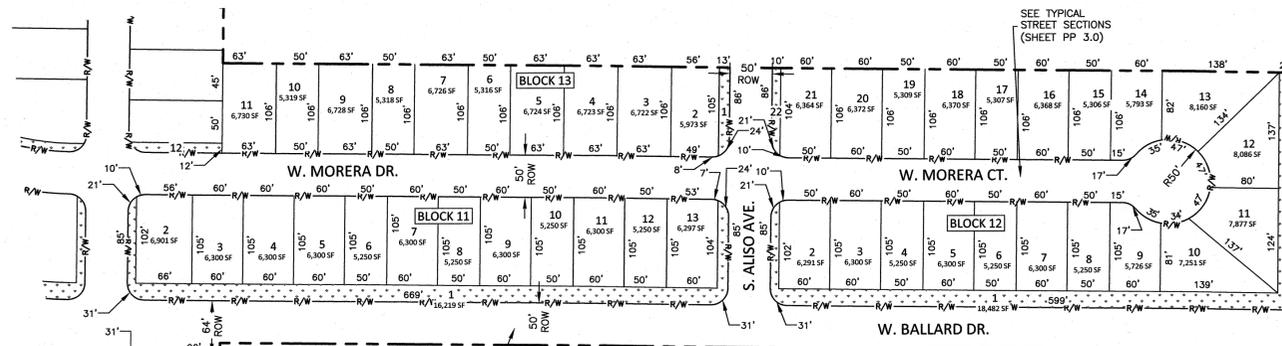


DATE: 8/25/17  
 PROJECT: 16-152  
 SHEET NO. PP.2.1

PLAN: 1532 CAD/PLA/PRELIMINARY/1532 PREPARED BY: JAVIER SCOTT PHILLAMAN, RIZZO/2017, DCE PHOTOGRAPHY, INC.

PRELIMINARY - NOT FOR CONSTRUCTION

SEE SHEET PP 2.1



**GRAN PRADO SUBDIVISION**  
**LOT LAYOUT SOUTHEAST AREA**  
**KUNA, IDAHO**

REVISIONS		
NO.	ITEM	DATE



PROFESSIONAL ENGINEER  
 REGISTERED  
 10821  
 8/25/17  
 STATE OF IDAHO  
 KEVIN P. MCCARTHY

DATE: 8/25/17  
 PROJECT: 16-152  
 SHEET NO. PP.2.2

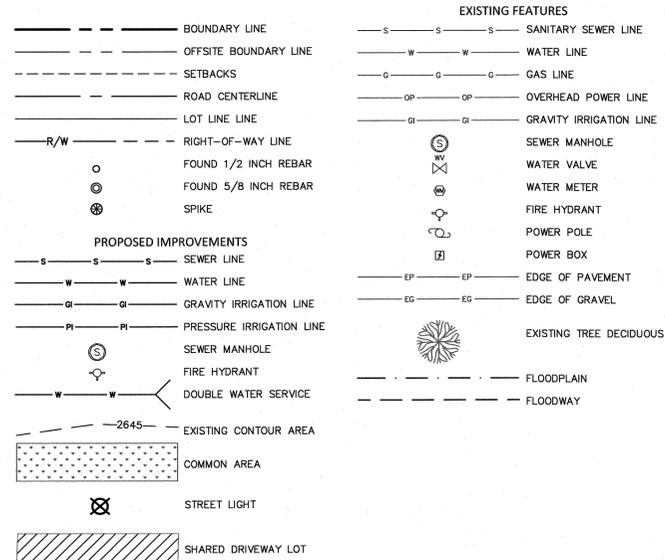
PRELIMINARY - NOT FOR CONSTRUCTION

PLAN 16-152-CADD/AMPH/ELM/IN/16-152 PREPARED BY: JAVIER SOTTI PRELIMINARY 8/25/2017, DCE PLOT/PAVE 8/25/17

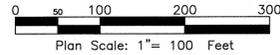
**NOTES**

- DOMESTIC WATER SERVICE WILL BE PROVIDED BY CITY OF KUNA. 8" WATER MAINS WILL BE LOOPED THROUGHOUT THE SUBDIVISION CONNECTING TO AN EXISTING 12" WATER MAIN IN TEN MILE ROAD.
- SANITARY SEWER SERVICE WILL BE PROVIDED BY THE CITY OF KUNA. THE PROPERTY WILL BE SERVED BY AN OFF-SITE SEWER PROJECT EXTENDING 15" SEWER MAINS NORTH ON TEN MILE ROAD. ON-SITE SEWER MAINS WILL BE 8", 12", AND 15". A PORTION OF THE PROJECT WILL BE SERVED BY A LIFT STATION THAT WILL PUMP EFFLUENT FROM THE DEVELOPMENT TO A RECEIVING MANHOLE WITHIN THE PROJECT. EFFLUENT WILL THEN GRAVITY FLOW TO THE CITY OF KUNA TREATMENT FACILITY.
- WATER AND SEWER LINE SIZES AND LOCATIONS ARE PRELIMINARY AND WILL BE REFINED DURING FINAL DESIGN.
- ALL DOMESTIC WATER MAINS AND SANITARY SEWER WILL BE INSTALLED IN ACCORDANCE WITH THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY AND CITY OF KUNA MINIMUM STANDARDS.
- ALL STREETS SHALL BE DEDICATED TO ACHD AND THE PUBLIC. ROADWAYS WILL BE CONSTRUCTED TO AT LEAST MINIMUM ACHD STANDARDS. SEE THE PRELIMINARY ROADWAY CROSS-SECTIONS, SHEET PP3.0 AND SHEET PP3.1.
- STORM DRAINAGE FROM THE PUBLIC ROADWAYS SHALL BE COLLECTED IN CURB AND GUTTER AND ROUTED TO DISCHARGE TO BELOW GRADE INFILTRATION SYSTEMS. THE INFILTRATION SEEPAGE BED SIZES AND LOCATIONS WILL BE DETERMINED DURING FINAL DESIGN.
- SANITARY SEWER, WATER, AND STORM DRAINAGE FACILITIES LOCATED OUTSIDE A PUBLIC RIGHT-OF-WAY WILL BE PROVIDED WITH A PERMANENT PUBLIC UTILITY EASEMENT.
- PEDESTRIAN RAMPS AND CROSSINGS ARE SHOWN IN A CONCEPTUAL MANNER AND WILL BE REFINED AND DETAILED DURING FINAL DESIGN.
- MAINTENANCE EASEMENTS WILL BE PROVIDED TO ACHD IN LOCATIONS WHERE THE SIDEWALK IS OUTSIDE OF THE RIGHT-OF-WAY.
- CONSTRUCTION OF THE FOLLOWING IMPROVEMENTS WILL BE IN COMPLIANCE WITH THE STANDARD KUNA CONSTRUCTION NOTES: WATER; DRAINAGE; SEWER; AND PRESSURE IRRIGATION.
- PRESSURE IRRIGATION STORAGE POND AND PUMP STATION SIZE AND LOCATION ARE PRELIMINARY. LOCATION AND SIZING WILL BE DETERMINED DURING FINAL DESIGN.
- GRAVITY SEWER LINE FROM BITTERCREEK MEADOWS SUBDIVISION RUNS AT MINIMUM SLOPES. INVERTS AT PIPE SIZE CHANGES AND THE IN POINTS TO EXISTING MANHOLES SHOWN FOR CLARITY.
- A PORTION OF THIS PROPERTY IS LOCATED WITHIN FEMA'S REGULATORY ZONE A FLOODPLAIN PER FIRM PANEL 16001C02504. THIS PROPERTY WILL BE SUBJECT TO THE REGULATIONS OF TITLE 6-5-7 OF THE CITY OF KUNA CODE.

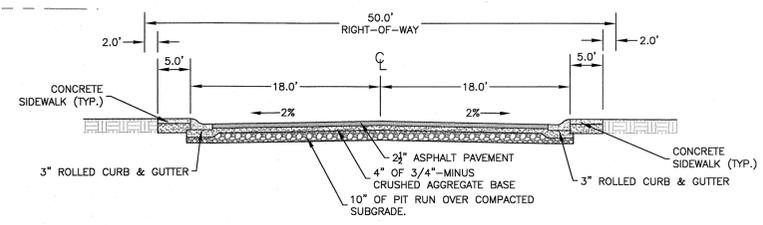
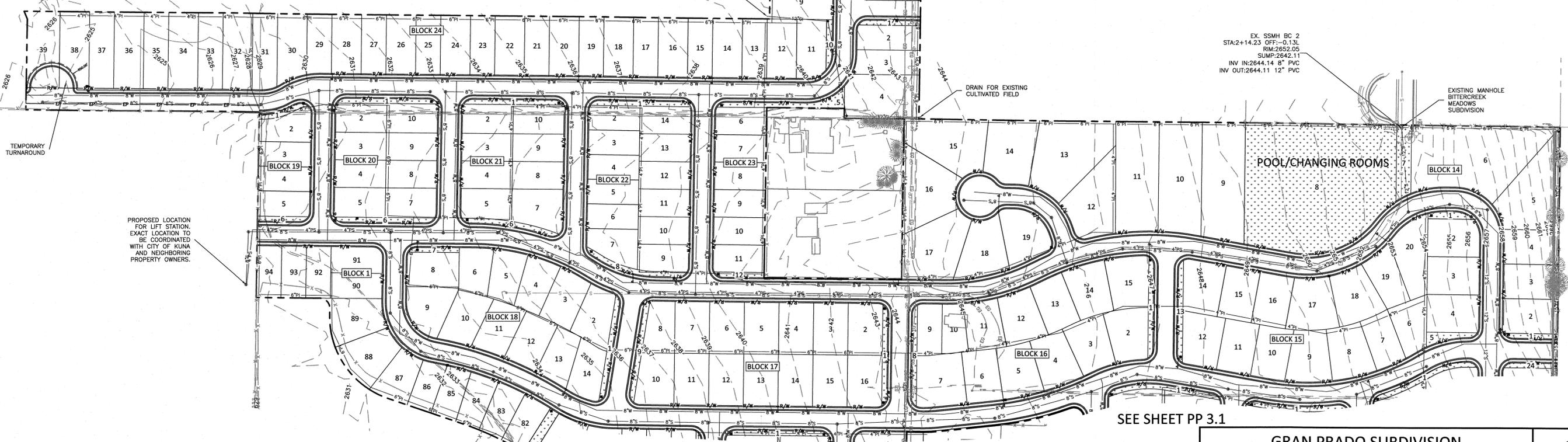
**LEGEND**



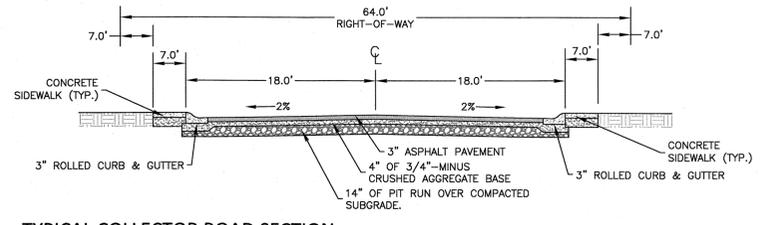
SEE SHEETS  
PP2.0-PP2.2 FOR  
STREET NAMES



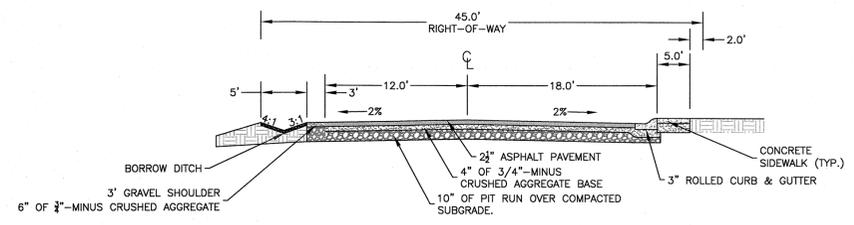
DISCHARGE TO  
RELOCATED  
DRAINAGE DITCH



**TYPICAL LOCAL ROAD SECTION**  
NTS



**TYPICAL COLLECTOR ROAD SECTION**  
NTS



**TYPICAL LOCAL HALF ROAD SECTION**  
NTS

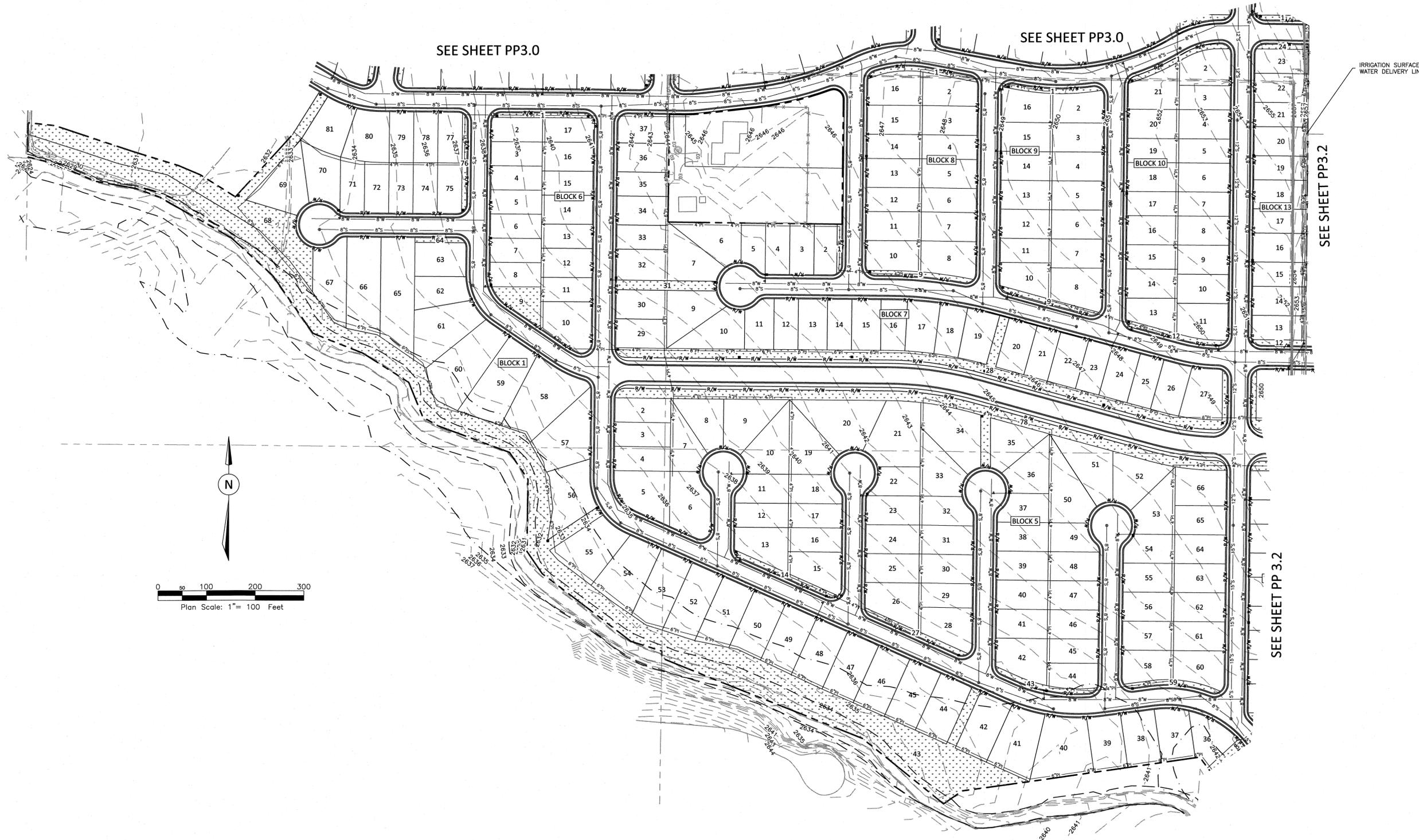
EX. SSMH BC 2  
STA: 2+14.23 OFF: -0.13L  
RIM: 2652.05  
SUMP: 2642.11  
INV IN: 2644.14 8" PVC  
INV OUT: 2644.11 12" PVC

SEE SHEET PP 3.1

SEE SHEET PP 3.1

<b>GRAN PRADO SUBDIVISION</b> PRELIMINARY ENGINEERING-NORTH AREA KUNA, IDAHO																								
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REVISIONS																								
NO.	ITEM	DATE																						
<p>9233 WEST STATE STREET BOISE, IDAHO 83714 PHONE (208) 639-6939 FAX (208) 639-6930</p>																								

PRELIMINARY - NOT FOR CONSTRUCTION



P:\16-152\CAD\PP3\PP3.PLT PRELIMINARY 16-152 PREPARED BY: SCOTT PULLMAN, 8/25/2017, DGE PLOTWAVE 300.PCS, ...

REVISIONS		
NO.	ITEM	DATE



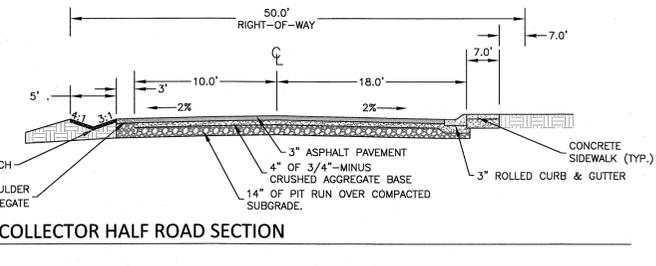
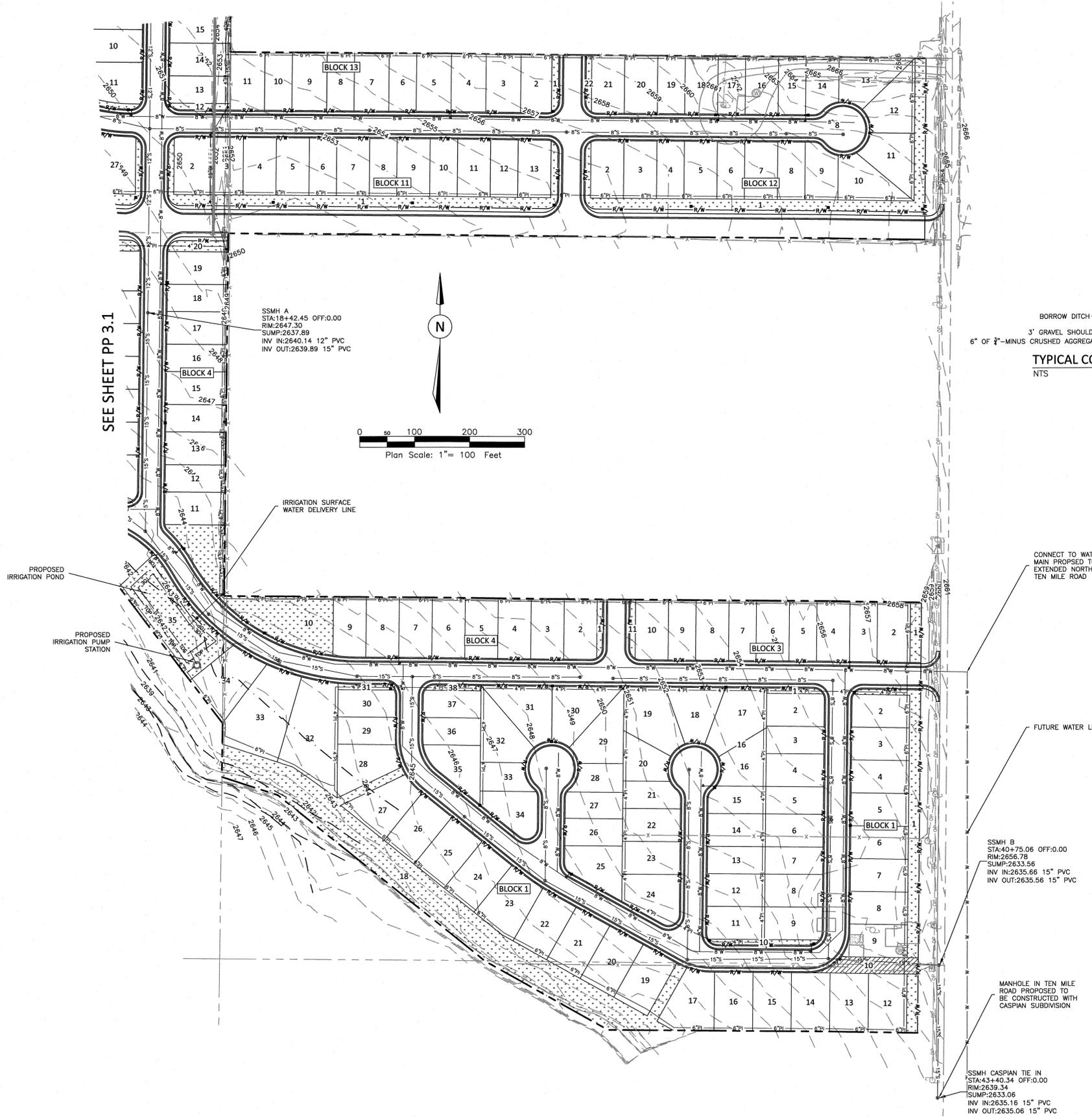
9233 WEST STATE STREET  
BOISE, IDAHO 83714  
PHONE (208) 639-6939  
FAX (208) 639-6930



DATE: 8/25/17  
PROJECT: 16-152  
SHEET NO. PP3.1

PRELIMINARY - NOT FOR CONSTRUCTION

SEE SHEET PP 3.1



**GRAN PRADO SUBDIVISION**  
**PRELIMINARY ENGINEERING-SOUTHEAST AREA**  
**KUNA, IDAHO**

REVISIONS		
NO.	ITEM	DATE



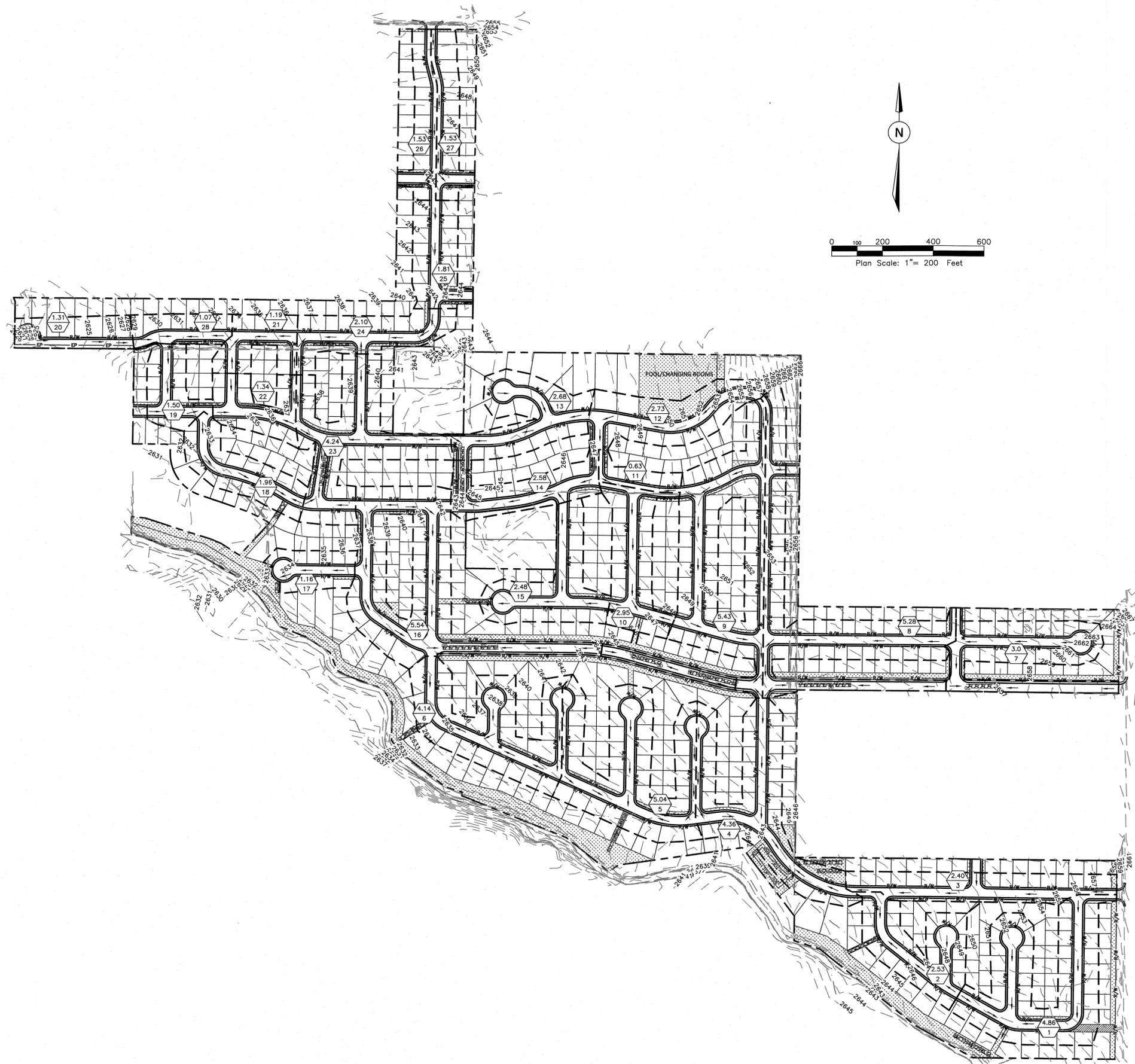
9233 WEST STATE STREET  
 BOISE, IDAHO 83714  
 PHONE (208) 639-6939  
 FAX (208) 639-6930

DATE: 8/25/17  
 PROJECT: 16-152  
 SHEET NO.  
**PP3.2**



PRELIMINARY - NOT FOR CONSTRUCTION

P:\16-152\CAD\PART\PRELIMINARY\16-152 PRELIMAT.DWG DATE: 8/25/17 10:45 AM



**LEGEND**

---	BOUNDARY LINE	---	EXISTING FEATURES
---	OFFSITE BOUNDARY LINE	---	SANITARY SEWER LINE
---	SETBACKS	---	WATER LINE
---	ROAD CENTERLINE	---	GAS LINE
---	LOT LINE	---	OVERHEAD POWER LINE
---	RIGHT-OF-WAY LINE	---	GRAVITY IRRIGATION LINE
○	FOUND 1/2 INCH REBAR	⊙	SEWER MANHOLE
⊙	FOUND 5/8 INCH REBAR	⊙	WATER VALVE
⊙	SPIKE	⊙	WATER METER
<b>PROPOSED IMPROVEMENTS</b>		⊙	FIRE HYDRANT
---	SEWER LINE	⊙	POWER POLE
---	WATER LINE	⊙	POWER BOX
---	GRAVITY IRRIGATION LINE	---	EDGE OF PAVEMENT
⊙	SEWER MANHOLE	---	EDGE OF GRAVEL
⊙	FIRE HYDRANT	⊙	EXISTING TREE DECIDUOUS
---	DOUBLE WATER SERVICE	---	FLOODPLAIN
---	EXISTING CONTOUR AREA	---	FLOODWAY
---	COMMON AREA		
---	SEEPAGE BED		
⊙	BASIN NUMBER/ACERAGE		
---	DRAINAGE ARROW		
---	COMMON DRIVEWAY LOT		

**NOTES**

- PRELIMINARY DRAINAGE DESIGN BASED ON UNDERGROUND SEEPAGE BEDS. ACTUAL DRAINAGE TREATMENT FACILITIES SHALL BE DETERMINED DURING FINAL DESIGN.
- FOR PURPOSES OF PRELIMINARY ANALYSIS ALL SEEPAGE BEDS ARE ASSUMED TO BE 10 FEET DEEP AND TO HAVE AN INFILTRATION RATE OF 4 IN/HR. ACTUAL INFILTRATION RATE WILL BE VERIFIED DURING FINAL DESIGN. IF ADEQUATE INFILTRATION RATES ARE NOT ACHIEVED IN THE BEDROCK FORMATIONS CONTRACTOR MAY BE REQUIRED TO BLAST/BORE BEDROCK AREAS TO CREATE ADEQUATE INFILTRATION RATES.
- ACTUAL LOCATION AND SIZING OF DRAINAGE FACILITIES SHALL BE DETERMINED DURING FINAL DESIGN.
- FACILITIES WERE SIZED BASED ON ADA COUNTY HIGHWAY DISTRICT (ACHD) POLICY. THE RATIONAL METHOD WAS USED WITH RUNOFF COEFFICIENTS OF 0.95 FOR IMPERMEABLE AREAS, AND 0.30 FOR LOTS. TYPICALLY THE FRONT HALF OF EACH LOT WAS INCLUDED IN THE RUNOFF CALCULATIONS.
- ALL STORM WATER RUNOFF SHALL BE RETAINED AND TREATED ONSITE.

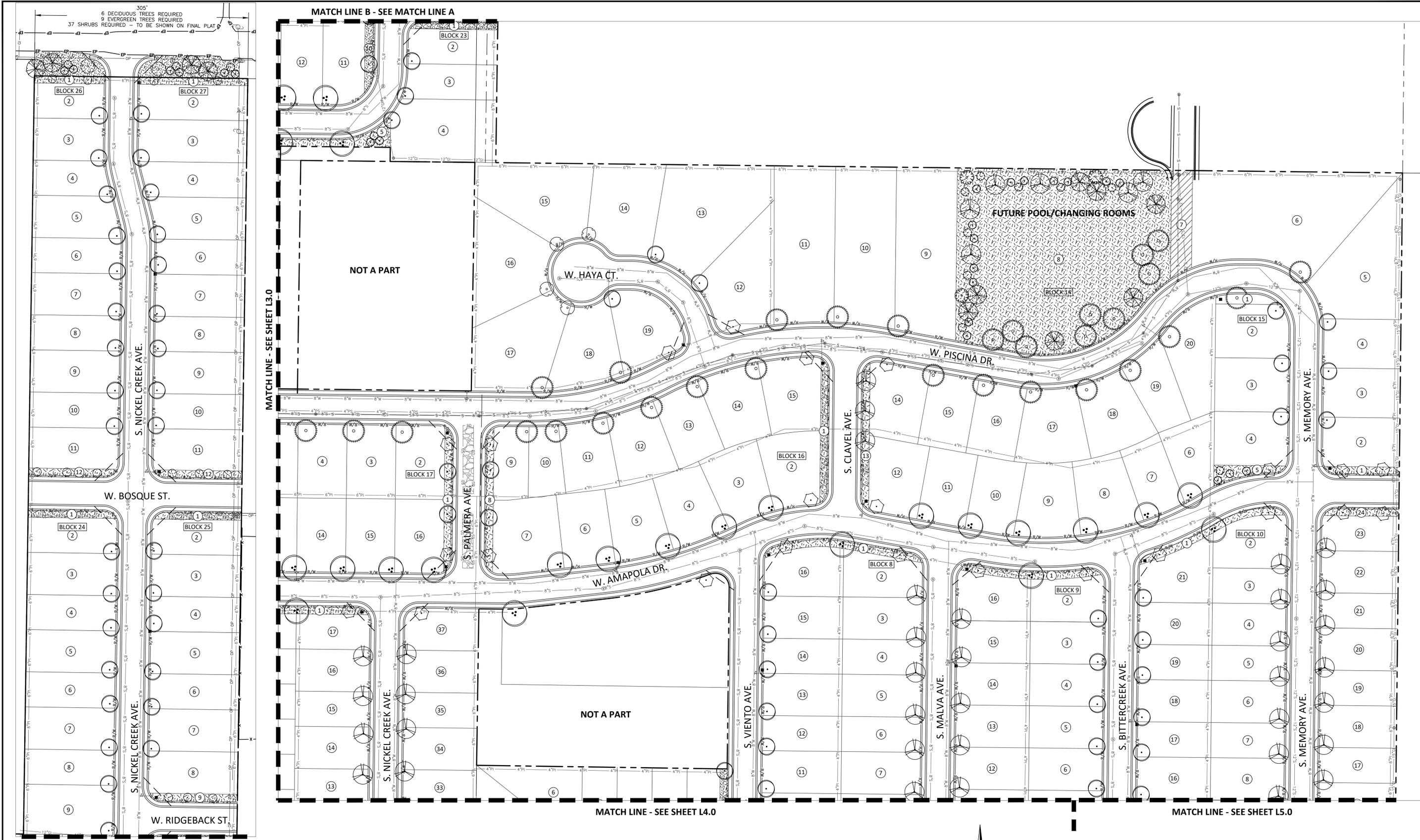
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REVISIONS																						
NO.	ITEM	DATE																				
		DATE: 8/25/17 PROJECT: 16-152 SHEET NO. PP4.0																				

PLAN 152-CAD/PLAN PRELIMINARY 152 PRELIM DRAINAGE DWG. SCOTT PHILLIPMAN, 8/23/2017, OCE FLOTATION 386.PCL

PRELIMINARY - NOT FOR CONSTRUCTION

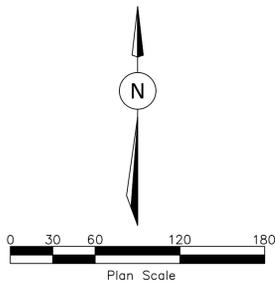
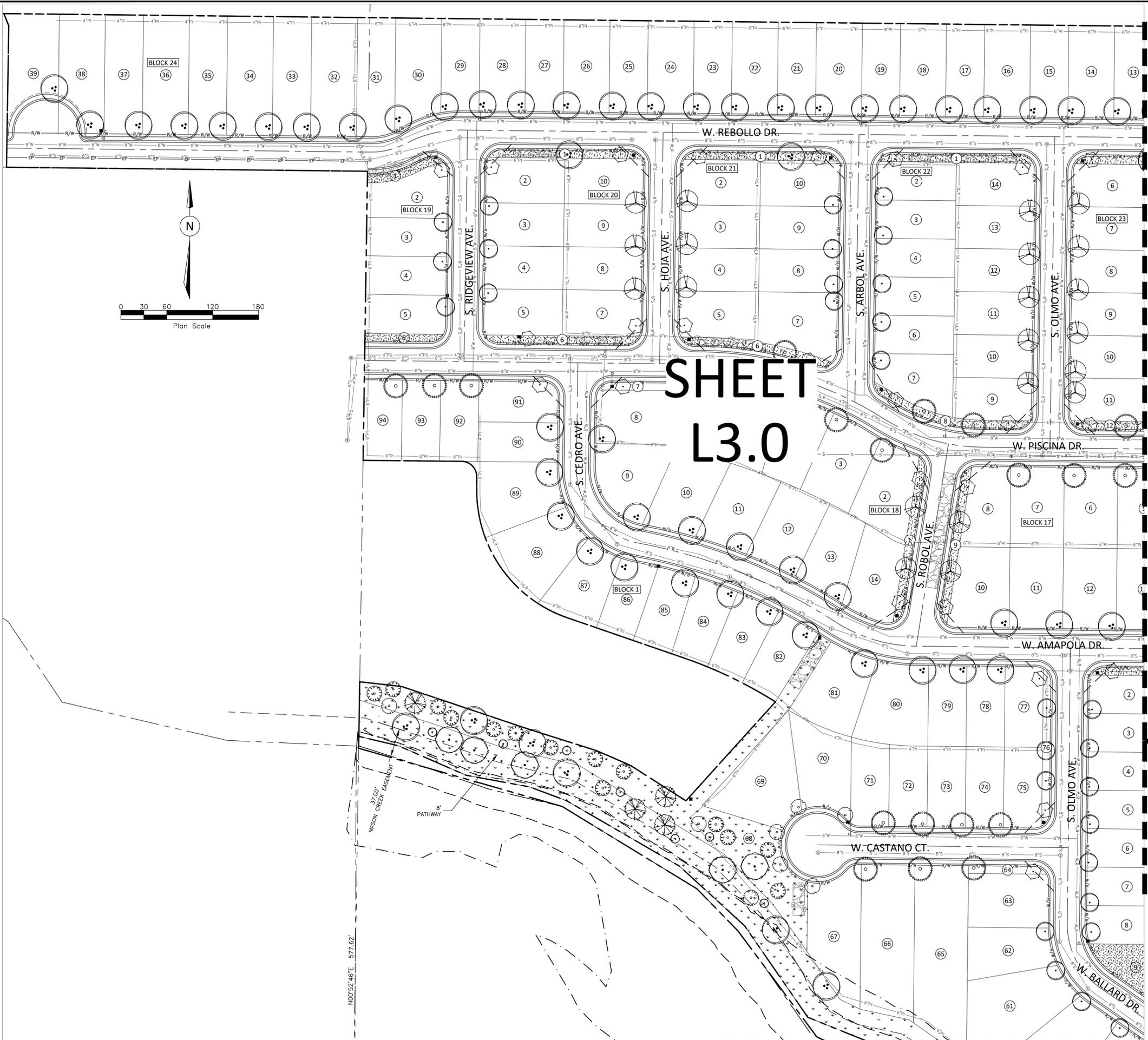


P:\16-152\LANDSCAPE\PRE-PLAT\16-152 LANDSCAPE PRE PLAT.DWG, ATSSA\_VENSLA\_8/25/17.DWG TO PDF (DORR) PCL



<p><b>GRAN PRADO SUBDIVISION</b> 16-152 LANDSCAPE PRE PLAT - 2.0 KUNA, IDAHO</p>																																			
<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>ITEM</th> <th>DATE</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>			NO.	ITEM	DATE																														
NO.	ITEM	DATE																																	
<p><b>km</b> ENGINEERING</p> <p>9233 WEST STATE STREET BOISE, IDAHO 83714 PHONE (208) 639-6939 FAX (208) 639-6930</p>		<p>STATE OF IDAHO KASSA VENSLA LICENSED LANDSCAPE ARCHITECT 1416577 8/25/17</p> <p>DATE: 8/22/17 PROJECT: 16-152 SHEET NO. L2.0</p>																																	

PRELIMINARY - NOT FOR CONSTRUCTION



# SHEET L3.0

### PLANT SCHEDULE

DECIDUOUS TREES		CODE	BOTANICAL NAME	SIZE	MATURE SIZE HxW	CLASS	QTY
	AC	ACER PLATANOIDES 'CRIMSON KING'	CRIMSON KING MAPLE	2" CAL B&B	35'X30'	CLASS II	41
	AS	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2" CAL B&B	45'X30'	CLASS II	147
	FA	FRAXINUS AMERICANA 'AUTUMN PURPLE'	AUTUMN PURPLE ASH	2" CAL B&B	45'X45'	CLASS II	162
	GS	GLEDITSIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEY LOCUST	2" CAL B&B	35'X30'	CLASS II	111
	LM	LIQUIDAMBAR STYRACIFLUA 'MORAIN'	MORAIN SWEET GUM	2" CAL B&B	55'X45'	CLASS II	16
	LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SWEET GUM	2" CAL B&B	25'X15'	CLASS II	28
	LE	LIRODENDRON TULIPIFERA 'EMERALD CITY'	EMERALD CITY TULIP TREE	2" CAL B&B	55'X25'	CLASS II	104
	PC4	PYRUS CALLERYANA	ORNAMENTAL PEAR	2" CAL B&B	30'X25'	CLASS I	84
	TT	TILIA TOMENTOSA 'GREEN MOUNTAIN'	LINDEN	2" CAL B&B	50' X 35'	CLASS II	220
EVERGREEN TREES		CODE	BOTANICAL NAME	SIZE	MATURE SIZE HxW	CLASS	QTY
	PC5	PICEA PUNGENS	COLORADO SPRUCE	6"-8" B&B	60'X30'		30
	PH2	PICEA PUNGENS 'HOOPSII'	HOOPSII BLUE SPRUCE	6"-8" B&B	35'X15'		71
	PF	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID PINE	10"-12" B&B	25'X15'		26
GROUND COVERS		CODE	BOTANICAL NAME	CONT			
	NS	NATIVE GRASS	NATIVE HYDRSEED	SEED			
	TB	TURF SOD	BLUEGRASS	KENTUCKY BLUEGRASS	SOD		

MATCH LINE - SEE SHEET L2.0

MATCH LINE  
SEE SHEET L4.0

MATCH LINE - SEE SHEET L4.0

### GRAN PRADO SUBDIVISION 16-152 LANDSCAPE PRE PLAT - 3.0 KUNA, IDAHO

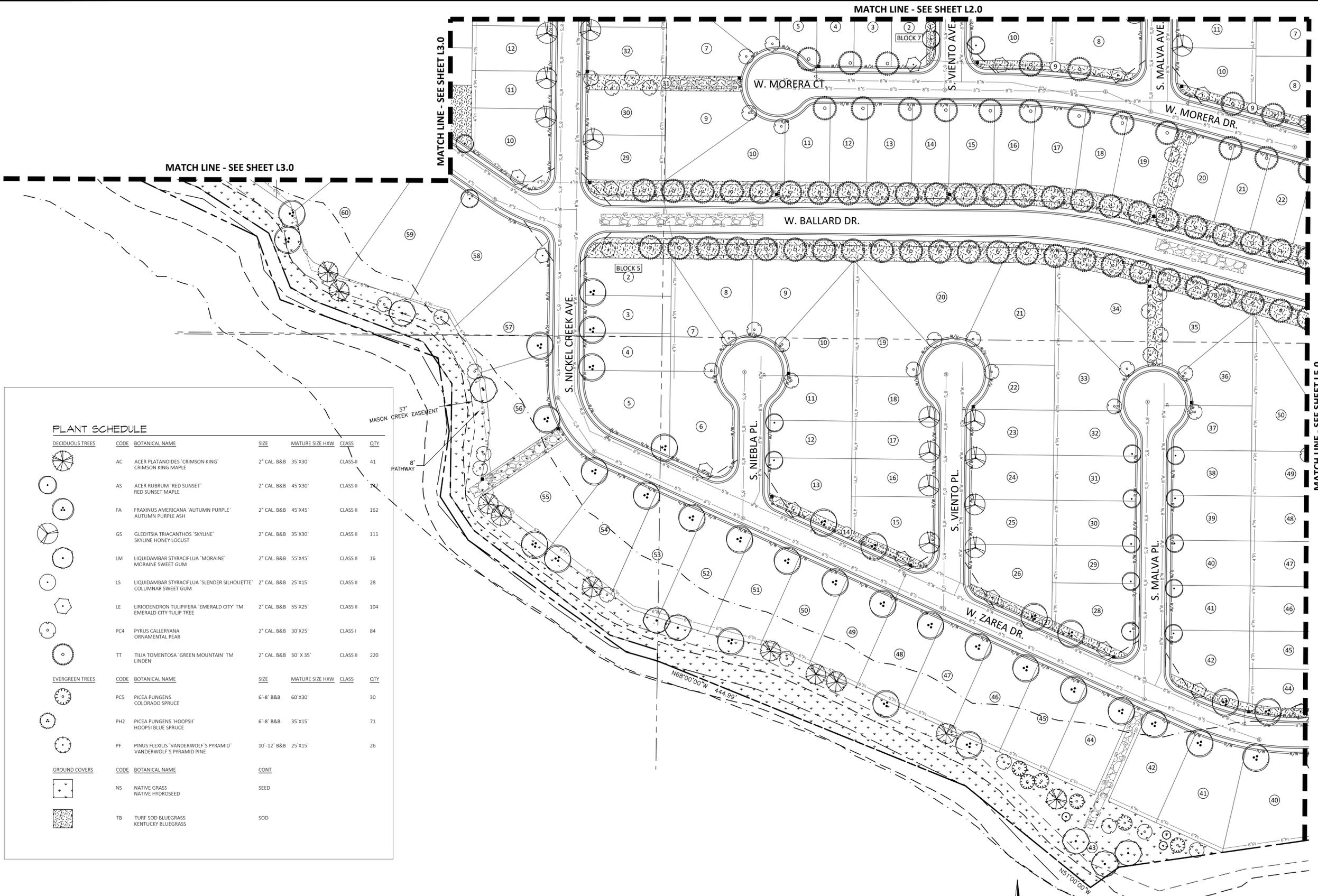
REVISIONS		
NO.	ITEM	DATE

9233 WEST STATE STREET  
BOISE, IDAHO 83714  
PHONE (208) 639-6939  
FAX (208) 639-6930

STATE OF IDAHO  
KASSA YENSEN  
LICENSED LANDSCAPE ARCHITECT  
DATE: 8/22/17  
PROJECT: 16-152  
SHEET NO. L3.0

PRELIMINARY - NOT FOR CONSTRUCTION

P:\16-152\LANDSCAPE\PRE-PLAT\16-152 LANDSCAPE PRE PLAT DWG\_16-152 PRE PLAT\_16-152 PRE PLAT.dwg, DATE: 8/22/17, DRAWN BY: KAY, CHECKED BY: JPC



MATCH LINE - SEE SHEET L3.0

MATCH LINE - SEE SHEET L2.0

MATCH LINE - SEE SHEET L3.0

MATCH LINE - SEE SHEET L5.0

**PLANT SCHEDULE**

DECIDUOUS TREES						
CODE	BOTANICAL NAME	SIZE	MATURE SIZE HXW	CLASS	QTY	
AC	ACER PLATANOIDES 'CRIMSON KING' CRIMSON KING MAPLE	2" CAL. B&B	35'X30'	CLASS-II	41	
AS	ACER RUBRUM 'RED SUNSET' RED SUNSET MAPLE	2" CAL. B&B	45'X30'	CLASS II	1	
FA	FRAXINUS AMERICANA 'AUTUMN PURPLE' AUTUMN PURPLE ASH	2" CAL. B&B	45'X45'	CLASS II	162	
GS	GLEDITSIA TRIACANTHOS 'SKYLINE' SKYLINE HONEY LOCUST	2" CAL. B&B	35'X30'	CLASS II	111	
LM	LIQUIDAMBAR STYRACIFLUA 'MORAINÉ' MORAINÉ SWEET GUM	2" CAL. B&B	55'X45'	CLASS II	16	
LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' COLUMNAR SWEET GUM	2" CAL. B&B	25'X15'	CLASS II	28	
LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM EMERALD CITY TULIP TREE	2" CAL. B&B	55'X25'	CLASS II	104	
PC4	PYRUS CALLERYANA ORNAMENTAL PEAR	2" CAL. B&B	30'X25'	CLASS I	84	
TT	TILIA TOMENTOSA 'GREEN MOUNTAIN' TM LINDEN	2" CAL. B&B	50' X 35'	CLASS II	220	
EVERGREEN TREES						
CODE	BOTANICAL NAME	SIZE	MATURE SIZE HXW	CLASS	QTY	
PCS	PICEA PUNGENS COLORADO SPRUCE	6"-8" B&B	60'X30'		30	
PH2	PICEA PUNGENS 'HOOPSII' HOOPSII BLUE SPRUCE	6"-8" B&B	35'X15'		71	
PF	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' VANDERWOLF'S PYRAMID PINE	10"-12" B&B	25'X15'		26	
GROUND COVERS						
CODE	BOTANICAL NAME	CONT				
NS	NATIVE GRASS NATIVE HYDROSEED	SEED				
TB	TURF SOD BLUEGRASS KENTUCKY BLUEGRASS	SOD				

37'  
MASON CREEK EASEMENT  
8'  
PATHWAY



Plan Scale

**GRAN PRADO SUBDIVISION**  
16-152 LANDSCAPE PRE PLAT - 4.0  
KUNA, IDAHO

REVISIONS		
NO.	ITEM	DATE

**km**  
ENGINEERING

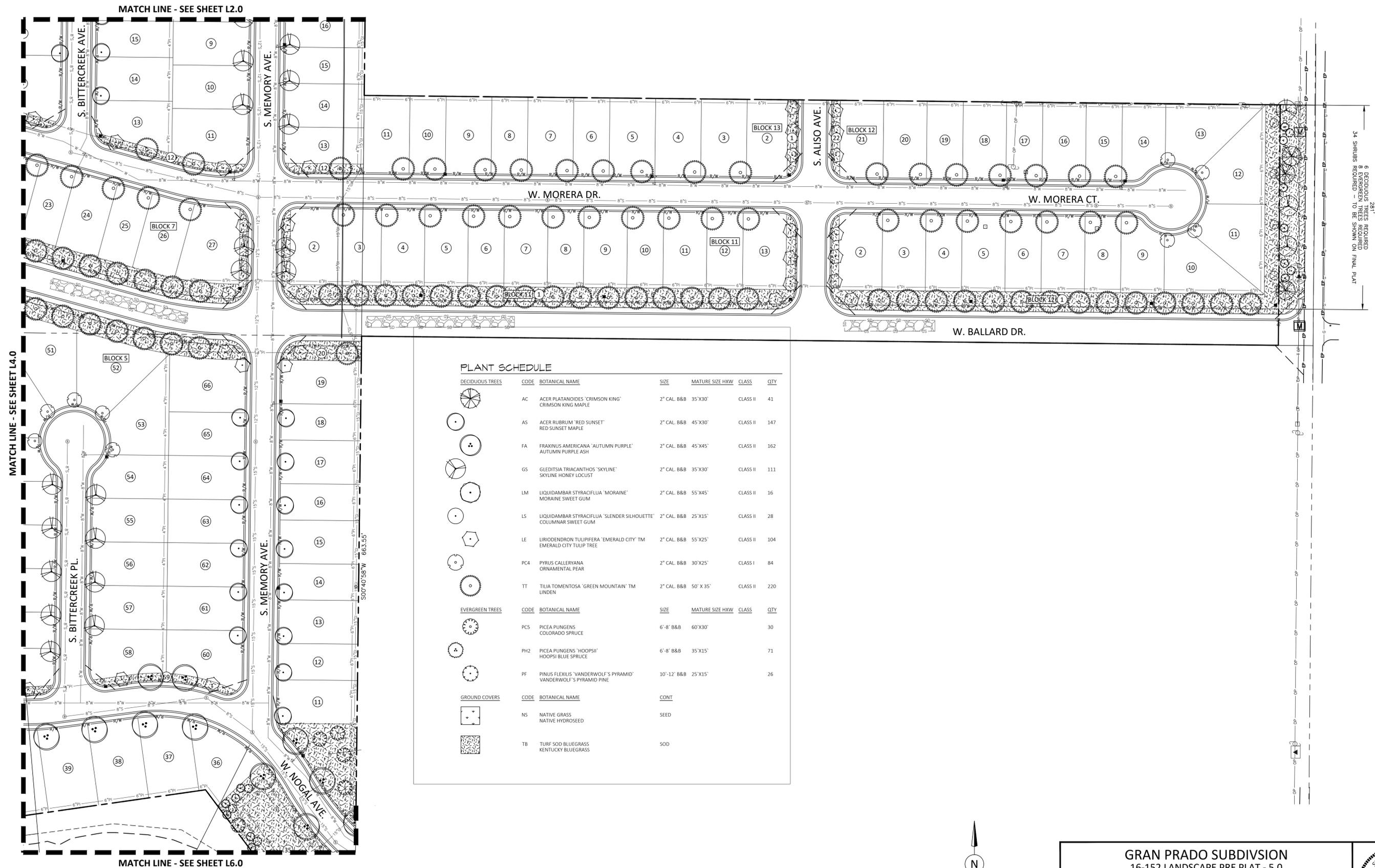
9233 WEST STATE STREET  
BOISE, IDAHO 83714  
PHONE (208) 639-6939  
FAX (208) 639-6930

STATE OF IDAHO  
KASSA YENSEN  
LANDSCAPE ARCHITECT  
LA-16577  
8/25/17

DATE: 8/22/17  
PROJECT: 16-152  
SHEET NO. L4.0

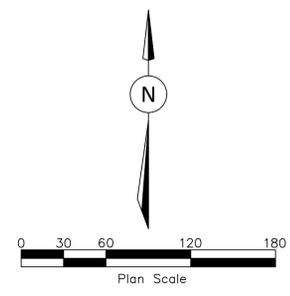
PRELIMINARY - NOT FOR CONSTRUCTION

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**PLANT SCHEDULE**

DECIDUOUS TREES					
CODE	BOTANICAL NAME	SIZE	MATURE SIZE HXW	CLASS	QTY
AC	ACER PLATANOIDES 'CRIMSON KING' CRIMSON KING MAPLE	2" CAL B&B	35'X30'	CLASS II	41
AS	ACER RUBRUM 'RED SUNSET' RED SUNSET MAPLE	2" CAL B&B	45'X30'	CLASS II	147
FA	FRAXINUS AMERICANA 'AUTUMN PURPLE' AUTUMN PURPLE ASH	2" CAL B&B	45'X45'	CLASS II	162
GS	GLEDITSIA TRIACANTHOS 'SKYLINE' SKYLINE HONEY LOCUST	2" CAL B&B	35'X30'	CLASS II	111
LM	LIQUIDAMBAR STYRACIFLUA 'MORaine' MORaine SWEET GUM	2" CAL B&B	55'X45'	CLASS II	16
LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' COLUMNAR SWEET GUM	2" CAL B&B	25'X15'	CLASS II	28
LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM EMERALD CITY TULIP TREE	2" CAL B&B	55'X25'	CLASS II	104
PC4	PYRUS CALLERYANA ORNAMENTAL PEAR	2" CAL B&B	30'X25'	CLASS I	84
TT	TILIA TOMENTOSA 'GREEN MOUNTAIN' TM LINDEN	2" CAL B&B	50' X 35'	CLASS II	220
EVERGREEN TREES					
CODE	BOTANICAL NAME	SIZE	MATURE SIZE HXW	CLASS	QTY
PC5	PICEA PUNGENS COLORADO SPRUCE	6'-8' B&B	60'X30'		30
PH2	PICEA PUNGENS 'HOOPSH' HOOPSH BLUE SPRUCE	6'-8' B&B	35'X15'		71
PF	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' VANDERWOLF'S PYRAMID PINE	10'-12' B&B	25'X15'		26
GROUND COVERS					
CODE	BOTANICAL NAME	CONT			
NS	NATIVE GRASS NATIVE HYDROSEED	SEED			
TB	TURF SOD BLUEGRASS KENTUCKY BLUEGRASS	SOD			

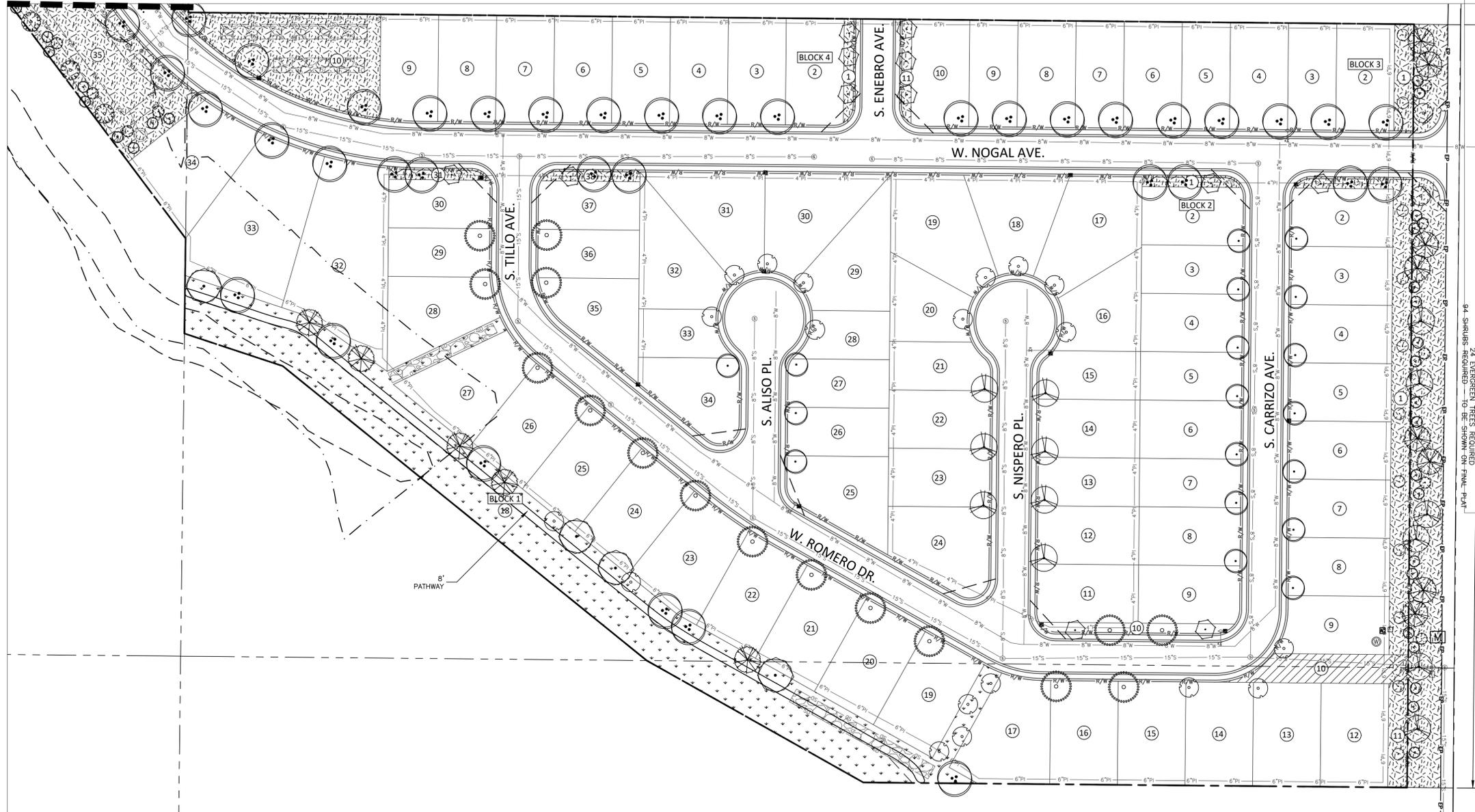


<b>GRAN PRADO SUBDIVISION</b> 16-152 LANDSCAPE PRE PLAT - 5.0 KUNA, IDAHO			
REVISIONS			
NO.	ITEM	DATE	
DATE: 8/22/17 PROJECT: 16-152 SHEET NO. 15.0			9233 WEST STATE STREET BOISE, IDAHO 83714 PHONE (208) 639-6939 FAX (208) 639-6930

PRELIMINARY - NOT FOR CONSTRUCTION

P:\16-152\LANDSCAPE\PRE-PLAT\16-152 LANDSCAPE PRE PLAT DWG\_ ATSSA YENSEN\_ 8/25/17.DWG TO PDF (DOROTHY.PC) ...

MATCH LINE - SEE SHEET L5.0



PLANT SCHEDULE

DECIDUOUS TREES		CODE	BOTANICAL NAME	SIZE	MATURE SIZE HXW	CLASS	QTY
	AC	ACER PLATANOIDES 'CRIMSON KING'	2" CAL B&B	35'X30'	CLASS II	41	
	AS	ACER RUBRUM 'RED SUNSET'	2" CAL B&B	45'X30'	CLASS II	147	
	FA	FRAXINUS AMERICANA 'AUTUMN PURPLE'	2" CAL B&B	45'X45'	CLASS II	162	
	GS	GLEDITSIA TRIACANTHOS 'SKYLINE'	2" CAL B&B	35'X30'	CLASS II	111	
	LM	LIQUIDAMBAR STYRACIFLUA 'MORaine'	2" CAL B&B	55'X45'	CLASS II	16	
	LS	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	2" CAL B&B	25'X15'	CLASS II	28	
	LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY'™	2" CAL B&B	55'X25'	CLASS II	104	
	PC4	PYRUS CALLERYANA 'ORNAMENTAL PEAR'	2" CAL B&B	30'X25'	CLASS I	84	
	TT	TILIA TOMENTOSA 'GREEN MOUNTAIN'™	2" CAL B&B	50' X 35'	CLASS II	220	
	PC5	PICEA PUNGENS 'COLORADO SPRUCE'	6'-8" B&B	60'X30'		30	
	PH2	PICEA PUNGENS 'HOOPSII'	6'-8" B&B	35'X15'		71	
	PF	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	10'-12" B&B	25'X15'		26	
	TB	TURF SOD BLUEGRASS					

EVERGREEN TREES		CODE	BOTANICAL NAME	SIZE	MATURE SIZE HXW	CLASS	QTY
	PC5	PICEA PUNGENS 'COLORADO SPRUCE'	6'-8" B&B	60'X30'			30
	PH2	PICEA PUNGENS 'HOOPSII'	6'-8" B&B	35'X15'			71
	PF	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	10'-12" B&B	25'X15'			26

GROUND COVERS		CODE	BOTANICAL NAME	CONT
	NS	NATIVE GRASS		SEED
	TB	TURF SOD BLUEGRASS		SOD

15 DECIDUOUS TREES REQUIRED  
24 EVERGREEN TREES REQUIRED  
94 SHRUBS REQUIRED - TO BE SHOWN ON FINAL PLAN



GRAN PRADO SUBDIVISION  
16-152 LANDSCAPE PRE PLAT - 6.0  
KUNA, IDAHO

REVISIONS		
NO.	ITEM	DATE

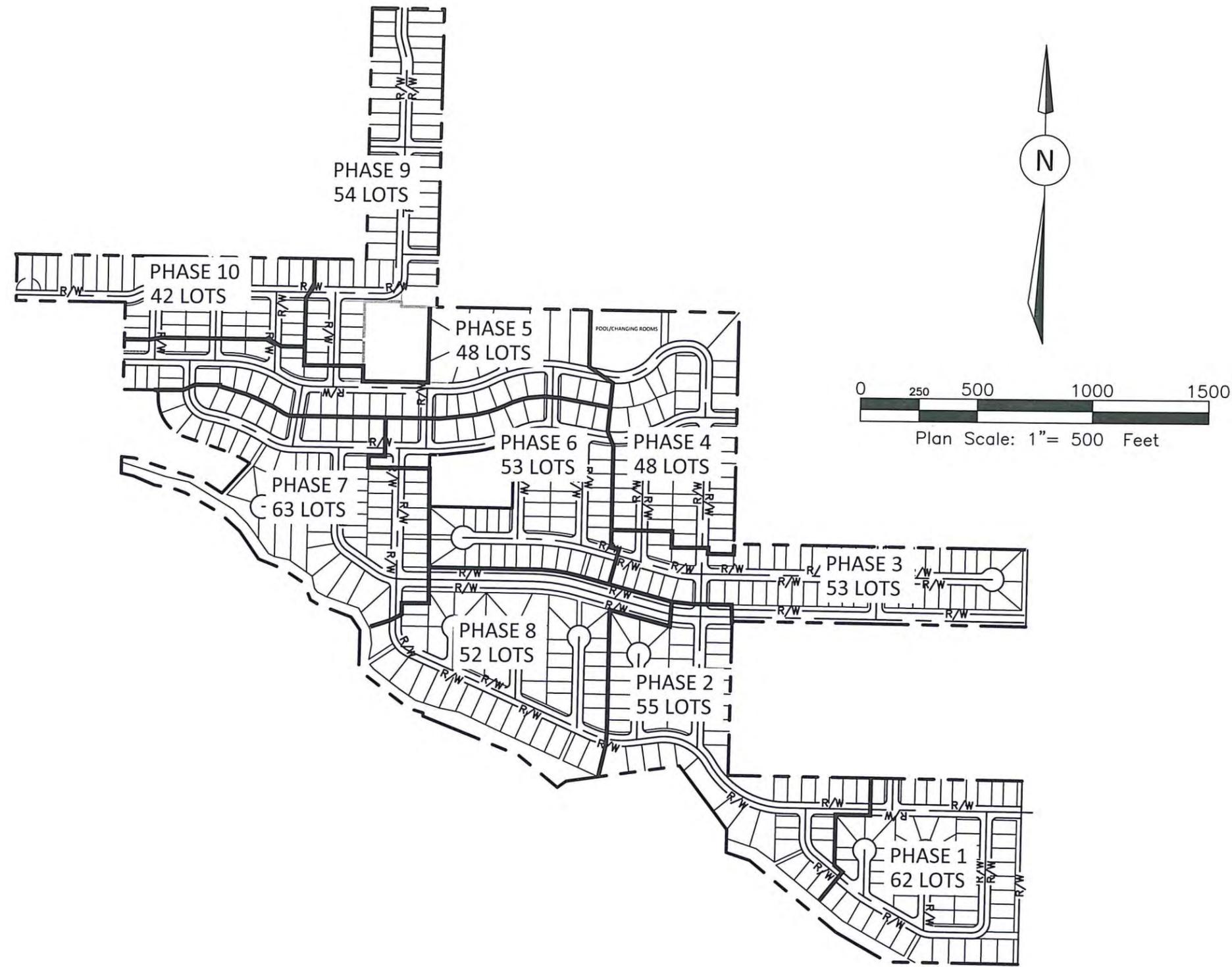
9233 WEST STATE STREET  
BOISE, IDAHO 83714  
PHONE (208) 639-6939  
FAX (208) 639-6930

STATE OF IDAHO  
KASSA YENSEN  
LICENSED LANDSCAPE ARCHITECT  
DATE: 8/22/17  
PROJECT: 16-152  
SHEET NO. L6.0

PRELIMINARY - NOT FOR CONSTRUCTION

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GRAN PRADO SUBDIVISION  
KUNA, IDAHO

CONCEPTUAL PHASING DIAGRAM

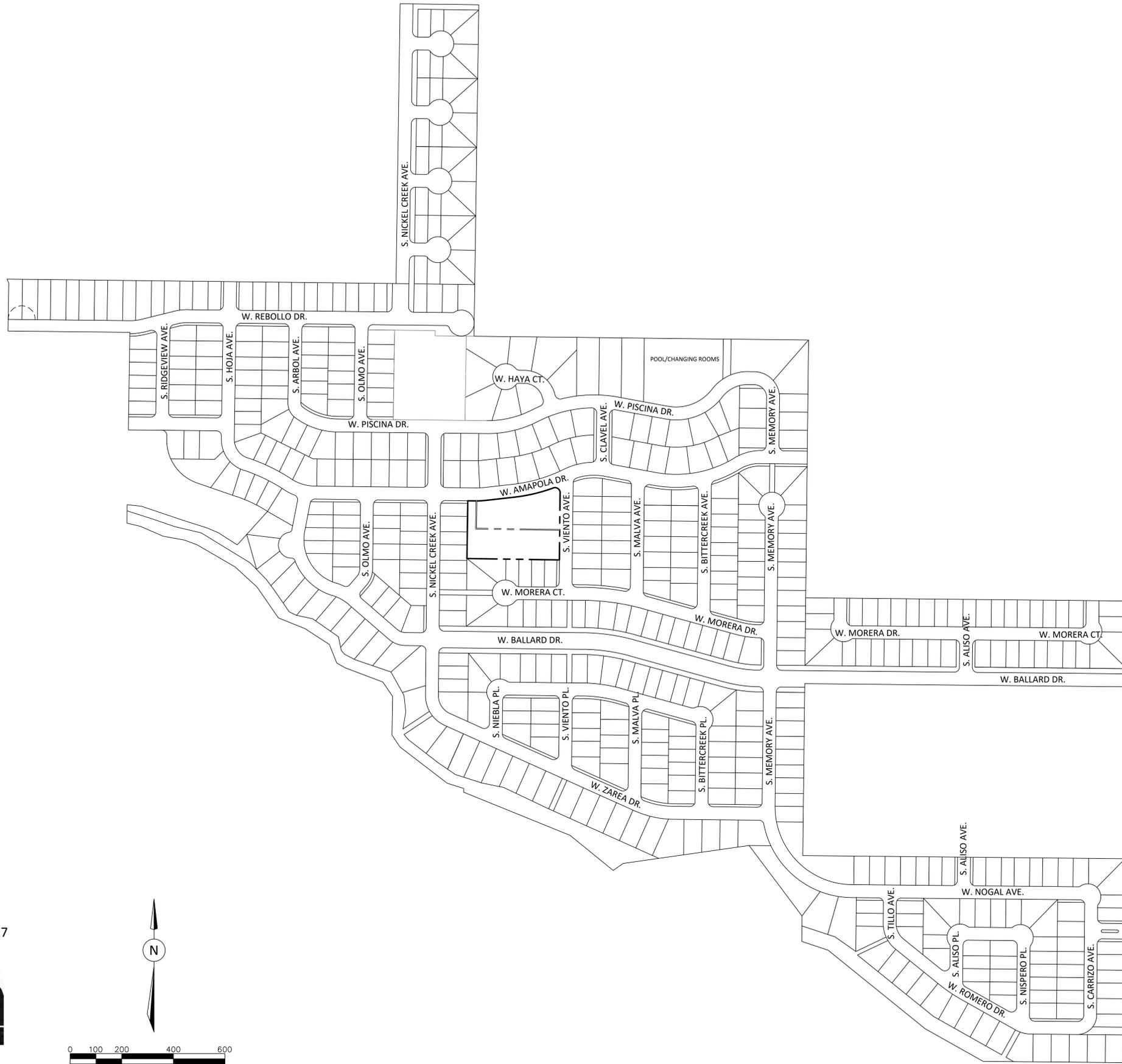
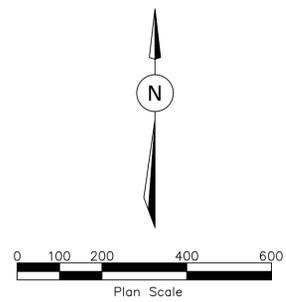


ENGINEERS . SURVEYORS . PLANNERS  
BOISE, IDAHO (208) 639-6939

DATE:	8/25/17
PROJECT:	16-152

1 OF 1

NOVEMBER 14, 2017



# Exhibit B-1



**CITY OF KUNA**  
**P.O. BOX 13**  
**KUNA, ID 83634**  
[www.kunacity.gov](http://www.kunacity.gov)

GORDON N. LAW  
CITY ENGINEER

**Telephone (208) 287-1727; Fax (208) 287-1731**  
**Email: [glaw@kunaid.gov](mailto:glaw@kunaid.gov)**

---

## MEMORANDUM

**TO:** Director of Kuna Planning and Zoning

**FROM:** Gordon N. Law  
Kuna City Engineer

**RE:** Renascence Farms  
North of Lake Hazel, East and West of Ten Mile Roads  
Annexation  
16-12-AN

**DATE:** December 16, 2016

---

The City Engineer has reviewed the annexation request of the above applicant dated December 9, 2016. It is noted that specific development plans are not provided except those implied as allowed or permitted in a “R-6” zone.

The recommendation of the City Engineer is to proceed with this annexation and address the more specific issues of extending the City services in connection with the future land-use actions. Accordingly, the City Engineer provides the following comments:

### **1. Sanitary Sewer Needs**

- a) The applicant’s property to be annexed is presently used for agricultural and scattered residential purposes, has multiple private sewer systems and does not require immediate City service. With additional development, it will require municipal sewer service. The City Engineer recommends ultimate connection to City facilities at such time as existing systems fail or in connection with future development.
- b) Wastewater from the applicant’s property has the future option of being treated at the North Treatment Plant which has sufficient capacity to serve this site. The nearest point of connection for the Renascence property is in the Memory Lift Station adjacent to Ten Mile Road approximately 400 feet south of Lake Hazel Road. The Lift Station and associated pipelines are presently under construction. When connecting to the sewer system, the applicant will need to abide by any relevant sewer reimbursement policies and agreements and any relevant connection fees.
- c) For assistance in locating existing facilities and understanding issues associated with connection, please contact the City Engineer at 287-1727.

## **2. Potable Water Needs**

- a) The applicant's property to be annexed is presently used for agricultural and scattered residential purposes, has multiple private water system and does not require immediate City service. With additional development, it will require municipal water service. The City Engineer recommends ultimate connection to City facilities at such time as existing systems fail or in connection with future development.
- b) The nearest point of connection for the Renaissance property is in Ten Mile Road approximately 700 feet south of Lake Hazel Road. When connecting to the water system, the applicant will need to abide by any relevant water reimbursement policies and agreements and any relevant connection fees.
- c) For assistance in locating existing facilities, please contact the City Engineer at 287-1727.

## **3. Pressure Irrigation**

- a) The property's irrigation needs are presently served from surface water rights delivered through local canals and from private wells and does not require immediate City service. With additional urban development, it will require municipal pressure irrigation service. The City Engineer recommends ultimate connection to City facilities in connection with future development.
- b) The nearest point of connection for the Renaissance property is in Ten Mile Road approximately 700 feet south of Lake Hazel Road. When connecting to the pressure irrigation system, the applicant will need to abide by any relevant pressure irrigation reimbursement policies and agreements and any relevant connection fees.
- c) As a condition related to paragraph 3(a), connection to pressure irrigation shall constitute an automatic petition for inclusion in the municipal irrigation system and an agreement to the pooling of this property's water rights for delivery purposes.
- d) For assistance in locating existing facilities, please contact the City Engineer at 287-1727.

## **4. Grading and Storm Drainage**

The following is not required for annexation but will be required when alteration of surface features is proposed (such as grading or paving) in connection with future land use applications:

- a) Please provide a grading and drainage plan which supports and maintains all upstream drainage rights and all downstream irrigation delivery rights as they presently exist for this property.
- b) If impervious area is increased, please provide a storm water disposal plan acceptable to the City Engineer which accounts for the increased storm water drainage. Please provide detail drawings of drainage facilities for review.
- c) Any increase in quantity or rate of runoff or decrease in quality of runoff from the site compared to historical conditions must be detained, treated and released at rates no greater than historical amounts.

# Exhibit B-1

- d) If offsite disposal of storm water in excess of historical rates or conditions is proposed, or disposed at locations different than provided historically, the approval of the affected entities is required.

## 5. General

- a) With the addition of this property into the corporate limits of Kuna and its potential connection to water (and perhaps irrigation) services, this property will be placing demand not only on constructed facilities but on water rights provided by others. It is the reasonable expectation, in return, that this property transfer to the City at time of connection (ie development) any conveyable water rights by deed and “Change of Ownership” form from IDWR that are presently associated with the property. The domestic water right associated solely with a residence and ½ acre or less is not conveyable. The water right held in trust by an irrigation district is also not conveyable.
- b) A plan approval letter will be required if this project affects any local irrigation districts.
- c) Verify that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties.
- d) State the vertical datum used for elevations on all drawings.
- e) Provide engineering certification on all final engineering drawings.

## 6. Inspection Fees

An inspection fee will be required for City inspection of the construction of any **public** water, sewer and irrigation facility associated with this development. The developer will still require a qualified responsible engineer to do sufficient inspection to justly certify to DEQ the project was completed in accordance with approved plans and specifications and to provide accurate as-built drawings to the City. The developer’s engineer and the City’s inspector are permitted to coordinate inspections as much as possible. The current inspection fee is \$1.00 per lineal foot of sewer, water and pressure irrigation pipe and payment is due and payable prior to City’s approval of final construction plans. **If no public water, sewer and irrigation construction work is done (such as with a stand-alone annexation), no fees are required.**

## 7. Right-of-Way

The subject property fronts on existing section line arterial streets (Lake Hazel and Ten Mile Roads). The following conditions are related to these classified streets and future quarter line classified streets and apply at the time of additional development:

- a) Sufficient half right-of-way on the quarter line and section line for existing and future classified streets should be provided pursuant to City and ACHD standards.
- b) It is recommended new approaches onto the classified streets comply with ACHD approach policies.
- c) It is recommended sidewalk, curb and gutter, street widening and any related storm drainage facilities, consistent with city code and policies, are provided at the time of land-use change or re-development.

**8. As-Built Drawings**

As-built drawings are required at the conclusion of any public facility construction project and are the responsibility of the developer's engineer. The city may help track changes, but will not be responsible for the finished product. As-built drawings will be required before occupancy or final plat approval is granted. **If no public facilities are constructed (such as with a stand-alone annexation), no as-built drawings are required.**

**9. Property Description**

a) The applicant provided a metes and bounds property description of the subject parcel.

# Exhibit B-2



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Paul Woods, President  
Rebecca W. Arnold, Vice President  
Sara M. Baker, Commissioner  
Jim D. Hansen, Commissioner  
Kent Goldthorpe, Commissioner

## Development Services

November 21, 2017

TO: ACHD Commission

FROM: Mindy Wallace, AICP

SUBJECT: **Gran Prado Subdivision**  
Staff Report for December 6, 2017 Commission Meeting

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### **Executive Summary**

The applicant is requesting approval of a preliminary plat application to allow for the development of 530 single family building lots with 67 common lots on approximately 133 acres. The site is located at the southwest corner of Ten Mile and Amity Roads. This item is on the consent agenda due to applicant requested and staff supported requests for modifications to the Master Street Map and a waiver of the continuation of streets policy to not extend a stub street in to the site.

### **Recommendation**

Staff recommends approval of the staff report, as written.

Attachment(s): Staff Report  
COMPASS Checklist



**Project/File:** **KPP17-0012/ Gran Prado Subdivision/ 17-10-S**  
*This is a preliminary plat application to allow for the development of 530 single family building lots with 67 common lots on approximately 133 acres.*

**Lead Agency:** City of Kuna

**Site address:** SWC of Ten Mile/Amity Road

**Commission Hearing:** December 6, 2017  
*Consent Agenda*

**Applicant:** Tim Eck  
 N. Star Farm, LLC  
 6152 West Half Moon Lane  
 Eagle, ID 83616

**Representative:** Kristi Grabo  
 KM Engineering  
 9233 W. State Street  
 Boise, ID 83714

**Staff Contact:** Mindy Wallace, AICP  
 Phone: 387-6178  
 E-mail: mwallace@achdidaho.org

## **A. Findings of Fact**

1. **Description of Application:** The applicant is requesting approval of a preliminary plat application to allow for the development of 530 single family building lots with 67 common lots on approximately 133 acres.

2. **Description of Adjacent Surrounding Area:**

<b>Direction</b>	<b>Land Use</b>	<b>Zoning</b>
North	Single family residential/Rural urban transitional	RUT (Ada County)
South	Single family residential/Rural urban transitional	RUT (Ada County)
East	Single family residential/Rural urban transitional	RUT (Ada County)
West	Single family residential/Rural urban transitional	RUT (Ada County)

3. **Site History:** ACHD previously reviewed this site as an annexation and rezone application KUNA16-0021 in January of 2017.

4. **Adjacent Development:** The following developments are pending or underway in the vicinity of the site:

## Exhibit B-2

- Caspian Subdivision, consisting of 497 single family building lots and 68 common lots on 132 acres, is located southeast of the site and was approved by ACHD on April 20, 2017.
5. **Transit:** Transit services are not available to serve this site.
  6. **New Center Lane Miles:** The proposed development includes 5.24 centerline miles of new public road.
  7. **Impact Fees:** There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time.
  8. **Capital Improvements Plan (CIP)/ Integrated Five Year Work Plan (IFYWP):**
    - The intersection of Ten Mile Road and Amity Road is scheduled in the CIP and IFYWP to be widened to and reconstructed as a roundabout in 2022.
    - Lake Hazel Road is listed in the CIP to be widened to 3-lanes from Ten Mile Road to Linder Road between 2026 and 2030.
    - The intersection of Lake Hazel Road and Ten Mile Road is listed in the CIP to be widened to and reconstructed as a single lane roundabout between 2026 and 2030.
    - Ten Mile Road is listed in the CIP to be widened to 5-lanes from Victory Road to Overland Road between 2026 and 2030.

## **B. Traffic Findings for Consideration**

1. **Trip Generation:** This development is estimated to generate 4,896 vehicle trips per day; 474 vehicle trips per hour in the PM peak hour, based on the traffic impact study.

2. **Traffic Impact Study**

Kittelton & Associates prepared a traffic impact study for the proposed *Gran Prado Subdivision*. The executive summary of the findings as presented by **Kittelton & Associates** can be found as attachment 3. ACHD has reviewed the submitted traffic impact study for consistency with ACHD policies and practices, and may have additional requirements beyond what is noted in the summary. ACHD Staff comments on the submitted traffic impact study can be found below under staff comments.

**Staff Comments/Recommendations:** ACHD Traffic Services and Planning Review staff has reviewed and generally agree with the finding and conclusions of the submitted traffic impact study for Gran Prado Subdivision.

- The TIS notes that under current conditions (2016 background) the Amity Road/Ten Mile Road intersection operates at an unacceptable level of service (LOS). When a roadway or intersection is at or above an acceptable level of service, policy requires that improvements be made to mitigate the additional traffic to be generated by the development.

Typically, staff recommends improvements to mitigate the impacts, or that the developer wait until ACHD makes improvements, as scheduled in the CIP or FYWP. In this case the Amity Road/Ten Mile Road intersection is currently scheduled in ACHD's IFYWP to be improved with the construction of a roundabout in 2022.

Therefore, staff recommends that prior to ACHD's signature on first final plat that the applicant be required to install an interim signal within the existing right-of-way at the Amity Road/Ten Mile Road intersection; or, if right-of-way is available, the applicant could request to enter into a cooperative development agreement (CDA) with the District to complete the full intersection widening project as identified in ACHD's CIP and IFYWP.

The applicant may also wait for ACHD to make improvements to the intersection, as scheduled in the IFYWP.

- The traffic impact study notes that the Black Cat Road/Amity Road intersection exceeds acceptable LOS “E”. However, the westbound movement is causing the failure of the intersection and the traffic generated by Gran Prado will not contribute to that movement. Therefore, no improvements should be required.
- The traffic impact study notes that 250 homes could be built before Ten Mile Road between Amity Road and Victory Road exceeds acceptable LOS “E” and will need to be widened to 5 lanes. The widening to 5 lanes would need to occur through the Ten Mile Road/Victory Road intersection north to Overland Road. The study also notes that an additional southbound through lane will be needed at the intersection when 440 lots have been developed.

ACHD does not have improvements programed for this segment of Ten Mile Road or the Ten Mile Road/Victory Road intersection and there is currently not enough right-of-way for the recommended improvements to be made at this time. Staff recommends that this segment of Ten Mile Road and that the Ten Mile Road/Victory Road intersection be included as part of all future traffic impact study updates. Through the review of the updated traffic impact studies it is determined that Ten Mile Road and/or the Ten Mile Road/Victory Road intersection needs to be widened, then the applicant will need stop final platting and wait for ACHD to make the improvements.

- The traffic impact study notes that 350 homes could be built before the Amity Road/Linder Road intersection exceeds acceptable LOS “E”. Therefore staff recommends that prior to ACHD's signature on the final plat which contains the 351<sup>st</sup> lot that the applicant be required to submit an intersection analysis of the Amity Road/Linder Road intersection. If it determined through the analysis that improvements are needed then the applicant should be required to install an interim signal within the existing right-of-way at the Amity Road/Linder Road intersection, prior to ACHD's signature on the final plat that contains the 351<sup>st</sup> lot.
- To verify the assumptions of the traffic impact study and to ensure that improvements are made when warranted; prior to ACHD's signature on the final plat which contains the 350<sup>th</sup> lot, the applicant should be required to submit an intersection analysis for the Amity/Linder Road and the Ten Mile/Victory Road intersections to ACHD for review. A subsequent traffic impact study update (full study) should be provided prior to ACHD's signature on the final plat which contains the 440<sup>th</sup> lot. ACHD may have additional requirements based on the findings of the updated studies and available right-of-way.

Additionally, the study recommended the construction of the following turn lanes:

- A westbound left turn lane on Amity Road at Nickel Creek Avenue.
- A southbound right turn lane and a northbound left turn lane on Ten Mile Road at Ballard Drive and at Nogal Avenue.

The TIS notes that Lindy Lane, an existing private road will be closed when Nickel Creek Avenue is constructed. Prior to ACHD's signature on the first final plat, the applicant should be required to provide written documentation demonstrating that Lindy Lane can be closed in the future when Nickel Creek Avenue is constructed.

# Exhibit B-2

### 3. Condition of Area Roadways

Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Amity Road (Ten Mile to Linder)	N/A	Minor Arterial 2-lane	340	Better than "E"
Amity Road (Ten Mile to Black Cat)	310-feet	Principal Arterial 2-lane	485	Better than "E"
Ten Mile Road (Amity to Lake Hazel)	1,100-feet	Principal Arterial 2-lane	340	Better than "E"
Ten Mile Road (Amity to Victory)	N/A	Principal Arterial 2-lane	540	Better than "E"

\* Acceptable level of service for a two-lane principal arterial is "E" (690 VPH).

\* Acceptable level of service for a two-lane minor arterial is "E" (575 VPH).

### 4. Average Daily Traffic Count (VDT)

*Average daily traffic counts are based on ACHD's most current traffic counts.*

- The average daily traffic count for Amity Road, Ten Mile to Linder, was 3,925 on 06/22/16.
- The average daily traffic count for Amity Road, Ten Mile to Black Cat, was 6,078 on 6/22/16.
- The average daily traffic count for Ten Mile Road, Amity to Lake Hazel, was 6,203 on 8/18/16.
- The average daily traffic count for Ten Mile Road, Amity to Victory, was 7,053 on 2/5/15.

## C. Findings for Consideration

### 1. Modifications/Waivers of Policy

As part of this application, the applicant has requested 2 modifications to the Master Street Map (MSM) and for a waiver of ACHD's Continuation of Streets policy. The applicant's letter requesting these modifications/waivers can be found as attachment 1. The letter references meetings with staff and that those meetings lead to the street layout for the Gran Prado development.

The applicant was notified during each pre-application meeting that they would need to make a request for the modifications/waivers of policy and would be responsible for getting feedback from the City of Kuna for their proposals. The City of Kuna sent a letter in support of the applicant's proposals, it can be found as attachment 2.

The waiver requests can be found in Findings for Consideration 8, 9, & 12 below. Only the ACHD Commission can approve modifications to the MSM and waivers of ACHD policy.

## 2. Amity Road/Ten Mile Road Intersection

The traffic impact study notes that the Amity Road/Ten Mile Road intersection already exceeds acceptable LOS "E" and will need to be improved with an interim signal. Or, as an alternative, the applicant will need to wait for ACHD to make improvements to the intersection, as scheduled in the IFYWP. This intersection is currently scheduled in ACHD's IFYWP to be improved with the construction of a roundabout in 2022.

If the applicant moves forward with the development of the Gran Prado Subdivision before ACHD improves the intersection the applicant could signalize and widen the Amity/Ten Mile Road intersection to a 3 X 3 intersection as an interim condition until ACHD moves forward with the full intersection widening project listed in the IFYWP. Or, if right-of-way is available, the applicant could request to enter into a cooperative development agreement (CDA) with the District to complete the full intersection widening project as identified in ACHD's CIP and IFYWP. The design of the intersection is underway and the right-of-way acquisition is budgeted in the ACHD FY18 budget.

The applicant should be required to improve the Amity/Ten Mile Road intersection prior to ACHD's signature on the first final plat. As such, the applicant should be required to enter into a Cooperative Development Agreement with the District to improve the Amity/Ten Mile intersection as a roundabout, as noted in the District's CIP, or with interim system improvements at the intersection which includes the installation of a traffic signal and turn lanes.

The Cooperative Development Agreement should include the intersection construction, as well as allocation of costs. ACHD will only provide reimbursement for the costs of permanent intersection improvements consistent with the IFYWP and CIP. Interim improvements are not eligible for reimbursement and all costs would be the responsibility of the applicant.

In order to ensure the intersection will be improved when warranted, the following items must be in place prior plans acceptance for the final plat necessitating the improvements.

- Cooperative Development Agreement;
- Financial surety provided by the applicant meeting the terms of the Cooperative Development Agreement;
- Dedication of all of the right-of-way necessary to complete the intersection project.

If all of the right-of-way necessary to construct the Amity/Ten Mile Road intersection as a roundabout is not available or able to be acquired, then the applicant will be required to install an interim signal prior to ACHD's signature on the first final plat. Additionally, the applicant will need to obtain plan approval and enter into a signal agreement with ACHD.

The signal agreement should include requirements that the intersection be designed as a 3 X 3 intersection with three 12-foot wide travel lanes: one receiving lane, one dedicated left turn lane, and one thru/right lane on each approach; that the applicant is responsible for all costs associated with the hardware, design, and installation of the interim signal, and that interim improvements are not eligible for reimbursement by ACHD.

In order to ensure the Amity/Ten Mile Road intersection will be improved when warranted, the following items must be in place prior to plans acceptance for the final plat which necessitates the improvement based on the findings of the updated traffic impact study:

- Signal Agreement
- Full design and approved plans for the intersection

### 3. Amity Road/Linder Road Intersection

The traffic impact study notes that 350 homes could be built before the Amity Road/Linder Road intersection exceeds acceptable LOS “E”. ACHD does not have improvements programed for this intersection. Therefore staff recommends that prior to ACHD's signature on the final plat which contains the 351<sup>st</sup> lot that the applicant be required to install an interim signal within the existing right-of-way at the Amity Road/Linder Road intersection. Additionally, the applicant will need to obtain plan approval and enter into a signal agreement with ACHD.

The signal agreement should include requirements that the intersection be designed as a 3 X 3 intersection with three 12-foot wide travel lanes: one receiving lane, one dedicated left turn lane, and one thru/right lane on each approach; that the applicant is responsible for all costs associated with the hardware, design, and installation of the interim signal, and that interim improvements are not eligible for reimbursement by ACHD.

In order to ensure the Amity/Linder intersection will be improved when warranted, the following items must be in place prior to plans acceptance for the final plat which necessitates the improvement based on the findings of the updated traffic impact study:

- Signal Agreement;
- Full design and approved plans for the intersection.

### 4. Ten Mile Road – Amity to Overland & Ten Mile/Victory Intersection

The traffic impact study notes that 250 homes could be built before Ten Mile Road between Amity Road and Victory Road exceeds acceptable LOS “E” will need to be widened to 5 lanes. The widening to 5 lanes would need to occur through the Ten Mile Road/Victory Road intersection north to Overland Road. The study also notes that an additional southbound through lane will be needed at the intersection when 440 lots have been developed.

ACHD does not have improvements programed for this segment of Ten Mile Road or the Ten Mile Road/Victory Road intersection in the IFYWP and there is currently not enough right-of-way for the recommended improvements to be made at this time. Staff recommends that an intersection analysis for the Ten Mile Road/Victory Road intersection be submitted to staff for review prior to ACHD's signature on the final plat that contains the 351<sup>st</sup> building lot, and that the roadway segment analysis for Ten Mile Road from the site north to Overland Road and that the Ten Mile Road/Victory Road intersection be included as part of a full traffic impact study update submitted prior to ACHD's signature on the final plat that contains the 441<sup>st</sup> building lot. Through the review of the intersection analysis or updated traffic impact studies it is determined that Ten Mile Road and/or the Ten Mile Road Victory Road intersection needs to be widened, then the applicant will need stop final platting and wait to ACHD to make the improvements.

### 5. Amity Road

**a. Existing Conditions:** Amity Road is improved with 2 to 3-travel lanes and no curb, gutter or sidewalk abutting the site. There is 73 to 88-feet of right-of-way for Amity Road (48-feet from centerline).

**b. Policy:**

**Arterial Roadway Policy:** District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

**Master Street Map and Typology Policy:** District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map and Livable Streets Design Guide. The developer or engineer should contact the District before starting any design.

**Street Section and Right-of-Way Width Policy:** District Policies 7205.2.1 & 7205.5.2 state that the standard 5-lane street section shall be 72-feet (back-of-curb to back-of-curb) within 96-feet of right-of-way. This width typically accommodates two travel lanes in each direction, a continuous center left-turn lane, and bike lanes on a minor arterial and a safety shoulder on a principal arterial.

**Right-of-Way Dedication:** District Policy 7205.2 states that The District will provide compensation for additional right-of-way dedicated beyond the existing right-of-way along arterials listed as impact fee eligible in the adopted Capital Improvements Plan using available impact fee revenue in the Impact Fee Service Area.

No compensation will be provided for right-of-way on an arterial that is not listed as impact fee eligible in the Capital Improvements Plan.

The District may acquire additional right-of-way beyond the site-related needs to preserve a corridor for future capacity improvements, as provided in Section 7300.

**Sidewalk Policy:** District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all arterial streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

**Frontage Improvements Policy:** District Policy 7205.2.1 states that the developer shall widen the pavement to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site. Curb, gutter and additional pavement widening may be required (See Section 7205.5.5).

**ACHD Master Street Map:** ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. This segment of Amity Road is designated in the MSM as a Residential Arterial with 5-lanes and on-street bike lanes, a 72-foot street section within 96-feet of right-of-way.

- c. **Applicant Proposal:** The applicant hasn't proposed any improvements to Amity Road abutting the site.
- d. **Staff Comments/Recommendations:** There is already 48-feet of right-of-way from the centerline of Amity Road abutting the site, therefore no additional right-of-way dedication should be required as part of this application.

The applicant should be required to construct a 5-foot wide detached concrete sidewalk located a minimum of 41-feet from the centerline of Amity Road abutting the site. If the detached sidewalk is located outside of the dedicated right-of-way, then a permanent right-of-way easement should be provided.

Consistent with ACHD's Frontage Improvement policy, the applicant should be required to widen the pavement on Amity Road to a minimum width of 17-feet from centerline plus a 3-foot wide gravel shoulder abutting the site.

## Exhibit B-2

Consistent with the recommendations of the traffic impact study the applicant should be required to construct a westbound left turn lane on Amity Road when Nickel Creek Avenue is constructed and intersects the roadway.

### 6. Ten Mile Road

a. **Existing Conditions:** Ten Mile Road is improved with 2-travel lanes, and no curb, gutter or sidewalk abutting the site. There is 72-feet of right-of-way for Ten Mile Road (48-feet from centerline).

b. **Policy:**

**Arterial Roadway Policy:** District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

**Master Street Map and Typology Policy:** District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map and Livable Streets Design Guide. The developer or engineer should contact the District before starting any design.

**Street Section and Right-of-Way Width Policy:** District Policies 7205.2.1 & 7205.5.2 state that the standard 5-lane street section shall be 72-feet (back-of-curb to back-of-curb) within 96-feet of right-of-way. This width typically accommodates two travel lanes in each direction, a continuous center left-turn lane, and bike lanes on a minor arterial and a safety shoulder on a principal arterial.

**Right-of-Way Dedication:** District Policy 7205.2 states that The District will provide compensation for additional right-of-way dedicated beyond the existing right-of-way along arterials listed as impact fee eligible in the adopted Capital Improvements Plan using available impact fee revenue in the Impact Fee Service Area.

No compensation will be provided for right-of-way on an arterial that is not listed as impact fee eligible in the Capital Improvements Plan.

The District may acquire additional right-of-way beyond the site-related needs to preserve a corridor for future capacity improvements, as provided in Section 7300.

**Sidewalk Policy:** District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all arterial streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

**Frontage Improvements Policy:** District Policy 7205.2.1 states that the developer shall widen the pavement to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site. Curb, gutter and additional pavement widening may be required (See Section 7205.5.5).

**Minor Improvements Policy:** District Policy 7203.3 states that minor improvements to existing streets adjacent to a proposed development may be required. These improvements are to correct deficiencies or replace deteriorated facilities. Included are sidewalk construction

or replacement; curb and gutter construction or replacement; replacement of unused driveways with curb, gutter and sidewalk; installation or reconstruction of pedestrian ramps; pavement repairs; signs; traffic control devices; and other similar items.

**ACHD Master Street Map:** ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. This segment of Ten Mile Road is designated in the MSM as a Residential Arterial with 5-lanes and on-street bike lanes, a 72-foot street section within 96-feet of right-of-way.

- c. **Applicant Proposal:** The applicant hasn't proposed any improvements to Ten Mile Road abutting the site.
- d. **Staff Comments/Recommendations:** There is already 48-feet of right-of-way from the centerline of Ten Mile Road abutting the site, therefore no additional right-of-way dedication should be required as part of this application.

The applicant should be required to construct a 5-foot wide detached concrete sidewalk located a minimum of 41-feet from the centerline of Ten Mile Road abutting the site. If the detached sidewalk is located outside of the dedicated right-of-way, then a permanent right-of-way easement should be provided.

Consistent with ACHD's Frontage Improvement policy, the applicant should be required to widen the pavement on Ten Mile Road to a minimum width of 17-feet from centerline plus a 3-foot wide gravel shoulder abutting the site.

Consistent with the findings and recommendations of the traffic impact study the applicant should be required to construct a southbound right turn lane and a northbound left turn lane on Ten Mile Road at Ballard Drive and at Nogal Avenue intersections when they are constructed.

## 7. Ballard Drive

- a. **Existing Conditions:** There are no collector roadways within the site.
- b. **Policy:**
  - Collector Street Policy:** District policy 7206.2.1 states that the developer is responsible for improving all collector frontages adjacent to the site or internal to the development as required below, regardless of whether access is taken to all of the adjacent streets.

**Master Street Map and Typologies Policy:** District policy 7206.5 states that if the collector street is designated with a typology on the Master Street Map, that typology shall be considered for the required street improvements. If there is no typology listed in the Master Street Map, then standard street sections shall serve as the default.

**Street Section and Right-of-Way Policy:** District policy 7206.5.2 states that the standard right-of-way width for collector streets shall typically be 50 to 70-feet, depending on the location and width of the sidewalk and the location and use of the roadway. The right-of-way width may be reduced, with District approval, if the sidewalk is located within an easement; in which case the District will require a minimum right-of-way width that extends 2-feet behind the back-of-curb on each side.

The standard street section shall be 46-feet (back-of-curb to back-of-curb). This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

**Residential Collector Policy:** District policy 7206.5.2 states that the standard street section for a collector in a residential area shall be 36-feet (back-of-curb to back-of-curb). The District will consider a 33-foot or 29-foot street section with written fire department approval and

## Exhibit B-2

taking into consideration the needs of the adjacent land use, the projected volumes, the need for bicycle lanes, and on-street parking.

**Sidewalk Policy:** District policy 7206.5.6 requires a concrete sidewalks at least 5-feet wide to be constructed on both sides of all collector streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

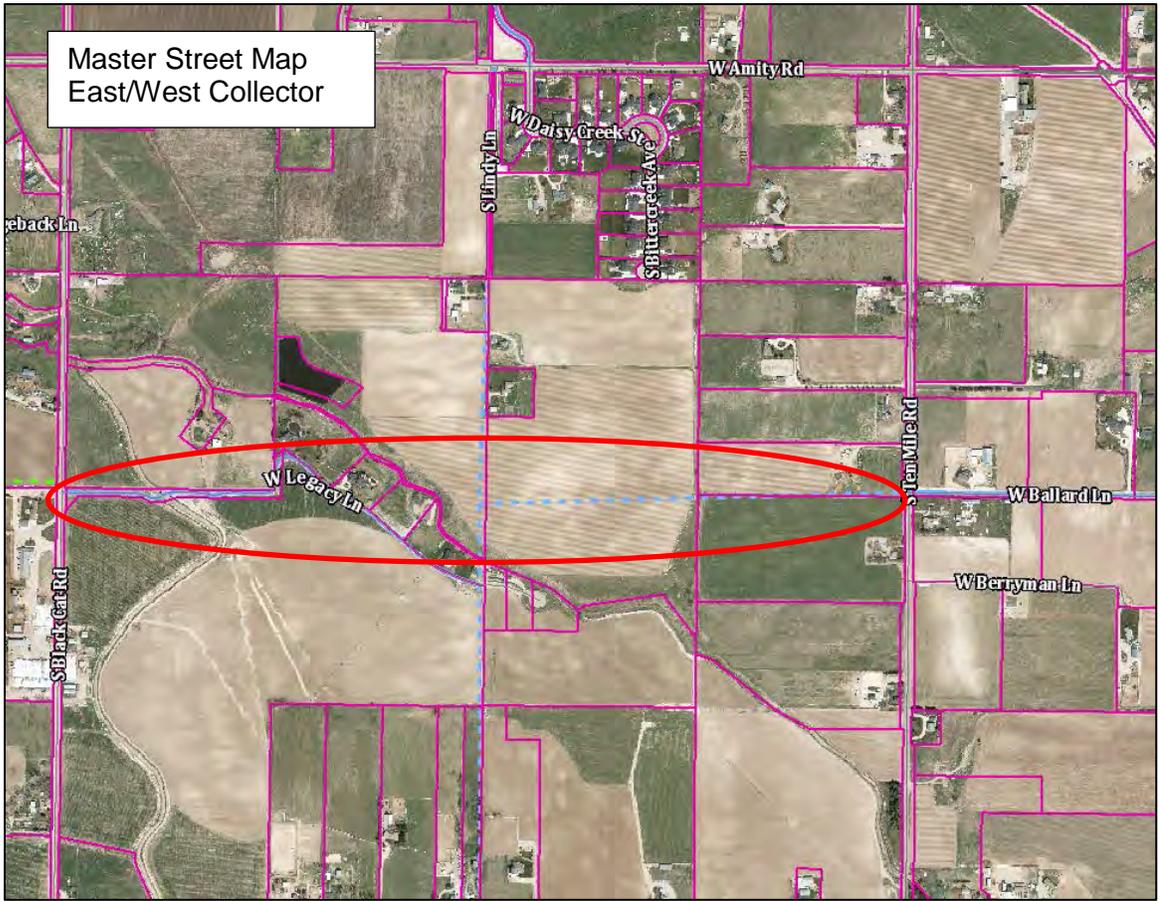
A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

**ACHD Master Street Map:** ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, collector street requirements, and specific roadway features required through development. A new collector roadway was identified on the MSM with the street typology Residential Collector. The new collector roadway should align with Ballard Lane on the east side of Ten Mile Road and continue through the property stubbing to the west. The Residential Collector typology as depicted in the Livable Street Design Guide recommends a 2-lane roadway with bike lanes, a 36-foot street section within 54-feet of right-of-way.

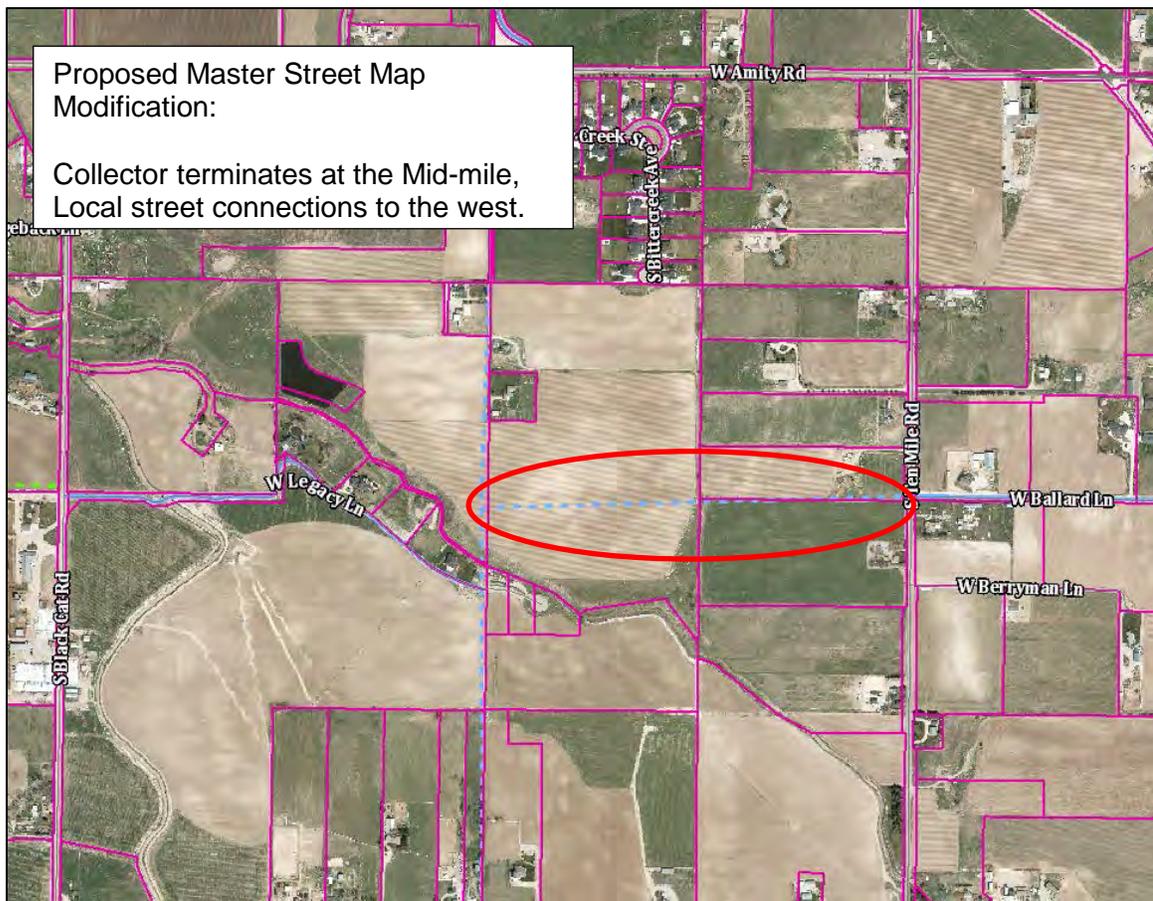
- c. **Applicant Proposal:** The applicant has proposed a modification to the MSM to not construct Ballard Drive, an east/west collector through the site, stubbing to the west property line, but has instead proposed to terminate the collector at the mid-mile. The applicant's proposal is due to Mason Creek running along the site's west property line and the presence of existing single family homes within the Dream Catcher Subdivision located south and west of the site that would preclude the construction of the collector on the mid-mile west of the site.

The applicant has proposed to construct Ballard Drive, from Ten Mile Road west 1,260-feet as ½ of a 36-foot resident collector section with 30-feet of pavement, rolled curb, gutter, and a 7-foot wide attached concrete sidewalk abutting the site and a 3-foot gravel shoulder and barrow ditch on the other side of the roadway.

The remainder of Ballard Drive is proposed to be constructed as a 36-foot residential collector street section with rolled curb, gutter, and a 7-foot wide attached concrete sidewalk.



## Exhibit B-2



- d. **Staff Comments/Recommendations:** The applicant's proposal to construct Ballard Drive as half of a 36-foot residential collector street, plus 12-feet of pavement to total 30-feet, from Ten Mile Road west 1,260-feet and then as a full 36-foot wide residential collector roadway meets District policy, with the exception of the proposed rolled curb. The applicant should be required to construct Ballard Drive with vertical curb.

Staff recommends approval of the applicant's proposed modification to the MSM to construct Ballard Drive as a collector roadway to the mid-mile instead of stubbing the roadway to the west property line.

Staff's recommendation is due to the fact that this segment of collector roadway isn't necessary to serve the site. The City of Meridian's Future Land Use Map calls for low density residential west of Mason Creek, with 2 units per acre, therefore a collector roadway wouldn't be needed to serve those parcels. The modification is supported by the City of Kuna, who note topography and Mason Creek as physical constraints which would make the construction of the roadway difficult.

### 8. North/South Collector (Lindy Lane)

- a. **Existing Conditions:** There are no collector roadways within the site.

b. **Policy:**

**Collector Street Policy:** District policy 7206.2.1 states that the developer is responsible for improving all collector frontages adjacent to the site or internal to the development as required below, regardless of whether access is taken to all of the adjacent streets.

**Master Street Map and Typologies Policy:** District policy 7206.5 states that if the collector street is designated with a typology on the Master Street Map, that typology shall be

considered for the required street improvements. If there is no typology listed in the Master Street Map, then standard street sections shall serve as the default.

**Street Section and Right-of-Way Policy:** District policy 7206.5.2 states that the standard right-of-way width for collector streets shall typically be 50 to 70-feet, depending on the location and width of the sidewalk and the location and use of the roadway. The right-of-way width may be reduced, with District approval, if the sidewalk is located within an easement; in which case the District will require a minimum right-of-way width that extends 2-feet behind the back-of-curb on each side.

The standard street section shall be 46-feet (back-of-curb to back-of-curb). This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

**Residential Collector Policy:** District policy 7206.5.2 states that the standard street section for a collector in a residential area shall be 36-feet (back-of-curb to back-of-curb). The District will consider a 33-foot or 29-foot street section with written fire department approval and taking into consideration the needs of the adjacent land use, the projected volumes, the need for bicycle lanes, and on-street parking.

**Sidewalk Policy:** District policy 7206.5.6 requires a concrete sidewalks at least 5-feet wide to be constructed on both sides of all collector streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

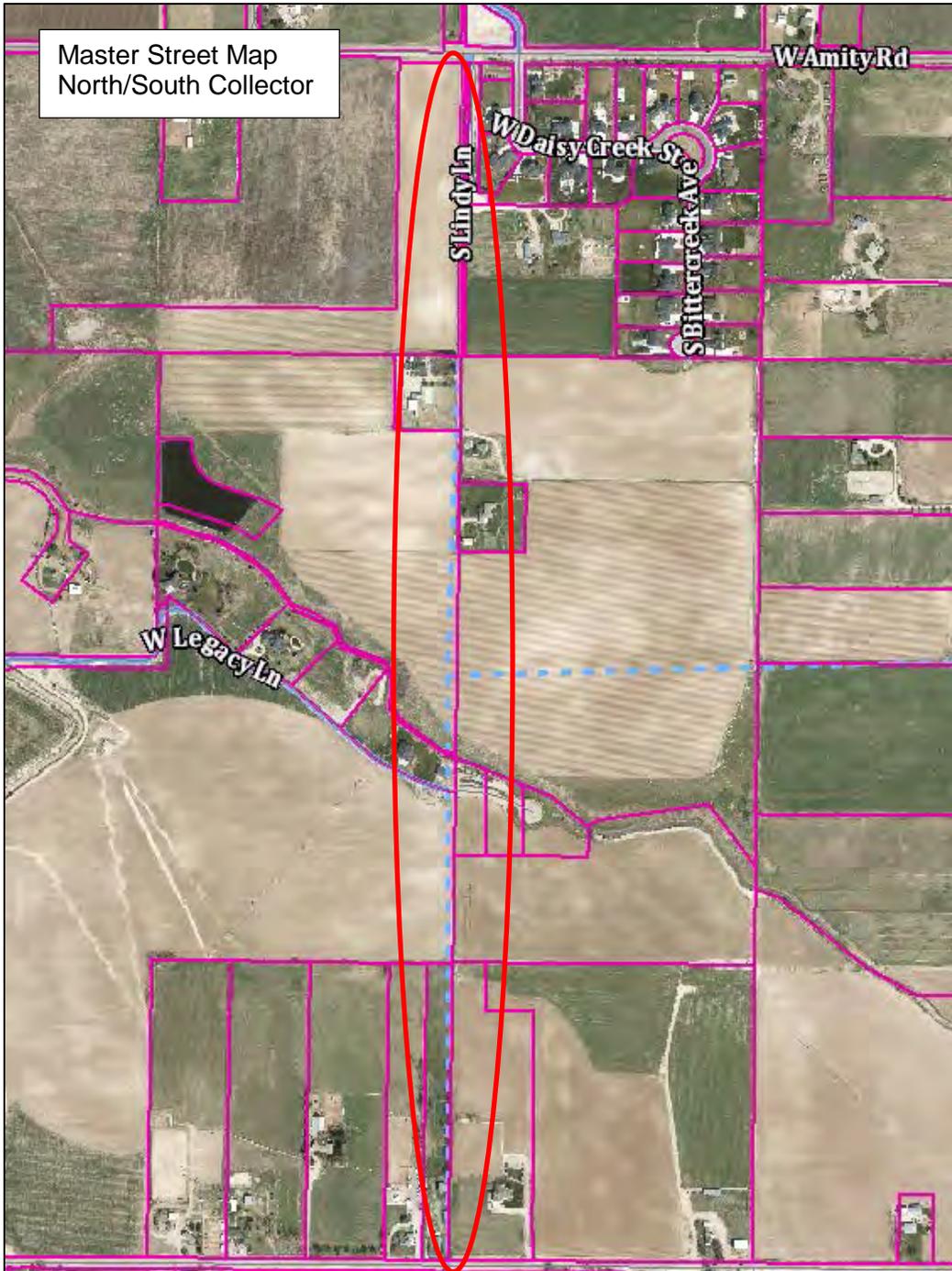
A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

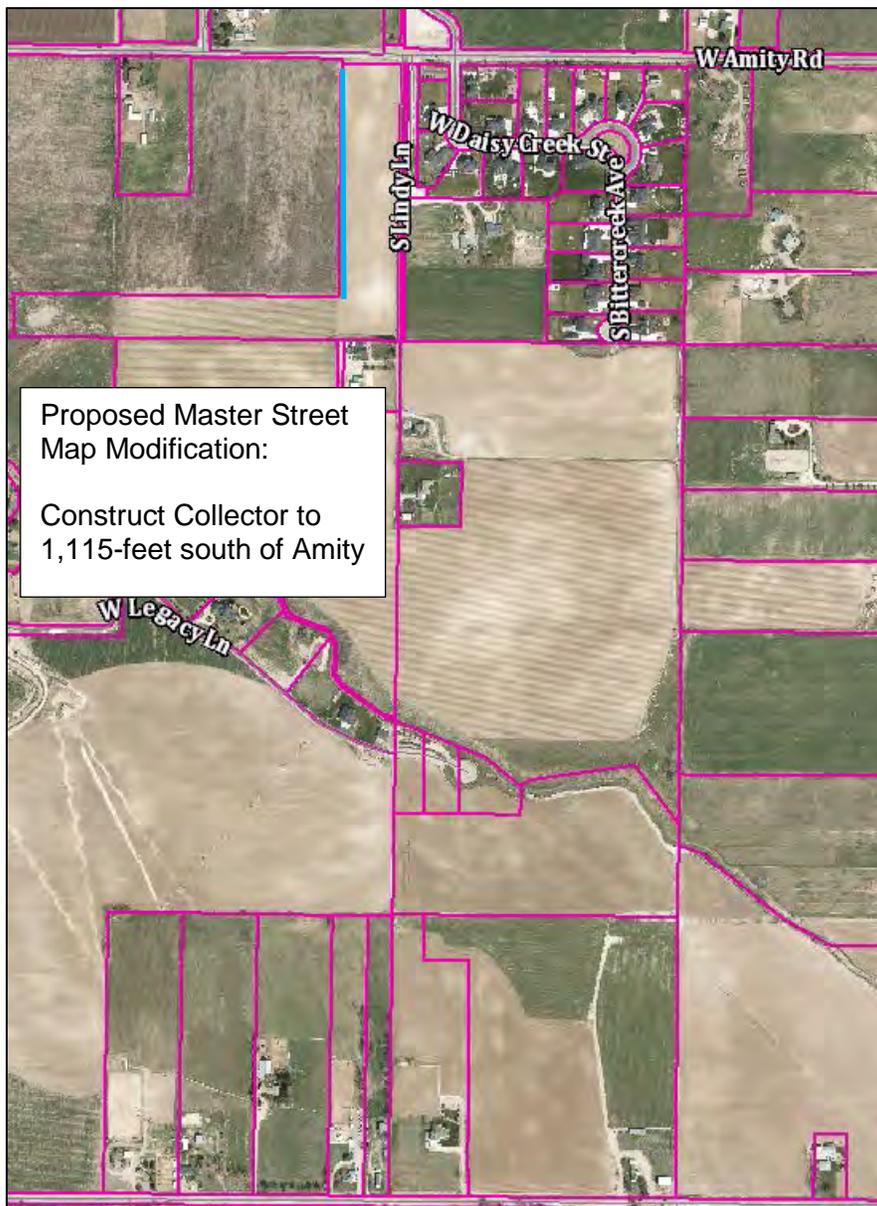
**ACHD Master Street Map:** ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, collector street requirements, and specific roadway features required through development. A new collector roadway was identified on the MSM with the street typology of Residential Collector. The new collector roadway should intersect Amity Road at the half mile and continue through the property stubbing to the south. The Residential Collector typology as depicted in the Livable Street Design Guide recommends a 2-lane roadway with bike lanes, a 36-foot street section within 54-feet of right-of-way.

- c. **Applicant Proposal:** The applicant has proposed a modification to the MSM to not construct Lindy Lane, a north/south collector through the site, stubbing to the south property line, but has instead proposed to terminate the collector 1,115-feet south of Amity Road. The applicant's proposal is due to Mason Creek running along the site's south property line and the presence of existing single family homes within the Dream Catcher Subdivision located south of the site that would preclude the construction of the collector on the mid-mile south of the site.

The applicant has proposed to construct Nickel Creek, a new collector roadway, from Amity Road south 1,115-feet as ½ of a 36-foot resident collector section with 30-feet of pavement, vertical curb, gutter, and a 7-foot wide attached concrete sidewalk abutting the site and a 3-foot gravel shoulder and barrow ditch on the other side of the roadway.

# Exhibit B-2





- d. **Staff Comments/Recommendations:** Staff is supportive of the applicant’s proposal as this segment of roadway is anticipated to have traffic volumes of greater than 1,000 trips per day exceeding the trip threshold for a local street.

Additionally, the segment of collector roadway south of Rebollo Drive isn’t necessary to serve the site. The City of Meridian’s Future Land Use Map calls for rural and estate residential south of Mason Creek, therefore a collector roadway wouldn’t be needed to serve those parcels. The modification is supported by the City of Kuna, who note topography and Mason Creek as physical constraints which would make the construction of the roadway difficult.

## 9. Internal Local Streets

- a. **Existing Conditions:** There are no internal local streets within the site.
- b. **Policy:**  
**Local Roadway Policy:** District Policy 7207.2.1 states that the developer is responsible for improving all local street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

## Exhibit B-2

**Street Section and Right-of-Way Policy:** District Policy 7207.5 states that right-of-way widths for all local streets shall generally not be less than 50-feet wide and that the standard street section shall be 36-feet (back-of-curb to back-of-curb). The District will consider the utilization of a street width less than 36-feet with written fire department approval.

**Standard Urban Local Street—36-foot to 33-foot Street Section and Right-of-way Policy:** District Policy 7207.5.2 states that the standard street section shall be 36-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot concrete sidewalks on both sides and shall typically be within 50-feet of right-of-way.

The District will also consider the utilization of a street width less than 36-feet with written fire department approval. Most often this width is a 33-foot street section (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size.

**Continuation of Streets Policy:** District Policy 7207.2.4 states that an existing street, or a street in an approved preliminary plat, which ends at a boundary of a proposed development shall be extended in that development. The extension shall include provisions for continuation of storm drainage facilities. Benefits of connectivity include but are not limited to the following:

- Reduces vehicle miles traveled.
- Increases pedestrian and bicycle connectivity.
- Increases access for emergency services.
- Reduces need for additional access points to the arterial street system
- Promotes the efficient delivery of services including trash, mail and deliveries.
- Promotes appropriate intra-neighborhood traffic circulation to schools, parks, neighborhood commercial centers, transit stops, etc.
- Promotes orderly development.

**Sidewalk Policy:** District Policy 7207.5.7 states that five-foot wide concrete sidewalk is required on both sides of all local street, except those in rural developments with net densities of one dwelling unit per 1.0 acre or less, or in hillside conditions where there is no direct lot frontage, in which case a sidewalk shall be constructed along one side of the street. Some local jurisdictions may require wider sidewalks.

The sidewalk may be placed next to the back-of-curb. Where feasible, a parkway strip at least 8-feet wide between the back-of-curb and the street edge of the sidewalk is recommended to provide increased safety and protection of pedestrians and to allow for the planting of trees in accordance with the District's Tree Planting Policy. If no trees are to be planted in the parkway strip, the applicant may submit a request to the District, with justification, to reduce the width of the parkway strip.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

**Half Street Policy:** District Policy 7207.2.2 required improvements shall consist of pavement widening to one-half the required width, including curb, gutter and concrete sidewalk (minimum 5-feet), plus 12-feet of additional pavement widening beyond the centerline established for the street to provide an adequate roadway surface, with the pavement crowned at the ultimate centerline. A 3-foot wide gravel shoulder and a borrow ditch sized to accommodate the roadway storm runoff shall be constructed on the unimproved side.

**Cul-de-sac Streets Policy:** District policy 7207.5.8 requires cul-de-sacs to be constructed to provide a minimum turning radius of 45-feet; in rural areas or for temporary cul-de-sacs the emergency service providers may require a greater radius. Landscape and parking islands may be constructed in turnarounds if a minimum 29-foot street section is constructed around the island. The pavement width shall be sufficient to allow the turning around of a standard AASHTO SU design vehicle without backing. The developer shall provide written approval from the appropriate fire department for this design element.

The District will consider alternatives to the standard cul-de-sac turnaround on a case-by-case basis. This will be based on turning area, drainage, maintenance considerations and the written approval of the agency providing emergency fire service for the area where the development is located.

- c. **Applicant's Proposal:** The applicant's proposing to construct Rebollo Drive from the west property line east approximately 470-feet, as ½ of a 36-foot street section with 30-feet of pavement with rolled curb, gutter, and 5-foot wide attached concrete sidewalk on the north side of the road abutting the site, and a 3-foot wide gravel shoulder, and barrow ditch within 45-feet of right-of-way.

The applicant has proposed to construct all of the other internal local streets as 36-foot street sections with rolled curb, gutter, and 5-foot wide attached concrete sidewalks within 50-feet of right-of-way.

The applicant has proposed to construct 8 cul-de-sacs within the site.

- d. **Staff Comments/Recommendations:** The applicant's proposal to construct Rebollo Drive from the west property line east approximately 470-feet, as ½ of a 36-foot street section and to construct all of the other internal local streets as a 36-foot street section meet's District policy and should be approved, as proposed.

The cul-de-sacs should be constructed to provide a minimum turning radius of 45-feet.

## 10. Roadway Offsets

- a. **Existing Conditions:** There are no roadway offsets within the site.

- b. **Policy:**

**Local Street Intersection Spacing on Principal Arterials:** District policy 7205.4.3 states that new local streets should not typically intersect arterials. Local streets should typically intersect collectors. If it is necessary, as determined by ACHD, for a local street to intersect an arterial, the minimum allowable offset shall be 1,320-feet as measured from all other existing roadways as identified in Table 1b (7205.4.7).

**Collector Offset Policy:** District policy 7205.4.2 states that the optimum spacing for new signalized collector roadways intersecting principal arterials is one half-mile.

District policy 7206.4.2 states that the preferred spacing for new collectors intersecting existing collectors is ¼ mile to allow for adequate signal spacing and alignment.

**Local Offset Policy:** District policy 7206.4.5, requires local roadways to align or offset a minimum of 330-feet from a collector roadway (measured centerline to centerline).

District policy 7207.4.2, requires local roadways to align or provide a minimum offset of 125-feet from any other street (measured centerline to centerline).

- c. **Applicant's Proposal:** The applicant has proposed the following roadways to intersect Amity Road, Ten Mile Road, and Ballard Drive:

## Exhibit B-2

**Amity Road:** The applicant has proposed to construct one collector roadway, Nickel Creek Avenue to intersect Amity Road, abutting the site's west property line.

**Ten Mile Road:** The applicant has proposed to construct one collector roadway, Ballard Drive, to intersect Ten Mile Road, located approximately at the half mile between Amity and Lake Hazel Roads.

The applicant has proposed to construct one local street, Nogal Avenue, to intersect Ten Mile Road, located approximately 280-feet south of the north property line (Block 3 & 4).

**Ballard Drive:** The applicant has proposed to construct five local streets to intersect Ballard Drive. They are proposed to be located as follows:

- Aliso Avenue - located approximately 640-feet west of the east property line.
- Memory Avenue – north and south of Ballard Drive, located approximately 1,410-feet west of Ten Mile Road.
- Nickel Creek Avenue – north and south of Ballard Drive, located approximately 1,320-feet west of Memory Lane.

#### d. Staff Comments/Recommendations:

**Amity Road:** The applicant's proposal to construct Nickel Creek Avenue to intersect Amity Road at the site's west property line should be approved, as proposed. Nickel Creek Avenue is needed to serve the site and to distribute traffic.

**Ten Mile Road:** The applicant's proposal to construct Ballard Drive at the ½ mile meets District policy, is consistent with the MSM, and should be approved, as proposed.

The applicant's proposal to construct Nogal Avenue to intersect Ten Mile Road 280-feet south of the north property line should be approved, as proposed. This will provide an offset of 410-feet from Berryman Lane and 660-feet from Castilian Way, a public street which will be constructed as part of Caspian Subdivision.

**Ballard Drive:** The applicant's proposal to construct 5 local street intersections onto Ballard Drive meets District policy and should be approved, as proposed.

## 11. Stub Streets

a. **Existing Conditions:** There is one stub street to the site's north property line, Bitter Creek Avenue.

#### b. Policy:

**Stub Street Policy:** District policy 7207.2.4 states that stub streets will be required to provide circulation or to provide access to adjoining properties. Stub streets will conform with the requirements described in Section 7207.2.5.4 except a temporary cul-de-sac will not be required if the stub street has a length no greater than 150-feet. A sign shall be installed at the terminus of the stub street stating that, "THIS ROAD WILL BE EXTENDED IN THE FUTURE."

In addition, stub streets must meet the following conditions:

- A stub street shall be designed to slope towards the nearest street intersection within the proposed development and drain surface water towards that intersection; unless an alternative storm drain system is approved by the District.
- The District may require appropriate covenants guaranteeing that the stub street will remain free of obstructions.

**Temporary Dead End Streets Policy:** District policy 7207.2.4 requires that the design and construction for cul-de-sac streets shall apply to temporary dead end streets. The temporary cul-de-sac shall be paved and shall be the dimensional requirements of a standard cul-de-sac. The developer shall grant a temporary turnaround easement to the District for those portions of the cul-de-sac which extend beyond the dedicated street right-of-way. In the instance where a temporary easement extends onto a buildable lot, the entire lot shall be encumbered by the easement and identified on the plat as a non-buildable lot until the street is extended.

**c. Applicant Proposal:** The applicant has proposed to construct 8 stub streets throughout the site. The stub streets are proposed to be located as follows:

- Stub street to the north, Aliso Avenue, located approximately, 690-feet west of Ten Mile Road.
- Stub street to the north, Aliso Avenue, located approximately, 690-feet west of Ten Mile Road.
- Stub street to the east, Bosque Street, located approximately, 600-feet south of Amity Road.
- Stub street to the east, Ridgeback Street, located approximately, 1,050-feet south of Amity Road.
- Stub street to the east, Amapola Drive, located approximately, 510-feet south of the north property line.
- Stub street to the west, Bosque Street, located approximately 600-feet south of Amity Road.
- Stub street to the west, Rebollo Drive, located at the site's southwest property line. The applicant has proposed to construct a temporary turnaround at the terminus of Rebollo Drive, as it extends greater than 150-feet in length.
- Stub street to the west, Piscina Drive, located approximately, 350-feet south of Rebollo Drive abutting the site's south property line.

The applicant has not proposed to extend Bittercreek Avenue into the site, but instead is proposing to construct a pedestrian pathway between the terminus of Bittercreek Avenue and the site. The applicant notes that Bittercreek Avenue terminates in a cul-de-sac turnaround and that the roadway isn't needed to serve the site as reasons why it should not be extended.

**d. Staff Comments/Recommendations:** The applicant's proposal for the 8 stub streets meet District policy and should be approved, as proposed. The applicant should be required to install a sign at the terminus of each stub street which states, "THIS ROAD WILL BE EXTENDED IN THE FUTURE".

The right-of-way for Piscina Drive should extend to the south property line abutting the 2.4 acre sewer lagoon parcel owned by the Bittercreek Meadows HOA (parcel R0967660153).

The temporary turnaround at the terminus of Rebollo Drive is proposed to encompass 2 building lots. The temporary cul-de-sac turnaround should be paved and constructed to the same be the dimensional requirements of a standard cul-de-sac. The developer shall grant a temporary turnaround easement to the District for those portions of the cul-de-sac which extend beyond the dedicated street right-of-way. In the instance where a temporary easement extends onto a buildable lot, the entire lot shall be encumbered by the easement and identified on the plat as a non-buildable lot until the street is extended.

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The applicant's proposal to not extend Bittercreek Avenue into the site does not meet ACHD's Continuation of Streets policy, which requires stub streets to be extended. The City of Kuna is supportive of the applicant's proposal noting that the City does not require the extension of stub streets and neighborhood opposition to the extension of the stub street from residents of Bittercreek Meadows Subdivision. ACHD has also been contacted by residents on Bittercreek Avenue requesting that it not connect into the site.

Staff recommends approval of the applicant's proposal to not extend Bittercreek Avenue into the site, as it is not desired by the City of Kuna and a pedestrian connection will be provided to provide connectivity between the two developments. The street is not necessary to serve the site, and the turnaround is fully improved.

### 12. Traffic Calming/Internal Street Design

- a. **Collector Roadways - Speed Control and Traffic Calming Policy:** District policy 7206.3.8 states that collector streets should be designed to discourage speeds above 35 MPH, and in a residential area collector streets should be designed to discourage speeds above 30 MPH. The design of collector street systems should discourage excessive speeds by using passive design elements. If the design or layout of a development is anticipated to necessitate future traffic calming implementation by the District, then the District will require changes to the layout and/or the addition of passive design elements such as horizontal curves, bulb-outs, chokers, etc. The District will also consider texture changes to the roadway surface (i.e. stamped concrete) as a passive design element. These alternative methods may require a maintenance and/or license agreement.

**Local Roadways - Speed Control and Traffic Calming Policy:** District policy 7207.3.7 states that the design of local street systems should discourage excessive speeds by using passive design elements. If the design or layout of a development is anticipated to necessitate future traffic calming implementation by the District, then the District will require changes to the layout and/or the addition of passive design elements such as horizontal curves, bulb-outs, chokers, etc. The District will also consider texture changes to the roadway surface (i.e. stamped concrete) as a passive design element. These alternative methods may require a maintenance and/or license agreement.

- b. **Staff Comments/Recommendations:** There are several long sections of both collector and local roadways proposed with the Gran Prado Subdivision, which are long and straight. The applicant has proposed to construct bulb-outs throughout the site to provide traffic calming. Staff is supportive of the applicant's proposal as the locations for the bulb-outs were coordinated with staff.



## **D. Site Specific Conditions of Approval**

1. Prior to ACHD's signature on the first final plat, provide written documentation demonstrating that Lindy Lane can be closed in the future when Nickel Creek Avenue is constructed.
2. Prior to ACHD's signature on the first final plat enter into a Cooperative Development Agreement with the District to improve the Amity/Ten Mile Road intersection with a roundabout, as listed in the ACHD's CIP and IFYWP.
  - The Cooperative Development Agreement shall include the intersection construction, as well as allocation of costs. ACHD will only provide impact fee credit for impact fee eligible costs of permanent intersection improvements consistent with CIP.
3. In order to ensure the Amity/Ten Mile intersection will be improved when warranted, the following items must be in place prior plans acceptance for the final plat necessitating the improvements.
  - Cooperative Development Agreement;
  - Financial surety provided by the applicant meeting the terms of the Cooperative Development Agreement;
  - Dedication of all of the right-of-way necessary to complete the intersection project.
4. If the right-of-way for the construction of the Amity/Ten Mile roundabout is not available or able to be acquired, and if ACHD has not constructed a single lane roundabout at the Amity Road/Ten Mile Road intersection prior to construction of the first phase of this development, then the applicant shall install an interim signal within the existing right-of-way at the Amity Road/Ten Mile Road intersection prior to ACHD's signature on the first final plat.

Enter into a signal agreement with ACHD for the installation of the interim signal at the Amity Road/Ten Mile Road intersection. The signal agreement shall include that the intersection be designed to provide a 3 X 3 intersection with three 12-foot wide travel lanes: one receiving lane, one dedicated left turn lane, and one thru/right lane on each approach; that the applicant is responsible for all costs associated with the hardware, design, and installation of the interim signal, and that interim improvements are not eligible for reimbursement by ACHD.

In order to ensure the Amity Road/Ten Mile Road intersection will be improved when warranted, the following items must be in place prior plans acceptance for the first final plat:

  - Signal Agreement
  - Full design and approved plans for the intersection
5. Prior to ACHD's signature on the final plat which contains the 350<sup>th</sup> lot the applicant should be required to submit an intersection analysis for the Amity Road/ Linder Road and the Ten Mile Road/Victory Road intersections. Through the review of the intersection analysis it is determined that Ten Mile Road Victory Road intersection needs to be widened, then the applicant will need stop final platting and wait to ACHD to make the improvements.
6. If it is determined through the intersection analysis that improvements are needed at the Amity Road/Linder Road intersection, then install an interim signal within the existing right-of-way at the Amity Road/Linder Road intersection.

Enter into a signal agreement with ACHD for the installation of the interim signal at the Amity Road/Linder Road intersection. The signal agreement shall include that the intersection be designed to provide a 3 X 3 intersection with three 12-foot wide travel lanes: one receiving lane, one dedicated left turn lane, and one thru/right lane on each approach; that the applicant is responsible for all costs associated with the hardware, design, and installation of the interim signal, and that interim improvements are not eligible for reimbursement by ACHD.

In order to ensure the Amity Road/Linder Road intersection will be improved when warranted, the following items must be in place prior plans acceptance for the final plat which contains the 351<sup>st</sup> building lot:

- Signal Agreement
- Full design and approved plans for the intersection

7. Prior to ACHD's signature on the final plat which contains the 440<sup>th</sup> lot the applicant should be required to submit a full updated traffic impact study. The updated traffic impact study shall include, at a minimum, a roadway segment analysis for Ten Mile Road from Amity Road to Overland, the Ten Mile Road/Victory Road intersection and the Amity Road/Victory intersection. Additional improvements may be required based on the findings of the future updated traffic impact study.
8. If it is determined through the updated traffic impact study that improvements are needed at the Amity Road/Victory Road intersection, then install an interim signal within the existing right-of-way at the Amity Road/Victory Road intersection.

Enter into a signal agreement with ACHD for the installation of the interim signal at the Amity Road/Victory Road intersection. The signal agreement shall include that the intersection be designed to provide a 3 X 3 intersection with three 12-foot wide travel lanes: one receiving lane, one dedicated left turn lane, and one thru/right lane on each approach; that the applicant is responsible for all costs associated with the hardware, design, and installation of the interim signal, and that interim improvements are not eligible for reimbursement by ACHD.

In order to ensure the Amity Road/Victory Road intersection will be improved when warranted, the following items must be in place prior plans acceptance for the final plat which contains the 441<sup>st</sup> building lot:

- Signal Agreement
- Full design and approved plans for the intersection

9. Construct a 5-foot wide detached concrete sidewalk located a minimum of 41-feet from the centerline of Amity Road abutting the site. Provide a permanent right-of-way easement if sidewalks are to be placed outside of the dedicated right-of-way.
10. Widen the pavement on Amity Road to a minimum width of 17-feet from centerline plus a 3-foot wide gravel shoulder abutting the site.
11. When Nickel Creek Avenue is extended to Amity Road construct a westbound left turn lane on Amity Road at the intersection.
12. Construct a 5-foot wide detached concrete sidewalk located a minimum of 41-feet from the centerline of Ten Mile Road abutting the site. Provide a permanent right-of-way easement if sidewalks are to be placed outside of the dedicated right-of-way.
13. Widen the pavement on Ten Mile Road to a minimum width of 17-feet from centerline plus a 3-foot wide gravel shoulder abutting the site.
14. When Ballard Drive is extended to Ten Mile Road construct a southbound right turn lane and a northbound left turn lane on Ten Mile Road at the intersection.
15. When Nogal Avenue is extended to Ten Mile Road construct a southbound right turn lane and a northbound left turn lane on Ten Mile Road at the intersection.
16. Construct Ballard Drive, from Ten Mile Road west 1,260-feet as ½ of a 36-foot resident collector section with 30-feet of pavement, vertical curb, gutter, and a 7-foot wide attached concrete

## Exhibit B-2

sidewalk abutting the site and a 3-foot gravel shoulder and barrow ditch on the other side of the roadway. The right-of-way should encompass the barrow ditch and the extend 2-feet behind the back of the sidewalks.

17. Construct the remainder of Ballard Drive as a 36-foot residential collector street section with vertical curb, gutter, and a 7-foot wide attached concrete sidewalk. The right-of-way should extend 2-feet behind the back of the sidewalk.
18. Construct Nickel Creek, from Amity Road south 1,115-feet as  $\frac{1}{2}$  of a 36-foot resident collector section with 30-feet of pavement, vertical curb, gutter, and a 7-foot wide attached concrete sidewalk abutting the site and a 3-foot gravel shoulder and barrow ditch on the other side of the roadway. The right-of-way should encompass the barrow ditch and the extend 2-feet behind the back of the sidewalks.
19. Construct Rebollo Drive from the west property line east approximately 470-feet, as  $\frac{1}{2}$  of a 36-foot street section with 30-feet of pavement with rolled curb, gutter, and 5-foot wide attached concrete sidewalk on the north side of the road abutting the site, and a 3-foot wide gravel shoulder, and barrow ditch on the on the other side of the roadway. The right-of-way should encompass the barrow ditch and the extend 2-feet behind the back of the sidewalks.
20. Construct all other internal local streets as 36-foot street sections with rolled curb, gutter, and 5-foot wide attached concrete sidewalks within 50-feet of right-of-way.
21. Construct 8 cul-de-sacs with a minimum radius of 45-feet.
22. After the preliminary plat is redesigned, all cul-de-sacs should be constructed to provide a minimum radius of 45-feet.
23. Construct one collector roadway, Nickel Creek Avenue to intersect Amity Road, abutting the site's west property line, as proposed.
24. Construct one collector roadway, Ballard Drive, to intersect Ten Mile Road, located approximately at the half mile between Amity and Lake Hazel Roads.
25. Construct one local street, Nogal Avenue to intersect Ten Mile Road 280-feet south of the north property line (property line north of Block 3 & 4).
26. Construct five local streets to intersect Ballard Drive located as follows:
  - Aliso Avenue - located approximately 640-feet west of the east property line.
  - Memory Avenue – north and south of Ballard Drive, located 1,410-feet west of Ten Mile Road.
  - Nickel Creek Avenue – north and south of Ballard Drive, located 1,320-feet west of Memory Lane.
27. Construct 8 stub streets to be located as follows:
  - Stub Street to the north, Aliso Avenue, located, 690-feet west of Ten Mile Road.
  - Stub street to the north, Aliso Avenue, located, 690-feet west of Ten Mile Road.
  - Stub street to the north, Enebro Avenue, located 600-feet west of Ten Mile Road.
  - Stub street to the east, Bosque Street, located 600-feet south of Amity Road.
  - Stub street to the east, Ridgeback Street, located 1,050-feet south of Amity Road.
  - Stub street to the east, Amapola Drive, located 510-feet south of the north property line.
  - Stub street to the west, Bosque Street, located 600-feet south of Amity Road.

- Stub street to the west, Piscina Drive, located 350-feet south of Rebollo Drive. The right-of-way for Piscina Drive shall extend to the south property line.
  - Stub street to the west, Rebollo Drive, located at the site's southwest property line. Construct a temporary turnaround at the terminus of Rebollo Drive, as it extends greater than 150-feet in length. The temporary cul-de-sac turnaround shall be paved and constructed to the same be the dimensional requirements of a standard cul-de-sac. The developer shall grant a temporary turnaround easement to the District for those portions of the cul-de-sac which extend beyond the dedicated street right-of-way. In the instance where a temporary easement extends onto a buildable lot, the entire lot shall be encumbered by the easement and identified on the plat as a non-buildable lot until the street is extended.
28. Install a sign at the terminus of all 8 stub streets which states, "THIS ROAD WILL BE EXTENDED IN THE FUTURE."
  29. Construct bulb-outs with a minimum 24-feet of pavement from back of curb to back of curb, in locations shown on the site plan on page 22.
  30. Direct lot access to Amity Road, Ten Mile Road, and Ballard Drive is prohibited and shall be noted on the final plat.
  31. Payment of impact fees is due prior to issuance of a building permit.
  32. Comply with all Standard Conditions of Approval.

## **E. Standard Conditions of Approval**

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable

## Exhibit B-2

ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.

10. Construction, use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

### **F. Conclusions of Law**

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

### **G. Attachments**

1. Applicant's Request for Modifications of Policy
2. Letter of Support from the City of Kuna
3. Vicinity Map
4. Site Plan
5. COMPASS Check List
6. Utility Coordinating Council
7. Development Process Checklist
8. Request for Reconsideration Guidelines



October 19, 2017  
Project No.: 16-152

Ms. Mindy Wallace  
Ada County Highway District  
3775 Adams Street  
Garden City, ID 83714

**RE: Gran Prado Subdivision – Kuna, ID  
Request for Modifications/Waivers of ACHD Policy**

Dear Ms. Wallace:

On behalf of Mr. Tim Eck of Renaissance Farm, LLC, and Waters Edge Farm, LLC, please accept this request for modifications/waivers of ACHD's current Master Street Map (MSM) and Continuation of Streets policies.

As you know, the Gran Prado project was annexed into the City of Kuna earlier this year and an application for preliminary plat is currently being processed by the City. The plat proposes 530 buildable single-family residential lots, 67 common lots, and 1 shared driveway lot for a total of 598 lots. The current design proposes access to the subdivision via two connections to Ten Mile Road and one connection to Amity Road. A number of stub streets are also provided to the surrounding undeveloped parcels for future connectivity, and a Traffic Impact Study has been completed and submitted to ACHD for review to determine any necessary improvements to the existing area roadways as a result of the project.

As a part of the due diligence process for Gran Prado, Mr. Eck met extensively with Mr. Inselman and other ACHD staff to discuss the roadway layout and alignments depicted on the current preliminary plat. In those meetings it was discussed that certain standard policies, namely the MSM and Continuation of Streets policies, reflected future street alignments and stub street requirements that didn't make sense given the existing site conditions and the likelihood of future roadway extensions. Per direction given to Mr. Eck by Mr. Inselman, the following deviations from the MSM and Continuation of Streets policies were incorporated into the current Gran Prado design.

Firstly, the MSM shows Ballard Lane, an E/W collector street, extending west from Ten Mile Road and stubbing to the west property line. However, existing conditions in the area would prevent continuation of Ballard Lane past the Gran Prado site to the west, as the Mason Creek intersects the mid-mile alignment. Further, the properties directly across the Mason Creek along the mid-mile alignment are residential lots within Dreamcatcher Subdivision, and no provisions appear to have been made for the continuation of a collector roadway through that project. In light of this, Mr. Eck and Mr. Inselman discussed an appropriate termination point for the collector roadway within the Gran Prado project and the current preliminary plat reflects this agreement.

## Exhibit B-2

Secondly, the MSM shows Lindy Lane, a N/S collector street, extending south from Amity Road and stubbing to the south property line. Given the narrow configuration of the property connecting to Amity Road, the extension of a collector roadway would have required the roadway to be placed on the property's western boundary with several cul-de-sacs stubbing east to provide access to residential lots prohibited from having direct access to the collector roadway. Further, the Mason Creek's location through the site effectively severs the square mile and with no planned crossing of the Mason Creek, continuation of a collector roadway south through the project becomes unnecessary. In lieu of the collector roadway, the preliminary plat proposes a local roadway extension allowing for better site configuration as discussed with Mr. Inselman.

Lastly, Section 7206.2.4 of the ACHD Policy Manual includes the following requirement regarding the extension of existing stub streets: "An existing street, or a street in an approved preliminary plat, which ends at a boundary of a proposed development shall be extended in that development." Gran Prado is adjacent to Bittercreek Meadows Subdivision, which was platted in 2006. At that time, a large portion of Gran Prado was slated to become a future phase of Bittercreek Meadows and a stub street (S. Bittercreek Ave.) was provided. However, market downturn halted continuation of the project and with Mr. Eck's acquisition of the remaining property, the development plans changed. Mr. Eck was contacted by some of the Bittercreek Meadows residents and they requested that the stub street be permanently terminated in its current location and not be extended into the Gran Prado site. In Mr. Eck's discussions about this request with Mr. Inselman, it was agreed that since S. Bittercreek Ave. was built with a full cul-de-sac at its terminus as opposed to a temporary turnaround, continuation would not be required. Further, the Gran Prado project has adequate accesses elsewhere in the project and does not need the connection to Bittercreek Meadows for secondary emergency access.

In light of the information contained herein, we feel that the modifications/waivers of current policy are justified for Gran Prado Subdivision. Should you have questions or need further information, please feel free to contact me.

Sincerely,  
**KM Engineering, LLP**



Kirsti Grabo  
Development Coordinator

cc: N Star Farm, LLC  
Waters Edge Farm, LLC  
City of Kuna – Troy Behunin



## CITY OF KUNA

PLANNING & ZONING DEPARTMENT

751 West 4<sup>th</sup> Street  
P.O. Box 13  
Kuna, ID 83634  
Phone: 208-922-5274  
Fax: 208-922-5989  
[www.kunacity.id.gov](http://www.kunacity.id.gov)

October 20, 2017

RE: Gran Prado stub street connection and classified roads through the site:

To Whom It May Concern;

Kuna's Planning and Zoning Department issues this letter of general support to the interested parties in an effort to plan, in the best way possible for the subdivision to be known as Gran Prado Subdivision (Gran Prado), by Renaissance Farms, LLC.

During the public hearing process to annex Gran Prado into the City, multiple landowners from Bittercreek Meadows Subdivision (Bittercreek) testified of their concerns about traffic running through their subdivision with only one ingress and egress. The existing road within Bittercreek is a public street and is a long cul-de-sac (1,900'+), which has an approved turn-around at the terminus and has functioned sufficiently since it was built in 2006. There are no known concerns to the City of Kuna. Kuna City Code does require a connection to stub streets, however considering the sufficient and safe historical use of the existing road, coupled with concerns of multiple residents, Kuna's Planning and Zoning Department offers general support, if the developer chooses to *not* connect to the Bittercreek stub street.

Through discussions with the developer, it was determined that there are a number of extenuating physical constraints within Gran Prado such as the Mason Creek Feeder and the slope of the land among other conditions. Due to these barriers and if Ada County Highway District's plans for traffic circulation are met, Kuna Planning and Zoning Department will generally support the proposal to *not* require a north/south collector street throughout this project. This includes general support for the limited east west collector as proposed on plans dated August 25, 2017.

If you have any questions, please feel free to contact me at 208.922.5274 or by e-mail at [WHowell@Kunald.Gov](mailto:WHowell@Kunald.Gov).

Respectfully,

Wendy I. Howell, PCED  
Director of Planning Services

Cc Troy Behunin, Planner III,

# Exhibit B-3

**BRIAN McDEVITT**  
CHAIRMAN OF THE BOARD

**RICHARD DURRANT**  
VICE CHAIRMAN OF THE BOARD

**TIMOTHY M. PAGE**  
PROJECT MANAGER

**ROBERT D. CARTER**  
ASSISTANT PROJECT MANAGER

**APRYL GARDNER**  
SECRETARY-TREASURER

**JERRI FLOYD**  
ASSISTANT SECRETARY-  
TREASURER

## BOISE PROJECT BOARD OF CONTROL

(FORMERLY BOISE U.S. RECLAMATION PROJECT)

2465 OVERLAND ROAD  
BOISE, IDAHO 83705-3155

OPERATING AGENCY FOR 167,000  
ACRES FOR THE FOLLOWING  
IRRIGATION DISTRICTS

NAMPA-MERIDIAN DISTRICT  
BOISE-KUNA DISTRICT  
WILDER DISTRICT  
NEW YORK DISTRICT  
BIG BEND DISTRICT

TEL: (208) 344-1141  
FAX: (208) 344-1437

10 October 2017

City of Kuna  
751 W. 4<sup>th</sup> Street  
Kuna, Idaho 83634

RE: KM Engineering-Gran Prado Sub. **17-10-S**  
SWC Ten Mile & Amity Rds.  
Nampa-Meridian Irrigation District NM-1581-1-15, NM-1582A,  
Mason Creek Feeder Canal NM-1583B, NM-1584B,  
Rawson Canal 436+40 NM-1587A, NM-1592A  
Jamison Lateral 23+00,23+10,36+20,36+30  
Sec. 34, T3N, R1W, BM.

Troy Behunin, PlannerIII.:

The United States' Mason Creek Feeder and Jamison Lateral lie within the boundary of the above-mentioned location. The easements for these laterals are held in the name of the United States through the Bureau of Reclamation under the authority of the Act of August 30, 1890. (26 Stat. 391; 43 U.S.C. 945)

The Boise Project Board of Control is contracted to operate and maintain these laterals. We assert the federal easement 37 feet north and 35 feet south of the Mason Creek Feeder's centerline and we assert 20 feet around the box structure on the tail end of the Jamison Lateral. Whereas these areas are for the operation and maintenance of our facilities, no activity should hinder our ability to do so.

Please note the appropriate easements on all future preliminary/final plats.

Boise Project Board of Control must also review and approve any final plats prior to recording.

Wording on the preliminary and final recorded plat needs to state that any proposed and/or future usage of the Boise Project Board of Control facilities are subject to Idaho Statues, Title 42-1209.

Project facilities and/or easements that parallel, and are within and/or intended to be within road right-of-ways due to any development of this property must be relocated

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CITY OF KUNA

outside of road right-of-ways. The easements of Boise Project facilities will remain the same unless agreed upon and/or approved with written permission from Boise Project Board of Control.

The construction of any roadway crossings must be conducted only during the non-irrigation season when the lateral is dewatered. In any case no work shall take place within the easement before the proper crossing agreements have been secured through the Bureau of Reclamation and the Boise Project Board of Control.

Utilities planning to cross any project facility must do so in accordance with the master policies now held between the Bureau of Reclamation and most of the utilities. In any case, no work shall take place within the easement before proper crossing agreements have been secured through both the Bureau of Reclamation and the Boise Project Board of Control.

Fencing (as may be required) must be constructed just off the canal easement, to insure public safety and prevent encroachments.

The Boise Project Board of Control does not approve of pathways within our easements. We are constantly trying to uphold these federal easements in order to perform our obligation to operate, maintain and deliver surface irrigation water to our patrons. The introduction of pedestrians, cyclists, etc. into our work area, becomes a burden on our personnel trying to perform their duties. The Project maintains its facilities with large vehicles and heavy equipment, to include dump trucks, dozers, graders, backhoes and long booms with counter weights. Although our operators possess the highest regard for safety, this machinery offers many blind spots that limit visibility. Project work easements are barely wide enough for this equipment. These proposed pathways should be relocated outside of our easements and segregated from canal maintenance operations.

Pathways must be constructed just outside the easement, to insure public safety and prevent encroachments.

Parking lots, curbing, light poles, signs, etc. and the placing of asphalt and/or cement over Project facility easements must be approved by Boise Project Board of Control prior to construction.

The Boise Project does not approve landscaping (other than grass) within its easements, as this will certainly increase our cost of maintenance.

Boise Project Board of Control must approve any requests and/or relocation of delivery points prior to construction.

Storm Drainage and/or Street Runoff must be retained on site.

NO DISCHARGE into any live irrigation system is permitted.

Local irrigation/drainage ditches that cross this property, in order to serve neighboring properties, must remain unobstructed and protected by an appropriate easement.

## Exhibit B-3

Should there be any small (neighborhood) irrigation ditches on this site, the developers and/or landowners will be obligated to protect them and allow water to pass to downstream neighbors.

This development is subject to Idaho Code 31-3805, in accordance, this office is requesting a copy of the irrigation and drainage plans.

Whereas this property lies within the Nampa-Meridian Irrigation District it is important that representatives of this development contact the NMID office as soon as possible to discuss the pressure system prior to any costly design work. If applicable, the irrigation system will have to be built to specific specifications as set by the District / Project.

Boise Project Board of Control must receive a written response from the Nampa-Meridian Irrigation District as to who will own and operate the pressure irrigation system prior to review and approval of an irrigation plan by Boise Project Board of Control.

Whereas this development is in its preliminary stages, Boise Project Board of Control reserves the right to review plans and require changes when our easements and/or facilities are affected by unknown factors.

If you have any further questions or comments regarding this matter, please do not hesitate to contact me at (208) 344-1141.

Sincerely,



Bob Carter  
Assistant Project Manager- BPBC

bdc/bc

cc: Clint McCormick      Watermaster, Div; 2 BPBC  
Greg Curtis              Water Superintendent, NMID  
File



CENTRAL DISTRICT HEALTH DEPARTMENT  
Environmental Health Division

Return to:

- ACZ
- Boise
- Eagle
- Garden City
- Kuna
- Meridian
- Star

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CITY OF KUNA

Gran Prado

Rezone # \_\_\_\_\_

Conditional Use # \_\_\_\_\_

Preliminary / Final / Short Plat 17-10-S

- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
  - high seasonal ground water       waste flow characteristics
  - bedrock from original grade       other \_\_\_\_\_
- 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- 8. After written approval from appropriate entities are submitted, we can approve this proposal for:
  - central sewage       community sewage system       community water well
  - interim sewage       central water
  - individual sewage       individual water
- 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
  - central sewage       community sewage system       community water
  - sewage dry lines       central water
- 10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- 11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 12. We will require plans be submitted for a plan review for any:
  - food establishment       swimming pools or spas       child care center
  - beverage establishment       grocery store
- 13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDHD.

14. \_\_\_\_\_

Reviewed By: Rowdy

Date: 10/3/17

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10.6.2017

# Exhibit B-5

## Communities in Motion 2040 Development Review

The Community Planning Association of Southwest Idaho (COMPASS) is the metropolitan planning organization (MPO) for Ada and Canyon Counties. COMPASS has developed this review as a tool for local governments to evaluate whether land developments are consistent with the goals of *Communities in Motion 2040 (CIM 2040)*, the regional long-range transportation plan for Ada and Canyon Counties. This checklist is not intended to be prescriptive, but rather a guidance document based on [CIM 2040 goals](#).

**Development Name: Grand Prado**

**Agency: Kuna**

**CIM Vision Category: Future Neighborhood**

**New households: 530**

**New jobs: 0**

**Exceeds CIM forecast: No**

	<p>CIM Corridor: <b>N/A</b>                  Pedestrian level of stress: <b>N/A</b>                  Bicycle level of stress: <b>N/A</b></p>	<p>Level of Stress considers facility type, number of vehicle lanes, and speed. Roads with <b>G or PG</b> ratings better support bicyclists and pedestrians of all ages and comfort levels.</p>
	<p>Housing within 1 mile: <b>147</b>                  Jobs within 1 mile: <b>90</b>                  Jobs/Housing Ratio: <b>0.6</b></p>	<p>A good jobs/housing balance – a ratio between <b>1 and 1.5</b> – reduces traffic congestion. Higher numbers indicate the need for more housing and lower numbers indicate an employment need.</p>
	<p>Nearest police station: <b>&gt;4 miles</b>                  Nearest fire station: <b>&gt;4 miles</b></p>	<p>Developments within <b>1.5 miles</b> of police and fire stations ensure that emergency services are more efficient and reduce the cost of these important public services.</p>
	<p>Farmland consumed: <b>Yes</b>                  Farmland within 1 mile: <b>1,342 acres</b>                  Farmland Value: <b>N/A</b></p>	<p>Farmland contributes to the local economy, creates additional jobs, and provides food security to the region. Development in farm areas decreases the productivity and sustainability of farmland.</p>
	<p>Nearest bus stop: <b>&gt;4 miles</b>                  Nearest public school: <b>3.2 miles</b>                  Nearest public park: <b>2.5 miles</b>                  Nearest grocery store: <b>2.9 miles</b></p>	<p>Residents who live or work less than <b>½ mile</b> from critical services have more transportation choices. Walking and biking reduces congestion by taking cars off the road, while supporting a healthy and active lifestyle.</p>

### Recommendations

This proposal is in a largely farmland area. Necessary services, such as public transportation, public parks and schools, and employment, are several miles from this location. This proposal exceeds growth forecasted for this area. Transportation infrastructure may not be able to support the new transportation demands.

Consider providing an improved multiuse pathway along Mason Creek for bicycle and pedestrian connectivity per the 2015 Meridian Pathways Network Map. The proposed site plan indicates an interruption in the pathway. Consider placing a bikelane along an internal east-west road per the 2013 Kuna Master Plan.

More information about COMPASS and *Communities in Motion 2040*:

Web: [www.compassidaho.org](http://www.compassidaho.org)

Email [info@compassidaho.org](mailto:info@compassidaho.org)

For more information about the development review process contact COMPASS at (208) 475-2239



# Exhibit B-6



STATE OF IDAHO  
DEPARTMENT OF ENVIRONMENTAL QUALITY  
BOISE REGIONAL OFFICE  
1445 North Orchard Street•Boise, ID 83706-2239•(208) 373-0550

## *DEQ Response to Request for Environmental Comment*

Date: October 4, 2017  
Agency Requesting Comments: City of Kuna: Planning & Zoning Department  
Date Request Received: September 25, 2017  
Applicant/Description: Gran Prado – Residential Subdivision/Preliminary Plat Approval

*Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at <http://www.deq.idaho.gov/ieg/>.*

*The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:*

### **1. Air Quality**

- *Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).*

*The property owner, developer, and their contractor(s) must ensure that reasonable controls to prevent fugitive dust from becoming airborne are utilized during all phases of construction activities per IDAPA 58.01.01.651.*

*For questions, contact David Luft, Air Quality Manager, at 373-0550.*

### **2. Wastewater and Recycled Water**

- *DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.*
- *IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.*

*All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.*

- *DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system*

*along with best management practices for communities to protect ground water.*

- *DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.*

*For questions, contact Todd Crutcher, Engineering Manager, at 373-0550.*

### **3. Drinking Water**

- *DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.*
- *IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.*

*All projects for construction or modification of public drinking water systems require preconstruction approval.*

- *DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at <http://www.deq.idaho.gov/water-quality/drinking-water.aspx>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.*
- *If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.*
- *DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.*
- *DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.*

*For questions, contact Todd Crutcher, Engineering Manager at 373-0550.*

### **4. Surface Water**

- *A DEQ short-term activity exemption (STAE) from this office is required if the project will involve de-watering of ground water during excavation and discharge back into surface water, including a description of the water treatment from this process to prevent excessive sediment and turbidity from entering surface water.*
- *Please contact DEQ to determine whether this project will require a National Pollution Discharge Elimination System (NPDES) Permit. If this project disturbs more than one acre, a stormwater permit from EPA may be required.*
- *If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's*

# Exhibit B-6

water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.

- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call 208-334-2190 for more information. Information is also available on the IDWR website at: <http://www.idwr.idaho.gov/WaterManagement/StreamsDams/Streams/AlterationPermit/AlterationPermit.htm>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at 373-0550.

## **5. Hazardous Waste And Ground Water Contamination**

- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards, Rules and Regulations for Hazardous Waste, and Rules and Regulations for the Prevention of Air Pollution.
- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852).

Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.

- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Albert Crawshaw, Waste & Remediation Manager, at 373-0550.

**6. Additional Notes**

- *If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at 373-0550, or visit the DEQ website (<http://www.deq.idaho.gov/waste-mgmt-remediation/storage-tanks.aspx>) for assistance.*
- *If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.*

*We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any our technical staff at 208-373-0550.*

Sincerely,



Aaron Scheff  
[aaron.scheff@deq.idaho.gov](mailto:aaron.scheff@deq.idaho.gov)  
Regional Administrator  
Boise Regional Office  
Idaho Department of Environmental Quality

ec: TRIM 2017AEK133

# Exhibit B-7



## IDAHO TRANSPORTATION DEPARTMENT

P.O. Box 8028  
Boise, ID 83707-2028

(208) 334-8300  
[itd.idaho.gov](http://itd.idaho.gov)

---

September 29, 2017

Troy Behunin  
City of Kuna, Planning and Zoning Department  
P.O. Box 13  
Kuna, ID 83634

### VIA EMAIL

### RE: 17-10-S GRAN PRADO SUBDIVISION

The Idaho Transportation Department has reviewed the referenced subdivision application by Kirsti Grabo with KM Engineering for the Gran Prado Subdivision located south of West Amity Road and west of South Ten Mile Road, west of SH-69 milepost 6.69. ITD has the following comments:

1. This property does not abut the State highway system.
2. The City is reminded that the I-84 corridor is already becoming congested and this project will increase the number of vehicle trips in the corridor.
3. Idaho Code 40-1910 does not allow advertising within the right-of-way of any State highway.
4. IDAPA 39.03.60 rules govern advertising along the State highway system. The applicant can contact the ITD District 3 Traffic Section at 334-8300 for more information.
5. ITD does not object to the construction of a subdivision on this parcel.

If you have any questions, you may contact Shona Tonkin at 334-8341 or me at 332-7190.

Sincerely,

A handwritten signature in blue ink that reads "Ken Couch".

Ken Couch  
Development Services Coordinator  
[Ken.Couch@itd.idaho.gov](mailto:Ken.Couch@itd.idaho.gov)

---

# Exhibit B-8

## MERIDIAN FIRE DEPARTMENT

### COMMENTS MEETING DATE:

Reviewer:            Joe Bongiorno            Rick Jackson            Kenny Bowers  
Planner Assigned:    Josh Beach            Sonya Allen            Bill Parsons

SUBJECT:   File/Subdivision: \_\_\_\_\_  
              File No.: \_\_\_\_\_

The following will be the requirements and/or concerns to provide minimum levels of fire protection for the proposed project:

### FIRE DEPARTMENT ITEMS FOR IMMEDIATE FOLLOW-UP (PRIOR TO HEARING)

- A.  The Fire Dept. has concerns about the ability to address the project and have the addresses visible from the street on which the project is addressed, as set forth in International Fire Code Section 505. Please contact the Addressing Specialist at 898-5500 to address this concern prior to submittal of the Certificate of Zoning Compliance application.
- B.  Please contact the Deputy Fire Chief immediately to address concerns related to the necessary Fire Department turn arounds. In accordance with International Fire Code Section 503.2.5, any roadway greater than 150 feet in length that is not provided with an outlet shall be required to have an approved turn around.
- C.  Please contact the Fire Code Plan Reviewer at 887-2211 to work out specific issues associated with this project as soon as possible.
- D.  Please contact the Deputy Fire Chief/Fire Prevention at 888-1234 to work out specific issues associated with this project as soon as possible.

### FIRE DEPARTMENT COMMENTS

- 1.  The proposed \_\_\_\_\_ lot subdivision with an estimated 3.05 residents per household would have a total estimated population of \_\_\_\_\_ residents at build out.
- 2.  The proposed multi-family development with an estimated 2.10 residents per household would have a total estimated population of \_\_\_\_\_ residents at build out.
- 3.  The proposed office/commercial lots lot will have an unknown transient population and will have an unknown impact on Meridian Fire Department call volumes.
- 4.  The proposed project lies outside the five-minute response zone goal. Achievement of this goal is subject to budgetary constraints and is intended to enhance the probability of a favorable outcome on a request for Basic and Advanced Life Support. The budget

constraints are typically defined as capital outlay for facilities that are located within 1.5 miles from a given location and sufficient operational funds to staff the facilities.

5.  The proposed location of the Meridian Fire Station meets the general requirements of the Master Site Plan for fire station locations. The site appears to have met the minimum lot dimensions required for a satellite fire station location.
6.  Any newly installed Fire Department connections for sprinkler or standpipes will require locking Knox box plugs.
7.  Based on the size of new construction and the location of the sprinkler room in relation to the address side of the structure, the AHJ may require separate Knox box locations. One being at the main, address side entrance and the other at the entrance to the sprinkler riser room.
8.  The proposed project has no Fire Department concerns.

#### **FIRE DEPARTMENT DESIGN CRITERIA**

9.  One and two family dwellings not exceeding 3,600 square feet require a fire-flow of 1,000 gallons per minute for a duration of 2 hours to service the entire project. One and two family dwellings in excess of 3,600 square feet require a minimum fire flow as specified in Appendix B of the International Fire Code. Fire Hydrant spacing shall be provided as required by Appendix C of the International Fire Code.
10.  Acceptance of the water supply for fire protection will be by the Meridian Fire Department and water quality by the Meridian Water Department for bacteria testing.
11.  Final Approval of the fire hydrant locations shall be by the Meridian Fire Department in accordance with International Fire Code Section (IFC) 508.5.4 as follows:
  - a. Fire hydrants shall have the 4 ½” outlet face the main street or parking lot drive aisle.
  - b. Fire hydrants shall not face a street which does not have addresses on it.
  - c. Fire hydrant markers shall be provided per Public Works specifications.
  - d. Fire Hydrants shall be placed on corners when spacing permits.
  - e. Fire hydrants shall not have any vertical obstructions to outlets within 10’.
  - f. Fire hydrants shall be placed 18” above finished grade to the center of the 4 ½” outlets.
  - g. Fire hydrants shall be provided to meet the requirements of IFC Section 509.5.
  - h. Show all proposed or existing hydrants for all new construction or additions to existing buildings within 1,000 feet of the project.**
12.  In accordance with International Fire Code Section 503.2.5 and Appendix D, any roadway greater than 150 feet in length that is not provided with an outlet shall be required to have an approved turn around. Phasing of the project may require a temporary approved turn around on streets greater than 150’ in length with no outlet.
13.  All entrances, internal roads, drive aisles, and alleys shall have a turning radius of 28’ inside and 48’ outside, per International Fire Code Section 503.2.4.

## Exhibit B-8

14.  All common driveways shall be straight or have a turning radius of 28' inside and 48' outside and have a clear driving surface of 20' in width capable of supporting an imposed weight of 75,000 GVW, per International Fire Code Section 503.2.
15.  Private Alleys and Fire Lanes shall have a 20' wide improved surface capable of supporting an imposed load of 75,000 lbs. All roadways shall be marked in accordance with Appendix D Section D103.6 Signs.
16.  Requirements for dead-end fire apparatus access roads that are between 500'-750' in length are as follows: 1) Roadways shall be built to Ada County Highway District cross section standards and have a clear driving surface of 26-feet in width available at all times and shall have no parking; 2) Streets less than 32-feet in width shall have no parking on one side; and 3) Streets more than 39-feet in width shall be allowed to have parking on both sides. These measurements shall be based on the drivable surface dimension. Special approval is required for access roads over 750' in length per International Fire Code Table D103.6.1. and D103.6.2. The roadway shall be able to accommodate an imposed load of 75,000 GVW.
17.  Provide signage ("No Parking Fire Lane") for all fire lanes in accordance with International Fire Code Sections 503.4 & D103.6.
18.  Ensure that all yet undeveloped parcels are maintained free of combustible vegetation as set forth in International Fire Code Section 304.1.2.
19.  Fire lanes, streets, and structures (including the canopy height of mature trees) shall have a vertical clearance of 13' 6" as set forth in International Fire Code Section 503.2.1.
20.  Operational fire hydrants, temporary or permanent street signs, and access roads with an all weather surface are required to be installed before combustible construction material is brought onto the site, as set forth in International Fire Code Section (IFC) 501.4 and Meridian amendment to IFC 10-4-2J.
21.  To increase emergency access to the site a minimum of two points of access will be required for any portion of the project which serves more than 30 homes, as set forth in International Fire Code Section D107.1. The two entrances should be separated by no less than ½ the diagonal measurement of the full development as set forth in International Fire Code Section D104.3. The applicant shall provide a stub street to the property to the (west/east/north/south).
22.  Building setbacks shall be per the International Building Code for one and two story construction.
23.  The roadways shall be built to Ada County Highway District cross section standards and have a clear driving surface. Streets less than 26' in width shall have no on-street parking; streets less than 32' in width shall have parking only on one side. These measurements shall be based on the drivable surface dimension exclusive of shoulders. The overhead clearance shall be a minimum of 13' 6". The roadway shall be able to accommodate an imposed load of 75,000 GVW as set forth in International Fire Code Section 503.2.1. and D103.6.1 and D103.6.2.

24.  Commercial and office occupancies will require a fire-flow consistent with International Fire Code Appendix B to service the proposed project. Fire hydrants shall be placed per Appendix C.
25.  The fire department requests that any future signalization installed as the result of the development of this project be equipped with Opticom sensors to ensure a safe and efficient response by fire and emergency medical service vehicles. The cost of this installation is to be borne by the developer. (National Fire Protection Std 1141 Section 5.2.11.1)
26.  Maintain a separation of 5' from the building to the dumpster enclosure as set forth in International Fire Code Section 304.3.3.
27.  Provide a Knox box entry system for the complex prior to occupancy as set forth in International Fire Code Section 506.
28.  The first digit of the Apartment/Office Suite shall correspond to the floor level as set forth in International Fire Code Section 505.1.
29.  The applicant shall work with Public Works and Planning Department staff to provide an address identification plan and a sign which meets the requirements of the City of Meridian sign ordinance and is placed in a position that is plainly legible and visible from the street or road fronting the property, as set forth in International Fire Code Section 505.1.
30.  All aspects of the building systems (including exiting systems), processes & storage practices shall be required to comply with the International Fire Code Section 101.2.
31.  All portions of the buildings located on this project must be within 150' of a paved surface as measured around the perimeter of the building as set forth in International Fire Code Section 503.1.1.
32.  Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the code official as set forth in International Fire Code Section 507.5.1. For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2 the distance requirement shall be 600 feet (183).
  - a. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet (183 m).
  - b. For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet (183 m).
33.  All daycares must pass an inspection using the criteria of the Idaho State Fire Marshal as set forth in Idaho Statute Title 39-1109. Prior to scheduling an inspection, the applicant must pay a fee of \$20 for the cost of the inspection.

## Exhibit B-8

34.  All electric gates are required to be 20' in width and equipped with a Knoxbox key switch as set forth in International Fire Code Section 503.6 & National Fire Protection Standard 1141, Section 5.3.17.3.
35.  All R-2 occupancies with 3 or more units shall be required to be fire sprinkled as set forth in International Fire Code Section 903.2.8.
36.  There shall be a fire hydrant within 100' of all fire department connections as set forth in local amendment to the International Fire Code 10-4-2L.
37.  The Fire Department will require Knoxbox Fire Department Connection caps on all FDC inlets. IFC 102.9
38.  Buildings over 30' in height are required to have access roads in accordance with the International Fire Code Appendix D Section D105.
39.  This project will be required to provide a 20' wide swing or rolling emergency access gate as set forth in International Fire Code Sections 503.5 and 503.6. The gate shall be equipped with a Knoxbox padlock which has to be ordered thru the Meridian Fire Department. All gates at the entrance to fire lanes shall be located a minimum of 30 feet from the roadway and shall open away from the roadway, unless other provisions are made for safe personnel operations as set forth in National Fire Protection Standard 1141, Section 5.3.17.
40.  Emergency response routes and fire lanes shall not be allowed to have traffic calming devices installed without prior approval of the Fire Code Official. National Fire Protection Standard 1141, Section A5.2.18.
41.  Gates shall be provided on the front and rear of the property.
42.  Side yard fences shall not be allowed.
43.  Public alleys that serve mews shall be a minimum of 24 feet in width.
44.  **COMMERCIAL AND INDUSTRIAL** - Buildings or facilities exceeding 30 feet (9144mm) or three stories in height shall have at least two means of fire apparatus access for each structure. The access roads shall be placed a distance apart equal to not less than one half of the length of the overall diagonal dimension of the property or area to be served, measured in a straight line as set forth in International Fire Code Appendix D104.1.
45.  **COMMERCIAL AND INDUSTRIAL** - Buildings or facilities having a gross building area of more than 62,000 square feet (5760 m<sup>2</sup>) shall be provided with two separate and approved fire apparatus access roads separated by one half of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses as set forth in International Fire Code Appendix D104.2.
  - a. **Exception:** Projects having a gross building area of up to 124,000 square feet (11520 m<sup>2</sup>) that have a single approved fire apparatus access road and all buildings are equipped throughout with approved automatic sprinkler systems. (Remoteness Required)

46.  **ALLEY** – In all cases, right of ways shall be a minimum of 20' in width. The entrance to the alley from the public street shall provide a minimum twenty-eight foot (28') inside and forty-eight foot (48') outside turning radius. No parking shall be allowed on either side of the street. The minimum distance for alley accessed properties shall be 20' from the face of a garage to the property line. (International Fire Code Section 503.4)
47.  As set forth in International Fire Code Section D103.3, the Fire Department is opposed to any landscape island in the middle of a cul de sac that may prevent a fire truck from turning around on the end of the court.
48.  As set forth in International Fire Code Section 503.2 and D102.1, fire apparatus access roads are required to be 20' in width, consist of an improved gravel surface capable of supporting 75,000 GVW, and shall be provided to all athletic fields, concession stands and pathways. An approved water supply shall be provided to all structures. Plans and specifications shall be provided to the Fire Department for review and approval.
49.  As set forth in International Fire Code Section 504.1, multi-family and commercial projects shall be required to provide an additional sixty inches (60") wide access point to the building from the fire lane to allow for the movement of manual fire suppression equipment and gurney operations. The unobstructed breaks in the parking stalls shall be provided so that building access is provided in such a manner that the most remote part of a building can be reached with a length of 150' fire hose as measured around the perimeter of the building from the fire lane. Code compliant handicap parking stalls may be included to assist meeting this requirement. Contact the Meridian Fire Department for details.



# Neighborhood Meeting Certification

CITY OF KUNA PLANNING & ZONING \* 763 W. Avalon, Kuna, Idaho, 83634 \* www.kunacity.id.gov \* (208) 922-5274 \* Fax: (208) 922-5989

## GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 8-7A-3 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

**Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.**

**Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.**

Description of proposed project: Gran Prado Subdivision Preliminary Plat

Date and time of neighborhood meeting: September 7, 2017 @ 6:00 p.m.

Location of neighborhood meeting: Kuna Sewer Plant - 6950 South Ten Mile

## SITE INFORMATION:

Location: Quarter: \_\_\_\_\_ Section: 34 Township: 3N Range: 1W Total Acres: +/- 133

Subdivision Name: Gran Prado Lot: \_\_\_\_\_ Block: \_\_\_\_\_

Site Address: see narrative Tax Parcel Number(s): see narrative

Please make sure to include **all** parcels & addresses included in your proposed use.

## CURRENT PROPERTY OWNER:

Name: Renascence Farm, LLC & Waters Edge Farm, LLC

Address: 6152 West Half Moon Ln City: Eagle State: ID Zip: 83616

## CONTACT PERSON (Mail recipient and person to call with questions):

Name: Kirsti Grabo Business (if applicable): KM Engineering, LLP

Address: 9233 West State Street City: Boise State: ID Zip: 83714

**PROPOSED USE:**

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

**Application Type**

**Brief Description**

Annexation

\_\_\_\_\_

Re-zone

\_\_\_\_\_

Subdivision (Sketch Plat and/or Prelim. Plat)

Preliminary Plat

Special Use

\_\_\_\_\_

Variance

\_\_\_\_\_

Expansion of Extension of a Nonconforming Use

\_\_\_\_\_

Zoning Ordinance Map Amendment

\_\_\_\_\_

**APPLICANT: Representative**

Name: Kirsti Grabo - KM Engineering, LLP

Address: 9233 West State Street

City: Boise State: ID Zip: 83714

Telephone: 208.639.6939 Fax: 208.639.6930

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 5-1A-2 of the Kuna City Code

Signature: (Applicant)  
Rep.



Date 9.8.17



Gran Prado Neighborhood Meeting  
September 7, 2017 – 6:00 pm  
Kuna Sewer Plant

Discussion Items and Questions

- Happy with the lot sizes along the south edge of Bitter Creek.
- Why aren't there larger lots along the west side of the Bricker property?
- Is there access to the lagoon?
- How will the floodplain along the Mason Creek be dealt with?
- Will there be fencing along the Mason Creek?
- Will there be a path along the Mason Creek?



August 24, 2017  
Project No.: 16-152

**Legal Description for the proposed  
Gran Prado Subdivision**

A parcel of land being a portion of Section 34, Township 3 North, Range 1 West, Boise Meridian, City of Kuna, Ada County, Idaho and being more particularly described as follows:

Commencing at an aluminum cap marking the northeast corner of said Section 34, thence following the easterly line of the Northeast 1/4 of said Section 34, S00°27'30"W a distance of 2,648.52 feet to a found aluminum cap marking the east 1/4 corner of said Section 34;  
Thence leaving said easterly line and following the southerly line of said Northeast 1/4, N89°25'56"W a distance of 48.00 feet to the **POINT OF BEGINNING**.

Thence following said southerly line, N89°25'56"W a distance of 1,267.48 feet to a found 5/8-inch rebar marking the C-E 1/16 corner;  
Thence leaving said southerly line and following the westerly line of the Northeast 1/4 of the Southeast 1/4 of said Section 34, S00°40'58"W a distance of 663.55 feet to a point;  
Thence leaving said westerly line and following the northerly line of the North 1/2 of the Northeast 1/4 of the Southeast 1/4 of said Section 34, S89°26'56"E a distance of 1,269.26 feet to a point on the westerly right-of-way line of S. Ten Mile Road;  
Thence leaving said northerly line and following said westerly right-of-way line, S00°31'45"W a distance of 786.71 feet to a point;  
Thence leaving said westerly right-of-way line, N89°28'15"W a distance of 563.00 feet to a point;  
Thence N60°44'02"W a distance of 257.06 feet to a point;  
Thence N51°09'25"W a distance of 483.98 feet to a point;  
Thence N71°45'49"W a distance of 107.07 feet to a point on the westerly line of the Northeast 1/4 of the Southeast 1/4 of said Section 34;  
Thence following said westerly line, N00°40'58"E a distance of 98.05 feet to a found 5/8-inch rebar on the northerly subdivision boundary of DreamCatcher Subdivision (a subdivision on file in Book 80, Pages 8639-8641, records of Ada County, Idaho);

Thence leaving said easterly line and following said northerly subdivision boundary the following courses:

1. N37°01'00"W a distance of 340.72 feet ;
2. S81°55'00"W a distance of 493.00 feet;
3. S54°50'00"W a distance of 47.00 feet;
4. N51°00'00"W a distance of 215.00 feet;
5. N68°00'00"W a distance of 444.99 feet;
6. N74°12'00"W a distance of 43.22 feet;
7. N54°50'00"W a distance of 259.00 feet;
8. N32°48'00"W a distance of 69.00 feet;
9. N07°50'00"E a distance of 88.00 feet;
10. N08°42'00"W a distance of 99.00 feet;
11. N69°52'00"W a distance of 225.00 feet;
12. N20°18'00"W a distance of 90.00 feet;
13. N64°28'00"W a distance of 188.00 feet;
14. N36°46'00"W a distance of 172.00 feet;

15. N44°26'00"W a distance of 77.00 feet;
16. N58°40'00"W a distance of 206.00 feet;
17. N74°06'00"W a distance of 276.82 feet to a point on the westerly line of the Southeast 1/4 of the Northwest 1/4 of said Section 34;

Thence leaving said northerly subdivision boundary and following said westerly line, N00°52'46"E a distance of 86.54 feet;

Thence leaving said westerly line, S83°37'10"E a distance of 55.38 feet;

Thence S71°29'04"E a distance of 173.98 feet;

Thence S72°30'29"E a distance of 94.36 feet;

Thence S66°34'34"E a distance of 48.08 feet;

Thence S57°30'33"E a distance of 85.85 feet;

Thence N42°15'35"E a distance of 174.08 feet;

Thence 132.58 feet along the arc of a circular curve to the left, said curve having a radius of 575.00 feet, a delta angle of 13°12'41", a chord bearing of N64°26'20"W and a chord distance of 132.29 feet;

Thence N71°02'40"W a distance of 161.80 feet;

Thence 217.00 feet along the arc of a circular curve to the right, said curve having a radius of 175.00 feet, a delta angle of 71°02'45", a chord bearing of N35°31'20"W and a chord distance of 203.36 feet;

Thence N00°00'00"E a distance of 18.04 feet;

Thence 31.23 feet along the arc of a circular curve to the left, said curve having a radius of 20.00 feet, a delta angle of 89°27'26", a chord bearing of N44°43'24"W and a chord distance of 28.15 feet;

Thence N89°26'47"W a distance of 128.85 feet to a point on said westerly line of the Southeast 1/4 of the Northwest 1/4;

Thence following said westerly line, N00°52'46"E a distance of 376.45 feet to a found 5/8-inch rebar marking the NW 1/16 corner of said Section 34;

Thence leaving said westerly line and following the southerly line of the Northwest 1/4 of the Northwest 1/4 of said Section 34, N89°21'57"W a distance of 472.05 feet;

Thence leaving said southerly line, N00°55'56"E a distance of 184.17 feet;

Thence N22°14'16"W a distance of 17.20 feet;

Thence S89°21'57"E a distance of 1,507.19 feet;

Thence N00°49'37"E a distance of 1,079.18 feet to a point on the southerly right-of-way line of W. Amity Road;

Thence following said southerly right-of-way line, S89°17'12"E a distance of 290.03 feet to a point;

Thence following said southerly right-of-way line, S89°18'18"E a distance of 15.00 feet;

Thence leaving said southerly right-of-way, S00°49'37"W a distance of 1,278.79 feet to a point on the northerly line of the Southwest 1/4 of the Northeast 1/4 of said Section 34;

Thence following said northerly line, S89°21'00"E a distance of 1,296.27 feet to a found 5/8-inch rebar marking the NE 1/16 corner of said Section 34;

Thence leaving said southerly line and following the easterly line of said Southwest 1/4 of the Northeast 1/4, S00°37'47"W a distance of 994.24 feet;

Thence leaving said easterly line and following the northerly line of the South 1/2 of the South 1/2 of the Southeast 1/4 of the Northeast 1/4, S89°24'57"E a distance of 1,266.49 feet to a point on the westerly right-of-way line of S. Ten Mile Road;

Thence following said westerly right-of-way line, S00°27'30"W a distance of 331.05 feet to the **POINT OF BEGINNING**.

#### **EXCEPTING THEREFROM**

A parcel of land being a portion of the East 1/2 of the Northwest 1/4 of Section 34, Township 3 North, Range 1 West, Boise Meridian, Ada County, Idaho and being more particularly described as follows:

Commencing at a brass cap marking the north 1/4 corner of said Section 34, thence following the easterly line of said Northwest 1/4, S00°49'37"W a distance of 1,326.80 feet to a found 5/8-inch rebar marking the C-N 1/16 corner of said Section 34,

Thence leaving said easterly line and following the northerly line of the Southeast 1/4 of the Northwest 1/4 of said Section 34, N89°21'57"W a distance of 14.91 feet to the **POINT OF BEGINNING**.

Thence leaving said northerly line, S00°53'38"W a distance of 325.32 feet to a point;

Thence N89°21'57"W a distance of 277.98 feet to a point;

Thence N00°52'46"E a distance of 345.35 feet to a point;

Thence S89°21'57"E a distance of 156.86 feet to a point;

Thence S00°38'03"W a distance of 20.02 feet to a point;

Thence S89°21'57"E a distance of 121.12 feet to the **POINT OF BEGINNING**.

#### **ALSO EXCEPTING THEREFROM**

A parcel of land being a portion of the Southwest 1/4 of the Northeast 1/4 of Section 34, Township 3 North, Range 1 West, Boise Meridian, Ada County, Idaho and being more particularly described as follows:

Commencing at a brass cap marking the north 1/4 corner of said Section 34, thence following the westerly line of said Northeast 1/4, S00°49'37"W a distance of 1,326.80 feet to a found 5/8-inch rebar marking the C-N 1/16 corner of said Section 34;

Thence following said westerly line S00°49'37"W a distance of 635.32 feet to the **POINT OF BEGINNING**.

Thence leaving said westerly line, S89°21'57"E a distance of 33.59 feet;

Thence 30.47 feet along the arc of a circular curve to the left, said curve having a radius of 250.00 feet, a delta angle of 06°58'56", a chord bearing of N87°08'35"E and a chord distance of 30.45 feet to a point;

Thence N83°39'07"E a distance of 116.36 feet to a point;

Thence 155.80 feet along the arc of a circular curve to the left, said curve having a radius of 650.00 feet, a delta angle of 13°44'01", a chord bearing of N76°47'07"E and a chord distance of 155.43 feet to a point;

Thence 38.65 feet along the arc of a reverse curve to the right, said curve having a radius of 20.00 feet, a delta angle of 110°42'41", a chord bearing of S54°43'34"E and a chord distance of 32.91 feet to a point;

Thence S00°37'47"W a distance of 258.37 feet to a point;

Thence N89°10'23"W a distance of 358.23 feet to a point on said westerly line of the Northeast 1/4;

Thence following said westerly line, N00°49'37"E a distance of 222.67 feet to the **POINT OF BEGINNING**.

Said total parcel description contains 132.757 acres, more or less, and is subject to all existing easements and/or rights-of-way of record or implied.





## Kirsti Grabo

---

**From:** Sub Name Mail [subnamemail@adaweb.net]  
**Sent:** Thursday, June 22, 2017 9:08 AM  
**To:** Kirsti Grabo  
**Cc:** Aaron Ballard  
**Subject:** Gran Prado Subdivision Name Reservation

June 22, 2017

Kirsti Grabo, KM Engineering  
Aaron Ballard, KM Engineering

RE: Subdivision Name Reservation: **GRAN PRADO SUBDIVISION**

At your request, I will reserve the name **Gran Prado Subdivision** for your project. I can honor this reservation only as long as your project is in the approval process. Final approval can only take place when the final plat is recorded.

This reservation is available for the project as long as it is in the approval process unless the project is terminated by the client, the jurisdiction or the conditions of approval have not been met, in which case the name can be re-used by someone else.

Sincerely,



**Jerry L. Hastings, PLS 5359**  
**County Surveyor**  
**Deputy Clerk Recorder**  
**Ada County Development Services**  
200 W. Front St., Boise, ID 83702  
(208) 287-7912 *office*  
(208) 287-7909 *fax*

---

**From:** Kirsti Grabo [mailto:KGrabo@kmenqllp.com]  
**Sent:** Monday, June 12, 2017 11:13 AM  
**To:** Sub Name Mail  
**Subject:** [EXTERNAL] RE: Sub Name Request

We'll take it. Thanks Glen!

---

**From:** Sub Name Mail [mailto:subnamemail@adaweb.net]  
**Sent:** Monday, June 12, 2017 10:14 AM  
**To:** Kirsti Grabo  
**Subject:** RE: Sub Name Request

Kirsti,

Gran Prado would work, if that's what you want.



**Glen Smallwood**  
*Surveying Technician*  
Ada County Development Services  
200 W. Front St., Boise, ID 83702  
(208) 287-7926 office  
(208) 287-7909 fax

---

**From:** Kirsti Grabo [<mailto:KGrabo@kmengllp.com>]  
**Sent:** Saturday, June 10, 2017 4:46 PM  
**To:** Sub Name Mail  
**Subject:** [EXTERNAL] Sub Name Request

Hi Glen & Jerry –

We are currently working on a large project for Tim Eck at the SWC of Ten Mile and Amity in Kuna. The parcel numbers are as follows, and I've also attached a vicinity map for clarity:

R0967660156  
R0967660155  
S1234142351  
R0967660151  
S1234212935  
S1234244310  
S1234121105  
S1234212405  
S1234417520

Tim has provided me with 2 name requests, which are as follows:

1. Owyhee Vista Subdivision
2. Gran Prado Subdivision

Please let me know if either of these will work.

Thanks,

Kirsti Grabo  
Development Coordinator  
Office Manager



KM Engineering, LLP  
9233 West State Street  
Boise, ID 83714  
208.639.6939 Fax 208.639.6930  
[kgrabo@kmengllp.com](mailto:kgrabo@kmengllp.com)



# City of Kuna Design Review Application

P.O. Box 13  
Kuna, Idaho 83634  
(208) 922.5274  
Fax: (208) 922.5989  
Website: www.kunacity.id.gov

FILE NO.: _____
CROSS REF.: _____
FILES: _____

The City of Kuna has adopted a Design Review process whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in the Design Review Ordinance No. 2007-02 and the Architecture and Site Design Booklet. Both of these documents can be found online ([www.cityofkuna.com](http://www.cityofkuna.com)) or are picked up in the City's Planning and zoning department is located at 763 W Avalon, Kuna ID. Staff is glad to assist you with your application form.

**The Design Review application applies to the following land use actions:**

- ▶ Multi- family dwellings (3 or more)
- ▶ Commercial
- ▶ Industrial
- ▶ Institutional
- ▶ Office
- ▶ Common Area
- ▶ Subdivision Signage
- ▶ Proposed Conversions
- ▶ Proposed changes in land use and/or building use or exterior remodeling
- ▶ Exterior restoration, and enlargement or expansion of existing buildings, signs or sites.

## Application Submittal Requirements

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	Date of pre- application meeting : _____ <i>Note: Pre-Applications are valid for a period of three (3) months.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	A complete Design Review Application form <i>Note: It is the applicant's responsibility to use a current application.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with Design Review standards.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	One (1) Vicinity Map (8 ½" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	One 8 ½" x 11" colored aerial photo depicting proposed site, street names, and surrounding area within five-hundred feet (500').	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Copy of Deed; and, if the applicant is not the owner, an <b>original</b> notarized statement (affidavit of legal interest) from the owner (and all interested parties) stating the applicant is authorized to submit this application.	<input type="checkbox"/>

Detailed site, landscape, drainage plan, elevation and to scale. (No smaller than 1"=30', unless otherwise approved.)

**One of each plan** (site, landscape, drainage plan and elevations) is required to be submitted in the following plan sizes:

- (1) 24" X 36" TO SCALE COPIES
- (1) 11" X 17" REDUCTIONS
- (1) 8 1/2" x 11" REDUCTIONS

Provide a color rendering and material sample board specifically noting where each color and material is to be located on the structure.

Note: Provide photo of the colored rendering and material samples board to City Staff electronically in a JPG or PDF format.

The Applicant is obligated to provide a site plan that graphically portrays the site and includes the following features:

### Site Plan

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	North Arrow	<input type="checkbox"/>
<input checked="" type="checkbox"/>	To scale drawings	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Property lines	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of "Plan Preparer" with contact information	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of project and date	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Existing structures, identify those which are to be relocated or removed	<input type="checkbox"/>
<input checked="" type="checkbox"/>	On-site and adjoining streets, alleys, private drives and rights-of-way	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Drainage location and method of on-site retention / detention	<input type="checkbox"/>
<input type="checkbox"/>	Location of public restrooms	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Existing / proposed utility service and any above-ground utility structures and their location	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and width of easements, canals and drainage ditches	<input type="checkbox"/>
<input type="checkbox"/>	Location and dimension of off-street parking	<input type="checkbox"/>
<input type="checkbox"/>	Locations and sizes of any loading area, docks, ramps and vehicle storage or service areas	<input type="checkbox"/>
<input type="checkbox"/>	Trash storage areas and exterior mechanical equipment, with proposed method of screening	<input type="checkbox"/>
<input type="checkbox"/>	Sign locations (a separate sign application must be submitted with this application)	<input type="checkbox"/>
<input type="checkbox"/>	On-site transportation circulation plan for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Locations and uses of ALL open spaces	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Locations, types and sizes of sound and visual buffers (Note: all buffers must be located outside the public right-of-way)	<input type="checkbox"/>
<input type="checkbox"/>	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Locations of subdivision lines (if applicable)	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location of walls and fences and indication of their height and material of construction	<input type="checkbox"/>
<input type="checkbox"/>	Roofline and foundation plan of building, location on the site	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and designations of all sidewalks	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and designation of all rights-of-way and property lines	<input type="checkbox"/>

## Landscape and Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscaped and streetscape plans must be colored. The Planning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Applicant Use	Staff Use
<input checked="" type="checkbox"/> North Arrow	<input type="checkbox"/>
<input checked="" type="checkbox"/> To scale drawings	<input type="checkbox"/>
<input checked="" type="checkbox"/> Boundaries, property lines and dimensions	<input type="checkbox"/>
<input checked="" type="checkbox"/> Name of "Plan Preparer" with contact information	<input type="checkbox"/>
<input checked="" type="checkbox"/> Name of project and date	<input type="checkbox"/>
<input checked="" type="checkbox"/> Type and location of all plant materials and other ground covers. <i>Please review the City's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of all proposed landscape materials at the time of planting, and at maturity. A list of acceptable trees is available upon request from City Planning Staff. If there are any questions, please contact the City Forester, Natalie Reeder, at 208.880.0953</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed.	<input type="checkbox"/>
<input checked="" type="checkbox"/> Method of irrigation. <i>Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fences, fountains street/pathway furniture (benches, etc.), etc.	<input type="checkbox"/>
<input type="checkbox"/> Sign locations <i>Note: A separate sign application must be submitted with this application</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/> Locations and uses for open spaces	<input type="checkbox"/>
<input type="checkbox"/> Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	<input type="checkbox"/>
<input checked="" type="checkbox"/> Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input checked="" type="checkbox"/> Location and designations of all sidewalks	<input type="checkbox"/>
<input checked="" type="checkbox"/> Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved design review application, a detailed site grading and drainage plan, prepared by a registered professional engineer (PE) shall be submitted to the City for review and approval by the City Engineer.	<input type="checkbox"/>

### Building Elevations

Applicant  
Use

- Detailed elevation plans of each side of any proposed building(s) or additions(s)  
*Note: Four (4) elevations to include all sides of development and must be in color*
- Identify the elevations as to north, south, east, and west orientation
- Colored copies of all proposed building materials and indication where each material and color application is to be located  
*Note: Submit as 11"x17" reductions*
- Screening/treatment of mechanical equipment
- Provide a cross-section of the building showing any roof top mechanical units and their roof placement
- Detailed elevation plans showing the materials to be used in construction of trash enclosures

Staff  
Use

- 
- 
- 
- 
- 
- 

### Lighting Plan

Applicant  
Use

- Exterior lighting including detained cut sheets and photometric plan (pedestrian, vehicle, security, decoration)
- Types and wattage of all light fixtures  
*Note: The City encourages use of "dark sky" lighting fixtures*
- Placement of all light fixtures shown on elevations and landscaping plans

Staff  
Use

- 
- 
- 

### Roof Plans

Applicant  
Use

- Size and location of all roof top mechanical units

Staff  
Use

-

# Design Review Application

Applicant: Renascence Farm, LLC Phone: c/o KM Engineering  
& Waters Edge Farm, LLC 208.639.6939

Owner

Representative

Fax/Email: 208.639.6930

Applicant's Address: 6152 West Half Moon Lane

Eagle, ID Zip: 83616

Owner: same Phone: \_\_\_\_\_

Owner's Address: \_\_\_\_\_ Email: \_\_\_\_\_

Zip: \_\_\_\_\_

Represented By: *(if different from above)* KM Engineering, LLP Phone: 208.639.6939

Address: 9233 West State Street Email: kqrabo@kmenqllp.com

Boise, ID Zip: 83714

Address of Property: see letter

Kuna, ID Zip: 83634

Distance from Major Cross Street: generally located south of Amity Street Name(s): \_\_\_\_\_

between Ten Mile & Black Cat

*Please check the box that reflects the intent of the application*

BUILDING DESIGN REVIEW  
 SUBDIVISION / COMMON AREA LANDSCAPE

DESIGN REVIEW MODIFICATION  
 STAFF LEVEL APPLICATION

This Design Review application is a request to construct, add or change the following: *(Briefly explain the nature of the request.)*

Common area landscaping for Gran Prado Subdivision

1. Dimension of Property: +/- 133 acres
2. Current Land Use(s): ag w/existing residence and outbuildings
3. What are the land uses of the adjoining properties?
  - North: ag / residential
  - South: Mason Creek / ag / residential
  - East: ag / residential
  - West: ag / residential
4. Is the project intended to be phased, if so what is the phasing time period? yes  
 Please explain: phasing will be market driven - see conceptual phasing plan for further details
5. The number and use(s) of all structures: 1 existing residence with outbuildings - all to be removed - current preliminary plat proposes 530 new single-family residences
6. Building heights: \_\_\_\_\_ Number of stories: \_\_\_\_\_  
 The height and width relationship of new structures shall be compatible and consistent with the architectural character of the area and proposed use.  
 Note: The maximum building height for each zoning district is as follows:
 

L-O: 35'	C-2: 60'	CBD: 80'	M-2: 60'	P: 60'
C-1: 35'	C-3: 60'	M-1: 60'	M-3: 60'	
7. What is the percentage of building space on the lot when compared to the total lot area? \_\_\_\_\_
8. Exterior building materials & colors: *(Note: This section must be completed in compliance with the City of Kuna Ordinance No. 2007-21A (as amended); found online at [www.cityofkuna.com](http://www.cityofkuna.com)) under the City Code.*

**MATERIAL**

**COLOR**

Roof: \_\_\_\_\_ / \_\_\_\_\_

Walls: (State percentage of wall coverage for each type of building material below for each frontage wall) If there is not adequate space to identify the various building materials and applications, please list them on the attached sheet of this application. Please attach photos to support application types.

- |  |       |   |       |
|--|-------|---|-------|
| % of Wood application:   | _____ | / | _____ |
| % EIFS:<br><small>(Exterior Insulation Finish System)</small>  | _____ | / | _____ |
| % Masonry:   | _____ | / | _____ |
| % Face Block:  | _____ | / | _____ |
| % Stucco:  | _____ | / | _____ |
| & other material(s):   | _____ | / | _____ |
| List all other materials:  | _____ |   |       |
| Windows/Doors:<br><small>(Type of window frames &amp; styles / doors &amp; styles, material)</small> | _____ | / | _____ |
| Soffits and fascia material:   | _____ | / | _____ |
| Trim, etc.:  | _____ | / | _____ |

Other: \_\_\_\_\_ / \_\_\_\_\_

9. Please identify Mechanical Units: \_\_\_\_\_

Type/Height: \_\_\_\_\_

Proposed Screening Method: \_\_\_\_\_

10. Please identify trash enclosure: (size, location, screening & construction materials) \_\_\_\_\_

11. Are there any irrigation ditches/canals on or adjacent to the property? yes

If yes, what is the name of the irrigation or drainage provider? Mason Creek / Boise Project

12. Fencing: (Please provide information about new fencing material as well as any existing fencing material)

no existing fencing to remain

Type: subdivision fencing type TBD - will meet City Codes

Size: \_\_\_\_\_

Location: \_\_\_\_\_

(Please note that the City has height limitations of fencing material and requires a fence permit to be obtained prior to installation)

13. Proposed method of On-site Drainage Retention/Detention:

to be determined with final design - preliminarily showing seepage beds

14. Percentage of Site Devoted to Building Coverage: \_\_\_\_\_

% of Site Devoted to Landscaping: \_\_\_\_\_ Square Footage: \_\_\_\_\_  
(Including landscaped rights-of-way)

% of Site that is Hard Surface: \_\_\_\_\_ Square Footage: \_\_\_\_\_  
(Paving, driveways, walkways, etc.)

% of Site Devoted to other uses: \_\_\_\_\_

Describe: \_\_\_\_\_

% of landscaping within the parking lot (landscaped islands, etc.): \_\_\_\_\_

15. For details, please provide dimensions of landscaped areas within public rights-of-way: \_\_\_\_\_

16. Are there any existing trees of 4" or greater in caliper on the property? (Please provide the information on the site plans.)

If yes, what type, size and the general location? (The City's goal is to preserve existing tree with greater than a four inch (4") caliper whenever possible):

aged trees around existing home and along old fence lines to be removed

17. Dock Loading Facilities:

Number of docking facilities and their location: \_\_\_\_\_

Method of screening: \_\_\_\_\_

18. Pedestrian Amenities: (bike racks, receptacles, drinking fountains, benches, etc.) pathways throughout

project and along Mason Creek

19. Setbacks of the proposed building from property lines: \_\_\_\_\_



Transportation Impact Study  
**Gran Prado Subdivision**

Kuna, Idaho  
August 2017

This is the Exec Summary only.  
Please contact P & Z for a full copy  
of the TIS.

PREPARED FOR:  
**Renascence Farm, LLC**  
Mr. Tim Eck  
6152 W Half Moon Lane  
Eagle, Idaho 83616

PREPARED BY:  
**KITTELSON & ASSOCIATES, INC.**  
101 S Capitol Boulevard, Suite 301  
Boise, ID 83706  
208.338.2683

# Transportation Impact Study

## Gran Prado Subdivision

Kuna, Idaho

Prepared For:  
**Renascence Farm, LLC**  
6152 W Half Moon Lane  
Eagle, Idaho 83616

Prepared By:  
**Kittelson & Associates, Inc.**  
101 South Capitol Boulevard, Suite 301  
Boise, Idaho 83702  
(208) 338-2683

Project Principal: John Ringert, PE  
Project Manager: Brett Korporaal

Project No. 21517

August 2017



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Section 1  
Executive Summary

## EXECUTIVE SUMMARY

Renaissance Farm, LLC is proposing to develop the Gran Prado Subdivision, a 533 single-family unit housing development situated on approximately 135 acres in Kuna, Idaho. The development is located on the south side of Amity Road and west of Ten Mile Road. Figure 1 illustrates the site's vicinity in Ada County, Idaho.

The parcels of land proposed for the new subdivision is identified as Rural Urban Transition by the City of Kuna's *City Zoning Map* (Reference 2). The property is also identified as a mixture of Low Density Residential, Medium Density Residential, and Mixed-Use Residential by the City of Meridian's future land use map (Reference 3). These parcels will be rezoned for the development of single-family residential units. The parcels in the immediate vicinity of the site are also zoned as Rural Urban Transition by the City of Kuna and Low Density Residential, Medium Density Residential, Mixed-Use Residential, and Rural Estate Residential in the City of Meridian future land-use map.

Access to the Gran Prado Subdivision is proposed via one new local street connection on Amity Road approximately 2,810 feet west of Ten Mile Road, one collector street connection to Ten Mile Road approximately 2,640 feet south of Amity Road (opposite Ballard Lane), and a local street connection to Ten Mile Road approximately 1,850 feet north of Lake Hazel Road. Additionally, the internal streets of the development will provide access to the current homes on Lindy Lane, and therefore, Lindy Lane is proposed to be closed at Amity Road.

Currently, the site is undeveloped. The development is planned to be completed in 10 phases, with a projected full build-out in year 2027. The preliminary site plan is shown in Figure 2. The TIS addresses the development's impacts in the buildout year 2027 and evaluates the approximate number of homes that can be built before the proposed mitigations are necessary.

## FINDINGS

### Existing Conditions

- The study evaluated five off-site intersections during the a.m. and p.m. peak period of a typical weekday (Tuesday – Thursday).
- All study intersections were found to operate at acceptable operating standards during the existing weekday a.m. and p.m. peak hours with the exceptions of:
  - **Amity Road & Ten Mile Road (PM Peak Hour)** – During the weekday p.m. peak hour, the southbound approach operates with a volume-to-capacity ratio of 1.00, resulting in LOS F. This intersection is identified as a future single lane roundabout in ACHD's Five Year Work Plan with a scheduled construction in year 2021. Two mitigation options were identified, which are already conditions of the Caspian Subdivision and will be included in a development agreement with ACHD for that project. These options include:

- A temporary traffic signal, the intersection operates at LOS B with a volume-to-capacity ratio of 0.53 and 0.68 during the a.m. and p.m. peak hour, respectively.
- Construction of the ACHD roundabout per the Five-Year Work Plan scheduled for construction in 2021.
- **Black Cat Road & Amity Road (PM Peak Hour)** – During the weekday p.m. peak hour, the westbound approach meets ACHD standards but operates at LOS D, triggering the need to consider the need for a traffic signal or roundabout. Based on a planning-level signal warrant analysis, the intersection meets the volume-based traffic signal warrants #1, #2, and #3.
  - While the intersection is estimated to meet traffic signal warrants, it currently meets ACHD operational standards. ACHD’s *2016 Capital Improvement Plan* (Intersection #1 in CIP, Reference 7) identifies improvements to the Amity Road/Black Cat Road intersection for completion in year 2026-2030 timeframe. The improvement includes signaling the intersection along with reconstructing and widening the stop controlled intersection approaches to add left-turn lanes on each approach and right-turn lanes for the westbound and southbound approaches.
  - Due to the intersection meeting the ACHD LOS standards, no mitigation is proposed under existing conditions.
- All ACHD study roadway segments operate at acceptable levels of service.
- Crash data at the study intersections for the most recent five years (2011-2015) was analyzed for any existing crash trends, below are the findings:
  - There were no crashes reported at the Ten Mile Road & Ballard Lane stop-controlled intersection (location of proposed Site Access B).
  - Signalized intersection of Victory Road & Ten Mile Road average two reported crashes per year since 2011, consisting of rear-end and angle crashes.
  - Angle crashes were the most common crash type, accounting for approximately 44% of all crashes.
  - There were no fatalities along any of the study roadways or at any of the study intersections.

## Year 2027 Background Traffic Conditions

- Year 2027 background traffic volumes were forecasted using a 3% annual growth rate and included the addition of in-process traffic from Caspian Subdivision and Phases 1 and 2 of the proposed Springhill Subdivision.
- Year 2027 background traffic analysis (without inclusion of site-generated traffic) found that all of the study intersections are forecast to operate at acceptable levels of service and volume-to-capacity ratios during the mid-weekday a.m. and p.m. hours with the exception of:
  - **Amity Road & Ten Mile Road (AM and PM Peak Hour)** – During the weekday a.m. peak hour, the eastbound and northbound approaches are projected to exceed capacity and during the weekday p.m. peak hour, the westbound and southbound approaches are projected to exceed capacity. Two mitigation options were identified, and which are conditions on the Caspian Subdivision, which include:
    - A temporary traffic signal in place, the intersection operates at LOS C with a volume-to-capacity ratio of 0.65 and 0.81 during the a.m. and p.m. peak hour, respectively.
    - Construction of the ACHD roundabout per the Five-Year Work Plan results in an acceptable level of service and meets the ACHD operational criteria for an unsignalized intersection. But it does not meet the *ACHD Policy Manual Section 5108.5.4*, which identifies the maximum volume-to-capacity ratio at a roundabout to be 0.85. The southbound movement exceeds the 0.85 threshold and would require the following additional mitigation:
      - Addition of a southbound right-turn bypass lane.
  - **Black Cat Road & Amity Road (PM Peak Hour)** – During the weekday p.m. peak hour the westbound approach exceeds capacity, triggering the need to consider a traffic signal or roundabout. ACHD's *2016 Capital Improvement Plan* (Intersection #1 in CIP, Reference 7) identifies improvements to the Amity Road & Black Cat Road intersection for completion in year 2026-2030 timeframe. With the CIP improvements, the intersection operates acceptably.
  - **Amity Road & Linder Road (PM Peak Hour)** – During the weekday p.m. peak hour the westbound approach is projected to reach capacity. Two mitigation options have been identified:
    - Construct a roundabout: ACHD's *2016 Capital Improvement Plan* (Intersection #5 in CIP, Reference 7) has a roundabout planned as part of CIP # IN2016-5 (Year 2031-2035: Reconstruct the stop controlled intersection to be a single lane roundabout with a westbound bypass lane).

- Install a temporary traffic signal which is also a condition for the Caspian Residential development.
- All ACHD study roadway segments are projected to continue operating at acceptable levels of service with the exception of Ten Mile Road between Amity Road and Victory Road.
  - This section of Ten Mile Road is projected to exceed the ACHD threshold volume for a two-lane principal arterial roadway. While the segment is shown to exceed the threshold, the more detailed intersection analysis at Amity Road and Victory Road identified that a single lane in each direction is sufficient. Therefore, widening may not be needed until additional through lanes on Ten Mile Road are required at the critical intersections.

### Trip Generation and Distribution

- The *ITE Trip Generation Manual, 9<sup>th</sup> Edition* was used to estimate the trip generation for the proposed Gran Prado Subdivision.
- The proposed Gran Prado Subdivision development, with 533 single-family homes in the buildout year of 2027, is estimated to generate a total of 4,896 daily net new trips, 382 weekday a.m. peak hour net new trips (96 inbound / 286 outbound), and 474 weekday p.m. peak hour net new trips (299 inbound / 175 outbound).
- The distribution pattern for site-generated trips was developed by evaluating existing traffic patterns and major trip origins and destinations within the study area, as well as a select zone analysis from COMPASS' regional travel demand model.

### Year 2027 Total Traffic Conditions

- Year 2027 total traffic conditions found all study intersections will continue to operate at acceptable levels of service during the weekday a.m. and p.m. peak hours with the exception of:
  - **Amity Road & Ten Mile Road (AM and PM Peak Hour)** – During the weekday a.m. peak hour, the eastbound and northbound approaches are projected to exceed capacity and during the weekday p.m. peak hour, the westbound and southbound approaches are projected to exceed capacity. Similar to existing and background traffic conditions, two mitigation options are evaluated. Both have already been conditioned for the Caspian Subdivision, which include:
    - A temporary traffic signal in place, the intersection operates at LOS C with a volume-to-capacity ratio of 0.73 and 0.91 during the a.m. and p.m. peak hour, respectively.

- Construction of the proposed ACHD roundabout per the Five-Year Work Plan results in the northbound approach exceeding capacity during the weekday a.m. peak hour and the southbound approaches exceeding capacity during the weekday p.m. peak hour. In order to meet the *ACHD Policy Manual Section 5108.5.4* maximum volume-to-capacity ratio threshold (0.85) at the roundabout, the following additional mitigation is necessary:
  - Multi-lane roundabout with two northbound and southbound through lanes.
- **Black Cat Road & Amity Road (PM Peak Hour)** – During the weekday p.m. peak hour the westbound approach continues to exceed capacity, triggering the need to consider a traffic signal or roundabout. ACHD’s *2016 Capital Improvement Plan* (Intersection #1 in CIP, Reference 7) identifies improvements to the Amity Road & Black Cat Road intersection for completion in year 2026-2030 timeframe. With the CIP improvements the intersection operates acceptably. Signalization is projected to be needed in approximately 2021 with approximately 220 units at the Gran Prado Subdivision. Given that Gran Prado’s North Access at Amity Road will not be constructed until the final major phase of the development and may result in reduced impact on the intersection in the early phases of development; the timing for the signalization would need to be re-evaluated prior to the 220<sup>th</sup> unit to confirm the timing for the signal.
- **Amity Road & Linder Road (PM Peak Hour)** – During the weekday p.m. peak hour the westbound approach is projected to reach capacity. Two mitigation options have been identified:
  - Construct a roundabout: ACHD’s *2016 Capital Improvement Plan* (Intersection #5 in CIP, Reference 7) has a roundabout planned as part of CIP # IN2016-5 (Year 2031-2035: Reconstruct the stop controlled intersection to be a single lane roundabout with a westbound bypass lane).
  - Install a temporary traffic signal: Install a temporary signal with left-turn lanes. This is also a condition for the Caspian Residential development.
    - ≠ ACHD has required the Caspian Subdivision development to restudy this intersection at 280 units and make improvements if necessary. It is projected to require improvements at approximately 350 units at Gran Prado.
- **Victory Road & Ten Mile Road (AM and PM Peak Hour)** – During the weekday a.m. peak hour, the northbound through movement is projected have a volume-to-capacity ratio of 0.94 which exceeds the ACHD threshold of 0.90. This is expected to

occur in approximately 2025 with 440 units at Gran Prado. The following mitigation is necessary:

- An additional northbound through lane on Ten Mile Road.
- All ACHD study roadway segments are projected to continue operating at acceptable levels of service with the exception of Ten Mile Road between Amity Road and Victory Road.
  - This section of Ten Mile Road is projected to continue to exceed the ACHD threshold volume for a two-lane principal arterial roadway. While the segment is shown to exceed the threshold in approximately 2021 with 250 units at Gran Prado, the more detailed intersection analysis at Amity Road and Victory Road identified that a single lane in each direction will allow the segment to operate under capacity until approximately 2025 with 440 units at Gran Prado. It should be noted that widening of Ten Mile Road was included in the ACHD 2012 CIP, but not in the current 2016 CIP.

## Site Access Evaluation

- The turn lane analysis using ACHD procedures resulted in turn lane warrants at the following site access streets:
  - Amity Road & North Access (Site Access A) :
    - Westbound left-turn lane
  - Ten Mile Road & Ballard Lane/Site Access (Site Access B):
    - Southbound right-turn lane
    - Northbound left-turn lane
  - Ten Mile Road & South Site Access (Site Access C):
    - Southbound right-turn lane
    - Northbound left-turn lane
- The results from the queuing analysis found that the 95<sup>th</sup> percentile queue lengths can be accommodated, although the North Access & Amity Road intersection and the South Access & Ten Mile Road intersections have front-on housing at the intersection.
  - It is recommended driveways are not located within 50 feet of the right-of-way and within 80 feet of the edge of pavement of Ten Mile Road or Amity Road. The planned landscape buffer outside the right-of-way may provide the necessary separation.

- The intersection sight distance evaluation identified that intersection sight distance can be achieved at all the site intersections with the following actions:
  - Construct the South Access (Access C) at the same elevation, or greater, than the current edge of pavement elevation.
  - Remove trees and other vegetation and potential obstructions along Ten Mile Road as necessary to maintain adequate intersection sight distance. This is especially important at the Ten Mile Road/Ballard Lane/Site Access intersection.
  - Shrubbery and landscaping near the internal intersections and site access points should be maintained to ensure adequate sight distance.
  
- There are three proposed public streets access points to the Gran Prado Subdivision. One along Amity Road and two along Ten Mile Road. Following is a summary of each access with respect to ACHD Policy:
  - **Amity Road & North Access (Site Access A):** The access spacing does not meet the ACHD policy of 1,320 feet for unsignalized public streets on Principal Arterials due to one local street and two private gravel roads. This access should be considered by ACHD for the following reasons:
    - The access to Amity Road and internal site connection to the existing residential homes on Lindy Lane allows for closure of Lindy Lane.
    - The development is providing stub streets to the east and west near Amity Road, such that Country Life Lane (east of Lindy Lane) could also be closed in the future.
    - The access provides a necessary connection to Amity Road for emergency access and traffic circulation. Without this access, all traffic would have to turn onto Ten Mile Road and then turn back onto Amity Road to go east or west. This out-of-direction travel would add additional stress to Ten Mile Road and the Ten Mile Road & Amity intersection. Without the Amity Road access, site trips would increase the ADT at the Ballard Lane access to over 3,000 ADT.
    - The access has been located as far west as possible within the subdivision's property lines to provide maximum distance from Nickel Creek Road.
    - This is not the primary access to the site, with limited turning movements into and out of the site (an estimated 1,300-1,400 ADT).
    - The proposed local street will function acceptably as a full access (without turn lanes).

- This access is proposed as a local street and will only serve residential trips.
- The location of the proposed local street allows for the eventual evolution into a collector
- **Ten Mile Road & Ballard Lane (Site Access B):** This proposed access meets the spacing requirement from Amity Road with the exception of some private driveways that are located to the north and south. This access should be considered by ACHD for the following reasons:
  - The proposed collector meets ACHD spacing requirements and will function acceptably as a full access.
  - Without the Ballard Lane access, site-generated trips would increase the ADT at the north access on Amity Road and south access on Ten Mile Road to over 2,000 ADT, exceeding ACHD’s volume threshold for a local street.
  - Stub streets are being provided to the adjacent parcels which will allow future development to access Ten Mile via the new collector road and close existing driveways on Ten Mile Road.
  - This access is proposed as a collector street and will only serve residential trips, as well as provide increased accessibility for emergency response vehicles and public services vehicles.
- **Ten Mile Road & South Access (Site Access C):** This proposed access does not meet ACHD access spacing requirement from Ballard Lane and some private driveways to the north and south. However, this access should be considered by ACHD for the following reasons:
  - The shapes of the parcels do not provide the near-term ability for the south area of the development to efficiently utilize the Ballard Lane access. The southern part of the development would essentially be long cul-de-sac.
  - A stub street is being provided to the north toward the proposed collector road which would provide future access to the collector roadway which may allow for future restriction or closure of the local street access to Ten Mile, if warranted in the future.
  - The driveway is not the primary access to the site, with limited turning movements into and out of the site (an estimated 1,400 – 1,500 ADT).
  - Without the south access on Ten Mile Road, site-generated trips would increase the ADT at Ballard Lane over 3,000 ADT.

- The proposed local street will function acceptably as a full access (without turn lanes).
- This access is proposed as a local street and will only serve residential trips, as well as provide increased accessibility for emergency response and public service vehicles.

## RECOMMENDATIONS

Based on the evaluation findings and conclusions, recommendations were developed which include the following:

### *Existing Conditions:*

- **Amity Road & Ten Mile Road:** Construct an interim signal with left-turn lanes or a single-lane roundabout. Either option is included in the conditions for the Caspian Residential Subdivision. ACHD is currently entering into a development agreement with the Caspian Subdivision development team to provide improvements to the intersection.

### *Year 2027 Background Conditions*

- **Amity Road & Ten Mile Road:** Construct an interim signal with left-turn lanes or single-lane roundabout. A southbound right-turn lane should be considered for the roundabout to meet ACHD's roundabout guidelines. Either a roundabout or an interim signal is included in the conditions for the Caspian Residential Subdivision.
- **Amity Road & Black Cat Road:** Signalize the intersection per the ACHD CIP (IN2016-1) planned for the 2026-2030 timeframe. Signalization is projected to be needed in approximately 2021.
- **Amity Road & Linder Road:** Construct an interim signal with left-turn lanes or single-lane roundabout. Either option is included in the conditions for the Caspian Residential Subdivision. A roundabout is included in the ACHD CIP (IN2016-5) and planned for year 2031-2035.

### *Year 2027 Total Conditions*

- **Amity Road & Ten Mile Road:** Construct an interim signal with left-turn lanes or a multi-lane roundabout with two lanes in the northbound and southbound directions. A single-lane roundabout or an interim signal is included in the conditions for the Caspian Residential Subdivision. Following are the estimated development thresholds for the Gran Prado Subdivision for each mitigation:
  - Interim Signal with Left Turn Lanes: Accommodates buildout up to 510 units.

- Single Lane Roundabout: Accommodates up to approximately 265 units.
- Single Lane Roundabout with Southbound Right-Turn Lane: Accommodates up to 320 units.
- Multi-lane Roundabout with Two Lanes Northbound and Southbound: Accommodates full development.
- **Amity Road & Black Cat Road:** Signalize the intersection per the ACHD CIP (IN2016-1) planned for the 2026-2030 timeframe. Signalization is projected to be needed in approximately 2021 with approximately 220 units at the Gran Prado Subdivision. Given that Gran Prado’s North Access at Amity Road will not be constructed until the final major phase of the development and may result in reduced impact on the intersection in the early phases of development; the timing for the signalization should be re-evaluated when the 220<sup>th</sup> unit is constructed.
- **Amity Road & Linder Road:** Construct and interim signal with left-turn lanes or single-lane roundabout. Either option is included in the conditions for the Caspian Residential Subdivision. A roundabout is included in the ACHD CIP (IN2016-5) and planned for year 2031-2035. Improvement is expected to be needed in 2023 with approximately 350 units at the Gran Prado Subdivision.
  - ACHD has required the Caspian Subdivision development to restudy the intersection at 280 units and therefore we recommend a similar approach of studying the intersection prior to the 350<sup>th</sup> unit at Gran Prado.
- **Ten Mile Road (Amity Road to Victory Road) / Amity Road & Victory Road Intersection:** Widen Ten Mile Road to five lanes and extend the widening through the Victory Road & Amity Road intersection. The widening is expected to be needed in 2022 with approximately 250 units at Gran Prado Subdivision and the need for the additional southbound lane through the Victory Road intersection is estimated to occur in approximately 2025 with approximately 440 units at the Gran Prado Subdivision.
- Install the following turn lanes at the following site access streets:
  - Amity Road & North Access (Site Access A) :
    - Westbound left-turn lane
  - Ten Mile Road & Ballard Lane/Site Access (Site Access B):
    - Southbound right-turn lane
    - Northbound left-turn lane
  - Ten Mile Road & South Access (Site Access C):
    - Southbound right-turn lane

- Northbound left-turn lane
  - Locate individual lot driveways further than 50 feet from the right-of-way and greater than 80 feet from the edge of pavement along Ten Mile Road and Amity Road. The planned landscaped buffer along Ten Mile Road and Amity Road may provide the necessary separation.
  - Ensure intersection sight distance is accommodated at the site access streets with the following actions:
    - Construct the South Access (Site Access C) at the same or greater elevation as the current edge of pavement elevation.
    - Remove trees and other vegetation and potential obstructions along Ten Mile Road as necessary to maintain adequate intersection sight distance. This is especially important at the Ten Mile Road/Ballard Lane/Site Access intersection.
    - Maintain shrubbery and landscaping near the internal intersections and site access to ensure adequate sight distance.