KUNA PLANNING AND ZONING COMMISSION
Agenda for December 12, 2017

Kuna City Hall ▪ Council Chambers ▪ 751 W. 4th St. ▪ Kuna, Idaho

1. CALL TO ORDER AND ROLL CALL

Chairman Lee Young
Vice Chairman Dana Hennis
Commissioner Cathy Gealy
Commissioner Stephen Damron
Commissioner John Laraway

2. CONSENT AGENDA

a. Meeting Minutes for November 28, 2017.
b. ***Findings of Fact and Conclusions of Law*** for 17-08-AN (Annexation); Danskin Ridge No.'s 2, 3 & 5.
c. ***Findings of Fact and Conclusions of Law*** for 17-11-S (Subdivision) and 17-25-DR (Design Review); Merino Cove Subdivision.

3. NEW BUSINESS

a. **17-08-DR (Design Review Modification);** Applicant Amanda Ryan with BRS Architects requests Design Review Modification approval from the Planning and Zoning Commission (acting as Design Review Committee) for a previously approved 4,064-square foot commercial building to house a new Smoky Mountain Pizzeria Grill restaurant, and accompanying landscaping and parking lot to be situated on Lot 2, Block 1 within the Ensign Commercial subdivision.

b. **17-28-DR (Design Review) and 17-23-SN (Sign);** On behalf of Stan Nicolaysen, Julie Benintendi with BRS Architects seeks Design Review approval from the Planning and Zoning Commission (acting as Design Review Committee) for a new 2065 square foot commercial building to house a new Taco Bell Restaurant, accompanying landscaping, lighting, parking lot and signage within the Ensign Commercial Subdivision. The site is located at 985 N Meridian Road, Kuna, Idaho 83634.

4. PUBLIC HEARING

a. **17-05-SUP (Special Use Permit) & 17-22-DR (Design Review)*;*** A request from Inaki Lete to construct an additional storage facility on approximately 3.70 acres. The site is located at 1795 West Deer Flat Road, Kuna, Idaho. – ***Tabled from November 14, 2017*.**
   -***Staff requests this item be removed from the agenda.***

5. COMMISSION REPORTS

6. ADJOURNMENT

CITY OF KUNA
PLANNING & ZONING COMMISSION

MEETING MINUTES
Tuesday, November 28, 2017

PZ COMMISSION MEMBER	PRESENT	CITY STAFF PRESENT:	PRESENT
Chairman Lee Young	X	Wendy Howell, Planning Director	X
Commissioner Dana Hennis	X	Troy Behunin, Senior Planner	X
Commissioner Cathy Gealy	X	Trevor Kesner, Planner II	X
Commissioner Stephen Damron	X	Jace Hellman, Planner I	Absent
Commissioner John Laraway	X		

6:00 pm – COMMISSION MEETING & PUBLIC HEARING

Chairman Young called the meeting to order at **6:00 pm**.

Call to Order and Roll Call

1. **CONSENT AGENDA**

a) Meeting Minutes for November 14, 2017

b) 17-06-AN (Annexation), 17-08-S (Pre-Plat), and 17-18-DR (Design Review) **- *Findings of Fact and Conclusions of Law***

Commissioner Gealy motions to approve the consent agenda; Commissioner Hennis Seconds, all aye and motion carried 4-0.

2. ***PUBLIC HEARING***

a. **17-08-AN (Annexation)**; The City of Kuna is requesting approval for annexation of approximately 37.6 acres +/-, also known as Danskin Ridge Subdivision No's. 2, 3 and 5, and portions of No. 1, into Kuna City limits with an 'R-2' (Low Density Residential) zoning designation. The subject lands are located on the south side of west Columbia Road, approximately 800-feet east of the intersection of west Columbia and south Ten Mile Roads (Slide Creek Road and Buffalo Creek Lane; respectively), Kuna, Idaho in Section 11, T2N, R1W, B.M.

Trevor Kesner: Thank you Chairman and Commissioners, Trevor Kesner, Kuna City Planner. The annexation petition before you is a unique one. The Danskin Ridge Subdivision was developed in Ada County as a large lot, estate-style community. The homes in Phase 1 were all developed with their own individual septic systems. When phases 2, 3 and 5 were built, those homes were developed using a community septic system where the discharge is treated on site and the effluent that is stored in the pond was historically spread over a large field that was owned by the School District. Well since then, the District has sold or traded that property; I'm not fully aware of the history there, anyway, the effluent now can no longer be spread on that field, which creates a capacity problem for the existing septic pond. The property owner to the south is in the process of developing a subdivision that will bring municipal services very close to the southern boundary of Danskin right next to where the Danskin's system discharges to that pond on the west side. This creates an opportunity for the Danskin residents to resolve this issue by hooking their system into the City's. In 2015, the developer to the south entered into an agreement with the Danskin HOA to obtain the pond in exchange for 33 pre-paid sewer hook-ups, which there are exactly 33 residences that are hooked into the existing community septic system, and they are party to this annexation. In order to make this happen, those properties need to be annexed into city limits to receive sewer services. So, the city is now proceeding with that annexation. The City has obtained

consents to annex from each affected property owner and those were recorded and are included in your packet. This is a situation where the City and the developer to the south of Danskin can provide the most effective way for the Danskin folks to resolve what is really, a rather urgent situation.
C/Lee: Yeah, I think I read somewhere in there that DEQ was going to fine them? **Trevor Kesner:** Yes, when the pond reached capacity and got up pretty high this spring or summer, DEQ had informed the HOA that if they didn't get it down to certain level, they would fine them up to $10,000 a day. **C/Damron:** Are those community septic lines able to handle or deliver that effluent to the City's system? **Trevor Kesner:** I honestly don't know. That is something that the Danskin folks would need to find out and they would need to hire an engineer, or collectively authorize a contract with an engineer to figure that out. **C/Hennis:** Is everyone being annexed agreeable and are they ok with the annexation? Are there some residents that are resistive, or maybe not so pleased about being annexed? **Trevor Kesner:** I would say it's the latter. Some residents have expressed their discontent because they feel that they weren't informed enough about the situation, or haven't been kept in the loop as far as what happened two or three years ago when the agreement was signed and they didn't feel they had the essential information. But all property owners have signed consents to annex; or if they purchased their home that the previous owners had signed a consent to annex that was recorded because theoretically, that should be something that is disclosed to them at the time of purchase. Or there may be some residents who just intentionally chose to reside in the County and didn't want to be in a city and now they find themselves being annexed. **C/Damron:** With those pre-paid sewer credits; will that be enough to cover the costs for hooking up? **Trevor Kesner:** No. There are 33 sewer credits and each one is worth the cost of the sewer treatment fee, but each residence would be on the hook for the interceptor fee which is $829. The cost of annexation is being spread across all 33 residents so that amounts to around $75 per household. **C/Lee:** Ok. Thank you. So, we'll go ahead and open the public hearing at 6:13 pm, and seeing that there is no one signed up, I will ask is there anyone here that would like to speak and did not get a chance to sign up? Please sign-in here.
David Wadley: My name is David Wadley, I live at 8095 Slide Creek. Personally, I feel I am being backed into a corner by the city and being forced to annex because of this situation. When the gentlemen spoke, I heard him say that the City is not going to allow the HOA to douse anymore because it's hard on their system. Well, that's the City saying they aren't going to allow that solution. **C/Lee:** It's actually DEQ that isn't going to allow that dousing anymore. **David Wadley:** Ok well, then what's the difference between dousing and hooking up all these homes and putting additional capacity into the City's system? When we bought our house, we wanted to live outside the city and wanted to live in this area, and now we're going to have to be subject to all these city taxes and I just don't feel that's right. I talked to a civil engineer who lives in our neighborhood the other day. I mean, he lives on Danskin Lane so he's not being annexed, but he said that he's seen the system and suggested that something else could have been done a while ago to make our system work or modifications could have been made to the system that could have possibly dealt with this. I realize the contract was signed in 2015, but I just feel like we're getting forced into this. No disrespect to either city but that's what I have to say. **C/Lee:** Thank you. If there's no one else that would like to speak, we'll go ahead and close the public hearing at 6:24 pm. Would staff like to address the gentlemen's comments? **Richard Roats:** Commissioners, for the record, Richard Roats; City Attorney. To respond to the gentlemen's inquiry on pumping the pond and to the spreading of effluent and the acquiescence of a property owner land applied to property which is part of that second development. At this point in time they have no place where they can land apply it. On two occasions the city has allowed the water to be drawn down into the city system. The difference is when that water goes through their treatment facility and out into the pond, it is much cleaner than the city's plant is designed to treat. So, it is essentially clean water going through there. It is not what our North Waste Water Treatment plant is basically dumping pretty clean water into that versus sewage water. So that is the difference for these. As to the issue with annexation, the city made a determination in situations like this because of other

benefits of the city going to require annexation to provide sewer services. That is why the annexation went through. When these discussions occurred, starting two or three years ago, when the city was brought into essentially how to solve the problem Danskin has. They had allowed their permit to expire. There was no opportunity for land application. As we worked through this process, we did allow the discharging into the city system. The city has made a determination that is no longer an option. Our meeting last night we had a discussion that they do have another option to haul that affluent to one of the other municipalities, that may or may not take it. Which realistically is cost prohibitive. The city feels like it has stepped forward to provide an alternative, at a cost savings for the subdivision. The developer, Mr. Eck, has agreed to put in the lines up to the pond and a manhole. The HOA is required to go from their treatment facility in the park to that man hole cover. We don't know what that cost will be, it may be so much as 30 to 40 feet of pipe, it may be some re-design. There have been some communication issues with the HOA and property owners that have delayed those things. We did, and are trying, to assist them in getting it done so they can save cost on mobilization and engineering. Unfortunately, there are several out there that look at this as being pushed into a corner. I understand that, sympathetic to that, but the city is really providing an option they didn't plan on early on that has come to head because of this type of pond and they need to do the land application to drain that down. Last spring was an emergency situation where they were actually bringing out pumps and hoses. DEQ sent out a letter saying they would be fined $10,000 per day as the pond was just about at the top. We really worked diligently to try to provide an alternative for the homes owners and resolve this permanently. **C/Young**: Is the pond going to remain once…? **Richard Roats**: A credit of $4,326 for the sewer connection fee. There is an $829 interceptor fee also. The connection fee was given to them, times 33, in exchange for the pond that was quick claimed to Mr. Eck. That is going to be then converted to a pressurized irrigation facility. It will be cleaned out and then given to the city for the pressurized irrigation system. At the point in time that will then become a pond for the irrigation system during the season. **C/Young:** OK. Thank you. Public testimony closed at 6:24pm. Anyone have any thoughts they would like to start off with? **C/Hennis**: Well, I don't see much of an alternative. Unfortunately, the homes owners are stuck in a bad spot due to the growth of the area as well as the home owners and the school have used the land for other means. Like Mr. Roats said, the only other alternative is the truck this out to another facility, if that's even possible, but that is far more expensive than what they are going to deal with. I understand wanting to be in the county, but they aren't out there trying to help them with this situation either. What negative effects does an annexation have other than taxation. I can't think of too much else. **C/Young**: I think with DEQ's involvement and saying that it won't be allowed any more, puts them in a very hard place. **C/Hennis**: We all know some of the systems used 15-20 years ago are no longer found to be clean enough to reuse and do the same type of design. So, I think we are stuck with some innovation. **C/Damron:** On the other hand, we look at the system they had, the water is too clean. Which is strange to me, if they hook up to the affluent side of their treatment they could all maintain their hook ups and then they could go from the affluent side of their tank where it is being treated in front of the pond and drop into our sewer system there. Save money in that respect. **C/Young**: Right, but I don't think that can be determined with the engineers. **C/Hennis**: Yeah, I don't think that's the question that is here for one. This is just the annexation to provide that service of that hook up to the city utilities. But as I understand it, and I am a different type of engineer, but if you get too diluted of a product into the system it creates havoc. 'Cause it's not designed for it. But, again, I don't know. **C/Laraway**: But then we have to look at why are they being annexed. It's because of the septic system. Maybe an engineer could figure out how to dirty up that system so they could just drop it straight in, or. **C/Hennis**: But they would still have to be annexed to be connected to the city to provide the service. That's the point. **C/Laraway**: I'm just having a hard time, they provided their own septic system as a community. Where everyone else in the development keeps their own septic system unless they are mandated to hook up, but they have them in the ground, they are usable, they are the first ones. Everything is current and working properly, the only problem is where's the water going, into the pond and then dowsed out to

irrigation. There is a lot of pressure on the home owner to accept the annexation, just because of that fact. **C/Young**: But the city is offering them a choice to eliminate that. The city could walk away and not do anything with it. Then unfortunately the homeowners still have to figure it out and the only option they have at this point is trucking it out. **C/Laraway**: And that's where I'm stuck. **C/Young**: Because Meridian already denied them any help. That is what I remember from this. It's a matter of not being forced into the city so much as it is the city trying to help. **C/Laraway**: That's why I was trying to see, as a homeowner what's the negative repercussions of that. Some taxes and some stuff there is what they will have to face. I'm sure they've been figuring this out for three years now. **C/Hennis**: And nothing else has come up but being able to annex into the city and connect them there. **C/Young**: and if they got to a point where it was critical enough they had to hook up pumps last year that the systems in a bad spot. If I could ask a question to staff. With the existing subdivision out there now, we are going to be providing sewer. Do they already have water, or is it individual wells? **Richard Roots**: They have water provided by the city under an agreement. Originally the well was owned by United Water. The City purchased the well when they would already customers of United Water, we took that over. It is one of the unique circumstances where we are providing a utility to a non-annexed property, but that is because they were existing. **C/Young**: So theoretically they've been receiving city services for quit a while now? **Richard Roats**: Water. Yes. **C/Gealy**: It seems the status quo is not a reasonable option. Their system is at, or exceeding capacity. There is a no fields around for them to drain into. It just seems like they have outgrown the system they started with. It is my understanding that in Danskin number one, each lot has their own septic system. It is not a community septic system over there. **C/Young**: Right, that's what was said. **C/Laraway**: I just don't see any other choice. **C/Hennis**: I don't and I feel for them. **C/Young**: If there is no other discussion I'd stand for a motion.

Commissioner Gealy Motions to recommend approval for 17-08-AN (Annexation) for the Danskin Ridge Subdivision No.'s 2, 3 and 5 and portions of No. 1 to City Council with the conditions as stated in the staff report; Commissioner Laraway Seconds, all aye and motion carried 4-0.

b. **17-11-S (Subdivision) and 17-25-DR (Design Review)**; A request from Chuck Christensen with Quadrant Consulting, representing Varialle Construction for preliminary plat and Design Review approval for an approximately 6.8-acre subject parcel within an existing R-6 zone, in order to subdivide the land into 25 single family lots, and an additional two (2) common lots. The site is located on the north side of W. Hubbard Road, approximately 500 feet east of S. Magellan Avenue; addressed as 882 E. Hubbard Road, Kuna, Idaho (APN#: #S1407347180) in Section 7, T2N, R1E, B.M.

Chuck Christensen: My name is Chuck Christensen. I work for Quadrant Consulting, who is the applicant here. Our address is 1904 W Overland Rd. This is a proposed subdivision just to the east of the Patagonia subdivision, north of Hubbard Rd. Consists of 25 lots. We anticipate extending Hubbard Rd to the city standards and access to the subdivision will be made via an extension Merino Cove. We've reviewed the conditions of approval that the staff as put together in the report and we are ok with all of them. **Trevor Kesner:** As reflected in the staff report, the applicant proposes 25 single family home lots, and 2 common lots. The common lots consist of approximately 11% of open space for the site or approximately 0.75 acres of the existing 6.8-acre site. The Merino Cove development takes access from the existing Merino Stub Street within the Patagonia development which abuts the subject site to the west. Although the project does not take direct access from Hubbard Road, the applicant has proposed an emergency access easement to the site from Hubbard situated between lots 4 and 5. ACHD provided recommendations on this project as exhibit B-4. I also just wanted to make sure that it was on the record that I was introducing two late-coming agency comments from Nampa-Meridian Irrigation District and revised comments from our Public Works Department. These are exhibit B-6

and B-7 and you have hard copies there in front of you. These have been provided to the applicant and are posted to the website as an addendum to you packet, so they are now available to the public. I just wanted to make sure that was on record. ACHD provided recommendations for roadway improvements on Hubbard Road frontage, but the applicant's proposal does not meet Kuna City Code (KCC) 6-4-2-C standards, which require vertical curb and gutter be installed on functionally classified collector and arterial roads. Staff recommends this requirement be specified in the conditions of approval. Specific to the comp plan goal for neighborhood cohesion and connectivity, the Patagonia development next door has proposed to construct a regional pathway along the north side of the Mason Creek Feeder canal -as it borders the northern portion of this site. The applicant has not proposed any internal pedestrian or bike pathways. Other than using the sidewalks on Merino Street or the emergency access easement to Hubbard Road, pedestrians within the development may feel …for lack of a better term 'encased' by the built environment. Therefore, staff recommends the applicant be conditioned to work with the property owners to the west, east and north of the project to construct a pathway that provides better cohesion between neighborhoods, and accommodates pedestrian access and connectivity. Other than that, property owners within 300 feet of the site were mailed notices on November 7th and the legal was published in the Kuna Melba News on November 8th. The project generally complies with Title 6 of Kuna City Code for Subdivisions, and Title 5 zoning regulations so staff forwards a recommendation of approval to the Commission with the conditions as stated in the staff report and any additional conditions you deem appropriate. With that, I will stand for questions. **C/Young**: Any questions for staff. So, we will go ahead and open up for public testimony at 6:38pm. Seeing no one signed in to testify. Is there anyone here that would like to testify? Seeing none. I would like to go ahead and close the public testimony at 6:39pm. That brings us to our discussion. To me it seems like that way is ACHD requirements are there. If they can work something out with Patagonia it would be a good use of that property where it sits between a large house on one side and engulfed by Patagonia on other sides. **C/Hennis**: Yes, I agree. One thing I'm concerned about is the additional vehicle traffic back through the other subdivision, whether that was considered. **C/Young**: I didn't note anything in ACHD's report of concerns of that. **C/Hennis**: It's not a lot of houses, it's a fairly minor subdivision. I think the street access and the emergency access look good. Not sure what we could ask for connectivity, because it just dumps right over into the other lot. But I suppose they can look at that. I agree with staff on that. Something needs to be done about that. It's kind of exposed. Otherwise I think the landscaping out toward Hubbard looks good. It's decent size lots. **C/Young**: Actually, I'm glad they are going into Patagonia so there is not another entrance that close, stacking cars coming out. It works out well. And It was a stop street off of Patagonia. **C/Hennis**: Yeah, these are good size lots. **C/Young:** Any other thoughts? **C/Gealy**: I agree. It's good that the access is through the other subdivision and there is not another access on Hubbard Road. It is 25 homes. I don't see that they have provided any amenities for people that will be living in that area. I would like to see some sort of additional pathway. Even if it connects to another pathway, there should be some amenity to those 25 homes. I have a question for staff. In terms of that emergency access to Hubbard Road between the two lots. What does that look like? Is that gravel. **Trevor Kesner**: I didn't see any specifications on the landscape plan that was submitted of what surface material would be used there. There are many option. I've heard of something called grasscrete was used in Timbermist for their emergence access. That worked out really well, but I'll defer to the applicant for what type of surface material they propose to use. **C/Gealy**: Then there would be some sort of signage to prohibit obstructions of that emergency access? **Trevor Kesner**: Again, on the plans I didn't see specifically what was being used. Maybe there's bollards. Not sure how that's going to look. They proposed, in the landscape plan, there is going to be perimeter fencing on either side of that easement so folks on each side won't be encroaching on that easement. My assumption is just bollards. **C/Young**: I think in ACHD's report it's one of their conditions to have signage for the emergency access. Thank you. **C/Damron**: Could the applicant come up please? A couple of things we wanted to verify. The latest reports from the GIS manager and Nampa/Meridian Irrigation District. You got

those today and read those. Do you have any opposition or are you in agreeance? **Chuck Christianson**: We saw the report from the GIS Manager and we don't have any objection to what is outlined there. I didn't see the Nampa/Meridian Irrigation report. **C/Gealy**: They have no comment. **Chuck Christianson**: In that case we don't have any objection. **C/Damron**: Just wanted to verify. While we have you up here, you just heard the last couple of questions regarding the emergency access lane. Do you have an idea of the type of material you're going to use for that any point? Chuck Christianson: At this point we haven't selected a material. The surface would have to be capable of supporting the emergency vehicles, so the highway district will require some sort of an engineering report outlining that. We just haven't decided if we're going to use just plain gravel or grasscrete or some sort of permeable pavement. We still have to do a budget analysis on that, and it would have to be properly signed. And bollards probably. **C/Gealy**: My concern is that a neighbor decides that would be a great place to park a motorhome and there is no emergency access. **C/Laraway**: Or a short cut home. **C/Damron**: Yeah, I think we would need some sort of bollards or fencing across that. **Trevor Kesner:** Just to be clear, gravel would not be an option. **C/Hennis**: That's per City Code, so. **Troy Behunin**: It would need fencing, put a fence so that eliminates access. **C/Young**: Thank you. Any other thoughts or suggestions. **C/Gealy**: I don't have a suggestion on the pathway, but I would like to encourage the applicant to work with the surrounding property owners and with staff to address pedestrian connectivity. **C/Young:** Ok. I guess I'll stand for a motion.

Commissioner Hennis Motions to recommend approval to City Council 17-11-S for Merino Cove Subdivision with the condition outlined in the staff report, also with the additional condition that the applicant work with the city and neighborhood to pick out the proper materials for that emergency access corridor and the restriction across both ends for traffic and also to work with the city to provide some connectivity somewhere in the north end of it to get some access for the pedestrians to move around; Commissioner Gealy Seconds, all aye and motion carried 4-0.

Commissioner Hennis Motions to approve 17-25-DR for Merino Cove Subdivision with the condition outlined in the staff report, also to work with the city and neighborhood to pick out the proper materials for that emergency access corridor and the restriction across both ends for traffic and also to work with the city to provide some connectivity somewhere in the north end of it to get some access for the pedestrians to move around; Commissioner Gealy Seconds, all aye and motion carried 4-0.

c. 17-10-S (Pre-Plat) and 17-23-DR (Design Review); A request from Kirsti Grabo with KM Engineering, for approval to subdivide approximately 132.80 acres, (previously zoned R-4), into 530 single family residential lots and 67 common lots, with one shared driveway and have reserved the name Gran Prado Subdivision. A Design Review application for the 67 common areas and buffer landscaping accompanies this application. The site is located at the north-west corner of Ten Mile and Lake Hazel Roads, the site is located Between Amity Road and Lake Hazel, west of Ten Mile Road, Kuna, Idaho, in Section 34, T 23N, R 1W, B.M. -Tabled from November 14, 2017

Kevin McCarthy: My name is Kevin McCarthy. I'm with KM Engineering, address is 9233 W State Street. What you have before you is the preliminary plat for Gran Prodo Subdivision. The property is approximately 133 acres of agricultural ground. It's located south of Amity and West of Ten Mile. Earlier this year the property was annexed into the city with an R4 zone and we are now requesting the subdivide the property into residential lots. What you have before you is a slightly different layout than the original layout than we submitted with our preliminary plat and this is to accommodate certain requirement from ACHD and they are fully in support of the new layout you have before you. Despite the changes that we made for them we were able to keep the lot break down and everything consistent from our original submittal. There are a few additional common lots, but we have 530 buildable lots 75 common and one shared driveway lot for a total of

606 lots. In the project there is 13.6 acres of open space. We have an area set aside for a pool and changing room. Consistent with other projects my client is doing there is a master pathway along Mason Creek that will be cleared as part of this project. Additionally, we have extensive sidewalk and pathway connectivity throughout the project. We've worked extensively with the staff of the city and ACHD. We have appreciated their efforts on this project. We don't have any issues or comments on the staff report. So, with that I will stand for any questions you may have. C/Young: Any questions for the applicant. Not at this time. Thank you. **Troy Behunin**: Good Evening Commissioners, for the record, Troy Behunin, Planner III, 751 W. 4th Street, Kuna. The applications before you tonight are case No's 17-10-S and 17-23-DR (Pre-Plat and Design Review) is presented for your vote to recommend approval or denial to Council for the PP, and your decision on the Design Review component. The application materials have been assembled for your packets, hopefully you have had a chance to review them as needed. The changes Mr. McCarthy mentioned are now reflected in those packets that staff presented before he's presentation and those reflect the changes that ACHD required the applicant make to their project in order to accommodate their requirements. Realistically there is very little that has changed other than an increase in the lot count for the common lots. It was proposed at 67, now it sounds like it's 75. That's a fairly significant increase in common space. You'll notice he also mentioned the common spaces around 13.5 acres. So, we are looking at around 10% open spaces for the subdivision as a whole. He is correct that this land was annexed into the City of Kuna with a R-4 designation, which means up to 4 units or houses per acre. All of the noticing procedures have been followed to hold the public hearing originally, and this case was tabled properly on Nov. 14th to a date certain, tonight: the site was posted, a public notice was in the KMN, and announcement flyers were mailed to land owners within 350'. Those in attendance that night were informed of tonight's hearing. The Nov. 14th meeting was tabled because staff was awaiting the ACHD report, which delayed Kuna's staff report. Due to the delay in the ACHD report, there were several changes to the street layouts, and to the lot layouts, which, in staffs' view, do not alter the character the proposed pre-plat. These changes were a direct result to ACHD requirements and also to strike a compromise with neighbors. 1- No direct connection to Bittercreek Sub (Street), and East-West or North-South collector – Rather there is a modified East-West Collector. Staff has found during its review of the application that the original proposal, and the proposal that was handed out this evening, that it does follow and meet all of the intent and purposes of the conditions that were laid upon the annexation earlier this year. We have no concerns about that. Staff would like to point out that City Code does in fact call for vertical curb and gutter along all roadways, including ten Mile and Amity, although it's not called out for in the plans, but it is a standard in the streets section of the City Code. The applicant seeks pre-plat approval for approximately 132.80 acres, in Kuna City limits with a previously obtained R-4 zone, which matches the Comp Plan map, designation of Med Den Res. This project is known as the Gran Prado Subdivision which is located at the NWC of Ten Mile and Lake Hazel Roads, it is also on the SW corner of Amity and Ten Mile. This is a very significantly large project. Staff does support the proposal for a shared driveway, as long as the applicant provides a mechanism for continuous maintenance and upkeep for the shared driveway, staff has some concerns. Applicant has also submitted for subdivision landscape design review and staff has no concerns with their proposed landscaping. Applicant will extend all public utilities to the site and anticipates 10 phases for the project total which will bring 530 total buildable lots, with a density proposed at 4.00 DUA and with 75 common lots that total approx. 12.5 acres of open space including trails and pathways throughout for connectivity. Staff has worked with the applicant to get it before you tonight, and they have submitted everything staff has asked for. Staff finds this application to be complimentary to the comp plan goals and the comp plan map. The one thing staff would like to point out is we did not see anything for a monument sign for the subdivision. At that time that sign would need to come to this body for approval. Other than that, I stand for questions. **C/Young**: Are there any questions for staff at this time. **C/Gealy**: Just a couple points of clarification. Where is the shared driveway? **Troy Behunin**: It's the SE corner at Earl Light where the street that run into Ten Mile Road. It's literally the very SE corner. I don't

know what Lot and Block they are, but the extreme SE corner. **C/Hennis**: It looks like that emergency access we just looked at, but it's the driveway. **C/Laraway**: Question for you. About a month and a half ago we had an annexation for some properties that are just to the Southwest and part of the arraignment/agreement was that this subdivision was going to provide services to those two lots. Troy Behunin: Are we talking about the Person Subdivision across the canal? **C/Laraway**: Yes. **Troy Behunin**: Actually, that was the Clair Bowman Annexation. **C/Laraway**: And the services are going to come from this? **Troy Behunin**: Actually no. That was not part of that annexation because of the canal. That would be considered an extraordinary constraint to get sewer and water and other services to that lot. It would be provided from the subdivision or whatever is developed south of that property. **C/Laraway**: I understand. Thank you. C/Young: Any other questions for staff at this time? **C/Gealy**: What were you saying about sidewalks on Ten Mile and Amity? **Troy Behunin**: It would be curb and gutter. I'm sorry if I said sidewalks. City Code does call for curb and gutter along all roadways in city limits. **C/Gealy**: And ACHD is not requiring that? **Troy Behunin**: They don't. Not on arterials. But I have to bring it up because it is in our Code. **C/Hennis**: Is that outlined in the conditions of approval? **Troy Behunin**: It is not. Just an overreaching condition that the applicant follow all standards and requirements in City of Kuna. **C/Hennis**: OK. **C/Gealy**: So, there are no requirements for sidewalk along Ten Mile or… **Troy Behunin**: Nothing specific listed. No. Just that overreaching "Follow everything from the City." There are other developments that have requested no sidewalk recently. I imagine this will follow suit, for an arterial. Not for an interior road or a collector road. **C/Hennis**: OK. I have no further. **C/Young**: I have not further. Thank you. Then at this point, we'll open up the public testimony at 7:05pm and I have listed one person in opposition to testify. Matt Christianson, please step forward and state you name and address for the record. **Matt Christianson**: My name is Matt Christianson. Address is 3649 N Lake Harbor Lane, in Boise. I am an attorney at Aceman Johnson representing the Bittercreek Meadows HOA, which is the subdivision just north of this proposed subdivision. We have essentially three concerns with the current proposal, there were other concerns related to the previous plat but some of those were address with this most recent version but are a few that still remain. The first concern we have really goes back to some of the annexation discussion. Discussion at the annexation with the lots bordering Bittercreek Meadows would be essentially larger lots. I think in the proposed plan that is accomplished for the south end where the swimming pool lot is proposed and then the corner lot just to the east of that swimming pool lot. The issue that remains is just north of that there is a large parcel that is owned by a third party, Bricker, and there is essentially a driveway lot is part of the Bittercreek HOA and it runs between what's currently proposed with several col de' sacs there. About half way down that line where it opens up to the larger Brickel parcel and so our concern is those lots just to the west of that subdivision lot are not the same size that was discussed and is depicted for those other lots to the south of the subdivision. We would like to see those reflect the same size requirements for the southern end of it. There is some discussion between the applicant and the city regarding the connection near the swimming pool lot to the existing Bittercreek Meadows road and we are in support of not connecting that road as was requested of ACHD, so we don't have a concern with that. The issue that remains though is right now the storm water from the subdivision runs to the end of that road and then there is an existing easement into a storm water drainage pond that right now is located essentially where that swimming pool lot will be. We've spoken with Mr. Eck and it is my understanding that he is willing to get that storm water run off so it doesn't affect the pool area than that easement is not necessary. We just request that any part of that approval, that he be required to continue to work with ACHD and the city to make sure there is some way to drain that storm water. The other issue stems from the existing sewer treatment for the Bittercreek Meadows HOA. Right now, there is a sewer line that runs from Bittercreek Meadows south and west to a sewer lagoon depicted on the plat, it is the larger parcel to the west of the proposed subdivision. There was not access on the previous plat so there was no way for us to access for service and maintenance. That, I think, has been fixed with the current proposal and the road that goes to that lagoon parcel. The issue that remains is that there is a sewer line that runs from the end

of the Bittercreek Meadows neighborhood over to that sewer lagoon. And there is an easement for purposes of maintaining that sewer line that is owned by the HOA. The pipe itself, the HOA's position is, that it owns the pipe as well. I think that is a disputed issue, I don't know that Mr. Eck agrees with that. The issue that comes up with the currently existing plat is that some of the proposed lots are on top of that sewer easement. I think it's in the packet that you have, I've kind of done an overlay of where the easement runs on top of what the actually plat is. I can hand this to you so it can be on record **C/Young**: I don't know if it's… **Matt Christianson**: I can just describe it to you if you would rather. **C/Young**: That would be better. Matt Christianson: There's Cassina Dr which is the northern wavy on the right side and off to the west. Up until the point that it straightens out just below Hya Court the easement essentially follows that road. Once it gets to Hya Court, basically, it goes straight west over to the north of the sewer lagoon. So, the way the current plat is platted, some of those lots at the corner of Cassina Drive and Arbolt Ave, and then behind that on Hoya Ave, the easement runs across at least four or five of those lots. So, our concern is we don't want to have to access that easement by digging through someone's floor, so I think that is something that something that needs to be addressed before the plat gets ultimately approved. Do you understand where I'm saying the easement runs, which lots that may cover? **C/Hennis**: Yeah, the new lay out doesn't have the same roads as the old lay out so what you are describing isn't what's in front of me. **Matt Christianson**: What I'm describing is on the new lay out. **C/Hennis**: No, it's on the old lay out. Matt Christianson: I think you one you have it's still Cassina Dr, but the first corner is Cassina and Ech Messa Ave. Where if Cassina Dr went straight through rather than having those lots curve there, then Cassina would just simply follow Cassina Dr. But those lots on the corner of Echo Messa and the lots on Ridgeview Ave are the ones it would cross. **C/Hennis**: OK. **Matt Christianson**: I think those are the concerns that the HOA has at this point and I'll stand for any questions you may have for me. **C/Young**: Thank you. I'll have the applicant come back up. I neglected to ask if there was anybody else that would like to testify that has not signed up? One person. OK. Sorry about that, please come forward and sign here and state your name and address for the record. **Leslie Anderson**: My name is Leslie Anderson, I'm here with my husband Brent. We live at 3985 W Amity Rd. We are one of the properties that are inside, but not included in this subdivision. We are the first large parcel that you see in the middle that says…we didn't get a copy of this ahead of time so we were reviewing it during other business. We've been working with Tim Eck on property boundary adjustment and other issues that affect our property. The one concern we have with the new plat that we have is access to our property. It hasn't been explained to us how it changes the access to our property from the previous version. We have extensive plats and agreements in this big packet. Of the exchange agreement with all these maps and stuff. It was clear to me before this meeting how we would end up with access to our property and now that I'm looking at that, it looks like we are land locked. I want to make it known that this affects what was explained to us, what was put before us in the previous version. Yeah, we need to know where the access is going to be. Because from the looks of that we are land locked except from the south. But we are planning to split our property, it's two acres right now with a new property boundary adjustment. Tim has offered to help us split into two parcels our two acres. So, we would have access to the south parcel with the split, but I don't see how our north parcel is accessed at all. It looks kind of locked to me. We would like that clarified before this is approved. **C/Young**: We will have a change to respond to that. OK, sorry about that. Please come up. **Tim Eck**: Good evening my name is Tim Eck, I'm the applicant. I live at 6152 W Half Moon Ln in Eagle, ID. Let me go over the last question asked. ACHD had problems with the street that ran through that N-S flag down the middle. That N-S flag would have turned and basically, we were providing an easement off that straight into the Anderson's property. When they made us move it to the left I still had intent to provide access. So, you see the road now comes down the west side of that flag into a T intersection and the road turns East and West. Where it turns to the East, that is not a col de' sac. It's a stub street with a permanent turn around. The Anderson's can have access anywhere they want. I never had any intention, well I do it a couple of time my engineers missed it a couple times. So, it can be where ever you want, you go down that road and

you would turn in that same driveway location, but I want to sit down with each and every one of you to make sure you get exactly what you want. **Leslie Anderson**: I still see some problems. **Tim Eck**: Well, it would basically be like driving down any road and turning into your driveway. That's a full road section, that east-west section is a full road section and basically your parcel will now have frontage on that entire road section. ACHD is the one that pushed that thing. The shared driveway will be HOA maintained because it will also serve as a temporary emergency vehicle ingress/egress out of the site. Then when it is done it will be a shared driveway, it will also provide a connecting pathway within the subdivision to Ten Mile. So, once it gets past the point of being a driveway and is no longer needed for emergency vehicles then it can be landscaped and an asphalt bypath put into it. I think it serves two or three lots in the interim and then the reason we had to configure like that instead of the traditional knuckle is that is our sewer portal. The sewer actually comes out of the project through that. If we went further up the street with our sewer we'd be coming out of the ground about ready to go with the sewer. That will also provide a temporary point of ingress and egress. We have a split entrance coming in. The fire department can consider that as two entry points, sometimes they do sometimes they don't. We want this as a backup. If they will accept the split entrance as two points then we will put the driveway component in and landscape it. If the fire department wants it as a second point of ingress and egress we try to have all those bases covered. So, the large lot buffer discussion that took place in both Planning and Zoning and City Council were stemmed to the original design that had us connected to Bittercreek. All of the intent and focus was specifically at that north Bittercreek boundary. All the questions that were asked, all the agreements that were made, were specific to a large lot buffer along the boundary. The finding of facts and conclusions of law state, "and place a minimum lot size of 0.75 acres against the south line of the Bittercreek subdivision." And that's what we've got. The original layout had a long strip going out to Amity, and we had narrow, deep lots – they were 150 feet deep. Which would have put 20 lots on either side of the road. With this configuration, we've reconstructed it, so now along that flag on that east side we only have nine lots. The Brickers own a 50-foot-wide lot. It was platted in the Bittercreek Meadows subdivision. I find no information that it is part of the association. It is not a common lot, it is owned, fee simple, by the Brickers. It is a 50-foot-wide driveway. It is also a potential point of ingress and egress for emergency vehicles or a road. They'd never get a road there now because there is one on either side, but it could be a point of emergency vehicle ingress and egress. Relative to the Bricker strip there is a 50-foot buffer, 50-foot separation between the west boundary of Bittercreek and our east boundary, we've reduced the density down from 20 to nine. As you can see, there is a maximum of two lots directly behind each Bittercreek lot. Although it is 50-foot away and two six-foot fences. But again, the conditions of approval for the annexation were specifically to provide buffer lots, ¾ acre lots, along the south boundary of Bittercreek. We've subsequently, at their request, removed the connection just trying to cooperate with them. I've had to work extensively with the City Counsel and ACHD to get that accomplished, but I've gotten them all on board. Storm water easement relocation, we have to look into the **inaudible** to find out what is recorded out there. If there is a storm water easement out there, ACHD, when we get to design that base, will make us address it. If there is not an easement and there is storm water going onto our property, ACHD will make us address it. It's their storm water, they are going to make us address it. Very likely, if it is just running off the end of the street it will have to be captured. It if is coming through a convenience system we'll have to tie that into our storm drain facilities when we get there so then it will go into a seepage bed. The easement they talked about, there is a sewer line that runs from their subdivision out to that pond. There was a big litigation several years ago. Prior to that litigation occurring, I bought the property. Together with any and all the impertinence to. The pipe line they are talking about is mine, until they can prove differently because it's an impertinence. It's a pipe in my ground. They do have an easement for the use of the line, and for ingress and egress for maintenance. No other use. Now the whole litigation between them and the City was the City was to build a lift station. It canceled, these people are stuck with out sewer. **C/Hennis**: When you say that, that was the City of Meridian? **Tim Eck**: Yes sir. I convinced Kuna

to step up and allow them to connect. I'm bringing a sewer main to them in phase four. I have an agreement with the City of Meridian, that when we bring the sewer main to their boundary, we will connect them. The City of Meridian is paying their connection fees, all their fees. When we get there, I have a commitment with Meridian to make that connection, I've got a commitment with Kuna to make that connection. Once that happens, that sewer line is abandoned. They are on a temporary evaporation pond that was intended to last three years. They are ten years in. It will be five years before I get there. When I get there, they are 15 years into a facility that was intended to be removed in three. DEQ is not going to let it stay. There will be an immediate requirement for abandoning the lagoon, decommissioning it, taking it off line. Our design, as you can see, is extremely complicated. We've had to deal with these flags, deal with two out parcels in the middle and follow an existing sewer line. Which we've done, up to the point it turns and goes to the lagoon. As soon as I make that connection to that sewer that comes out of their property, from that point the line at the lagoon is abandoned. It's disconnected. Now if I can tie it in and use it and go to our lift station, we will. Again, I got a purchase and sale agreement recorded before they got into their litigation with the city (Meridian) where I bought it. **C/Young**: So, the connections that would be made will most likely be in phase four? **Tim Eck**: Yes sir. **C/Young**: And that the rest of that sewer line are in five, seven and ten? **Tim Eck**: No, it's just five and seven. It runs through five. We've designed the road in five to follow that sewer. **C/Young**: So that would connection would happen prior to that development? **Tim Eck**: Yes. A full phase in advance. I think I've kind of hit the highlights. We've complied with the large lot buffers along the south boundary. We've got one at ¾ acre and the other one is 7,7000 square feet. So, it's huge. All of the other lots along that line are 20, I think there is one of them that is 12, but they are 19 to 20. They are all very large lots to the south of the Bricker property. Then to the west, we are 50 feet away, but our west line faces their east line we have two lots for their one. So, we do have larger lots there even though we have no requirement, no commitment, no discussion through planning and zoning and city council through the annexation process to provide a large lot buffer on that side. I have council here with me tonight that I would like to step up and he will address the legal aspect of the easement, if that's ok? **C/Young**: OK. Please state your name and address for the record. **Tom Deborak**: Lady and gentlemen of the Planning and Zoning Commission, I'm Tom Deborak. I'm with Given Persly, council for Renaissance Farms LLC. Mr. Eck did a very fine job of presenting his position and I would say understands it a lot better than I ever will. Mr. Eck has worked and is very competent and commendable developer. I just want to say a few words about what's raised today and what struck me. First off, on the issue of the driveway going to the Bricker lot. What wasn't mentioned by Mr. Christianson, the attorney in behalf of the HOA, was Mr. Bricker's ownership. Clearly, they're not claiming that Mr. Bricker and his big lot, which is outside of that subdivision, is part of the subdivision. It's not part of the subdivision. Mr. Bricker didn't show up at the initial hearing on the application for annexation, which is part of the reason all the discussion focused on the south-east corner of the Bittercreek Meadows subdivision. That's what was talked about. So that sort of struck me as somewhat a malleolus, that there are claiming that his driveway, which in and of itself, as Mr., Eck pointed out, works as a buffer zone, but that Bricker's driveway somehow that is part of this agreement for a higher density lots on the driveway, but they are not claiming it's part of the Bricker lot next to it. So even that is inconsistent in and of itself. Again, I think it just goes to the point that Mr. Eck in good faith as come forward. He's talked about what he's willing to do and he's made accommodations, and those were focused, as he said, at the south-east corner of the Bittercreek Meadows subdivision, not on the west side because this driveway of the Bricker lot isn't even contiguous. It effectively already has a buffer zone already in place. Moving to the storm water issue, Mr. Eck adequately covered that. Clearly, what seemed ironic to me about that was, Mr. Eck was responding to a concern. He had to push in order to not have the connectivity in that. But he did that to accommodate the HOA. As soon as he accommodates in one respect, now their asking him to say, "Well wait a minute. Now you have to handle the storm water." Well, of course he's going to handle the storm water. But I bring this up because he was trying to move in one direction to help them and now it's being raised as an

issue against him. I am certain that what he said is if there is indeed an easement, if there is an obligation to take this storm water, when that design phase comes, as Mr. Eck said, ACHD is going to require him to take care of it. And he will do that. Moving then to the easement and with respect to the easement for the sewer drainage across the property of Renascence Farms, I think it should be lost, and I know it's not lost on this council, that Mr. Eck was instrumental to the solution of that. That's a problem. You have a three-year facility that is beyond it's useful life. There's litigation with the City of Meridian over that. Mr. Eck really should be regarded by those homes owners as a hero for stepping into the situation and finding a solution. He is providing connectivity to the sewer system and he has negotiated to go through that in phase four. He should be commended for that, but he's not commended. Their reasoning issue now saying, "Well, that temporary easement that's running through, we're concerned about where it's going to be." Well ladies and gentlemen, I'd submit, just like the ownership of the pipe that's really a question for court. If there is an issue that really matters in that, that's something we can go to court over and we can let a Judge resolve that with what we call a quiet title. But I'd submit that your job today, as the council on this, in trying to decide as a planning and zoning commission, is basically to determine if the R-4 standards are being met, the compliance is being met. You have a staff report that says that. You have the reports from ACHD and everybody else is satisfied and the staff is satisfied. I submit that you shouldn't step in and play judge of property disputes. It's not what your jurisdiction is all about. If that is a real issue it can be settled in courts and there certainly ways to bring it up quickly in court, if it really is something that has to be addressed, but frankly I doubt that. That's my perspective as an attorney and I wanted to bring it and share it with you. Thank you for your time. **C/Young**: Thank you. **Tim Eck**: One more thing. By the time we would get to the point where the road is not on the easement, it's about six years from now. So that issue will be long resolved by then. And I stand for any questions. **C/Young**: Ok. Are there any further questions for the applicant? Tim Eck: Also, we have a lot of pride in the connectivity that we are trying to provide. I think you'll see an insane amount of interior pathway connectivity's as you've seen in all my plats. I'm getting better at doing it. Along with the whole Mason Creek Greenbelt and connectivity across the whole project. You're familiar with our Springhill project a mile away. It picks up again there and we have all intent in the world to work with the intermediate mile property owners, which is predominately the Durants who are very community oriented. They just sold a great piece of property for the high school. I want to work with them and see if we can get that mile bridged and get a two and a half to three-mile greenbelt with bicycle connectivity to the new high school site. **C/Young**: Thank you very much. With that I'll close the public testimony at 7:35pm. **off mic** Is there a chance for rebuttal to what was said? **C/Young**: Not at this time. **off mic** Than I would just like to say I disagree with what was said. **C/Young**: Ok. Thank you. That brings up our discussion. **C/Damron**: What we saw with the last one, the first one we had, that DEQ is coming down on the lagoon systems. So, and this is a three-year system and he's providing a good option. **C/Laraway**: He's providing a good option for Bittercreek to hook in at no cost because that's going to be expensive. I think that's a great addition to, as he puts it, for those people. **C/Hennis**: Yeah, because again this has been something that's been in litigation for a while, as to try to figure out what their options are. They are far beyond the useful life of their systems. **C/Laraway**: And if he doesn't design this in the correct manor to where they can hook up to it, then we have an issue of where are they going to hook. Where are they going to connect once the DEQ says you can no longer use that lagoon. So, it's better to design it into a subdivision that's coming into existence, where it's easy to do. As opposed to trying to come in afterwards and say, "What do we do with this?" **C/Hennis**: I agree. I'm also glad he was able to convince ACHD to not have access through Bittercreek. I think that's a great thing for the existing Bittercreek subdivision there. **C/Gealy**: I do have one concern. With respect to that. That is that terminus there, that is not going to be a through street anymore, needs to have adequate turning radius for emergency vehicles because there is no other way out or in. That it should remain. **Tory Behunin**: It will remain. It's actually outside the boundary of this proposal. And ACHD has already determined that terminus is sufficient for their needs for emergency access, and it will remain as it is

right now and serve the daily needs and the emergency needs. Besides that, it's beyond the boundary of this proposal. **C/Gealy**: The map I have has it drawn in as a single lane road, and that would be insufficient. **Troy Behunin**: That would be an inaccurate drawing then. The actual real world would show there is a turn around. **C/Young**: Thank you. As far as traffic impacts go. Looking at ACHD's report and the traffic study, with the requirements that ACHD has placed on Amity and Ten Mile and Lake Hazel and Ten Mile, with the Caspian Subdivision and intersections to the east and north as everything develops, I think there's some pretty good checks and balances for traffic. As this goes as well as what else is developing south and east of there. So, I'm in agreement with ACHD with their requirements for those intersections as it develops. I'm also glad they are requiring the Ballard Drive go all the way to Ten Mile. They needed another access point. Which when this updated plan came out here in front of me, it answered a fair amount of my questions going forward through here, as well as some of my landscape issues to the south. It kind of cleaned that out. **C/Hennis**: I think I like the revised layout a little better. Especially on the northern jog on it. Kind of like the little col de sac's area's there. It gives a little bit larger lots on that border side than what the previous layout had. And the access to the Anderson's lot and the other parcels there too. In regards to that easement as it comes off of Pacino Driver there, like he said I just don't think that's going to be a **C/Laraway**: It's a viable argument with that easement because it's not going to be used by that point. They are going to have sewer provided to them. And by that point, anyway, I don't think DEQ will allow it either. **C/Hennis**: I don't see any issues here. **C/Gealy**: I appreciate the additional effort providing transitional lots to some of the larger lots in the surrounding area. And I appreciate the additional effort in providing the pathways and amenities. I think it will make for a more livable community. **C/Damron**: I think the only issue I had, and it was addressed, was this lady's entrance, her access. That's the only thing within this subdivision that seemed to be an issue. With the litigation portion, completely out of my hands. All I have is what's before me. And I agree, easement is not ownership. Again, litigation out, the only thing I was concerned with was this lady's entrance, and if your going to take care of that, I don't have a problem. **C/Hennis**: The one thing that Troy had brought up with the vertical face curb and gutter, which according to the roadway sections here, they need to work with the city and make sure that is in compliance. Because they are not showing vertical curbs. **C/Young**: On Amity and Ten Mile? The arterial streets. **C/Hennis**: It's real vague what the city requirements are for street on the interior. So, they just need to check that. I'm not even exactly sure what that is now, that these comply. **C/Young**: Any other thoughts or questions? Then I will stand for a motion at this point.

Commissioner Hennis motions to recommend approval to City Council Case No. 17-10-S (Pre-Plat) for the Gran Prado Subdivision with the conditions as stated in the staff report as well as the applicant to work with the city on the requirements for curb and cutter on roads as well as working with ACHD at the time of phasing occurs to the boarder of Bittercreek to address the storm water requirements; Commissioner Laraway Seconds, all aye and motion carried 4-0.

Commissioner Hennis motions to approve 17-23-DR (Design Review) for the Gran Prado Subdivision with the conditions as stated in the staff report, with the additional requirements to work with the city on curb and gutters on the streets and to address any storm water requirements on the northern boundary; Commissioner Gealy Seconds, all aye and motion carried 4-0.

3. ADJOURNMENT

Commissioner Gealy motions to adjourn; Commissioner Hennis Seconds, all aye and motion carried 4-0.

CITY OF KUNA
PLANNING & ZONING COMMISSION

MEETING MINUTES
Tuesday, November 28, 2017

_____
Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST:

_____
Wendy I. Howell, Planning and Zoning Director
Kuna Planning and Zoning Department

City of Kuna

Findings of Fact and Conclusions of Law

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
Kunacity.id.gov

To: **Planning and Zoning Commission**

Case Number: **17-08-AN** (Annexation) ***Danskin Ridge Subdivision No.'s 2, 3 & 5 Annexation***

Location: South side of west Columbia Road, approximately 800-feet east of the intersection of west Columbia and south Ten Mile Roads, Kuna, Idaho 83634

Planner: Trevor Kesner, Planner II

Hearing Date: November 28, 2017
Findings: December 12, 2017

Applicant: City of Kuna
PO Box 13
Kuna, ID 83634

Owner(s):

1)	COLLING, SANDRA A. & BRIAN D.	8214 S SLIDE CREEK LN	MERIDIAN, ID 83642-0000
2)	WADLEY, DAVID & VALERIE	8095 S SLIDE CREEK LN	MERIDIAN, ID 83642-0000
3)	BODOVINITZ, GARY D. & KATHY L.	8191 S SLIDE CREEK LN	MERIDIAN, ID 83642-0000
4)	THURSTON, KEITH & KAREN	8239 S SLIDE CREEK LN	MERIDIAN, ID 83642-0000
5)	JAKOVAC, CYNDEE	8335 S SLIDE CREEK LN	MERIDIAN, ID 83642-0000
6)	MIHKELSON, ERIC & WENDY TRUST	8383 S SLIDE CREEK LN	MERIDIAN, ID 83642-0000
7)	DANSKIN RIDGE SUB HOA INC.	8919 W ARDENE ST	BOISE, ID 83709-0000
8)	WILCOX, MARCIA RUTH & DANNY JOEL REVOCABLE TRUST	8552 S DANSKIN LN	MERIDIAN, ID 83642-0000
9)	HANNERS, WAYNE & TAMARA	8517 S DANSKIN LN	MERIDIAN, ID 83642-0000
10)	MENDIOLA, DAVID R. & AMBER L.	8194 S BUFFALO CREEK LN	MERIDIAN, ID 83642-0000
11)	CHANEY, ROBERT R. JR & VICTORIA A.	8163 S BUFFALO CREEK LN	MERIDIAN, ID 83642-0000
12)	FEKETE, JAYNE & KYLE	8262 S SLIDE CREEK LN	MERIDIAN, ID 83642-7192
13)	STEVENS, MICHAEL A. & NAUMAN, NATALIE J.	8166 S SLIDE CREEK LN	MERIDIAN, ID 83642-0000
14)	DANDO, ROSS S. & DEBRA K.	8070 S SLIDE CREEK LN	MERIDIAN, ID 83642-0000
15)	KING, WILLIAM & DAPHNE	8143 S SLIDE CREEK LN	MERIDIAN, ID 83642-0000
16)	HAWKINS, MATTHEW E. & AMY	8588 S DANSKIN LN	MERIDIAN, ID 83642-0000
17)	KIDD, JAMES D. & KATY B.	8625 S DANSKIN LN	MERIDIAN, ID 83642-0000
18)	VANDER STELT, HENRY & CARRIE	8589 S DANSKIN LN	MERIDIAN, ID 83642-0000
19)	WILLIAMS, WALTER C. & ROBERTA J.	8110 S BUFFALO CREEK LN	MERIDIAN, ID 83642-0000
20)	SPARRELL, SCOTT M. & KENNA M.	8045 S BUFFALO CREEK LN	MERIDIAN, ID 83642-0000
21)	KING, KELLY	8089 S BUFFALO CREEK LN	MERIDIAN, ID 83642-0000
22)	HAWS, GABRIEL M. & KIMETHA M.	8127 S BUFFALO CREEK LN	MERIDIAN, ID 83642-0000
23)	FRANCIS, GRANT H. & ANDREA	8310 S SLIDE CREEK LN	MERIDIAN, ID 83642-0000
24)	CREGO, GENE A. & MATILDA J.	8047 S SLIDE CREEK LN	MERIDIAN, ID 83642-7190
25)	DOTY, JAMES E. &		
26)	JULIE ANN ALEXANDER	8287 S SLIDE CREEK LN	MERIDIAN, ID 83642-0000
27)	CALLEY, DAVID M. & JULIE M.	8624 S DANSKIN LN	MERIDIAN, ID 83642-0000
28)	BURGER, KAREN L.	8216 S BUFFALO CREEK LN	MERIDIAN, ID 83642-0000
29)	KERN, RONALD A. & LISA C.	8066 S BUFFALO CREEK LN	MERIDIAN, ID 83642-0000

30) RHUMAN, RANDALL M. & LAUREEN K.	8358 S SLIDE CREEK LN	MERIDIAN, ID 83642-0000
31) SHAW REVOCABLE LIVING TRUST; SHAW, BOBBY LOUIS TRUSTEE	8118 S SLIDE CREEK LN	MERIDIAN, ID 83642-0000
32) LETE, SIMON V. & WENDI R.	8606 S DANSKIN LN	MERIDIAN, ID 83642-0000
33) GOULD, STEVEN R. & SARA J.	8553 S DANSKIN LN	MERIDIAN, ID 83642-0000

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A. Course of Proceedings

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states annexations are designated as public hearings, with the Planning and Zoning Commission as the recommending body, and the City Council as the decision-making body. This land use was given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Idaho Local Land Use Planning Act.

a. Notifications

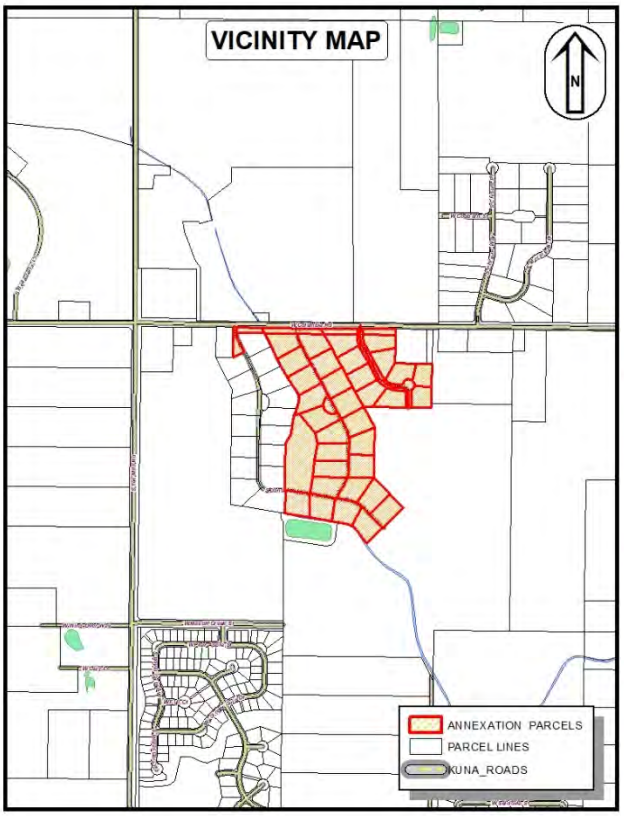
i.	Neighborhood Meeting	October 16, 2017
ii.	Agencies	November 2, 2017
iii.	300' Property Owners	November 8, 2017
iv.	Kuna, Melba Newspaper	November 8, 2017
v.	Site Posted	November 18, 2017

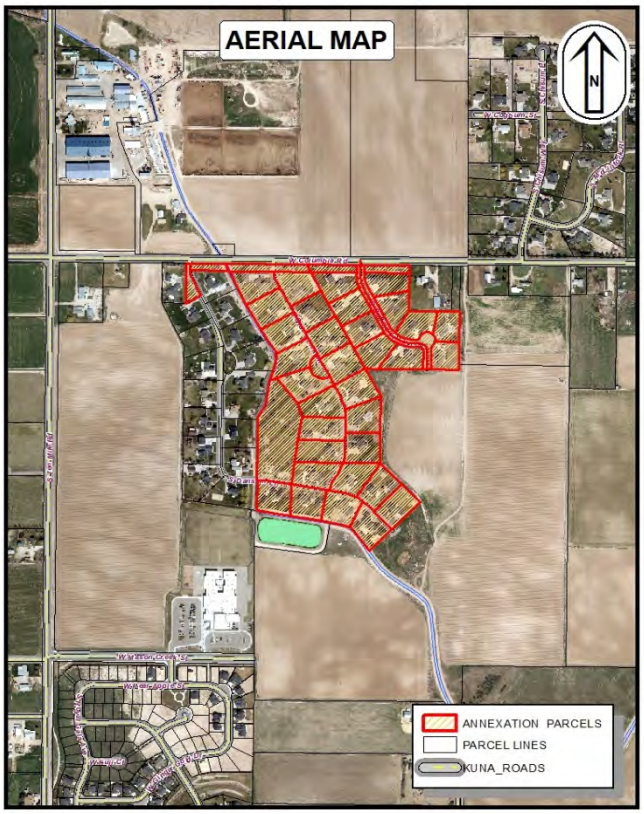
B. Applicant Request:

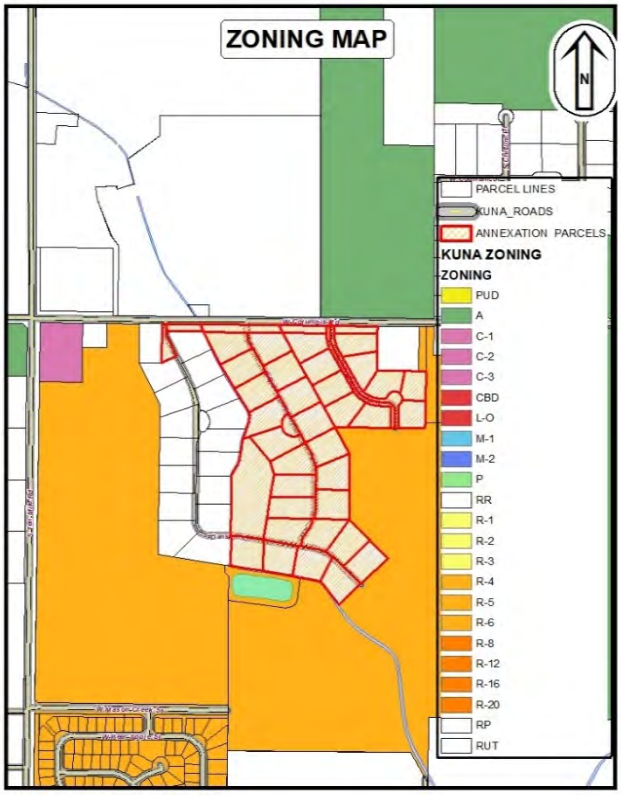
1. **Request:**

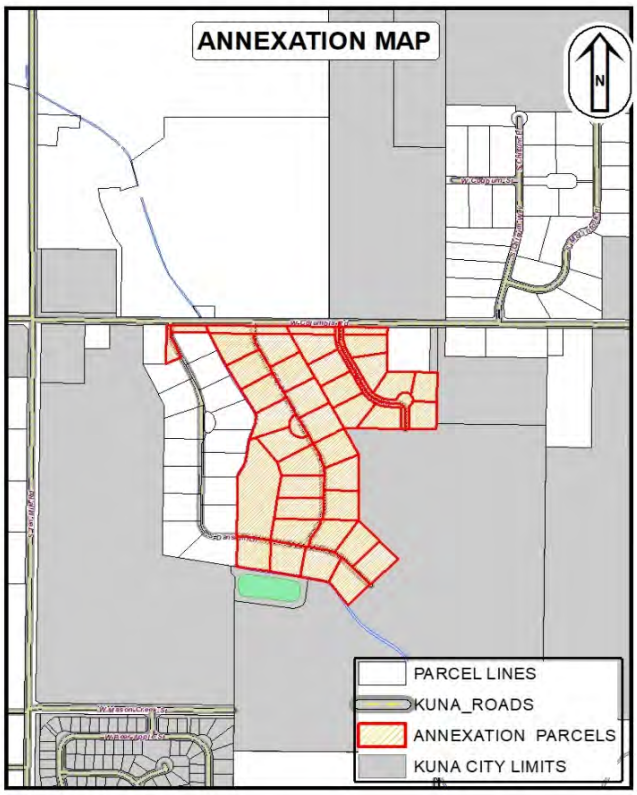
The City of Kuna is requesting approval for annexation of approximately 37.6 acres +/-, also known as Danskin Ridge Subdivision No's. 2, 3 and 5, and portions of No. 1, into Kuna City limits with an 'R-2' (Low Density Residential) zoning designation. The subject lands are located on the south side of west Columbia Road, approximately 800-feet east of the intersection of west Columbia and south Ten Mile Roads (Slide Creek Road and Buffalo Creek Lane; respectively), Kuna, Idaho.

C. Planning Maps:









D. History: The subject parcels are all in Ada County, currently zoned RR (Rural Residential), and are adjacent to Kuna City limits, or will touch City limits if the request is granted. The Danskin Ridge community was developed and platted within Ada County. Single-family residential parcels within Phase 1 of Danskin Ridge Subdivision were developed with individual septic systems, and are not party to this annexation request. Parcels within phases 2,3, and 5 are connected to a privately-owned community septic system that is now non-compliant with the Idaho Department of Environmental Quality (DEQ), as it has no location to apply its effluent. The City has allowed the effluent to be discharged into its system as a temporary solution while the annexation is in process.

Future development adjacent to Danskin Ridge subdivision will bring municipal sewer infrastructure facilities to the existing sewer storage pond. This provides an optimal opportunity for affected property owners within the Danskin community to connect to the Kuna's municipal sewer services. In order to receive municipal sewer services (when they are made available), the affected property owners must annex into Kuna city limits. The City has secured and recorded consents to annex for each of the properties included in this request.

E. General Projects Facts:

1. **Comprehensive Plan Designation:** The Future Land Use Map (FLU) identifies these parcels as Low Density residential. Staff seeks a zoning designation of R-2 upon annexation approval. Staff views this land use request to be consistent with the approved FLU map.

2. **Surrounding Land Uses:**

North	RR \ A	Rural Residential \ Agricultural – Ada County
South	R-6	Medium Density Residential – Kuna City
East	R-6	Medium Density Residential – Kuna City
West	R-6	Medium Density Residential – Kuna City

3. **Parcel Sizes, Current Zoning, Parcel Numbers:**
   - Approximately 37.6 total acres
   - All parcels are currently Rural Residential (RR)
   - Parcel Numbers:

PARCEL #	ADDRESS	ACRES
R1727740130	8182 S BUFFALO CREEK LN	0.817
R1727740100	8919 W ARDENE ST	0.326
R1727740080	8919 W ARDENE ST	0.348
R1727740030	8201 S BUFFALO CREEK LN	0.805
R1727720150	8214 S SLIDE CREEK LN	1
R1727720090	8095 S SLIDE CREEK LN	1
R1727720070	8191 S SLIDE CREEK LN	1
R1727720050	8239 S SLIDE CREEK LN	1.013
R1727720030	8335 S SLIDE CREEK LN	1
R1727720020	8383 S SLIDE CREEK LN	1
R1727720010	8919 W ARDENE ST	3.35
R1727710090	8552 S DANSKIN LN	1.059
R1727710010	8517 S DANSKIN LN	1.011
R1727740140	8194 S BUFFALO CREEK LN	0.701
R1727740040	8163 S BUFFALO CREEK LN	0.847
R1727720160	8262 S SLIDE CREEK LN	1
R1727720140	8166 S SLIDE CREEK LN	1

R1727720120	8070 S SLIDE CREEK LN	1
R1727720110	COMMON LOT	0.593
R1727720080	8143 S SLIDE CREEK LN	1
R1727710080	8588 S DANSKIN LN	0.989
R1727710050	8625 S DANSKIN LN	1.008
R1727710030	8589 S DANSKIN LN	1.005
R1727700060	COMMON LOT	0.243
R1727740120	8110 S BUFFALO CREEK LN	0.83
R1727740090	COMMON LOT	1.167
R1727740070	8045 S BUFFALO CREEK LN	0.914
R1727740060	8089 S BUFFALO CREEK LN	0.845
R1727740050	8127 S BUFFALO CREEK LN	0.837
R1727720170	8310 S SLIDE CREEK LN	1
R1727720100	8047 S SLIDE CREEK LN	1.003
R1727720040	8287 S SLIDE CREEK LN	1.008
R1727710060	8624 S DANSKIN LN	1.001
R1727700050	COMMON LOT	0.293
R1727740150	8216 S BUFFALO CREEK LN	0.731
R1727740110	8066 S BUFFALO CREEK LN	0.849
R1727720180	8358 S SLIDE CREEK LN	1
R1727720130	8118 S SLIDE CREEK LN	1
R1727710070	8606 S DANSKIN LN	1.003
R1727710020	8553 S DANSKIN LN	1.004
	TOTAL ACRES:	**37.6**

Services:

Sanitary Sewer– City of Kuna (*Future*)
Potable Water – City of Kuna
Irrigation District – Boise-Kuna Irrigation District
Fire Protection – Kuna Rural Fire District
Police Protection – Ada County Sheriff
Sanitation Services –J&M Sanitation (future)

4. **Existing Structures, Vegetation and Natural Features:** Each individual parcel (excepting the common lots) is developed as a single-family home with detached garages, shops or storage sheds. The site's topography is generally flat. Existing vegetation is typical of a fully developed residential subdivision (yards and common lots).

5. **Transportation / Connectivity:** The Danskin Ridge community is accessed from west Columbia Road via three (3) private streets: South Danskin Lane, South Slide Creek Lane and South Buffalo Creek Lane. All roadways within the Danskin Ridge community are privately owned and maintained by the subdivision homeowner's association (HOA). The roadways exist as access easements, or are otherwise platted as common lots within the boundaries of the subdivision. Any parks trails and/or walking paths within the community are also privately owned and maintained by the HOA.

6. **Environmental Issues:** Other than the potential for septic pond failure, staff is not aware of any environmental issues, health or safety conflicts.

7. **Agency Responses:** The following agencies returned comments, which are included as exhibits with this case file:
    - Central District Health Department (CDHD) – Exhibit B-1

F. Staff Analysis:

The parcels which are the subject of this application are located within Danskin Ridge Subdivision No's 2, 3 and 5, along with common lots situated within Danskin Ridge Subdivision No. 1. The City proposes to annex approximately 37.6 acres into city limits with an R-2 (low density residential) zoning designation. Public services are not currently available to the Danskin Ridge community, however, the landowner to the south is preparing to construct municipal service facilities for a separate development that borders the Danskin Ridge Subdivision to the south and east. This scenario provides the most efficient, cost effective and advantageous opportunity for the affected properties within the Danskin Ridge community to connect to the City's municipal sewer system. It is expected that the existing sewage pond will be cleaned and converted to an irrigation storage pond.

In order for a parcel to annex into the City, a willing land owner's parcel must touch existing City limits and the land owner must request the annexation. The Danskin Ridge parcels which currently touch City limits to the north, east and south will essentially create the contiguousness that is required for the annexation of the parcels which do not currently touch.

Staff has determined this application complies with Title 5 of Kuna City Code; Idaho Statute §50-222; and the Kuna Comprehensive Plan; and forwards a recommendation of approval for Case No. 17-08-AN, subject to the recommended conditions of approval.

G. Applicable Standards:

1. City of Kuna Zoning Ordinance No. 230, 546 and 570,
2. City of Kuna Subdivision Ordinance No. 2012-18, Title 5 Zoning Regulations,
3. City of Kuna Comprehensive Plan and Future Land Use Map,
4. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act.

H. Comprehensive Plan Analysis:

The Kuna Planning and Zoning Commission accepts the Comprehensive Plan components as described below.

1. The proposed applications for this site are consistent with the following Comprehensive Plan components:

GOALS AND POLICY – *Property Rights*

Goal 1: Ensure that the City of Kuna land use policies, restrictions, conditions and fees do not violate private property rights. Establish an orderly, consistent review process for the City of Kuna to evaluate whether proposed actions may result in private property "takings".

Objective 1.2: *Ensure that City land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property.*

Objective 1.4: *Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right. Ensure City actions do not impose a substantial and significant limitation on the use of the property.*

Policy 1: *As part of a land use action review, the staff shall evaluate with guidance from the City's attorney; the Idaho Attorney General's six criterion established to determine the potential for property taking.*

GOALS AND POLICY – ***Land Use***

Objective 1.1, Policy 1: *Adopt a future land use plan and map that reflects the needs and values of the community and guides future growth in a manner consistent with the community's vision.*

Policy 2: *Provide a variety of housing densities and types to accommodate various lifestyles, ages, and economic groups.*

Policy 3.1.1: *Protect the quality of existing neighborhoods to ensure that their character and quality is preserved.*

Policy 3: *Provide land use guidance for rural areas, which are annexed into the City.*

GOALS AND POLICY - ***Public Services, Facilities and Utilities***

Goal 1: *Provide adequate services, facilities, and utilities for all City residents*

Objective1.3.7: *Annex contiguous properties that request City services.*
Policy 5.*1: Ensure that all development within the City limits connects into the City's sanitary sewer and potable water systems.*

Policy 5.2: *Continue expansion of the City's sanitary sewer systems as resources allow.*

I. <u>Findings of Fact:</u>

1. This request appears to be consistent and in compliance with all Kuna City Codes (KCC).
2. The use appears to meet the general objectives of Kuna's Comprehensive Plan.
3. The site is physically suitable for annexation and its existing residential subdivision use.
4. The annexation is not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.
5. The annexation is not likely to cause adverse public health problems.
6. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing and potential future adjacent uses.
7. The existing and proposed street and utility services in proximity to the site are suitable and adequate for residential purposes.
8. The Kuna Planning and Zoning Commission accepts the facts as outlined in the staff report, any public testimony and the supporting evidence list as presented.
9. Based on the evidence contained in Case No. 17-08-AN, this proposal appears to comply with the Comprehensive Plan and the Kuna Comprehensive Future Land Use Map (FLU).
10. The Planning and Zoning Commission has the authority to recommend approval or denial for the annexation application.
11. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

J. Conclusions of Law:

1. Based on the evidence contained in Case No. 17-08-AN, the Kuna Planning and Zoning Commission finds Case No. 17-08-AN, complis with Kuna City Code.
2. Based on the evidence contained in Case No. 17-08-AN, the Kuna Planning and Zoning Commission finds Case No. 17-08-AN**,** is consistent with Kuna's Comprehensive Plan.
3. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

K. Decision by the Commission:

17-08-AN, *note: This proposed motion is to recommend approval for this request to City Council. If the Commission wishes to approve or deny specific parts of the requests as detailed in this report, those changes must be specified.*

Based on the facts outlined in staff's report and the public testimony at the public hearing, the Planning and Zoning Commission of Kuna, Idaho, hereby recommends *approval* of Case No. 17-08-AN, a request for annexation by the City of Kuna *with* the following conditions of approval:

1. The City Engineer has approved the sewer hook-ups.
2. Each homeowner shall comply with the Exchange Agreement by and between the Danskin Ridge Homeowners Association (HOA) and CBH Homes, Inc.
3. Each homeowner shall comply with the Consent to Annex Agreement by and between each homeowner and the City of Kuna, Idaho.
4. The annexation fee of $74.00 per lot shall be paid in full fifteen (15) days after the annexation ordinance is recorded with Ada County, or if not paid, shall be added to the individual homeowner's city utility bill and paid pursuant to the city's utility bill ordinance.
5. Each homeowner shall enter into an agreement with the city to pay for any connection fee or cost associated with the connection to the sewer system that is not paid in full at the time of connection to the city's municipal sewer system, and agree to a lien being placed upon the property for any unpaid amounts.
6. The HOA shall be responsible for the engineering and installation of the sewer line from the point of connection on the common lot within the subdivision, to the point of connection with the city's sewer system at or near the treatment lagoon. The Danskin Ridge HOA sewer system shall be connected to the city's municipal sewer system no later than January 1, 2018.
7. Each homeowner and/or the HOA shall be responsible for the maintenance and repair of the sewer system contained within the subdivision boundaries. The City of Kuna assumes no ownership or responsibility for the operation and maintenance of the Danskin Ridge HOA sewer system.
8. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. Any future utilities shall be installed underground.
9. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
10. Property owners shall follow city staff, city engineer and other agency recommended requirements as applicable.
11. Annexation procedures shall comply with all local, state and federal laws.

DATED: this 12th day of December, 2017.

_____

Lee Young, Chairman
Kuna Planning & Zoning Commission

ATTEST:

_____

Wendy Howell,
Kuna Planning Director

City of Kuna

Findings of Fact and Conclusions of Law

P.O. Box 13
Kuna, ID 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
Kunacity.Id.gov

To: **Planning and Zoning Commission**

Case Number(s): **17-11-S** (Subdivision) and **17-25-DR** (Design Review) for *Merino Cove Subdivision.*

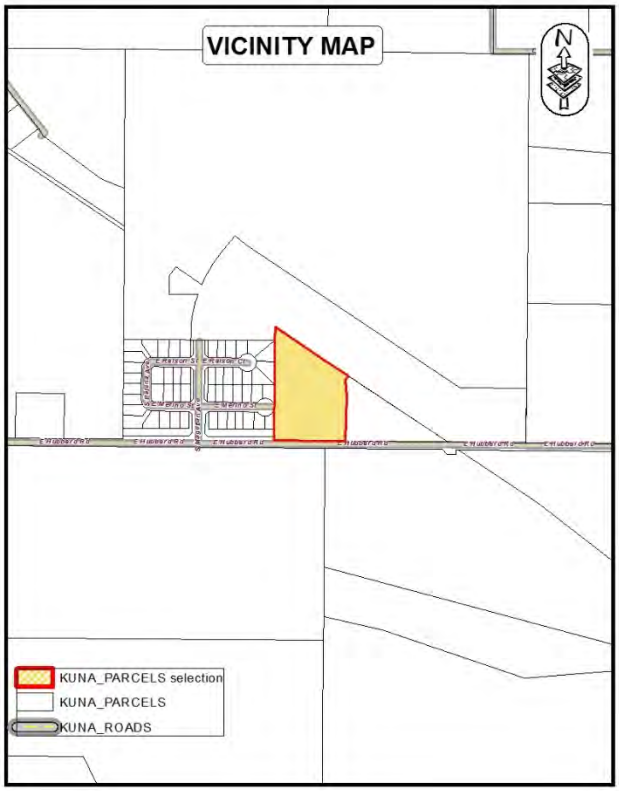
Site Location: 882 E. Hubbard Rd.
Kuna, ID 83634

Planner: Trevor Kesner, Planner II

Hearing Date: November 28, 2017
Findings: December 12, 2017

Applicant: Quadrant Consulting,
Chuck Christensen
1904 W. Overland Rd.
Boise, ID 83702
chuck@quadrant.cc

Owner: Varriale Construction, Inc
2018 S. Pond St.
Boise, ID 83705



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A. Course of Proceedings

1. A Preliminary Plat for a residential subdivision is designated in Kuna City Code (KCC), 1-14-3 as a public hearing matter, with the Planning and Zoning Commission as the recommending body, and City Council as the decision-making body. A Design Review request is designated in KCC 1-14-3 as a public meeting matter, with the Planning and Zoning Commission acting as the Design Review Board, as the decision-making body. No public noticing procedures are required for the Design Review request.

a. **<u>Agency Notifications</u>**

i.	Agencies	November 28, 2017
ii.	300' Property Owners	November 7, 2017
iii.	Kuna, Melba Newspaper	November 8, 2017
iv.	Site Posted	November 18, 2017

2. In accordance with KCC Title 6 in Kuna City Code (KCC) this application seeks Design Review approval and recommendation for approval for a Preliminary Plat (residential subdivision) known as Merino Cove Subdivision.

B. General Project Facts and Staff Analysis

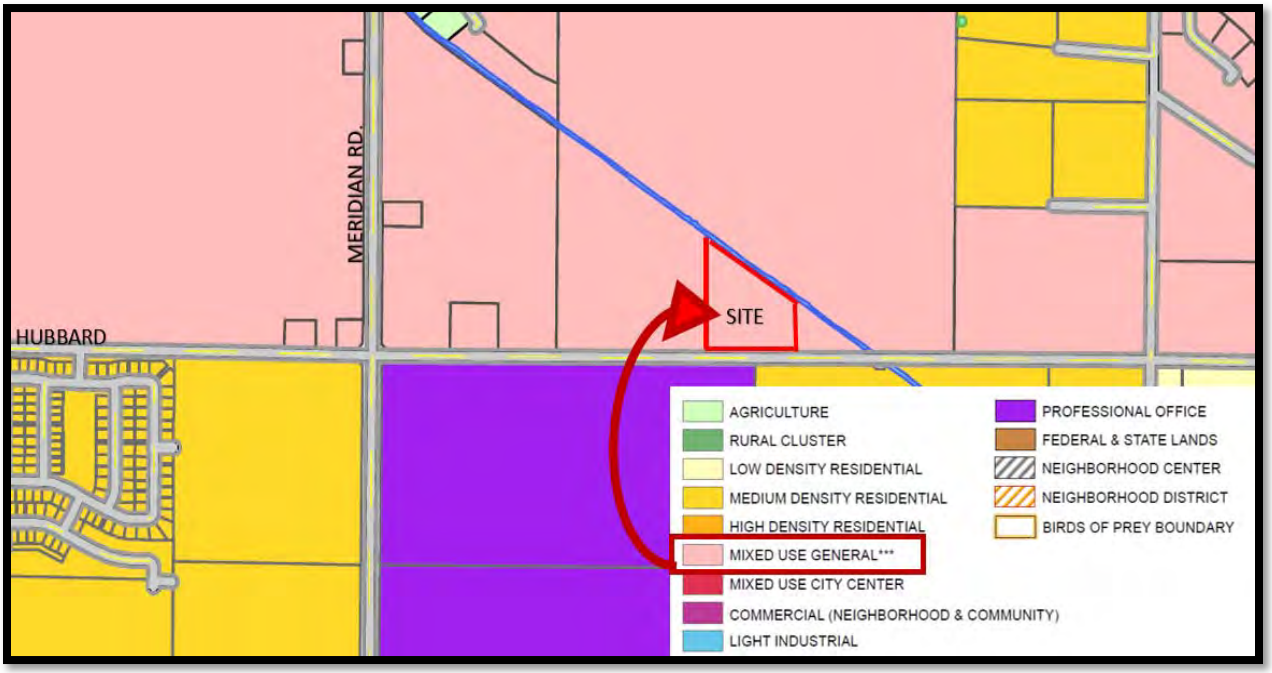
1. **Request:** A request from Quadrant Consulting, representing Varialle Construction for preliminary plat and Design Review approval for an approximately 6.8-acre subject parcel within an existing R-6 zone, in order to subdivide the land into 25 single family lots, and an additional two (2) common lots. The site is located on the north side of W. Hubbard Road, approximately 500 feet east of S. Magellan Avenue; addressed as 882 E. Hubbard Road, Kuna, Idaho 83634 (APN#: #S1407347180).

2. The applicant has submitted all the required documents and materials for review, held the neighborhood meeting, and posted the site in accordance with KCC posting requirements and the requirements set forth in Idaho State Code, Title 67, Chapter 65 of the Local Land Use Planning Act.

3. **History:** The subject parcel was approved for annexation by Kuna City Council in October, 2017. The parcel is situated within Kuna City limits with an existing R-6 residential zoning designation. The site has historically been used as an agricultural pasture.

4. **Legal Description:** A legal description was included with the application.

5. **Comprehensive Plan Designation:** The Comprehensive Plan Future Land Use map indicates the site has a future designation of *Mixed Use General* with residential densities ranging from 2 to 20 units per acre.



6. **Surrounding Land Uses:**

Direction	Current Zoning and Jurisdiction	
North	R-6	Medium Density Residential – Kuna City
South	RR	Rural Residential – *Ada County*
East	RR / R-6	Rural Residential – *Ada County* / Med. Density Res. – Kuna City
West	R-6	Medium Density Residential – Kuna City

6.1 Aerial Map:

**Copyrighted*

6.2 Parcel Number: S1407347180

6.3 Parcel Size and Current Zoning:
Approximate acres: 6.8
Zoning: R-6 (Medium Density Residential)

6.4 Public Services, Utilities and Facilities:
Fire Protection – Kuna Fire District
Police Protection – Kuna City Police (Ada County Sheriff's office)
Sanitary Sewer– City of Kuna
Potable Water – City of Kuna
Irrigation District – New York Irrigation District
Pressurized Irrigation – City of Kuna (KMID)
Sanitation Services – J&M Sanitation

6.5 Existing Structures, Vegetation and Natural Features: There appears to be a horse shelter and two (2) ancillary structures (presumably, tack sheds) on the subject parcel. These structures will be removed prior to development. The site is relatively flat with an average slope of 0% to 2%. Bedrock depth is estimated to be greater than sixty (60) inches, according to the USDA Soil Survey for Ada County. The existing vegetation on site are those commonly associated with farm fields and agricultural and horse pasturing activities.

6.6 Transportation / Connectivity: The applicant proposes access to the site by extending Merino Street, which is currently stubbed within the Patagonia development at the site's western boundary, into the site as a 36-foot wide street section with curb, gutter and 5-foot wide attached sidewalks. Merino Street will terminate as a 50-foot radius cul-de-sac internally, however, applicant proposes a 24-foot wide

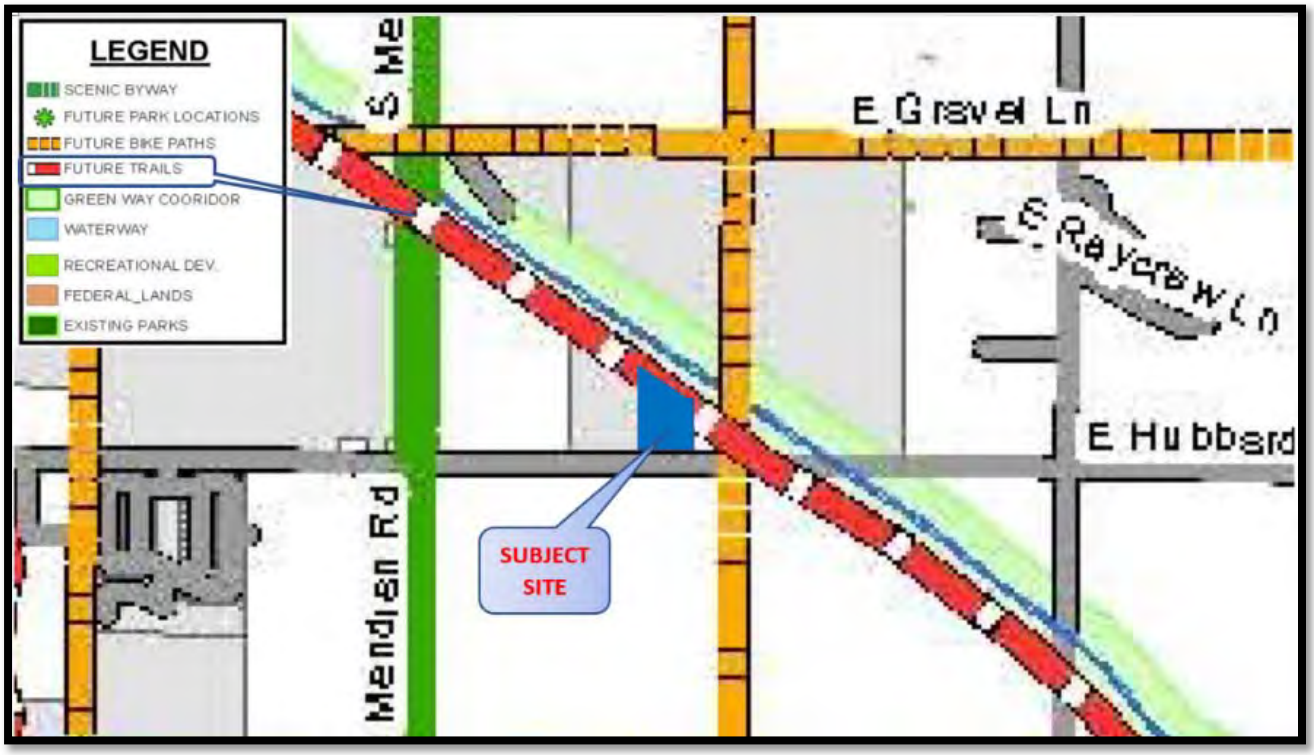
emergency access easement from Hubbard Road situated on lots 4 and 5. The subject site's road frontage is located on the north side of Hubbard Road. Hubbard Road is designated as a future 3-lane residential arterial roadway; therefore, it is recommended that the applicant dedicate additional right-of-way to accommodate 35 feet from centerline and the existing pavement should be widened to a minimum of 17-feet from centerline. Although ACHD has provided site specific recommendations for roadway improvements on the site's Hubbard Road frontage, the applicant's proposal does not meet Kuna City Code (KCC) 6-4-2-C standards, which requires vertical curb and gutter be installed on functionally classified collector and arterial streets. The applicant should be conditioned to improve the site's Hubbard Road frontage with curb and gutter, following Kuna and ACHD standards to align the Patagonia development's frontage improvements to the west.

6.7 <u>Agency Recommendations:</u>

The following agencies returned comments which are included as exhibits in this case file:

- Kuna School District ……..Exhibit B1
- Idaho Department of Environmental Quality (DEQ) ……..Exhibit B2
- Central District Health Department (CDHD) ……Exhibit B3
- Ada County Highway District (ACHD) ……Exhibit B4
- Kuna Public Works Department……..Exhibit B5

6.8 <u>Recreation and Pathways Master Plan Map:</u> Kuna's Master Recreation and Pathways map indicates a future trail along the Canal as it abuts the subject sites northern boundary.



Staff is not recommending that the applicant construct a trail or pathway along the Mason Creek Feeder along the project's northern boundary, because the adjacent Patagonia development will install a regional pathway on the northern side of the Mason Creek Feeder. The applicant has not proposed any internal pathways for the project, but pedestrians may be able to utilize the emergency access easement as a direct connection to sidewalks along Hubbard Road.

The proposed site plans configuration constrains future residents' access to the regional pathway on the north side of the canal. Therefore, staff recommends the applicant be conditioned to work with the property owners to the west, east and north of the project to construct a pathway that provides better cohesion between neighborhoods, and accommodates pedestrian access and connectivity to the regional pathway system along the north side of the Teed Lateral.

C. Applicable Standards:

1. City of Kuna Zoning Ordinance No. 230
2. City of Kuna Design Review Ordinance, 2011-08
3. City of Kuna Subdivision Ordinance No. 2010-15, Title 6 Subdivision Regulations
4. City of Kuna Landscape Ordinance No. 2006-100
5. City of Kuna Comprehensive Plan
6. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act

D. Comprehensive Plan Analysis:

The Kuna Planning and Zoning Commission determines that the subdivision of the subject site *is/is not* consistent with the following Comprehensive Plan components:

Housing: Residents envisioned higher densities in the City's core to include opportunities for mixed residential and light commercial activity. They expressed interest in a mix of residential type dwellings applications; including **single- family,** multi-family, apartments and condominiums. They were receptive to a greater mix of lot sizes and house price to appeal to a variety of people. A goal expressed was the preservation of large lots and rural cluster development in appropriate balance with a complement of other types of residential development (Page 21 Comprehensive Plan [CP]).

> ***Comment**: The Comprehensive Plan and the corresponding Future Land Use Map (with land use designations) provides for a medium density residential (R-6) zone. This project has proposed a density of less than six units per acre, therefore it conforms to the Comprehensive Plan and the Future Land Use Map.*

Private Property Rights Goals and Objectives - Section 2 – Summary:
Ensure City land use policies, restrictions, conditions and fees do not violate private property rights and ensure that *land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property.* Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right and staff shall evaluate with guidance from the City attorney; the Idaho Attorney General's six criterion established to determine the potential for property taking.

> ***Comment:** Utilizing the Idaho Attorney General's criteria, and a review by the City Attorney, this project does not constitute a "takings" and the Economic value is fully intact.*

Economic Development Goals and Objectives - Section 5 - Summary*:*
Ensure an adequate supply of housing for all income levels and facilitate pedestrian connections, both visually and physically, to enhance pedestrian movement (Pg. 42 – 1.5 and Pg. 43 – 3.1 [CP]).

> ***Comment:** The Comprehensive Plan encourages adequate housing for all income levels and calls for increasing pedestrian connections. This project supplies additional housing types to Kuna's inventory and provides opportunities for a quality housing mix. This development has an opportunity to enhance the City's network for pedestrian and non-motorized transportation choices by constructing new sidewalks which connect to existing sidewalks.*

Land Use Goals and Objectives - Section 6 - Summary:
Adopt a future land use plan and map that includes natural and developed open spaces, while providing a variety of housing densities and types to accommodate various lifestyles, ages and economic groups. Protect existing neighborhoods and ensure new development is sustainable and keeps Kuna desirable. Develop cohesive

neighborhoods with character and quality while incorporating a variety of densities and styles (Pg. 64 – 3.1 & Goal 3 and Pg. 65 – 4.3 [CP]).

> **Comment**: *This project adds quality housing varieties to the City's inventory for all types of lifestyles, ages and economic groups. Utilizing existing stub streets for roadway access also provides for more cohesive neighborhoods.*

Housing Goals and Objectives - Section 12 - Summary*:*
Encourage developers to provide high-quality development with a variety of lot sizes, dwelling types, densities and price points to meet the needs of current and future populations while creating safe and aesthetically-pleasing neighborhoods. Ensure housing is available throughout the community for all income levels and those with special needs. Encourage logical and orderly residential development while discouraging developers from developing land divisions greater than one half acre because large lot subdivisions increase municipal costs, require public subsidy and create sprawl (Pg. 155 – Obj. 1.1, Pg. 163 12.4 and Pg. 165 – 2.1 [CP]).

Encourage mixed-use development that includes town centers, **single-family**, multi-family, accessory units, and other types of residential development. – Policy 1.1.2, Section 12, Housing (Page 155 [CP]).

> ***Comment:*** *Applicant proposes a development with a variety of dwelling types and varying price points for different income levels as encouraged by the Comprehensive Plan. This project adds to the City's overall network of public utilities, sidewalks and roadways; therefore, it complies with the logical, orderly development goal. The proposed land divisions are smaller than one half acre and will connect to available public services abutting the site; thus, the development avoids increased municipal services costs and the potential for urban sprawl.*

Community Design Goals and Objectives - Section 13 - Summary*:*
Strengthen Kuna's Image through good community and urban design principles that create self-sufficient neighborhoods. Foster good community design concepts that incorporate landscape features to serve as buffers between incompatible uses while reducing scale and creating a sense of place (Pg.167 – Goal 1 and Pg. 168 – 1.2[CP]).

> ***Comment:*** *Applicant proposes good community and urban design principles by designing under the allowed densities of the R-6 zone. This development also incorporates landscape buffers, and creates a sense of place for current and future citizens while adding to the City's sidewalk networks for adjoining property owners and future developments. In this sense, the project generally complies with the Comprehensive Plan goal.*

Neighborhoods:
Kuna's Comprehensive Plan advocates for development of self-sufficient neighborhoods. These neighborhoods are intended to be connected by transit and other non-motorized methods of transportation. Each neighborhood will have a center, a core and an edge (Page 179 [CP]).

> ***Comment:*** *Kuna is not currently served with transit services; however, the applicant proposes an extension of the roadway system in compliance with the Street Circulation Plan adopted by Kuna. Applicant proposes R-6 housing densities, thereby complying with the Medium Density land use designation as outlined within the Comprehensive Plan and Comprehensive Plan Future Land Use Map.*

E. Findings of Fact:

1. All required procedural items have been completed as detailed in this staff report.
2. The residential development complies with Section 6.0 of Kuna's Comprehensive Plan.
3. The residential development complies with the Kuna City Code.
4. Public services are available and are adequate to accommodate this site's development.
5. The preliminary plat will not be detrimental to the public's health, safety and general welfare.

6. The applicant's subdivision request is in general conformance with the Kuna Comprehensive Plan Future Land Use map.
7. The site is suitable for use as a residential subdivision, after acquiring the proper approvals.
8. The project description, staff analysis and findings of fact are correct.

F. <u>Conclusions of Law:</u>

1. The preliminary plat use is consistent with Kuna City Code.
2. The preliminary plat use meets the general objectives of Kuna's Comprehensive Plan.
3. The site is physically suitable for the proposed residential preliminary plat use.
4. The preliminary plat use is not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.
5. The preliminary plat is not likely to cause adverse public health problems.
6. The preliminary plat is generally in compliance with all ordinances and laws of the City.
7. The preliminary plat will not be detrimental to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.
8. The existing street and utility services in proximity to the site are suitable and adequate for residential subdivision development purposes.
9. Based on evidence contained in Case Nos. 17-11-S and 17-25-DR, this proposal generally complies with KCC Title 6.
10. Based on the evidence contained in Case Nos. 17-11-S and 17-25-DR, this proposal complies with Section 6.0 of Kuna Comprehensive Plan and Future Land Use Map.
11. The Planning and Zoning Commission of Kuna, Idaho, has the authority to recommend approval or denial for the preliminary plat application.
12. The Planning and Zoning Commission of Kuna, Idaho, has the authority to approve or deny the design review application.
13. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and Kuna City Ordinances.

G. **<u>Proposed Decisions by the Commission:</u>**

17-25-DR (Design Review)

Note*: The motion is to approve the design review request. However, if the Planning and Zoning Commission wishes to approve or deny specific parts of the request, those changes must be specified.*

Based on the facts outlined in staff's report and public testimony as presented (if any), the Planning and Zoning Commission of Kuna, Idaho, hereby *approves* Case No. 17-25-DR, a design review for common area landscaping within the Merino Cove Subdivision *with* the following conditions of approval:

17-11-S (Subdivision)

Note: *This motion is to* recommend *approval for this request to City Council. However, if the Planning and Zoning Commission wishes to recommend approval or denial of specific parts of the request as detailed in this report, those changes must be specified.*

Based on the facts outlined in staff's report and public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby recommends *approval* for Case Nos. 17-07-AN (Annexation) and 17-11-S, an annexation and subdivision request by Quadrant Consulting *with* the following conditions of approval:

1. The applicant shall obtain written approval of the construction plans from the agencies noted below. The approval may be either on agency letterhead referring to the approval use or may be written or stamped upon a copy of the approved plan. A copy of the agencies approvals shall be provided to Kuna's Planning and Zoning Department. All site improvements are prohibited prior to approval of these agencies.

a) The City's Engineer shall approve the sewer, water and pressure irrigation utility extensions and hook-ups.
b) The City's Engineer shall approve a grading and surface drainage run-off plan (if required). Per Central District Health Department, the plan shall be designed and facilities constructed in conformance with standards contained in "Catalog for Best Management Practices for Idaho Cities and Counties". No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of a site drainage design plan from Kuna's City Engineer. The drainage design plan shall include all site grading.
c) Kuna Fire District shall approve all fire flow requirements and access easements.
d) The New York Irrigation District shall approve any modifications to the existing irrigation system.
e) Approval from Ada County Highway District shall be obtained, and assessed impact fees shall be paid prior to the issuance of any building permits.

2. All public right-of-way shall be dedicated and constructed to the standards of Kuna City and Ada County Highway District. No public street construction may be commenced without the approval of the Ada County Highway District. Any work within the Ada County Highway District right-of-way requires a permit. For information regarding the requirements to obtain a permit, contact Ada County Highway District Development Services at 387-6100.

3. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground.

4. Compliance with Idaho Code Section §31-3805 pertaining to irrigation waters is required. The flow of any irrigation/drainage waters shall not be impeded by any construction or uses on site.

5. Lighting within the site shall comply with Kuna City Code.

6. Fencing within and around the sites shall comply with Kuna City Code (Except as specifically approved otherwise). A permit from Kuna Building Department shall be obtained prior to construction of fencing.

7. Subdivision signage shall comply with Kuna City Code. The applicant shall apply for a sign design review and secure a permit prior to sign construction.

9. The applicant shall adhere to all requirements for sanitary sewer, potable water, pressure irrigation system connections, rights-of-way, and all other requirements of the Public Works Director, as outlined in the memorandum dated November 28, 2017 for case No. 17-04-AN (referenced as Exhibit B5).

10. Prior to submitting the final plat mylars for signature, submit a petition to the City, consenting to the pooling of irrigation surface water rights for delivery purpose and request to annex the irrigation surface water rights appurtenant to the property to the Kuna Municipal Pressure Irrigation District (KMID).

12. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace any unhealthy or dead plant material immediately (within 3 days as weather permits or as the planting season permits), as required to meet the standards of this requirement. Maintenance and planting within public right-of-way shall be with approval from the public and/or private entities owning the property.

13. The applicant shall work with staff and adjacent property owners to create a pedestrian pathway within the boundaries of the subdivision.

14. The applicant shall comply with all conditions of approval listed in the Kuna staff report and as approved by the Commission, and any other applicable agency comments.

14. Applicant shall comply with all local, state and federal laws.

DATED: this day _12th_ of ___December____, 2017.

_____
Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST:

_____
Trevor Kesner, Planner II
Kuna Planning and Zoning Department

City of Kuna

Design Review Committee Staff Report

P.O. Box 13
Kuna, ID 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.ld.gov

To: **Planning and Zoning Commission** (acting as the Design Review Committee)

Case Numbers: 17-08-DR (Design Review) - Modification
Smoky Mountain Pizzeria Grill

Location: 1011 South Meridian Road - South of Ridley's Market – SWC of Meridian & Deer Flat.

Planner: Trevor Kesner, Planner II

Meeting Date: December 12, 2017

Applicant: **Dan Todd**
Smoky Mountain Pizzeria
4098 E. 41st St.
Boise, ID 83714
dantodd@smkymt.com

Representative: **Amanda Ryan**
BRS Architects
1010 S. Allante Pl., Ste. 100
Boise, ID 83709
208.336.8370
amanda@brsarchitects.com

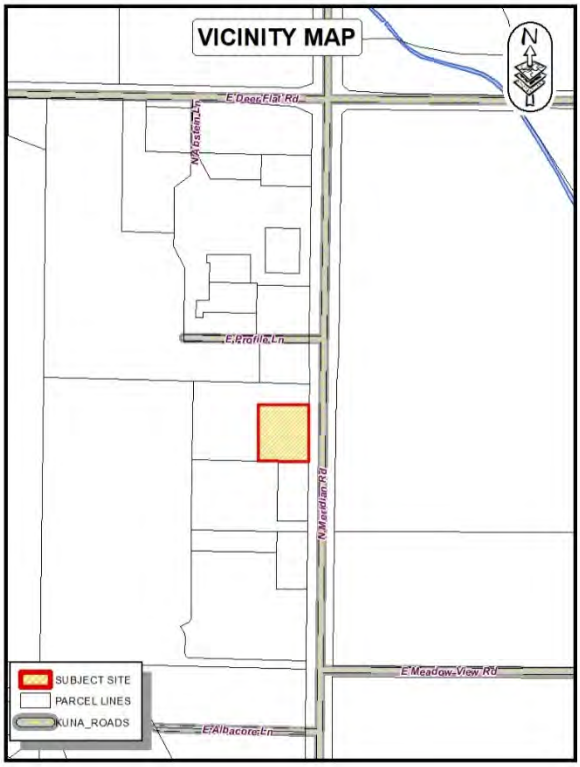


Table of Contents:

A. Course Proceedings
B. Applicant Request
C. Vicinity Maps
D. History
E. General Project Facts
F. Staff Analysis
G. Applicable Standards
H. Decision by the Commission

A. Course of Proceedings:

1. According to Kuna City Code (KCC) Title 5, Chapter 4, Section 2 (Design Review), all new commercial developments are required to submit an application for review by the Design Review Committee (DRC). As a public meeting action, this application requires no formal public noticing.

   a. **Notifications**
      i. Agenda December 12, 2017

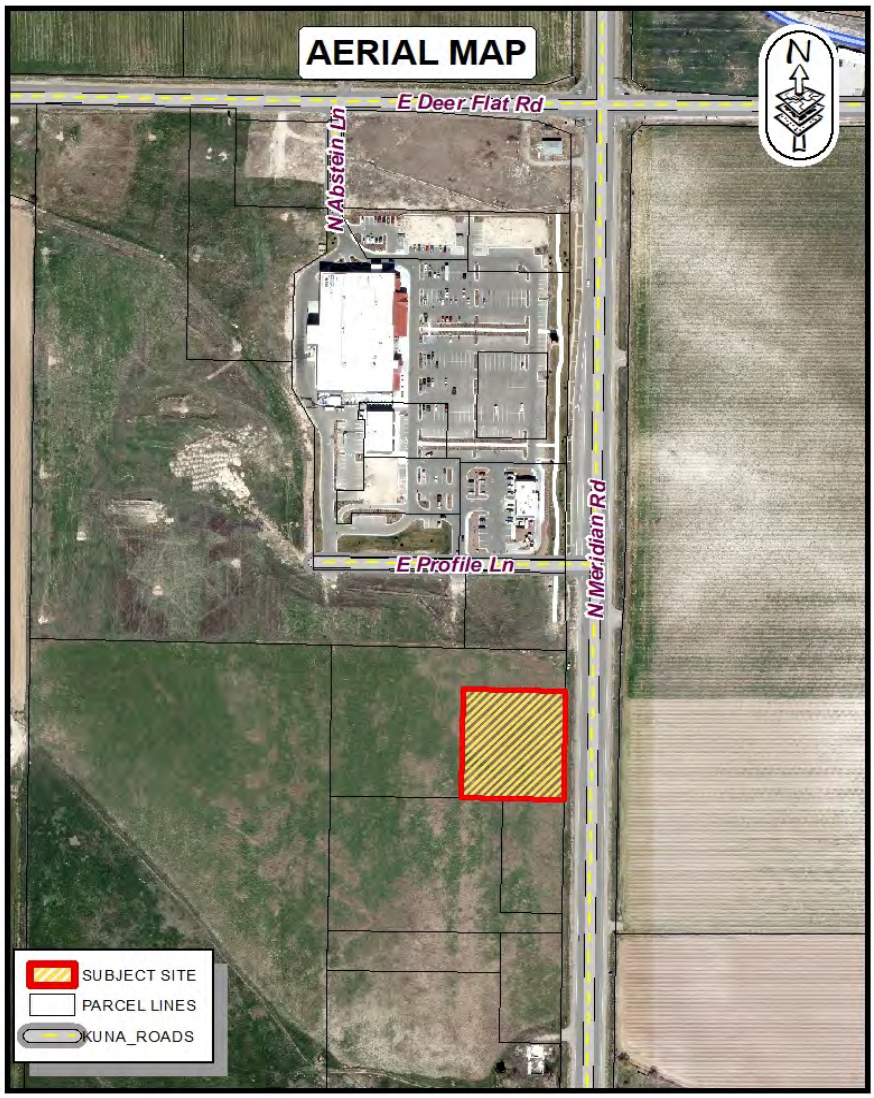
2. In accordance with KCC 5-4-2 and KCC 5-3-2, this application seeks Design Review Modification approval for building landscaping and parking lot re-design for a new Smoky Mountain Pizzeria Grill restaurant in Kuna.

B. Applicant Request:

1. Applicant requests Design Review Modification approval from the Planning and Zoning Commission (acting as Design Review Committee) for a 4,064-square foot commercial building to house a new Smoky Mountain

Pizzeria Grill restaurant, and accompanying landscaping and parking lot on Lot 2, Block 1 within the Ensign Commercial subdivision.

C. Aerial Map:

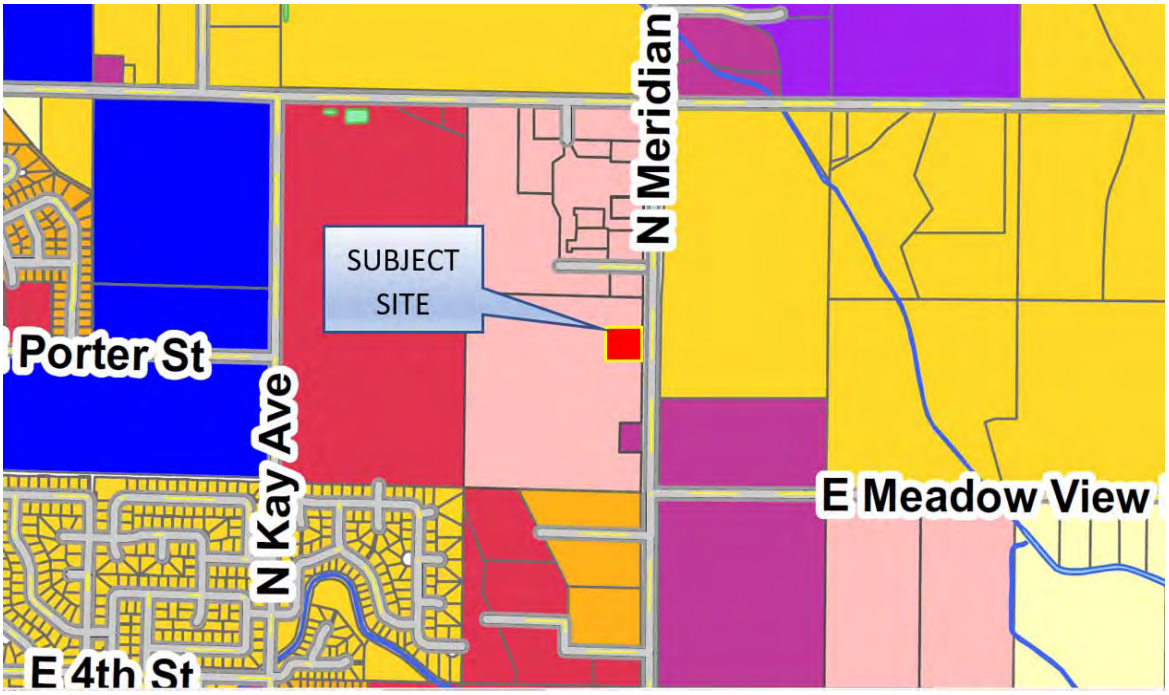


D. History:

The subject parcel is in the City limits and is zoned C-1 (Neighborhood Commercial District). This parcel is situated within the platted Ensign Subdivision. The site has historically been farmed.

E. General Project Facts: The approximately 1.4-acre subject parcel is south of the Ridley's Family Subdivision No. 1 development, and east of the new Tractor Supply Company store – Kuna, Idaho. The new building will be approximately 4,064 square feet in size and includes a patio area for outdoor dining.

1. **Comprehensive Plan Designation:** The Comprehensive Plan Map (CPM) identifies this site as Mixed-Use General, and has a current commercial zoning designation of 'C-1'. Staff views this request to be consistent with the approved comprehensive plan future land use map.



Legend

AGRICULTURAL	PROFESSIONAL OFFICE
RURAL CLUSTER	FEDERAL LAND
LOW DENSITY	NEIGHBORHOOD CENTER
MEDIUM DENSITY	NEIGHBORHOOD DISTRICT
HIGH DENSITY	WWTF
MIXED USE GENERAL***	CITY INTEREST
MIXED USE CITY CENTER	MIXED USE GENERAL WITH A MINIMUM EQUIVALANCE OF 3 UNITS PER ACRE
LIGHT INDUSTRIAL	GREEN WAY WATERWAYS
HEAVY INDUSTRIAL	GREENBELT OVERLAY
PUBLIC	
COMMERCIAL	*** MIXED USE GENERAL EXPECTED RESIDENTIAL DENSITIES CAN RANGE FROM 2 TO 20 UNITS PER ACRE

2. **Surrounding Land Uses:**

North	C-1	Neighborhood Commercial – Kuna City
South	C-1	Neighborhood Commercial – Kuna City
East	RUT	Rural Urban Transition – Ada County
West	C-1	Neighborhood Commercial – Kuna City

3. **Parcel Sizes, Current Zoning, Parcel Numbers:**
   - Approximately 1.4-acres.
   - C-1 (Neighborhood Commercial District)
   - Parcel No. R2404320020

4. **Services:**

   Sanitary Sewer– City of Kuna
   Potable Water – City of Kuna
   Irrigation District – Boise-Kuna Irrigation District
   Pressurized Irrigation – City of Kuna (KMID)
   Fire Protection – Kuna Fire District
   Police Protection – Kuna City Police (Ada County Sheriff's office)
   Sanitation Services – J&M Sanitation

5. **Existing Structures, Vegetation and Natural Features:** The property has no existing buildings and has vegetation associated with an unimproved commercial building pad.

6. **Transportation / Connectivity:** The site is primarily accessed via the ingress/egress driveway provided internally to the Ensign commercial development; which takes access directly from the Highway 69/Meridian Road approach. The site has additional approved driveway access as ingress/egress from East Profile Lane, south of McDonalds. The site design provides direct access to the existing sidewalk along Highway 69/Meridian Road frontage.

7. **Environmental Issues:** Staff is not aware of any environmental issues, health or safety conflicts. This site's topography is generally flat.

F. Staff Analysis:

The Planning & Zoning Commission previously approved a Design Review application for the proposed building, landscaping and parking lot. Staff finds that the revised site design generally satisfies the intent of Kuna's Codes and fits into the overall vision of the C-1 District, and generally conforms to the 'Kuna Architecture' guidelines and the City's parking standards.

Staff finds that the proposed 4, 064 square foot commercial building for the moky Mountain Pizzeria restaurant is in general conformance with the Design Review Ordinance (Kuna City Code [KCC] Title 5, Chapter 4. The Building size, footprint, elevations and internal floor plan appear to remain unchanged from the original approvals. The submitted plans make note that the proposed rooftop mechanical equipment is to be screened by a 'secondary screening method' with a wood slat appearance to match the style of the building facade. The applicant's proposed screening appears to be in accordance with KCC 5-4-6-C-i.

The applicant's submitted site plan states that one parking space is required for every 150 square feet of a restaurant; however, code requires one parking space for every 200 square feet of a restaurant. The applicant has proposed 79 (75 standard, and 4 handicap) parking spaces. Staff finds the proposed parking lot is in substantial conformance with KCC Title 5 Chapter 9.

The originally submitted site and landscape design plan proposed approximately 34% of landscaping coverage. The resubmitted site and landscape plan calls out 23.6% of landscape coverage. With this reduction in landscaping, staff finds the proposed landscaping is still in general conformance with KCC Title 5 chapter 17, Landscaping Ordinance.

The refuse dumpster enclosure is proposed to be constructed of painted concrete blocks and the gates are proposed as metal, in accordance with KCC 5-17-12-A-4, and J&M Sanitation's commercial dumpster enclosure standards.

The proposed wall signs shown on the submitted building elevations, as submitted, are in conformance with KCC 5-10-4-G and Q. Any additional signage will require a separate sign design review and permit application.

Applicant will be subject to design review inspections and fees for those inspections (post construction), for compliance verification of the building, parking lot, landscaping and signage, prior to certificate of occupancy being issued.

Staff views the proposed new commercial building, landscaping and parking lot to be generally consistent with the goals and vision of the overlay district and Kuna city. Staff forwards a recommendation of approval for case No. 17-08-DRC to the Design Review Committee.

G. Applicable Standards:

1. City of Kuna Zoning Ordinance No. 230
2. City of Kuna Design Review Ordinance, 2011-08.
3. City of Kuna Comprehensive Plan.
4. City of Kuna Overlay District Ordinance, 2011-06
5. City of Kuna Landscaping Ordinance, 2012-22
6. City of Kuna Parking Lot Ordinance, 2011-12

H. Decision by the Commission:

Note: The proposed motion is for approval or denial of this request. However, if the Planning and Zoning Commission (acting as Design Review Committee) wishes to approve or deny specific parts of this request as detailed in the report, those changes must be specified.

On December 12, 2017, the Planning and Zoning Commission (acting as the Design Review Committee), voted to *approve/conditionally approve/deny* case No. 17-08-DRC Modification, based on the facts outlined in staff's report, the case file and discussion at the public meeting. The Planning and Zoning Commission of Kuna, Idaho, hereby approves/denies Case No. 17-08-DRC, a Design Review Modification request by Amanda Ryan with BRS Architects (on behalf of Dan Wood with Smoky Mountain Pizzeria Grill), with the following conditions of approval:

The applicant shall follow all conditions as outlined in the staff report.

Conditions of Approval:

1. Signage for the site shall comply with current Kuna City Code. Proposed signage shall go through the Design Review Process and applicant shall obtain a sign permit *prior to construction.*
2. The applicant shall follow all requirements for sanitary sewer, potable water, pressure irrigation system connections, and all other requirements of the City engineer and Building Department.
3. The applicant shall obtain written approval of the construction plans from the agencies noted below. The approval may be either on agency letterhead referring to the approved use or may be written or stamped upon a copy of the approved plan. All site improvements are prohibited prior to approval of these agencies.
    a.) The City Engineer shall approve the proposed surface drainage run-off plan, (if needed). As recommended by Central District Health Department, the plan should be designed and constructed in conformance with standards contained in "Catalog for Best Management Practices for Idaho Cities and Counties". No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of a drainage design plan from the Kuna City Engineer. The drainage design plan shall include all proposed site grading.
    b.) The Kuna Fire District shall review and approve all fire flow requirements and building plans.
    c.) Approval from Ada County Highway District and Impact Fees, if any shall be paid prior to building permit approval.
4. Lighting within the sites shall comply with Kuna City Code.
5. Parking within the site shall comply with Kuna City Code (except as specifically approved otherwise).
6. Landscaping shall be installed according to the submitted landscape plan dated 11/20/2017.
7. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace any unhealthy or dead plant material immediately (within 3 days as weather permits or as the planting season permits), as required to meet the standards of these requirements. Maintenance and planting within public right-of-way shall be with approval from the public and/or private entities owning the property.
8. Applicant shall follow all staff and agency recommendations.
9. The applicant shall comply with all federal, state and local laws.

City of Kuna
Planning & Zoning
Department
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website: www.kunacity.id.gov

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

For Office Use Only	
File Number (s)	17-08-DR
Project name	Smokey Mtn. Pizza D.R.
Date Received	5/3/17
Date Accepted/ Complete	5/15/17
Cross Reference Files	17-03-SUP (Forthcoming)
Commission Hearing Date	
City Council Hearing Date	

Type of Review (check all that apply):

- ☐ Annexation
- ☐ Appeal
- ☐ Comprehensive Plan Amendment
- ☒ Design Review
- ☐ Development Agreement
- ☐ Final Planned Unit Development
- ☐ Final Plat
- ☐ Lot Line Adjustment
- ☐ Lot Split
- ☐ Planned Unit Development
- ☐ Preliminary Plat
- ☐ Rezone
- ☐ Special Use
- ☐ Temporary Business
- ☐ Vacation
- ☐ Variance

Contact/Applicant Information

Owners of Record: EMMETT PARTNERS LLS
Address:
City, State, Zip:
Phone Number:
E-Mail:
Fax #:

Applicant (Developer): SMOKY MOUNTAIN PIZZERIA
Address: 4098 E 41ST STREET
City, State, Zip: BOISE IDAHO 83714
Phone Number:
E-Mail: DANTODD@SMKYMT.COM
Fax #:

Engineer/Representative: BRS ARCHITECTS
Address: 1010 S ALLANTE PLACE STE 100
City, State, Zip: BOISE IDAHO 83709
Phone Number: 208.336.8370
E-Mail: AMANDA@BRSARCHITECTS.COM
Fax #: 208.336.8380

Subject Property Information

Site Address: 1011 N MERIDIAN ROAD KUNA IDAHO 83643
Site Location (Cross Streets): MERIDIAN ROAD AND DEER FLAT
Parcel Number (s): R2404320020
Section, Township, Range: SECTION 24, 2N , 1W
Property size : 1.45 ACRES
Current land use: VACANT
Proposed land use: COMMERCIAL
Current zoning district: C-1
Proposed zoning district: C-1

Exhibit B-1

Project Description

Project / subdivision name: SMOKY MOUNTAIN PIZZERIA | ENSIGN SUBDIVISION NO 1

General description of proposed project / request: NEW RESTAURANT BUILDING AND SUPPORTING SITE DEVELOPMENT

Type of use proposed (check all that apply):

- ☐ Residential
- ☒ Commercial
- ☐ Office
- ☐ Industrial
- ☐ Other

Amenities provided with this development (if applicable):

Residential Project Summary (if applicable)

Are there existing buildings? ☐ Yes ☐ No

Please describe the existing buildings:

Any existing buildings to remain? ☐ Yes ☐ No

Number of residential units: Number of building lots:

Number of common and/or other lots:

Type of dwellings proposed:

- ☐ Single-Family
- ☐ Townhouses
- ☐ Duplexes
- ☐ Multi-Family
- ☐ Other

Minimum Square footage of structure (s):

Gross density (DU/acre-total property): Net density (DU/acre-excluding roads):

Percentage of open space provided: Acreage of open space:

Type of open space provided (i.e. landscaping, public, common, etc.):

Non-Residential Project Summary (if applicable)

HOURS
M-TH 11-930
F-S 11-10
S 12-9

Number of building lots: 1 Other lots:

Gross floor area square footage: 4064 SF Existing (if applicable):

Hours of operation (days & hours): Building height: 20'-6"

Total number of employees: 25 Max. number of employees at one time: 8

Number and ages of students/children: Seating capacity:

Fencing type, size & location (proposed or existing to remain): -

Proposed Parking:

a. Handicapped spaces: 3 Dimensions: 8X20

b. Total Parking spaces: 89 Dimensions: 9X20

c. Width of driveway aisle: 20-25'

Proposed Lighting: BUILDING LIGHTS WL1 | SITE LIGHTS AL1 AL2

Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.):
PARKING ISLANDS, PERIMETER LANDSCAPING, PORTION OF PATIO LANDSCAPED

Applicant's Signature: Amanda Ryan Date: 5.3.17

City of Kuna
Design Review Application

P.O. Box 13
Kuna, Idaho 83634
(208) 922.5274
Fax: (208) 922.5989
Website: www.kunacity.id.gov

FILE NO.: 17-08-DR (Mod) Smokey Mtn. Pizzaria

CROSS REF.: 17-03-SUP (Bar)

FILES:

The City of Kuna has adopted a Design Review process whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in the Design Review Ordinance No. 2007-02 and the Architecture and Site Design Booklet. Both of these documents can be found online (www.cityofkuna.com) or are picked up in the City's Planning and zoning department is located at 763 W Avalon, Kuna ID. Staff is glad to assist you with your application form.

The Design Review application applies to the following land use actions:

- ►Multi- family dwellings (3 or more)
- ►Commercial
- ►Industrial
- ►Institutional
- ►Office
- ►Common Area
- ►Subdivision Signage
- ►Proposed Conversions
- ►Proposed changes in land use and/or building use or exterior remodeling
- ►Exterior restoration, and enlargement or expansion of existing buildings, signs or sites.

Application Submittal Requirements

Applicant Use		Staff Use
N/A	Date of pre- application meeting : N/A PER TREVOR KESNER *Note: Pre-Applications are valid for a period of three (3) months.*	✓
X	A complete Design Review Application form *Note: It is the applicant's responsibility to use a current application.*	✓
X	Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with Design Review standards.	✓
X	One (1) Vicinity Map (8 ½" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets.	✓
X	One 8 ½" x 11" colored aerial photo depicting proposed site, street names, and surrounding area within five-hundred feet (500').	✓
X	Copy of Deed; and, if the applicant is not the owner, an **original** notarized statement (affidavit of legal interest) from the owner (and all interested parties) stating the applicant is authorized to submit this application. See previous design review application.	✓

[X] Detailed site, landscape, drainage plan, elevation and to scale. *(No smaller than 1"=30', unless otherwise approved.)* [✓]
One of each plan (site, landscape, drainage plan and elevations) is required to be submitted in the following plan sizes:

(1) 24" X 36" TO SCALE COPIES
(1) 11" X 17" REDUCTIONS
(1) 8 ½" x 11" REDUCTIONS

[X] Provide a color rendering and material sample board specifically noting where each color and material is to be located on the structure. [✓]
Note: Provide photo of the colored rendering and material samples board to City Staff electronically in a JPG or PDF format.

The Applicant is obligated to provide a site plan that graphically portrays the site and includes the following features:

Site Plan

Applicant Use		Staff Use
[X]	North Arrow	[✓]
[X]	To scale drawings	[ ]
[X]	Property lines	[ ]
[X]	Name of "Plan Preparer" with contact information	[ ]
[X]	Name of project and date	[ ]
[X]	Existing structures, identify those which are to be relocated or removed	[ ]
[X]	On-site and adjoining streets, alleys, private drives and rights-of-way	[ ]
[X]	Drainage location and method of on-site retention / detention	[✓]
[ ] N/A	Location of public restrooms	[ ]
[X]	Existing / proposed utility service and any above-ground utility structures and their location	[✓]
[X]	Location and width of easements, canals and drainage ditches	[ ]
[X]	Location and dimension of off-street parking	[✓]
[ ] N/A	Locations and sizes of any loading area, docks, ramps and vehicle storage or service areas	[ ]
[X]	Trash storage areas and exterior mechanical equipment, with proposed method of screening	[✓]
[X]	Sign locations *(a separate sign application must be submitted with this application)*	[ ]
[X]	On-site transportation circulation plan for motor vehicles, pedestrians and bicycles	[ ]
[X]	Locations and uses of ALL open spaces	[ ]
[X]	Locations, types and sizes of sound and visual buffers *(Note: all buffers must be located outside the public right-of-way)*	[ ]
[X]	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	[✓]
[ ] N/A	Locations of subdivision lines *(if applicable)*	[ ]
[X]	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles See landscape plan.	[✓]
[X]	Location of walls and fences and indication of their height and material of construction	[ ]
[X]	Roofline and foundation plan of building, location on the site	[ ]
[X]	Location and designations of all sidewalks	[ ]
[X]	Location and designation of all rights-of-way and property lines	[✓]

Landscape and Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscaped and streetscape plans must be colored. The Planning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Applicant Use		Staff Use
[X]	North Arrow	[ ]
[X]	To scale drawings	[ ]
[X]	Boundaries, property lines and dimensions SEE ARCH SITE PLAN	[ ]
[X]	Name of "Plan Preparer" with contact information	[ ]
[X]	Name of project and date	[ ]
[X]	Type and location of all plant materials and other ground covers. *Please review the City's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of all proposed landscape materials at the time of planting, and at maturity. A list of acceptable trees is available upon request from City Planning Staff. If there are any questions, please contact the City Forester, Natalie Reeder, at 208.880.0953*	[ ]
[X]	Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed.	[ ]
[X]	Method of irrigation. *Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance.*	[ ]
[X]	Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fencings, fountains street/pathway furniture *(benches, etc.), etc.*	[ ]
[X]	Sign locations *Note: A separate sign application must be submitted with this application*	[ ]
[X]	Locations and uses for open spaces	[ ]
[X]	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle SEE ARCH SITE PLAN	[ ] ✓
[-]	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	[ ]
[X]	Location and designations of all sidewalks	[ ]
[X]	Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved design review application, a detailed site grading and drainage plan, prepared by a registered professional engineer (PE) shall be submitted to the City for review and approval by the City Engineer.	[ ]

Building Elevations

Applicant Use		Staff Use
[X]	Detailed elevation plans of each side of any proposed building(s) or additions(s) *Note: Four (4) elevations to include all sides of development and must be in color*	[ ]
[X]	Identify the elevations as to north, south, east, and west orientation	[ ]
[X]	Colored copies of all proposed building materials and indication where each material and color application is to be located *Note: Submit as 11"x17" reductions*	[ ]
[X]	Screening/treatment of mechanical equipment	[ ]
[X]	Provide a cross-section of the building showing any roof top mechanical units and their roof placement	[ ]
[X]	Detailed elevation plans showing the materials to be used in construction of trash enclosures	[ ]

Lighting Plan

Applicant Use		Staff Use
[X]	Exterior lighting including detained cut sheets and photometric plan (pedestrian, vehicle, security, decoration)	[ ]
[X]	Types and wattage of all light fixtures *Note: The City encourages use of "dark sky" lighting fixtures*	[ ]
[X]	Placement of all light fixtures shown on elevations and landscaping plans	[ ]

Roof Plans

Applicant Use		Staff Use
[X]	Size and location of all roof top mechanical units	[ ]

Design Review Application

Applicant: JULIE BENINTENDI Phone: 208-336-8370 X 214

☐ Owner ☒ Representative Fax/Email: JULIEB@BRSARCHITECTS.COM

Applicant's Address: 1010 S ALLANTE PL, STE 100

BOISE, IDAHO Zip: 83709

Owner: DAN TODD, PRESIDENT Phone: 208-443-9596

Owner's Address: 4098 E 41ST STREET Email: DANTODD@SMKYMT.COM

BOISE, IDHAO Zip: 83714

Represented By: *(if different from above)* Phone:

Address: Email:

Zip:

Address of Property: 1011 N MERIDIAN ROAD

KUNA, IDAHO Zip: 83643

Distance from Major Cross Street: 1300' Street Name(s): DEERFLAT & MERIDIAN

Please check the box that reflects the intent of the application

☐ **BUILDING DESIGN REVIEW**
☐ **SUBDIVISION / COMMON AREA LANDSCAPE**
☒ **DESIGN REVIEW MODIFICATION**
☐ **STAFF LEVEL APPLICATION**

This Design Review application is a request to construct, add or change the following: *(Briefly explain the nature of the request.)*
APPROVE THE REDESIGN OF THE SITE PLAN FOR THE NEW SMOKY MOUNTAIN PIZZERIA GRILL

1. Dimension of Property: 1.45 ACRES 263'X 238'
2. Current Land Use(s): VACANT
3. What are the land uses of the adjoining properties?
   - North: COMMERCIAL
   - South: COMMERCIAL
   - East: VACANT
   - West: COMMERCIAL
4. Is the project intended to be phased, if so what is the phasing time period? NOT PHASED
   Please explain:
5. The number and use(s) of all structures: 1 NEW RESTAURANT STRUCTURE
6. Building heights: +18'-0" & 20'-6" Number of stories: 1

The height and width relationship of new structures shall be compatible and consistent with the architectural character of the area and proposed use.

Note: The maximum building height for each zoning district is as follows:

L-O: 35'	C-2: 60'	CBD: 80'	M-2: 60'	P: 60'
C-1: 35'	C-3: 60'	M-1: 60'	M-3: 60'	

7. What is the percentage of building space on the lot when compared to the total lot area? 6.5%
8. Exterior building materials & colors: *(Note: This section must be completed in compliance with the City of Kuna Ordinance No. 2007-21A (as amended); found online at (www.cityofkuna.com) under the City Code.*

	MATERIAL		COLOR
Roof:	TPO	/	WHITE
Walls: (State percentage of wall coverage fro each type of building material below for each frontage wall) If there is not adequate space to identify the various building materials and applications, please list them on the attached sheet of this application. Please attach photos to support application types.			
% of Wood application:	30%	/	reclaimed wood
% EIFS: (Exterior Insulation Finish System)		/	
% Masonry:	25%	/	GLEN GERY ABERDEEN
% Face Block:		/	
% Stucco:	30%	/	BM 2153-40|BM HC-75|BM 2158-10|BM 2109-20
& other material(s):	CONCRETE 3%	/	LIMESTONE
List all other materials:	METAL AWNINGS 5%		DARK BRONZE | BM 2091-10
Windows/Doors: (Type of window frames & styles / doors & styles, material)	6%	/	ALUMINUM STOREFRONT DARK BRONZE
Soffits and fascia material:	WOOD LOOK	/	
Trim, etc.:	1%	/	DARK BRONZE

Other: _____ / _____

9. Please identify Mechanical Units: T.B.D.

   Type/Height: T.B.D.

   Proposed Screening Method: ROOFTOP SCREEN. WOOD SLAT APPEARANCE

10. Please identify trash enclosure: *(size, location, screening & construction materials)*

    26'-8" X 18'-8" | SOUTH WEST CORNER OF BUILDING | PAINTED CMU

11. Are there any irrigation ditches/canals on or adjacent to the property? NO

    If yes, what is the name of the irrigation or drainage provider?

12. Fencing: *(Please provide information about new fencing material as well as any exiting fencing material)*

    N/A

    Type:

    Size:

    Location:

    (Please note that the City has height limitations of fencing material and requires a fence permit to be obtained prior to installation)

13. Proposed method of On-site Drainage Retention/Detention:

    STORM DRAINS AND PIPE TO RETENTION POND TO NORTH

14. Percentage of Site Devoted to Building Coverage: 6.5% BUILDING

    % of Site Devoted to Landscaping: *(Including landscaped rights-of-way)* 23.6% Square Footage: 14,787 SF

    % of Site that is Hard Surface: *(Paving, driveways, walkways, etc.)* 69.9% Square Footage: 43,740 SF

    % of Site Devoted to other uses:

    Describe:

    % of landscaping within the parking lot (landscaped islands, etc.): 23.5%

15. For details, please provide dimensions of landscaped areas within public rights-of-way:

    38'

16. Are there any existing trees of 4" or greater in caliper on the property? *(Please provide the information on the site plans.)* NO

    If yes, what type, size and the general location? *(The City's goal is to preserve existing tree with greater than a four inch (4") caliper whenever possible):*

17. Dock Loading Facilities:

    Number of docking facilities and their location: 0

    Method of screening: 0

18. Pedestrian Amenities: *(bike racks, receptacles, drinking fountains, benches, etc.)* BIKE RACK TO ACCOMODATE 3 BIKES. SIDEWALK CONNECTION TO PUBLIC SIDEWALK ALONG MERIDIAN ROAD.

19. Setbacks of the proposed building from property lines:

Front 99.75 -feet Rear 89.67 -feet Side 110.25 -feet Side 65 -feet

20. Parking requirements: 1/200 SF OF BUILDING. = 21 SPACES

Total Number of Parking Spaces: 79 Width and Length of Spaces: 20'X9'

Total Number of Compact Spaces 8'x17'): 0

21. Is any portion of the property subject to flooding conditions? Yes _____ No X

IF THE PLANNING DIRECTOR OR DESIGNEE, THE DESIGN REVIEW BOARD AND/OR THE CITY COUNCIL DETERMINE THAT ADDITIONAL AND/OR REVISED INFORMATION IS NEEDED, AND/OR IF OTHER UNFORESEEN CIRCUMSTANCES ARISE, ANY DATES OUTLINED FOR PROCESSING MAY BE RECHEDULED BY THE CITY. APPLICANT/REPRESENTATIVE MUST ATTED THE DESIGN REVIEW BOARD MEETING/PLANNING AND ZONING MEETINGS.

The Ada County Highway District may also conduct public meetings regarding this application. If you have questions about the meeting date or the traffic that this development may generate or the impact of that traffic on streets in the area, please contact the Ada County Highway District at 208.387.6170. In order to expedite you request, please have ready the file number indicated in this notice.

Signature of Applicant Juli Benintendi Date 11/20/17

City staff comments:

Signature of receipt by City Staff [illegible] Date 11/21/17

FOR ADDITIONAL INFORMATION:

(Please list page number and item in reference)

BRS ARCHITECTS
1010 S. Allante Place,
Suite 100
Boise, Idaho 83709
Telephone 208 336-8370
Fax 208 336-8380

RECEIVED 11/21/17

November 20, 2017

Attn: City of Kuna, Planning and Zoning - Design Review
751 W 4th Street
Kuna, Idaho 83634

RE: Smoky Mountain Pizzeria Grill
Design Review Modification

To Whom it May Concern,

On behalf of Smoky Mountain Pizzeria Grill, please accept this letter of explanation for the modified Design Review Application for the new restaurant building located in Kuna. The site is located right off North Meridian Road, South of Deer Flat Road in the Ensign Subdivision on Lot 2. The location is near a Dollar Store, Ridleys Grocery Store, and a tractor supply store, all of which match company standards more than an approved architectural style.

The proposed design of the building will not change from the original design review submittal other than the overall site layout and new location of the trash enclosure that is now separate from the building. The trash enclosure design is painted concrete block with a 2 metal gates. The restaurant has been relocated to the center of the site with room for a future addition to the south of either an expansion of the restaurant or a separate tenant space. That space will be a landscaped area until the future addition occurs. The proposed landscape design has been redesigned for the new layout and will continue to be organic in nature and an extension of the existing landscape from the Development Landscape Plans to help unify the development and the city. The new site design allows for more parking to be located next to the building and has better connections with the overall traffic flow of the development.

Thank you for your review and consideration of our project. We welcome input and helpful interaction from you and your staff during the review process to provide the owner and the City of Kuna a successful project. Please contact me with any questions or comments regarding this design review application.

Sincerely,

Julie Benintendi

Julie Benintendi, Project Manager II
BRS Architects
julieb@brsarchitects.com

City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

City of Kuna

AFFIDAVIT OF LEGAL INTEREST

State of ~~Idaho~~ Utah)
) ss
County of ~~Ada~~ Cache)

I, M. Brett Jensen, 2694 N. 920 E
Name Address

North Logan, UT 84341 ,
City State Zip Code

being first duly sworn upon oath, depose and say:

(If Applicant is also Owner of Record, skip to B)

A. That I am the record owner of the property described on the attached, and I grant my

Permission to BRS ARCHITECTS 1010 S ALLANTE PLACE STE 100 BOISE ID 83709 Name Address
to submit the accompanying application pertaining to that property.

B. I agree to indemnify, defend and hold City of Kuna and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

C. I hereby grant permission to the City of Kuna staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 2nd day of May, 2017

Signature

Subscribed and sworn to before me the day and year first above written.

Notary Public for ~~Idaho~~ Utah

Residing at: Cache county

My commission expires: 8-4-2020

KARRIE SHELTON
NOTARY PUBLIC • STATE of UTAH
COMMISSION # 690390
COMM. EXP. 08/04/20__

3

ADA COUNTY RECORDER Christopher D. Rich 2015-091292
BOISE IDAHO Pgs=3 CHE FOWLER 10/01/2015 02:49 PM
FIRST AMERICAN TITLE AND ESCROW COMPANY $16.00

AFTER RECORDING MAIL TO:

ADA COUNTY RECORDER Christopher D. Rich 2015-098773
BOISE IDAHO Pgs=3 BONNIE 10/26/2015 01:54 PM
IDAHO SURVEY GROUP AMOUNT:$16.00

00159302201500987730030031

Emmett Partners, LLC
579 South Moss Hill Drive
Bountiful , UT 84010

ELECTRONICALLY RECORDED - DO NOT REMOVE THE COUNTY STAMPED FIRST PAGE AS IT IS NOW INCORPORATED AS PART OF THE ORIGINAL DOCUMENT

WARRANTY DEED

File No.: **4103-2439692 (DS)** Date: **September 22, 2015**

For Value Received, **The Rama Group, LLC, an Idaho Limited Liability Company**, hereinafter referred to as Grantor, does hereby grant, bargain, sell and convey unto **Emmett Partners, LLC, a Utah Limited Liability Company**, hereinafter referred to as Grantee, whose current address is **579 South Moss Hill Drive, Bountiful , UT 84010**, the following described premises, situated in **Ada** County, **Idaho**, to wit:

LEGAL DESCRIPTION: Real property in the County of Ada, State of Idaho, described as follows:

A PORTION OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 24, TOWNSHIP 2 NORTH, RANGE 1 WEST, BOISE MERIDIAN, CITY OF KUNA, ADA COUNTY, IDAHO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 24 FROM WHICH THE NORTHEAST CORNER OF SAID SECTION 24 BEARS
NORTH 00°46'12" EAST, 2,649.30 FEET; THENCE ALONG THE EAST BOUNDARY LINE OF SAID SECTION 24
NORTH 00°46'12" EAST, 1,324.65 FEET TO THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 24; THENCE ALONG THE NORTH BOUNDARY LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 24
NORTH 88°36'31" WEST, 70.00 FEET TO THE WEST RIGHT-OF-WAY LINE OF NORTH KUNA-MERIDIAN ROAD (ST. HWY. 69) SAID POINT BEING THE REAL POINT OF BEGINNING; THENCE LEAVING SAID NORTH BOUNDARY LINE AND ALONG SAID WEST RIGHT-OF-WAY LINE
SOUTH 00°46'12" WEST, 1,284.45 FEET; THENCE LEAVING SAID WEST RIGHT-OF-WAY LINE NORTH 88°26'50" WEST, 546.26 FEET; THENCE 31.14 FEET ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 20.00 FEET, A CENTRAL ANGLE OF 89°13'02" AND A LONG CHORD WHICH BEARS
NORTH 43°50'19" WEST, A DISTANCE OF 28.09 FEET; THENCE
NORTH 00°46'12" EAST, 70.22 FEET; THENCE 59.67 FEET ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 74.00 FEET, A CENTRAL ANGLE OF 46°11'54" AND A LONG CHORD WHICH BEARS
NORTH 22°19'45" WEST, A DISTANCE OF 58.06 FEET; THENCE

RE-RECORDED TO CORRECT LEGAL DESCRIPTION

NORTH 64°10'29" EAST 42.13 FEET; THENCE
NORTH 32°28'19" EAST 21.02 FEET; [redacted]
[redacted]; THENCE
NORTH 00°46'12" EAST, 1,102.47 FEET TO A POINT ON THE NORTH BOUNDARY LINE OF THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 24; THENCE ALONG SAID NORTH BOUNDARY LINE
SOUTH 88°36'31" EAST, 540.04 FEET TO THE REAL POINT OF BEGINNING.

APN:

TO HAVE AND TO HOLD the said premises, with their appurtenances, unto said Grantee, and to the Grantee's heirs and assigns forever. And the said Grantor does hereby covenant to and with the said Grantee, that the Grantor is the owner in fee simple of said premises; that said premises are free from all encumbrances except current years taxes, levies, and assessments, and except U.S. Patent reservations, restrictions, easements of record and easements visible upon the premises, and that Grantor will warrant and defend the same from all claims whatsoever.

The Rama Group, LLC, an Idaho Limited Liability Company

By: _____
Name: Kevin F. Amar
Title: Manager

STATE OF Idaho)
ss.
COUNTY OF Ada)

On this 1st day of October, 2015, before me, a Notary Public in and for said State, personally appeared **Kevin F. Amar**, known or identified to me to be the person whose name is subscribed to the within instrument as **Manager** of the **The Rama Group, LLC**, limited liability company, and acknowledged to me that such limited company executed same.

In witness whereof, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

DEEDRA STITH NOTARY PUBLIC STATE OF IDAHO

_____
Notary Public for the State of Idaho
Residing at: Boise, ID
My Commission Expires: 9/29/2017

STATE OF IDAHO, COUNTY OF ADA, ss.
I, Christopher D. Rich, Ada County Recorder, do hereby certify that the annexed is a full, true and correct copy of Instrument Number 2015-091292 as it appears in the recorded documents system of the Ada County Recorder.
State of Idaho, IN WITNESS WHEREOF, I have set my hand and affixed my official seal the day of October 2015
Christopher D. Rich, Recorder
Bonnie Oberbillig, Deputy Recorder

STATE OF IDAHO OF ADA COUNTY

3

ADA COUNTY RECORDER Christopher D. Rich
BOISE IDAHO Pgs=3 CHE FOWLER
FIRST AMERICAN TITLE AND ESCROW COMPANY
2015-091292
10/01/2015 02:49 PM
$16.00

AFTER RECORDING MAIL TO:

ADA COUNTY RECORDER Christopher D. Rich
BOISE IDAHO Pgs=3 BONNIE
IDAHO SURVEY GROUP
2015-098773
10/26/2015 01:54 PM
AMOUNT:$16.00

0015930220150098773003003 1

Emmett Partners, LLC
579 South Moss Hill Drive
Bountiful , UT 84010

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NORTH 22°19'45" WEST, A DISTANCE OF 58.06 FEET; THENCE

RE-RECORDED TO CORRECT LEGAL DESCRIPTION

Exhibit
B-5

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The Rama Group, LLC, an Idaho Limited Liability Company

By: _____

Name: Kevin F. Amar
Title: Manager

STATE OF Idaho)
ss.
COUNTY OF Ada)

On this 1st day of October, 2015, before me, a Notary Public in and for said State, personally appeared **Kevin F. Amar**, known or identified to me to be the person whose name is subscribed to the within instrument as **Manager** of the **The Rama Group, LLC**, limited liability company, and acknowledged to me that such limited company executed same.

In witness whereof, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

DEEDRA STITH NOTARY PUBLIC STATE OF IDAHO

_____
Notary Public for the State of Idaho
Residing at: Boise, ID
My Commission Expires: 9/29/2017

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I, Christopher D. Rich, Ada County Recorder, do hereby certify that the annexed is a full, true and correct copy of Instrument Number 2015-091292 as it appears in the recorded documents system of the Ada County Recorder.

State of Idaho IN WITNESS WHEREOF, I have set my hand and affixed my official Seal this October 20 15

Christopher D. Rich, Recorder

Bonnie Oberbillig, Deputy Recorder

STATE OF IDAHO OF ADA COUNTY

AERIAL PHOTO

Exhibit B-7.1

NORTH

VICINITY MAP

Exhibit
B-7.2

Paul Woods, President
Rebecca W. Arnold, Vice President
Sara M. Baker, Commissioner
Jim D. Hansen, Commissioner
Kent Goldthorpe, Commissioner

June 1, 2017

Amanda Ryan
BRS Architects
1010 S. Allante Pl. Ste. 100
Boise, ID 83709

RE: CIF17-0025 / 17-03-SUP / 1101 N. Meridian Rd. / Smoky Mountain Pizza
PLAN ACCEPTANCE

The District has reviewed the building plans for the above referenced project for assessment of impact fees. The District has no comment on the site improvements because all proposed improvements are outside of ACHD right-of-way. If the scope of work changes to include work within the right-of-way, the District will need to review and approve those changes.

Requirements Prior to Starting Work

1. Comply with all Standard Requirements of approval.
2. The impact fee must be paid prior to issuance of a building permit.

When Ready to Request ACHD Occupancy Sign-Off

1. Call 387-6380 and provide all information as shown in the header of this letter, i.e. the file number, site address, and the name of the project. Please include your name and return phone number.

Total Impact Fee due: $33,129.73

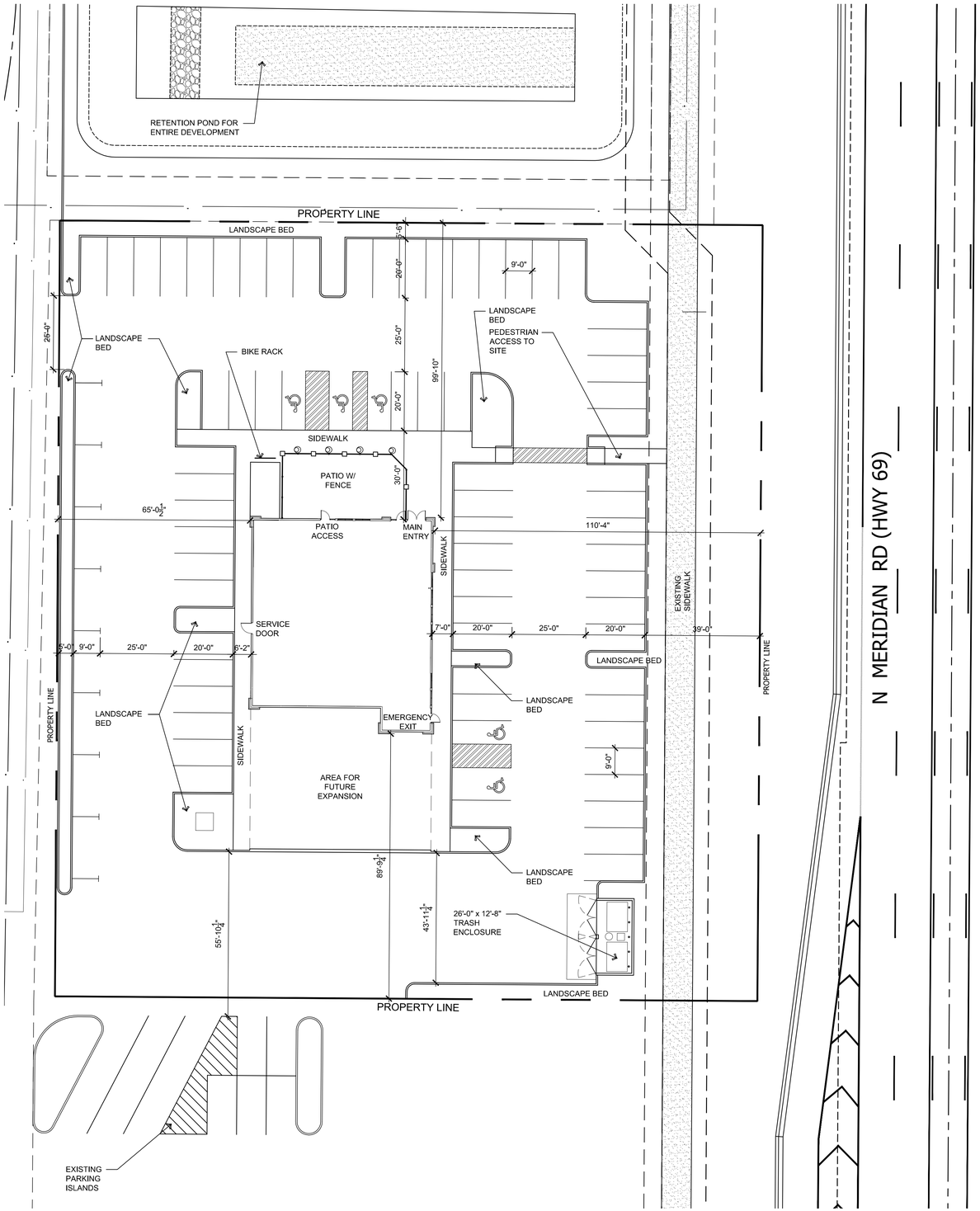
ACHD inspection is not required.

If you have any questions or concerns please feel free to contact me at (208) 387-6335.

Sincerely,

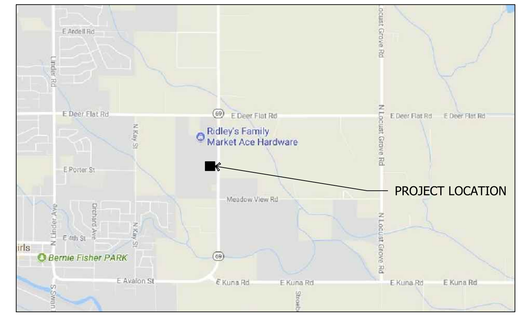
Austin Miller
Planner I
Development Services

cc: Project File



SITE PLAN

SCALE: 1" = 20'-0"



NORTH

VICINITY MAP

SCALE: N.T.S.

BIKE RACK

SITE EQUIPMENT

SCALE: N.T.S.

BUILDING / SITE DATA

SITE ZONING

ZONE: C-1
PARCEL: R2404320020

SITE AREA

1.437 ACRES

NEW BUILDING AREA

RESTAURANT 4,064 SF

LEGAL DESCRIPTION

ADDRESS:
1011 N MERIDIAN RD
KUNA, ID 83634

PARCEL DESCRIPTION:
LOT 02 BLK 01
ENSIGN SUB NO 01

PARKING REQUIREMENTS

4,064 SF RESTAURANT
1 PER 150 SF = 27.09 SPACES
28 SPACES REQUIRED

75 STANDARD SPACES PROVIDED
4 HANDICAP SPACES PROVIDED

79 TOTAL SPACES PROVIDED

DESIGN TEAM

ARCHITECT:

BRS ARCHITECTS
1010 S. ALLANTE PL. STE. 100
BOISE, ID 83709
PHONE: (208)336-8370
CONTACT: JULIE BENINTENDI

CIVIL ENGINEER

QUADRANT CONSULTING, INC.
1904 W OVERLAND RD
BOISE, ID 83705
PHONE: (208)342-0091
CONTACT: CHUCK CHRISTENSEN

LANDSCAPE ARCHITECT

STACK ROCK GROUP, LLC
404 S 8TH STREET, STE 154
BOISE, ID 83702
PHONE: (208)345-0500
CONTACT: JESSE BUSTER

ELECTRICAL ENGINEER

E2CO
8005 INDUSTRY WAY #350
MERIDIAN, ID 83642
PHONE: (208)378-4450
CONTACT: JEFF SMITH

1010 S. ALLANTE PL.
SUITE 100
BOISE, IDAHO 83709
(208) 336-8370
FAX (208) 336-8380

BRS ARCHITECTS

No.	Description	Date

PROPOSED DEVELOPMENT FOR:

Smoky Mountain PIZZERIA GRILL

1011 N. MERIDIAN ROAD
KUNA, IDAHO

DRAWN	JAB
DATE	11/20/17
CHECKED	
JOB NUMBER	14026

SITE PLAN

A1.0

DESIGN REVIEW

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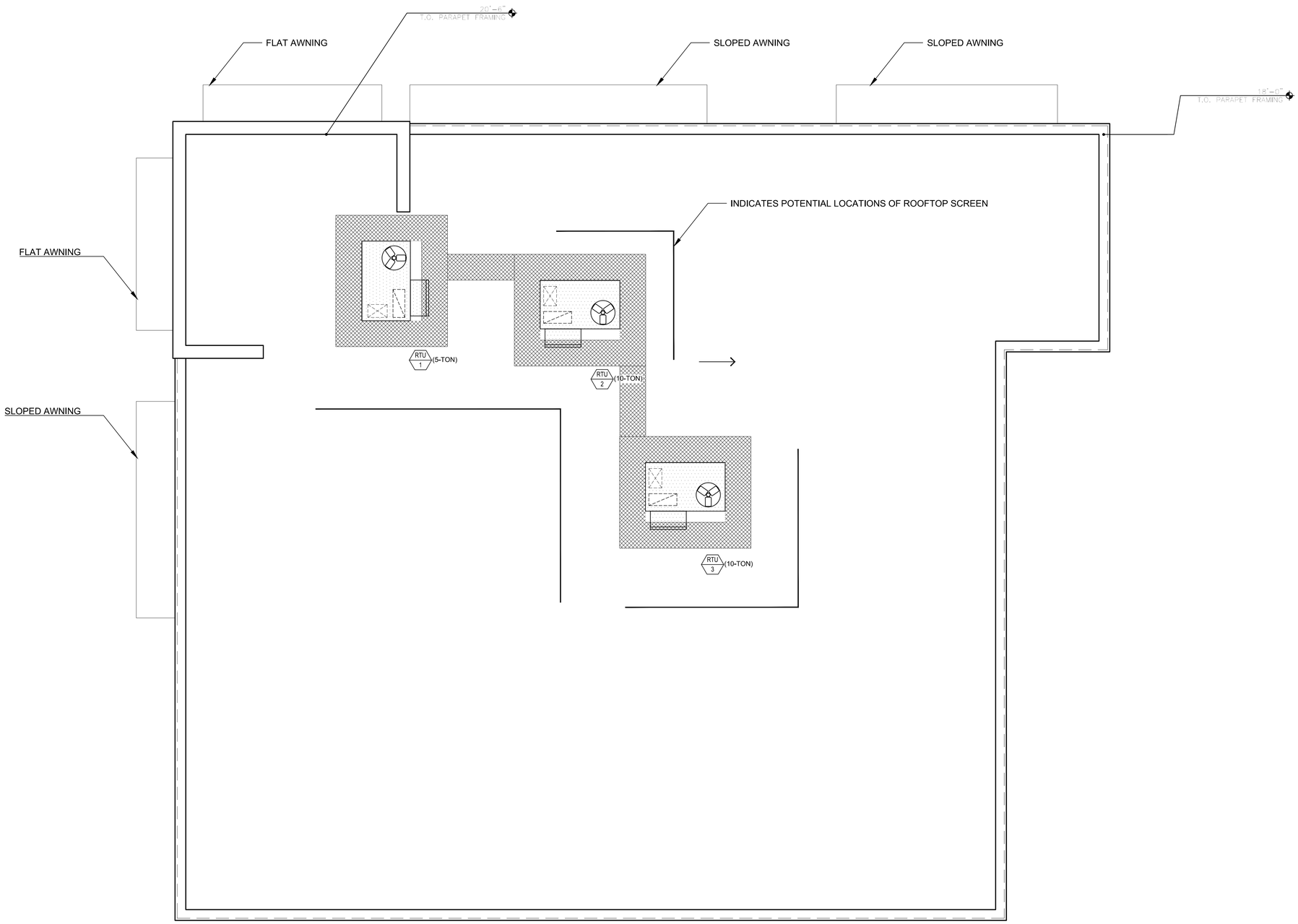
NOTES

1. MECHANICAL ROOFTOP UNIT SIZING AND LOCATION TO BE DETERMINED, SCHEMATIC LAYOUT SHOWN
2. SCREENING OF ROOF TOP UNITS TO BE SCREENED BY SECONDARY SCREEN METHOD TO MATCH STYLE OF BUILDING.



ROOF PLAN

SCALE: 1/4" = 1'-0"

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1010 S. ALLANTE PL.
SUITE 100
BOISE, IDAHO 83709
(208) 336-8370
FAX (208) 336-8380
BRS ARCHITECTS

No.	Description	Date

PROPOSED DEVELOPMENT FOR:
Smoky Mountain PIZZERIA GRILL
1011 N. MERIDIAN ROAD
KUNA, IDAHO

DRAWN	JAB
DATE	11/20/17
CHECKED	
JOB NUMBER	14026

ROOF PLAN

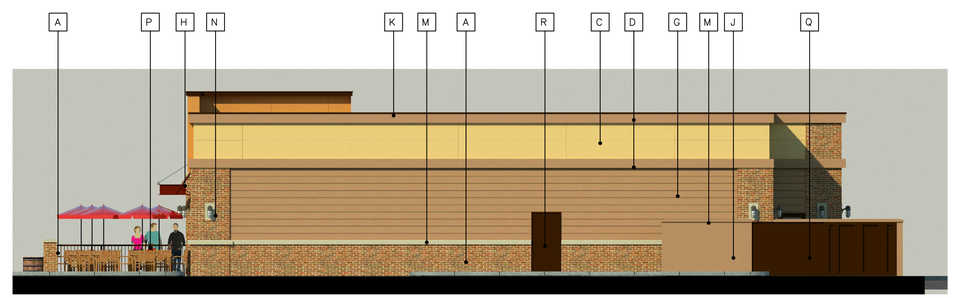
A1.1

DESIGN REVIEW

VIEW FROM THE NORTH EAST

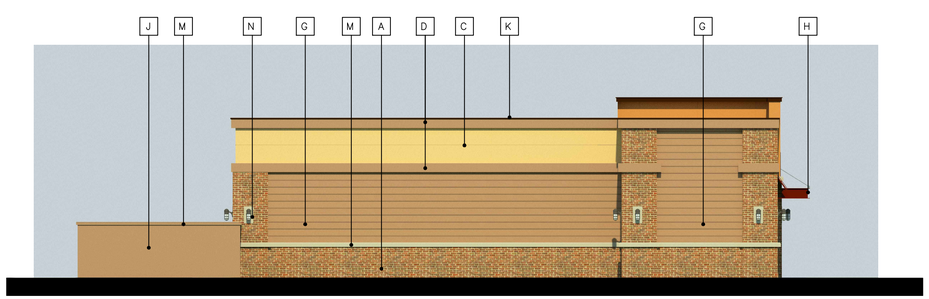
EAST ELEVATION

SCALE: 1/8" = 1'-0"



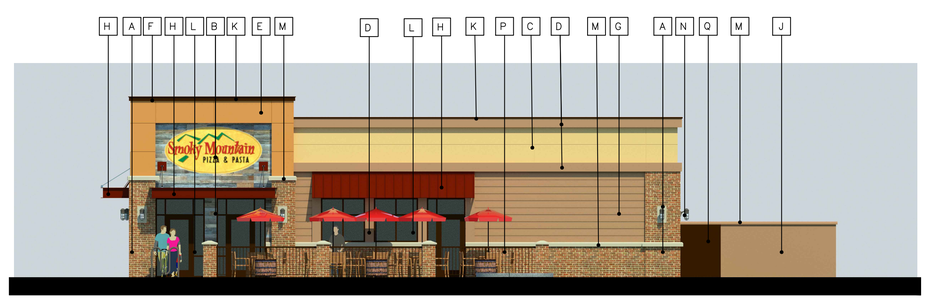
WEST ELEVATION WITH TRASH ENCLOSURE

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

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FINISHES

A BRICK VENEER. GLEN GERY. ABERDEEN.

B RECLAIMED BARN WOOD.

C EIFS. MEDIUM TEXTURE.
COLOR: BENJAMIN MOORE COLOR PREVIEW
2153-40 CORK

D EIFS. MEDIUM TEXTURE.
COLOR: BENJAMIN MOORE COLOR PREVIEW
HC-75 MARYVILLE BROWN

E EIFS. MEDIUM TEXTURE.
COLOR: BENJAMIN MOORE COLOR PREVIEW
2158-10 DRIED MUSTARD

F EIFS MEDIUM TEXTURE.
COLOR: BENJAMIN MOORE COLOR PREVIEW
2109-20 HEARTHSTONE BROWN

G HORIZONTAL SIDING. TEXTURE: SMOOTH.
COLOR: BENJAMIN MOORE COLOR PREVIEW
HC-75 MARYVILLE BROWN

H METAL AWNING. COLOR: BENJAMIN MOORE COLOR PREVIEW 2091-10 TEA.

J CONCRETE MASONRY BLOCK
COLOR: BENJAMIN MOORE COLOR PREVIEW
HC-75 MARYVILLE BROWN

K PREFINISHED GALVANIZED STEEL COPING.
COLOR: DARK BRONZE.

L ALUMINUM STOREFRONT COLOR: DARK BRONZE.

M PRECAST CONCRETE SILL.

N LIGHT FIXTURES.

P WROGHT IRON FENCING. COLOR: BLACK

Q METAL GATE. COLOR: BENJAMIN MOORE COLOR PREVIEW 2109-20 HEARTHSTONE BROWN

R H.M. DOOR. COLOR: BENJAMIN MOORE COLOR PREVIEW 2109-20 HEARTHSTONE BROWN

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No.	Description	Date

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DRAWN	JAB
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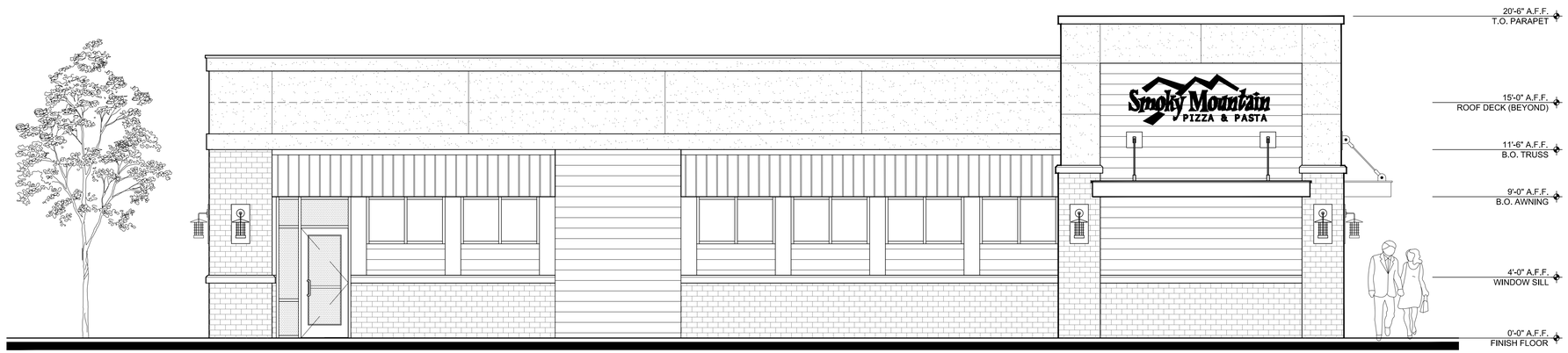
COLOR ELEVATIONS

A2.0

DESIGN REVIEW

NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

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1011 N. MERIDIAN ROAD
KUNA, IDAHO

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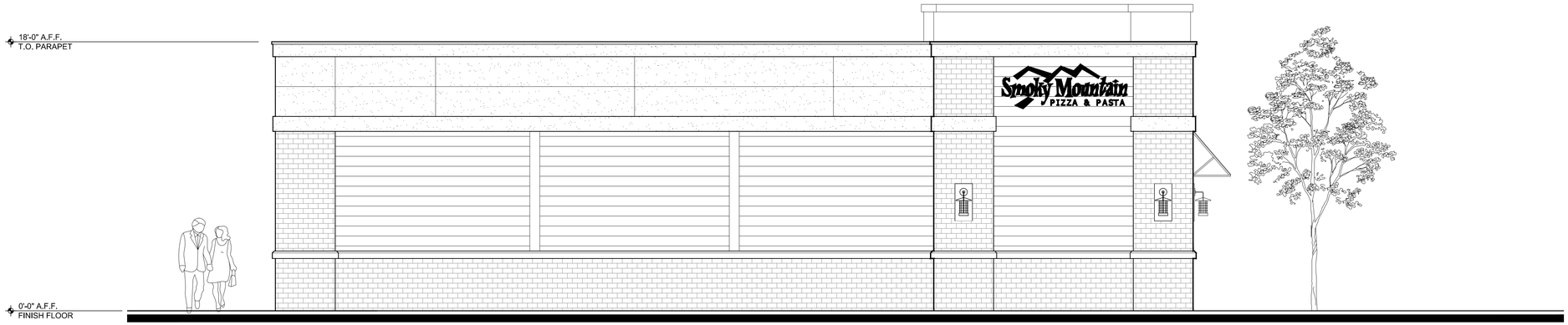
JOB NUMBER	14026

ELEVATIONS

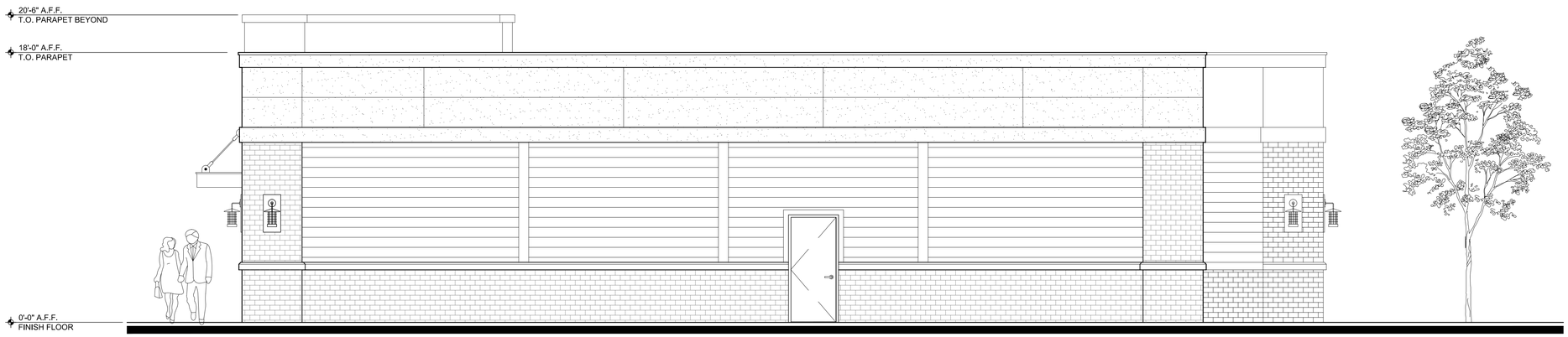
A2.1

DESIGN REVIEW



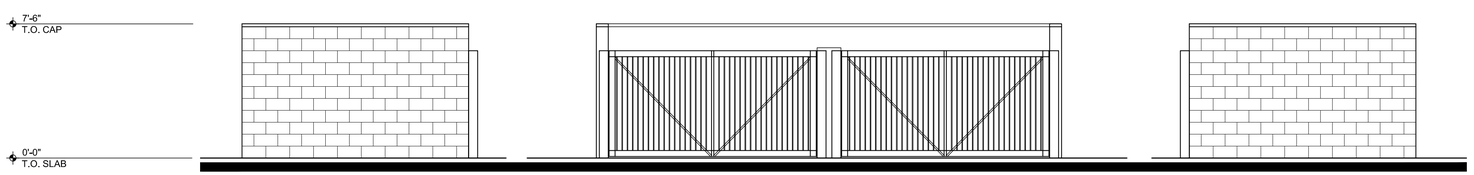
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



TRASH ENCLOSURE ELEVATIONS

SCALE: 1/4" = 1'-0"

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BRS ARCHITECTS

No.	Description	Date

PROPOSED DEVELOPMENT FOR:

Smoky Mountain PIZZERIA GRILL

1011 N. MERIDIAN ROAD KUNA, IDAHO

DRAWN	JAB
DATE	11/20/17
CHECKED	
JOB NUMBER	14026

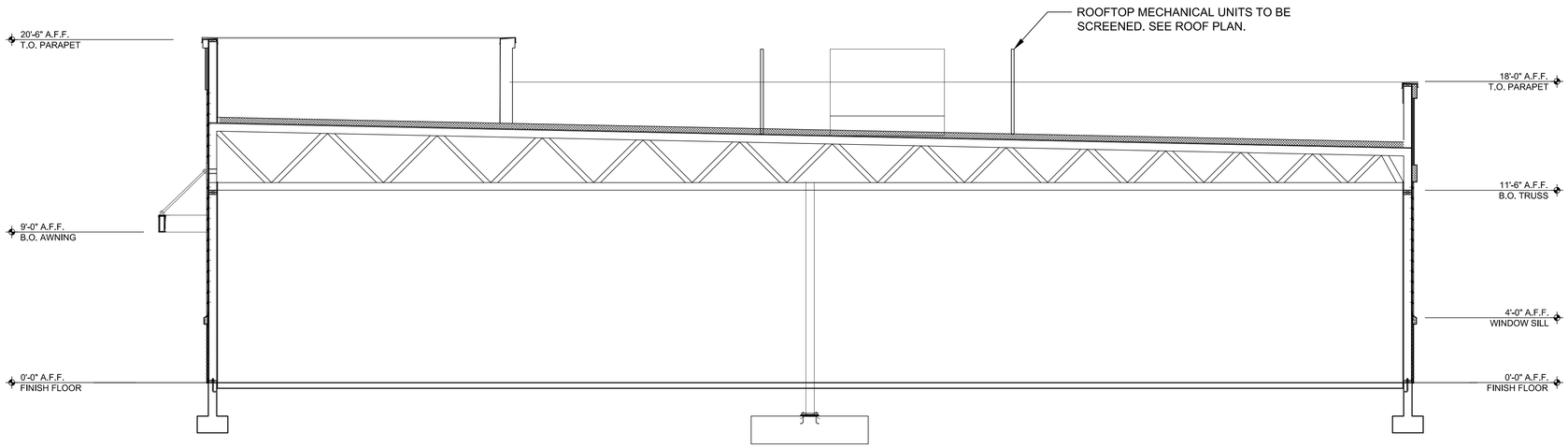
ELEVATIONS

A2.2

DESIGN REVIEW

NOTES

1. MECHANICAL ROOFTOP UNIT SIZING AND LOCATION TO BE DETERMINED
2. SCREENING OF ROOF TOP UNITS TO BE SCREENED BY SECONDARY SCREEN METHOD TO MATCH STYLE OF BUILDING.



SECTION 'A'

SCALE: 1/4" = 1'-0"

1010 S. ALLANTE PL.
SUITE 100
BOISE, IDAHO 83709
(208) 336-8370
FAX (208) 336-8380

BRS ARCHITECTS

No.	Description	Date

PROPOSED DEVELOPMENT FOR:

Smoky Mountain PIZZERIA GRILL

1011 N. MERIDIAN ROAD KUNA, IDAHO

DRAWN	JAB
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BUILDING SECTION

A3.1

DESIGN REVIEW

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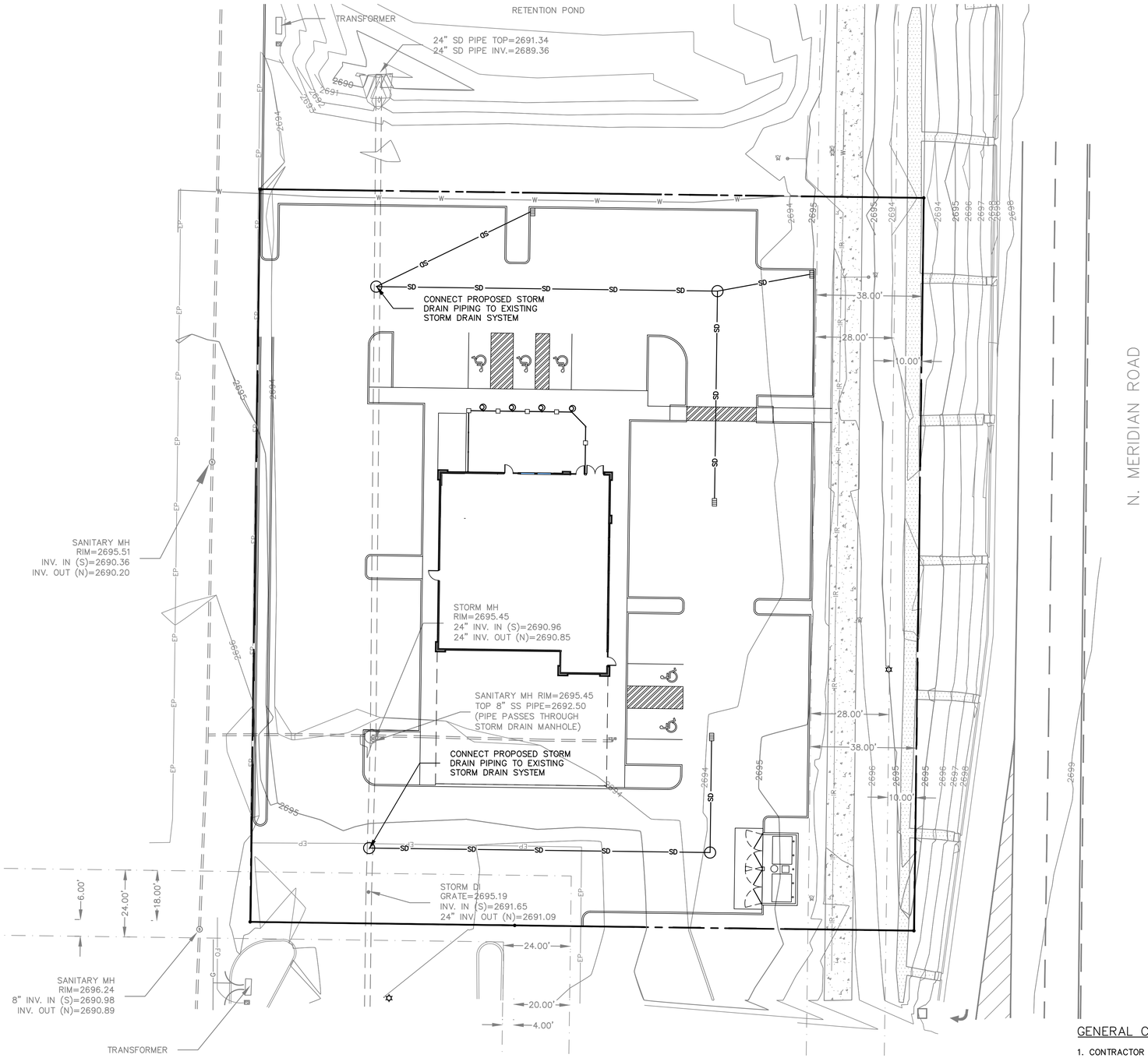

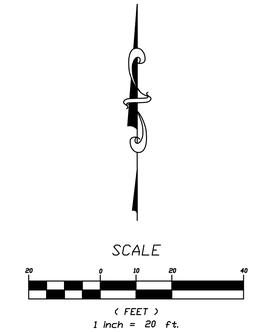

GENERAL CONSTRUCTION NOTES

1. CONTRACTOR SHALL VERIFY SITE CONDITIONS AND REPORT DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING WORK.
2. PERMITS AND REQUIRED INSPECTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
3. SITE WORK SHALL CONFORM TO THE CURRENT EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
4. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION. NO EXCEPTIONS TO DISTRICT POLICY, STANDARDS, AND THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING.
5. THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL CALL DIG LINE 48 HOUR PRIOR TO CONSTRUCTION (342-1585). ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AT THE COST OF THE CONTRACTOR.
6. CONTRACTOR IS REQUIRED TO FILE ALL NOTICES OF INTENT AND NOTICES OF TERMINATION WITH THE ENVIRONMENTAL PROTECTION AGENCY AS REQUIRED.
7. PAVEMENT MARKINGS DAMAGED OR OBLITERATED DURING CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR.
8. TRAFFIC CONTROL, IF REQUIRED, IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE SUBMITTED TO THE APPROPRIATE AGENCY FOR APPROVAL.
9. THIS PLAN SET IS STRICTLY FOR GRADING, DRAINAGE AND UTILITY INSTALLATION AND IS NOT INTENDED TO SERVE ANY OTHER PURPOSE. NO REPRESENTATION, NEITHER IMPLICIT NOR EXPLICIT, IS MADE THAT THESE PLANS MEET ANY OTHER REQUIREMENTS, STANDARDS, OR SPECIFICATIONS.
10. THE PROPERTY BOUNDARY SHOWN ON THIS MAP IS BASED ON PREVIOUSLY RECORDED INFORMATION AND FIELD MEASUREMENTS; HOWEVER, NO PROPERTY PINS HAVE BEEN SET AND NO RECORD OF SURVEY HAS BEEN FILED.
11. THE CONTRACTOR SHALL HAVE PLANS STAMPED "APPROVED FOR CONSTRUCTION" BY THE CITY OF KUNA PUBLIC WORKS DEPT. ON SITE AT ALL TIMES.
12. ANY CHANGE FROM THESE PLANS SHALL BE APPROVED BY THE DESIGN ENGINEER.

Quadrant Consulting, Inc.
1904 W. Overland Rd
Boise, Idaho 83705
(208) 342-0091 PHONE (208) 342-0092 FAX
CIVIL ENGINEERING-SURVEYING

PROFESSIONAL ENGINEER REGISTERED 6499 STATE OF IDAHO CHUCK CHRISTENSEN 11/20/2017

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(208) 336-8370
FAX (208) 336-8380
BRS ARCHITECTS

No.	Description	Date

PROPOSED DEVELOPMENT FOR:

Smoky Mountain PIZZERIA GRILL

1011 N. MERIDIAN ROAD KUNA, IDAHO

DRAWN	CEC
DATE	11/20/17
CHECKED	
JOB NUMBER	14026

CONCEPTUAL GRADING PLAN

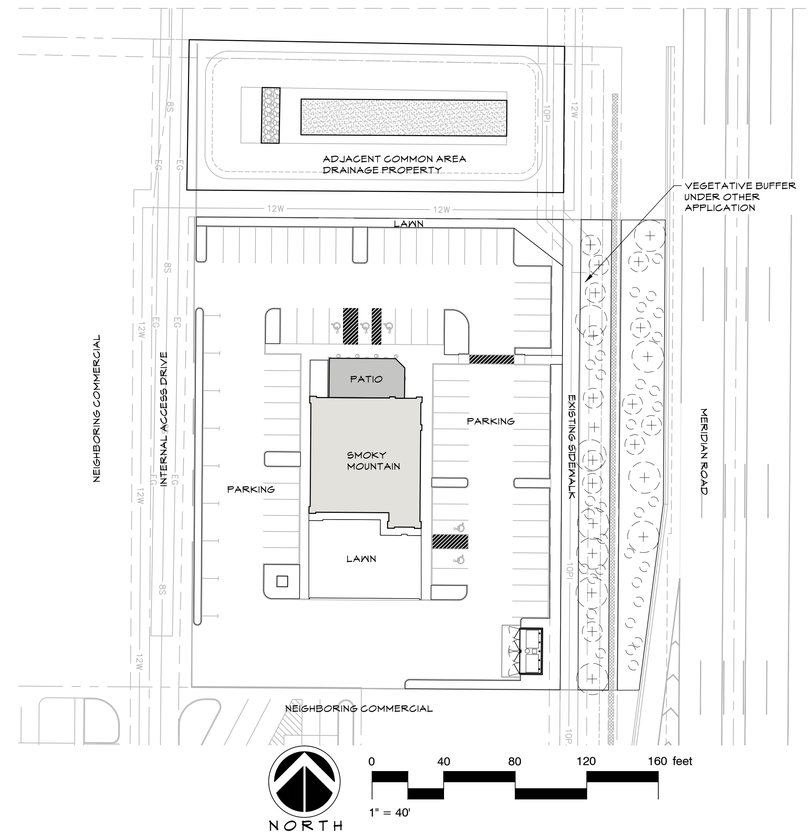
SD-1

DESIGN REVIEW

LANDSCAPE NOTES:

1. REGULATIONS & STANDARDS
   1.1. All contractor work shall be conducted in accordance with ISPWC (Idaho Standard Public Works Construction), 2017; and City of Kuna, ID codes, standards and state and local regulations.
2. EXISTING CONDITIONS
   2.1. All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense.
   2.2. The site has many existing improvements such as underground utilities, curb and gutter, light poles and sidewalks.
   2.3. See Engineer's plans for information about existing features; all drainage pipes and locations. Protect and retain drainage at all times.
3. GRADING & SITE PREPARATION
   3.1. Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".
   3.2. All gravel overprep to be removed and disposed of off site.
   3.3. Finish grade to be smooth transition to allow for entire site to be a natural flowing space.
   3.4. Fine grade lawn areas to elevations set by Engineer's plans with positive drainage away from structures.
   3.4.1. Refer to Engineer's plans for grading information & for all drainage pipes and locations. Protect and retain drainage at all times.
   3.5. No pooling or standing water will be accepted per industry standards.
4. SOILS
   4.1. All planter beds to receive a minimum of 18" depth of screened topsoil. Spread, compact, and fine grade to smooth and uniform grade 2" below adjacent surfaces.
   4.2. All lawn areas to receive a minimum of 12" depth of screened topsoil. Spread, compact, and fine grade topsoil to a smooth uniform grade 1" below adjacent surfaces.
   4.3. All seeded areas to receive a minimum of 6" of screened topsoil. Spread, compact and fine grade topsoil to smooth and uniform grade ½" below adjacent surfaces.
   4.4. Reuse of existing topsoil that has been stockpiled on site is permitted if:
   4.4.1. Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests. And
   4.4.2. Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.
   4.4.3. Topsoil should have a ph of 6 to 8.5.
   4.4.4. If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving onsite topsoil per the approval of the project manager.
   4.5. If imported topsoil is used it must be from a local source and be screened free of any debris or foreign matter. Topsoil must not contain rocks, sticks, lumps, or toxic matter.
   4.6. Smooth, compact, and fine grade topsoil in lawn areas to smooth and uniform grade .5" below adjacent surfaces.
   4.7. Prepare finish grade of topsoil to elevations set by Engineer's plans with positive drainage away from structures. Refer to Civil Engineer's plans for grading information.
   4.8. Amend soil for all new plantings with 2 parts topsoil and 1 part compost
5. PLANTER BED MULCH
   5.1. All planter beds to receive 3" depth of black and tan mini rock mulch or approved equal, submit for approval prior to placement.
   5.2. Install over commercial grade weed-barrier fabric, per manufacturer recommendations.
6. LAWN AREAS
   6.1. Sodded, to be tall turf-type fescue or approved equal per approved by owner, regionally grown, provide same mix as seeded or approved equal (above), to be installed 6 weeks min prior to opening date.
   6.2. Lay sod within 24 hrs of harvesting. Lay sod to form a solid mass with offset, tightly fitted joints on even grades.
   6.3. Strip, repair and replace dead sod as needed
   6.4. All lawn edges next to planter beds have a cut edge.
7. PLANTS
   7.1. All plant material shall be installed per industry standards.
   7.2. All plant material shall meet or exceed the minimum federal standards as regulated by ANSI Z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.
   7.3. All trees to be installed per planting detail 1/L101.
   7.4. All shrubs to be installed per planting detail 2/L101.
   7.5. Trees and shrubs over 36" shall not be planted within clear vision triangles per city code.
   7.6. All trees shall not be planted within the 10' clear zone of all ACHD (Ada County Highway District) storm drain pipe, structures, or facilities.
   7.7. Fertilize all trees and shrubs with 'Agriform' planting tablets or approved equal. Apply per manufacturers recommendations.
8. IRRIGATION
   8.1. Irrigation system shall be built to the following specifications:
   8.1.1. Adhere to city codes when connecting to city water.
   8.1.2. All irrigation material to be new with manufacturers' warranty fully intact.
   8.1.3. Install outdoor rated controller to be located as indicated on plan; behind trash enclosure, coordinate with project manager and site electrician on exact location.
   8.1.3.1. Install inside steel lock box with (2) keys.
   8.1.3.2. Controller to have On/Off rain switch or rain shut off device that does not alter program.
   8.1.4. All remote control valves (including master control valve) to have flow control device.
   8.1.5. Irrigation system piping to be minimum class 200 PVC or approved equal, sleeves to be double the size of pipes located within, all wires to be contained in separate sleeves 1-1/2" dia min.
   8.1.6. Use common trenching where possible..
   8.1.7. All PVC located under hardscapes to be schedule 40 PVC with same req's as above.
   8.1.8. All mainline pipe and wires to be buried a minimum of 18" and all lateral piping to be buried a minimum of 12" below grade.
   8.1.9. All wires to be 14 gauge direct bury wire at a minimum. Size wire for correct voltage loss.
   8.1.10. Supply a minimum of (2) spare wires to furthest valves from controller in all directions.
   8.1.11. Sprinkler heads shall have amatched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.
   8.1.12. Contractor is responsible complying with all codes and paying all permits necessary.
   8.1.13. Sprinkler heads shall have matched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.
   8.1.14. Water schedule to be provided at a min of 80% evapotranspiration as determined by the local ET.
9. CONTRACTOR RESPONSIBILITIES
   9.1. Estimated quantities are shown for general reference only. Contractor shall be responsible for all quantity estimates.
   9.2. Refer to note 2.1 regarding damages to existing utilities & permitting note in irrigation section.
   9.3. All plant material and workmanship shall be guaranteed for a period of one year beginning at the date of Acceptance by Owner. Replace all dead or unhealthy plant material immediately with same type and size at no cost to Owner.
10. In the event of a discrepancy, notify the General Contractor.

PROJECT SITE:



LANDSCAPE REQUIREMENTS:

LANDSCAPE BUFFERS ABUTTING PUBLIC STREETS:

*STREET TREE SPACING: 1SHADE TREES/ 35LF' 5 SHRUBS/35LF
*15' MIN SPACING FROM BACK OF SIDEWALK
*NO TREES OR SHRUBS OVER 36" TO BE PLANTED WITHIN CLEAR VISION TRIANGLE
*ONLY CLASS I TREES FROM RECOMMENDED PLANT LIST MAY BE LOCATED UNDER OVERHEAD UTILITY LINES
*TREE SPACING PER 100 LF FOR BUFFERS: 2 SHADE TREES, 3 EVERGREEN TREES AND 12 SHRUBS
*NO TREES OR SHRUBS OVER 36" TO BE PLANTED WITHIN CLEAR VISION TRIANGLE
*ONLY CLASS I TREES FROM RECOMMENDED PLANT LIST MAY BE LOCATED UNDER OVERHEAD UTILITY LINES

NOTE:
*SEE DEVELOPMENT LANDSCAPE PLANS WHICH PROVIDE R.O.W./STREET BUFFERING LANDSCAPE REQUIREMENTS, APPROVED QUANTITY OF SHRUBS AND TREES

PARKING LOT LANDSCAPING:

* 1 SHADE TREE PER TERMINAL PLANTER/ PLANTER ISLAND
* PERIMETER SCREENING SHALL PROVIDE 1 TREE & 5 SHRUBS PER 35 LF

PARKING LOT TREES REQUIRED: 10 PROVIDED: 10
NOTE:
*MERGE PARKING REQUIREMENTS ON TREES AND SHRUBS WITH PROPOSED LANDSCAPE SCREENING FROM DEVELOPMENT, NO ADDITIONAL TREES, PROVIDED.

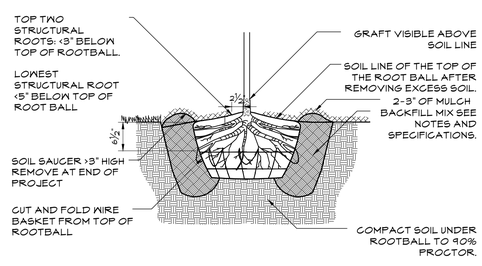
ADDITIONAL REQUIREMENTS:

PLANTING SIZING:

PLANT	MINIMUM SIZE
SHADE TREE	2" CALIPER
ORNAMENTAL TREE	2" CALIPER
EVERGREEN TREE	6' HEIGHT
NOODY SHRUBS	2 GALLON

*"TREES SHALL NOT BE PLANTED WITHIN 10' OF ACHD STORM DRAIN PIPE, STRUCTURES OR FACILITIES"
*SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM
*NO TREES OR SHRUBS OVER 36" HIGH SHALL BE PLANTED WITHIN THE CLEAR VISION TRIANGLES

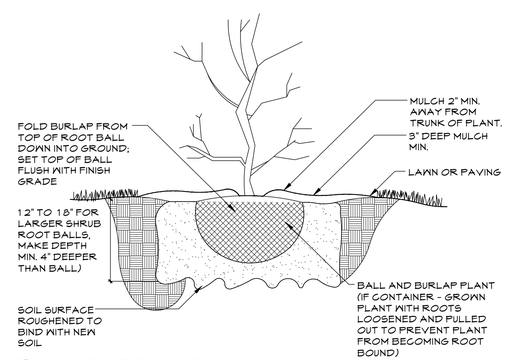
NOTES:
1. DO NOT DAMAGE OR CUT LEADER
2. DO NOT DISTURB ROOT OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES.
3. TREE STAKING SHALL BE AT THE DISCRETION OF CONTRACTOR. HOWEVER ANY TREES DISTURBED FROM PLUMB DURING THE PLANT WARRANTEE PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
4. WATER PLANTS THOROUGHLY IMMEDIATELY AFTER INSTILLATION.
5. REMOVE ALL BURLAP, TWINE, ROPE, OR MATERIAL FROM THE TOP ⅔ OF THE ROOTBALL.
6. 5' DIAMETER PLANTER BED/MULCH RING AROUND THE TRUNK OF THE TREE. 3" OF MULCH MIN. DO NOT PLACE MULCH WITHIN 2" OF TRUNK OF TREE.



1 BALL AND BURLAP TREE PLANTING
3/4" = 1'-0" 329343.13-01

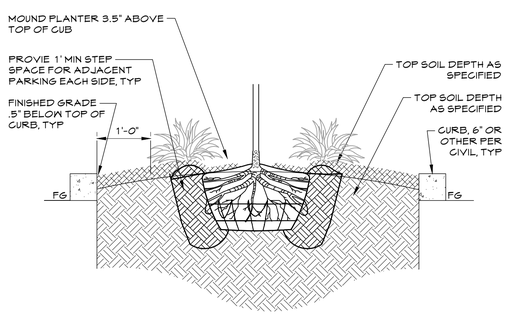
NOTE:
REMOVE ALL TAGS, TWINE OR OTHER NON BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS.

BACKFILL SHALL BE 100% TOPSOIL. WATER SETTLE ALL PLANTINGS TO ENSURE PLANT ROOTBALL MAINTAINS ¾" HEIGHT ABOVE EXISTING SOILS WHEN COMPLETE.



2 SHRUB PLANTING
1" = 1'-0" 329333-01

NOTE:
*CURB & ADJACENT PAVEMENT PER CIVIL OR HARDSCAPE PLANS
*TREE & SHRUB TO BE INSTALLED PER RESPECTIVE DETAILS
*PLANTS & MULCH PER PLAN



3 PLANTER ISLAND DETAIL
3/4" = 1'-0" 329343.54-02

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STACK ROCK GROUP

STACK ROCK GROUP, INC.
LANDSCAPE ARCHITECTURE/ MASTER PLANNING

WILLET C HOWARD, PLA
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WILL@STACKROCKGROUP.COM
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STATE OF IDAHO
WILLET C. HOWARD
LA-16733
11.20.17
LICENSED LANDSCAPE ARCHITECT
FOR CITY REVIEW ONLY

1010 S. ALLANTE PL.
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(208) 336-8370
FAX (208) 336-8380

BRS ARCHITECTS

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Smoky Mountain PIZZERIA GRILL
1011 N. MERIDIAN ROAD
KUNA, IDAHO

DRAWN	CJW
DATE	11/20/17
CHECKED	
JOB NUMBER	14026

LANDSCAPE OVERVIEW PLAN

L101

DESIGN REVIEW

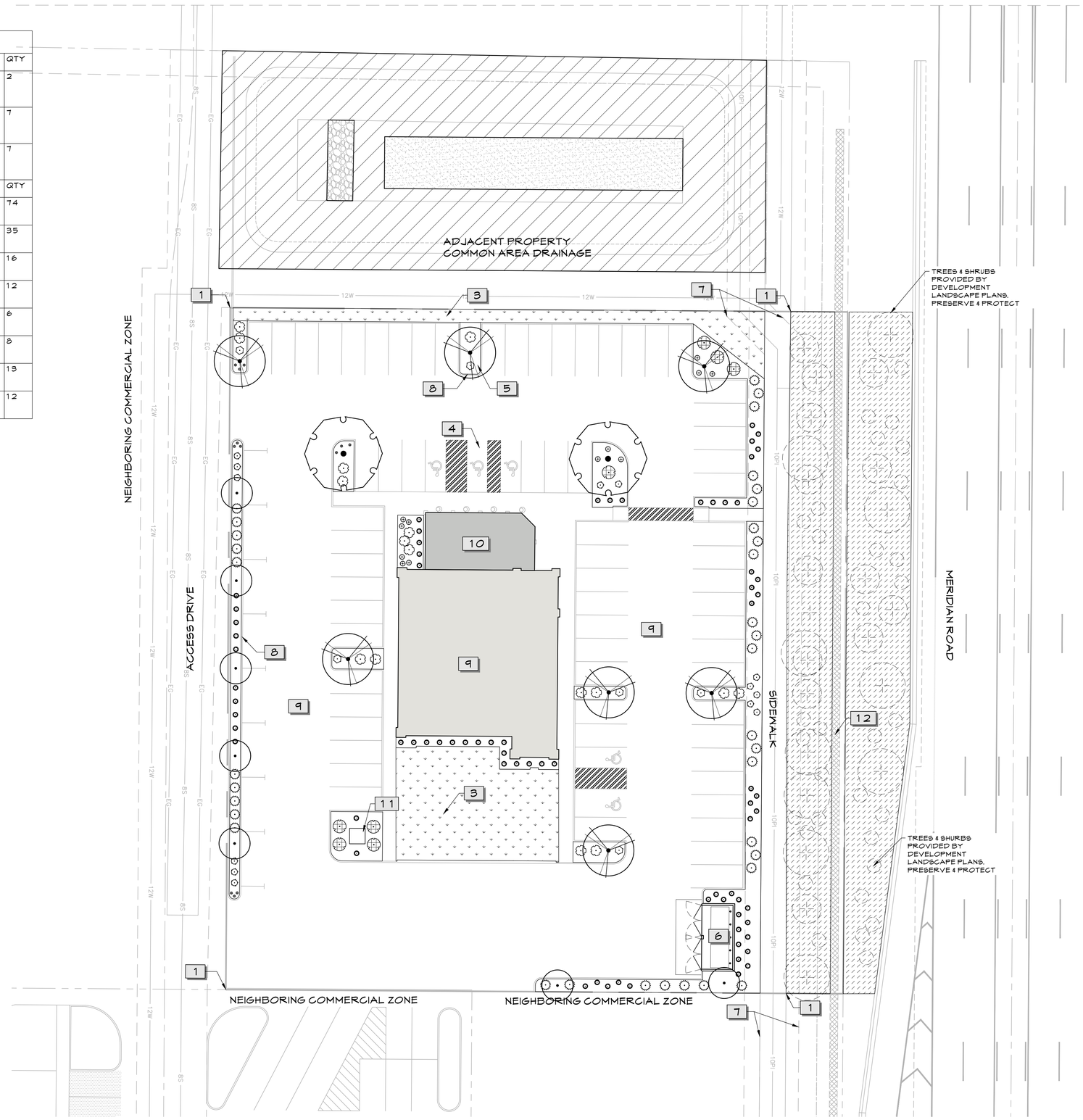
PLANT SCHEDULE				
TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
	Fraxinus pennsylvanica `Autumn Purple` / Autumn Purple Ash	B & B	2"Cal	2
	Gleditsia triacanthos inermis `Shademaster` TM / Shademaster Locust	B & B	2"Cal	7
	Pyrus calleryana `Chanticleer` / Chanticleer Pear	B & B	2"Cal	7
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT		QTY
	Calamagrostis x acutiflora `Karl Foerster` / Feather Reed Grass	1 gal		74
	Cornus alba `Creme de Mint` / Tatarian Dogwood	2 gal		35
	Juniperus horizontalis `Blue Rug` / Blue Rug Juniper	2 gal		16
	Lavandula angustifolia `Hidcote Blue` / Hidcote Blue Lavender	2 gal		12
	Muhlenbergia capillaris `Lenca` / Regal Mist Pink Muhly	1 gal		6
	Rhus aromatica `Gro-Low` / Gro-Low Fragrant Sumac	2 gal		8
	Rosa x `Double Knockout` / Rose	2 gal		13
	Salvia x `May Night` / May Night Sage	1 gal		12

REFERENCE NOTES SCHEDULE	
CODE	DESCRIPTION
1	PROPERTY BOUNDARY
2	NEW BUILDING. REFERENCE ARCHITECTURAL
3	LAWN, SOD, TALL TURF TYPE FESCUE OR APPROVED EQUAL
4	ADA PARKING SPACE. REFERENCE ARCHITECTURAL
5	PLANTER ISLANDS PER DETAIL, MULCH PER LANDSCAPE NOTES L101
6	TRASH ENCLOSURE. REFERENCE CIVIL/ARCHITECTURAL
7	IRRIGATION EASEMENT. REFERENCE CIVIL
8	6" CURB AT ALL PLANTER LOCATIONS ADJACENT TO VEHICULAR ACCESS
9	PARKING LOT. REFERENCE CIVIL
10	PATIO. REFERENCE ARCHITECTURAL
11	UTILITIES. KEEP VEGETATION FREE AND CLREA WITHIN 2' ON ALL SIDES AND 10' FROM FRONT OF UTILITY BOX. FIELD ADJUST AS NECESSARY. REFERENCE CIVIL
12	DRAINAGE STRUCTURES (SEEPAGE BED DRAIN PIPE ETC.) NO TREES WITHIN 10'. REFERENCE CIVIL.

LEGEND:

TALL TURF TYPE FESCUE

TREES & SHRUBS UNDER OTHER APPLICATION. PRESERVE & PROTECT



NORTH

0 20 40 60 80 feet

1" = 20'

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NOT FOR CONSTRUCTION
PRELIMINARY
STATE OF IDAHO
WILLET C. HOWARD
LICENSED LANDSCAPE ARCHITECT
LA-16733
11.20.17
FOR CITY REVIEW ONLY

STACK ROCK GROUP

STACK ROCK GROUP, INC.
LANDSCAPE ARCHITECTURE/ MASTER PLANNING

WILLET C HOWARD, PLA
OFFICE: (208) 345.0500
EMAIL:
WILL@STACKROCKGROUP.COM
WWW.STACKROCKGROUP.COM

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1010 S. ALLANTE PL.
SUITE 100
BOISE, IDAHO 83709
(208) 336-8370
FAX (208) 336-8380

BRS ARCHITECTS

No.	Description	Date

PROPOSED DEVELOPMENT FOR:

Smoky Mountain PIZZERIA GRILL

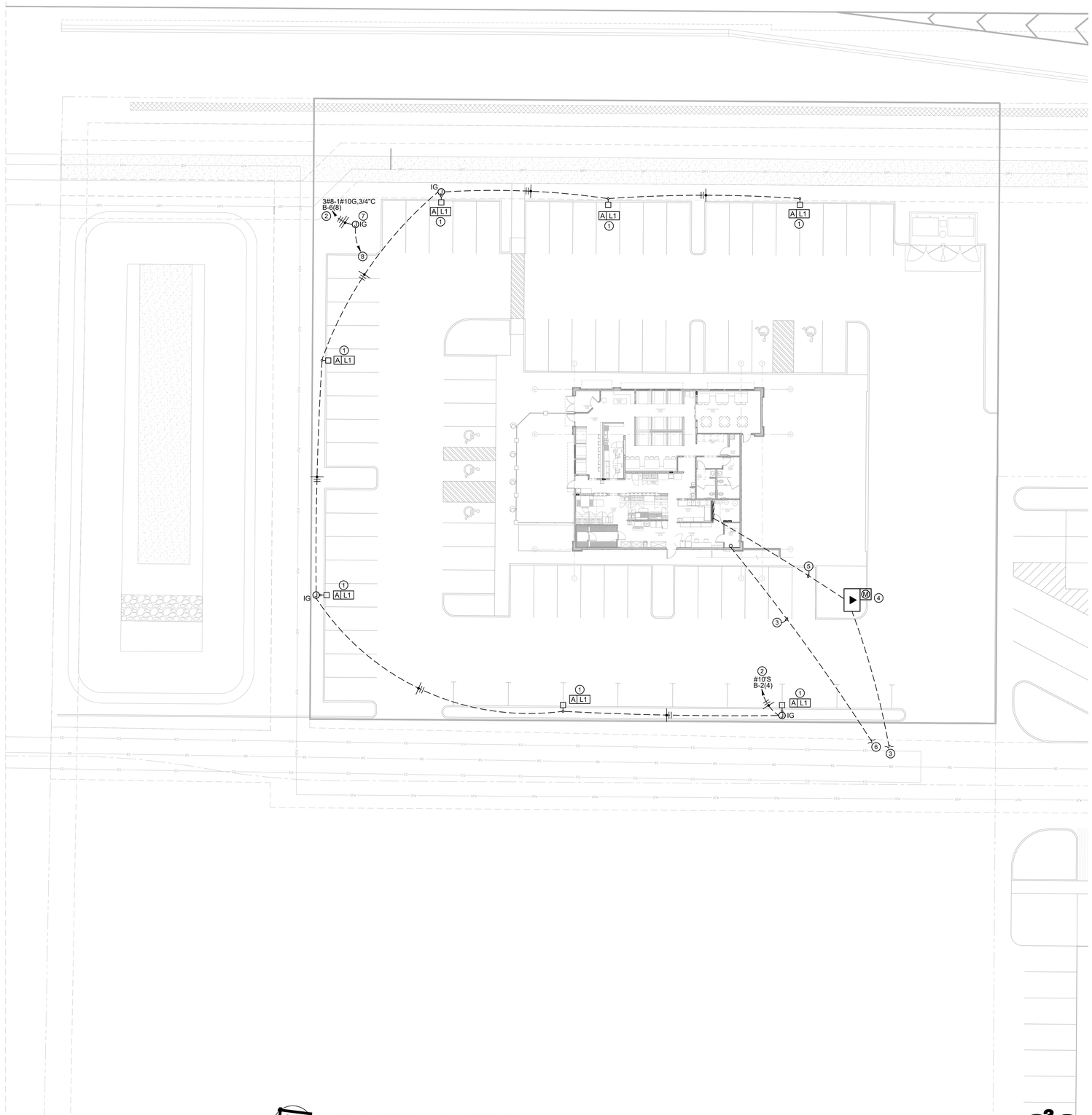
1011 N. MERIDIAN ROAD KUNA, IDAHO

DRAWN	CJW
DATE	11/20/17
CHECKED	
JOB NUMBER	14026

PRELIMINARY LANDSCAPE PLAN

L102

DESIGN REVIEW



GENERAL NOTES:

1. COORDINATE ALL UNDERGROUND SITE WORK WITH OTHER DISCIPLINES TO AVOID REWORK.
2. ALL IN-GRADE JUNCTION BOXES TO BE FIBERGLASS 12"x12"x18" DEEP. WITH LID LABELED 'ELECTRICAL'. FINISH ELEVATION OF TOP OF LID TO BE FLUSH WITH FINISHED GRADE; UNLESS NOTED OTHERWISE.
3. ALL PENETRATIONS THROUGH SLAB ARE TO BE SCOTCH WRAP RIGID CONDUIT OR PVC COATED RIGID CONDUIT.
4. ALL UNDERGROUND CONDUIT SHALL BE 1" SCHEDULE 40 PVC; UNLESS NOTED OTHERWISE.
5. UTILIZE JOINT TRENCH WITH IDAHO POWER COMPANY FOR ROUTING OF COMMUNICATION CONDUITS TO PEDESTALS NEAR IDAHO POWER CO. TRANSFORMERS.
6. SEE TRENCH DETAIL ON DETAIL SHEET(S) FOR INSTALLATION OF ALL UNDERGROUND CONDUITS.
7. COORDINATE LOCATION OF POWER, CABLE, AND TELECOMMUNICATION UTILITIES WITH THE LOCAL UTILITY COMPANY PRIOR TO ROUGH-IN OF THE UTILITY CONDUITS.

KEYED NOTES:

1. POLE LIGHT AND BASE; SEE BASE DETAIL ON SHEET E3.0.
2. ROUTE CIRCUIT THROUGH LIGHTING CONTROL PANEL.
3. NEW UNDERGROUND PRIMARY BY IDAHO POWER CO. SEE SHEET E3.0 FOR FURTHER INFORMATION. COORDINATE LOCATION WITH UTILITY COMPANY PRIOR TO ROUGH-IN.
4. NEW PAD MOUNTED TRANSFORMER, PAD AND METER BY IDAHO POWER CO. COORDINATE LOCATION WITH UTILITY COMPANY PRIOR TO ROUGH-IN.
5. UNDERGROUND SECONDARY BY DIVISION 16, SEE ONE-LINE DIAGRAM ON SHEET E3.0 FOR CONDUIT AND CONDUCTOR SIZING. ALL 90'S ARE TO BE 24" LONG SWEEP TYPE.
6. (1) 4" EMPTY CONDUIT FOR TELECOMMUNICATIONS AND (1) 2" EMPTY CONDUIT FOR CATV, STUB CONDUITS TO EDGE OF PROPERTY LINE AS INDICATED, CAP, MARK AND PROVIDE PULL LINE. STUB CONDUITS 6" AFF BELOW TTB. ALL 90 DEG. BENDS SHALL BE FACTORY BENT LONG SWEEPING 90'S. COORDINATE LOCATION WITH UTILITY COMPANY PRIOR TO ROUGH-IN.
7. CONNECTION TO MONUMENT SIGN; COORDINATE CONNECTION WITH MONUMENT SIGN.
8. ROUTE (1) 1" CONDUIT FOR READER BOARD OF MONUMENT SIGN TO TELEPHONE TERMINAL BOARD.

NORTH

ELECTRICAL SITE PLAN

SCALE: 1" = 20'-0"

e2co
electricalengineeringcompany
engineering 4 tomorrow
world wide web: e2co.com
800 s. industry way, suite 350
meridian, idaho 83642
phone: 208.378.4450
fax: 208.378.4451
e2co project #: 17053

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PROFESSIONAL ENGINEER REGISTERED 10609 STATE OF IDAHO JOHN W. VAN STONE

1010 S. ALLANTE PL.
SUITE 100
BOISE, IDAHO 83709
(208) 336-8370
FAX (208) 336-8380
BRS ARCHITECTS

No.	Description	Date

PROPOSED DEVELOPMENT FOR:
Smoky Mountain PIZZERIA GRILL
1011 N. MERIDIAN ROAD
KUNA, IDAHO

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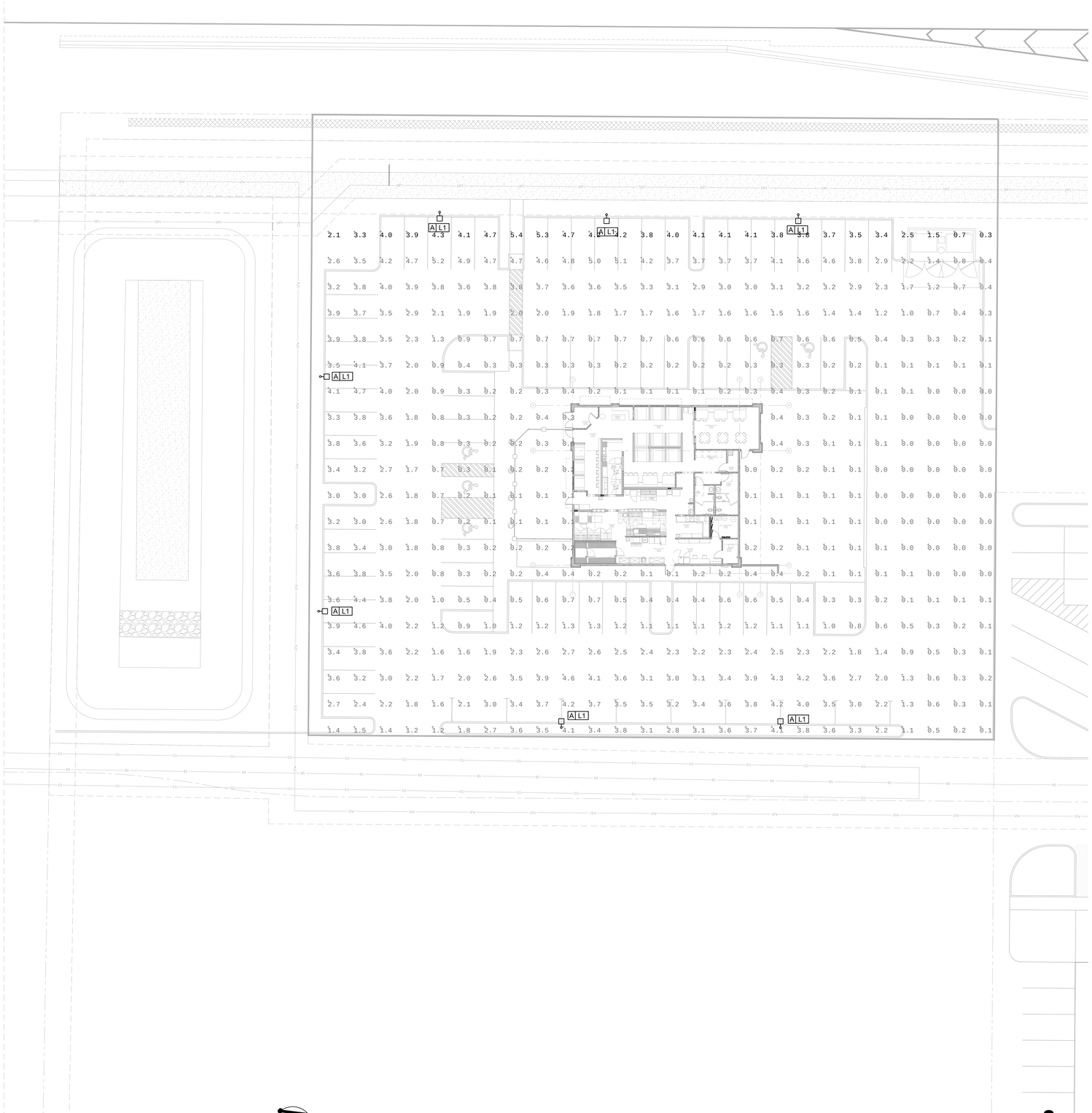
ELECTRICAL SITE PLAN

E1.0

DESIGN REVIEW



ELECTRICAL SITE PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"

NORTH

e2co
electricalengineeringcompany
engineering 4 tomorrow

world wide web: e2co.com
800 s. industry way, suite 350
meridian, idaho 83642
phone: 208.378.4450
fax: 208.378.4451
e2co project #: 17053

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PROFESSIONAL ENGINEER
REGISTERED
10609
STATE OF IDAHO
JON W. VAN STONE
11/28/17

1010 S. ALLANTE PL.
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BOISE, IDAHO 83709
(208) 336-8370
FAX (208) 336-8380

BRS ARCHITECTS

No.	Description	Date

PROPOSED DEVELOPMENT FOR:

Smoky Mountain PIZZERIA GRILL

1011 N. MERIDIAN ROAD
KUNA, IDAHO

DRAWN	CNG
DATE	11/17/17
CHECKED	
JOB NUMBER	14026

DESIGN REVIEW

E1.1

City of Kuna

Design Review Staff Report

P.O. Box 13
Kuna, ID 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.Id.gov

To: **Planning and Zoning Commission (acting as Design Review Committee)**

Case Numbers: 17-28-DR (Design Review) & 17-23-SN (Sign); Taco Bell

Location: 985 N Meridian Road., Kuna, ID 83634

Planner: Jace Hellman, Planner I

Meeting Date: December 12, 2017

Applicant: Stan Nicolaysen
PO Box 607
Meridian, ID 83680
208.888.6428
sonicolaysen@esoen.com

Representative: Julie Benintendi
BRS Architects
1010 S Allante Pl, STE 100
Boise, ID 83709
208.336.8370
julieb@brsarchitects.com

Table of Contents:

A. Course Proceedings
B. Applicant Request
C. Zoning and Aerial Maps
D. History
E. General Project Facts
F. Staff Analysis
G. Applicable Standards
H. Proposed Decision by the Commission

A. Course of Proceedings:

1. According to Kuna City Code (KCC) Title 5, Chapter 4, Section 2 (Design Review) and Title 5, Chapter 10 (Signs) Section 4-G-10; all new commercial buildings, landscaping, parking lots and signage are required to submit an application for review by the Design Review Committee (DRC). As a public meeting item, this action requires no formal public noticing actions.

   a. **Notifications**
      i. Agenda — December 12, 2017

B. Applicants Request:

1. **Request:**

   On behalf of Stan Nicolaysen, Julie Benintendi with BRS Architects seeks Design Review approval from the Planning and Zoning Commission (acting as Design Review Committee) for a new 2,065 square foot commercial building to house a new Taco Bell Restaurant, accompanying landscaping, lighting, parking lot and signage within the Ensign Commercial Subdivision. The site is located at 985 N Meridian Road, Kuna, Idaho 83634 (APN# R2404320030).

C. Aerial Map:

D. History:

The property is within city limits and is currently zoned C-1 (Neighborhood Commercial). The site is described as Lot 3 Block 1 of the Ensign Commercial Subdivision and is currently vacant. However, it has historically been farmed.

E. General Projects Facts:

1. **Comprehensive Plan Designation:** The Comprehensive Plan Future Land Use Map identifies this project location as Mixed-Use City General. Staff views this request to be consistent with the approved Future Land Use Map.

2. **Surrounding Land Uses:**

North	C-1	Neighborhood Commercial – Kuna City
South	C-1	Neighborhood Commercial – Kuna City
East	C-1 & R-6	Neighborhood Commercial & Medium Density Residential – Kuna City
West	C-1	Neighborhood Commercial – Kuna City

3. **Parcel Sizes, Current Zoning, Parcel Numbers:**
   - 0.91 (approximate) acres
   - C-1 (Neighborhood Commercial)
   - Parcel No. R2404320030

4. **Services:**

   Sanitary Sewer– City of Kuna
   Potable Water – City of Kuna
   Irrigation District – Boise-Kuna Irrigation District
   Pressurized Irrigation – City of Kuna (KMID)
   Fire Protection – Kuna Rural Fire District
   Police Protection – Kuna City Police (Ada County Sheriff's office)
   Sanitation Services – J&M Sanitation

5. **Existing Structures, Vegetation and Natural Features:**
The property has no existing buildings and has vegetation associated with an unimproved commercial building site.

6. **Transportation / Connectivity:**
The site is primarily accessed via the ingress/egress driveway provided internally to the Ensign Commercial Subdivision; which takes access directly from the Highway 69/Meridian Road approach. The site has additional approved driveway access ingress/egress from East Profile Lane, south of McDonalds. The site provides direct access to the existing sidewalk along Highway 69/Meridian Road.

7. **Environmental Issues:**
Staff is not aware of any environmental issues, health or safety conflicts. The site's topography is generally flat.

F. Staff Analysis:

Staff has reviewed the application and finds that the proposed building, landscaping, lighting, parking lot and proposed signage generally satisfies the intent of Kuna's Codes and fits into the overall vision of the C-1 District and generally conforms to the 'Kuna Architecture' guidelines and parking standards.

The applicant has proposed 29 total parking spaces, two of which will be designated handicap parking. Staff finds the parking lot is in substantial conformance with KCC Title 5 Chapter 9. Staff finds the proposed landscaping to be in substantial conformance with KCC Title 5 chapter 17, Kuna's Landscaping Ordinance. Staff would also like to note the applicant's lighting plan appears to conform to the City's LED standards.

Current proposed dimensions of drive thru menu boards and monument and poles signs do not fully comply with Kuna City Code. The applicant will be required to work with staff to ensure signage is in compliance with Kuna City Code. Staff would also recommend the elimination of the proposed pole sign, and that the applicant work with the existing shopping center with regard to using the already available shopping center sign. Staff desires to avoid visual clutter, sight pollution and distractions for motorists all while maintaining the intent and spirit of the design review overlay objectives and goals. Additional businesses will locate to the surrounding area and staff desires to avoid a pole sign for each parcel in the future in order to maintain those goals.

Applicant is hereby notified that this project is subject to design review inspections and fees. Required inspections (post construction), are to verify building, parking lot, street light, landscaping and signage compliance, prior to issuance of the certificate of occupancy for the building.

If all recommended changes/coordination are made with regard to signage, staff views the proposed new commercial building, landscaping, parking lot, light locations and signage to be generally consistent with the goals and vision of the overlay district for the City of Kuna. Staff forwards a recommendation of approval for case No. 17-28-DR and 17-23-SN to the Design Review Committee.

G. Applicable Standards:

1. City of Kuna Zoning Ordinance No. 230.
2. City of Kuna Design Review Ordinance, 2011-08.
3. City of Kuna Comprehensive Plan.
4. City of Kuna Overlay District Ordinance, 2011-06.
5. City of Kuna Parking Lot Ordinance, 2011-12.
6. City of Kuna Landscaping Ordinance, 2011-12.
7. City of Kuna Sign Ordinance, 2012-21.

H. Proposed Decision by the Planning and Zoning Commission:

Note: This proposed motion is for approval, or denial of this request. However, if the Design Review Committee wishes to approve, conditionally approve or deny specific parts of the requests as detailed in the report, those changes must be specified.

Based on the facts outlined in staff's report, the case file and discussion at the public meeting. The Design Review Committee of Kuna, Idaho, hereby (approves/denies) Case No. 17-28-DR and 17-23-SN, a Design Review request by Julie Benintendi with BRS Architects (on behalf of Stan Nicolaysen), with the following conditions of approval:

1. All signage for the site shall comply with current Kuna City Code and a sign permit must be obtained prior to construction.
2. Applicant shall work with staff to ensure signage is in compliance with current Kuna City Code.
3. The applicant shall follow all requirements for sanitary sewer, potable water, pressure irrigation system connections, and all other requirements of the City engineer and Building Department.
4. The applicant shall obtain written approval of the construction plans from the agencies noted below. The approval may be either on agency letterhead referring to the approved use or may be written or stamped upon a copy of the approved plans. All site improvements are prohibited prior to approval of these agencies and the issuance of a building permit:
    a. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District is required.
    b. Approval from Ada County Highway District / Impact Fees, if any shall be paid prior to building permit approval.
5. Parking within the site shall comply with Kuna City Code (except as specifically approved otherwise).
6. Landscaping shall be installed according to the submitted landscape plan dated November 16, 2017 (except as specifically approved otherwise).
7. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace any unhealthy or dead plant material immediately (within 3 days as weather permits) or as the planting season permits, as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public and/or private entities owning the property.
8. Lighting within the site shall comply with current Kuna City Code.
9. This development is subject to building, landscaping and lighting design review inspections. Inspection fees shall be paid prior to staff inspection.
10. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the Commission, or seek amending them through the Design Review process.
11. Applicant shall follow staff, City engineer and other agency recommended requirements, as applicable.
12. Applicant shall comply with all local, state and federal laws.

DATED: This 12th day of December, 2017.

CityofKuna
Planning& Zoning
Department
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website: www.kunacity.id.gov

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

For Office Use Only	
File Number (s)	17-28-DR
Project name	TACO BELL DESIGN REV.
Date Received	11/22/17
Date Accepted/ Complete	11/30/17
Cross Reference Files	17-23-SN
Commission Hearing Date	12/12/17
City Council Hearing Date	

Type of Review (check all that apply):

- ☐ Annexation
- ☐ Appeal
- ☐ Comprehensive Plan Amendment
- ☒ Design Review
- ☐ Development Agreement
- ☐ Final Planned Unit Development
- ☐ Final Plat
- ☐ Lot Line Adjustment
- ☐ Lot Split
- ☐ Planned Unit Development
- ☐ Preliminary Plat
- ☐ Rezone
- ☐ Special Use
- ☐ Temporary Business
- ☐ Vacation
- ☐ Variance

Contact/Applicant Information

Owners of Record: S Carl and Pamela A Nicolaysen	Phone Number: 208-888-6428
Address: PO Box 607	E-Mail: sonicolaysen@esoen.com
City, State, Zip: Meridian, Idaho 83680	Fax #:
Applicant (Developer): Stan Nicolaysen	Phone Number: 208-888-6428
Address: PO Box 607	E-Mail: sonicolaysen@esoen.com
City, State, Zip: Meridian, Idaho 83680	Fax #:
Engineer/Representative: Julie Benintendi /BRS Architects	Phone Number: 208-336-8370 x 214
Address: 1010 S Allante Pl, Ste 100	E-Mail: julieb@brsarchitects.com
City, State, Zip: Boise, Idaho 83709	Fax #:

Subject Property Information

Site Address: 985 N Meridian Rd	
Site Location (Cross Streets): Deerflat Road & Meridian Road	
Parcel Number (s): R2404320030	
Section, Township, Range: 2N1W24	
Property size : 0.910 acres	
Current land use: Vacant	Proposed land use: Commercial
Current zoning district: C-1	Proposed zoning district: same

Exhibit B-1

Project Description

Project / subdivision name: Taco Bell Drive-Thru Restaurant

General description of proposed project / request: New restaurant with drive-thru and site improvements

Type of use proposed (check all that apply):

- ☐ Residential
- ☒ Commercial Restaurant
- ☐ Office
- ☐ Industrial
- ☐ Other

Amenities provided with this development (if applicable):

Residential Project Summary (if applicable)

Are there existing buildings? ☐ Yes ☐ No

Please describe the existing buildings:

Any existing buildings to remain? ☐ Yes ☐ No

Number of residential units: Number of building lots:

Number of common and/or other lots:

Type of dwellings proposed:

- ☐ Single-Family
- ☐ Townhouses
- ☐ Duplexes
- ☐ Multi-Family
- ☐ Other

Minimum Square footage of structure (s):

Gross density (DU/acre-total property): Net density (DU/acre-excluding roads):

Percentage of open space provided: Acreage of open space:

Type of open space provided (i.e. landscaping, public, common, etc.):

Non-Residential Project Summary (if applicable)

Number of building lots: 1 Other lots:

Gross floor area square footage: 2065 Existing (if applicable): 0

Hours of operation (days & hours): 6 am - 2 pm Mon-Sun Building height: 24 feet

Total number of employees: 5 Max. number of employees at one time: 5

Number and ages of students/children: N/A Seating capacity: 40

Fencing type, size & location (proposed or existing to remain): None

Proposed Parking:

a. Handicapped spaces: 2 Dimensions: 20' x 9'

b. Total Parking spaces: 29 Dimensions: 20' x 9'

c. Width of driveway aisle: 25 feet

Proposed Lighting: LED pole lights in parking/drive-thru, LED fixtures on building

Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): Around building, in parking lot islands, around site perimeter to north/east/south

Applicant's Signature: Juli Bernstead Date: 11/27/17

SOUTHWEST CORNER

1-SOUTH

3-NORTH

2-WEST

4-EAST

SOUTHWEST CORNER

5-WEST

6-SOUTH

7-EAST

8-NORTH

NORTHEAST CORNER

9-WEST

10-SOUTH

11-EAST

12-NORTH

NORTHWEST CORNER

13-WEST

14-SOUTH

15-EAST

16-NORTH

City of Kuna
Design Review Application

P.O. Box 13
Kuna, Idaho 83634
(208) 922.5274
Fax: (208) 922.5989
Website: www.kunacity.id.gov

FILE NO.: 17-28-DR TACO BELL
CROSS REF.: 17-23-SN (Ensign)
FILES:

The City of Kuna has adopted a Design Review process whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in the Design Review Ordinance No. 2007-02 and the Architecture and Site Design Booklet. Both of these documents can be found online (www.cityofkuna.com) or are picked up in the City's Planning and zoning department is located at 763 W Avalon, Kuna ID. Staff is glad to assist you with your application form.

The Design Review application applies to the following land use actions:

- ▶ Multi- family dwellings (3 or more)
- ▶ Commercial
- ▶ Industrial
- ▶ Institutional
- ▶ Office
- ▶ Common Area
- ▶ Subdivision Signage
- ▶ Proposed Conversions
- ▶ Proposed changes in land use and/or building use or exterior remodeling
- ▶ Exterior restoration, and enlargement or expansion of existing buildings, signs or sites.

Application Submittal Requirements

Applicant Use		Staff Use
N/A	Date of pre- application meeting : _____ *Note: Pre-Applications are valid for a period of three (3) months.*	✓
X	A complete Design Review Application form *Note: It is the applicant's responsibility to use a current application.*	✓
X	Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with Design Review standards.	✓
X	One (1) Vicinity Map (8 ½" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets.	✓
X	One 8 ½" x 11" colored aerial photo depicting proposed site, street names, and surrounding area within five-hundred feet (500').	✓
X	Copy of Deed; and, if the applicant is not the owner, an **original** notarized statement (affidavit of legal interest) from the owner (and all interested parties) stating the applicant is authorized to submit this application.	✓

Exhibit B-2

[X] Detailed site, landscape, drainage plan, elevation and to scale. *(No smaller than 1"=30', unless otherwise approved.)* [✓]
One of each plan (site, landscape, drainage plan and elevations) is required to be submitted in the following plan sizes:

(1) 24" X 36" TO SCALE COPIES
(1) 11" X 17" REDUCTIONS
(1) 8 ½" x 11" REDUCTIONS

[X] Provide a color rendering and material sample board specifically noting where each color and material is to be located on the structure. [✓]
Note: Provide photo of the colored rendering and material samples board to City Staff electronically in a JPG or PDF format.

The Applicant is obligated to provide a site plan that graphically portrays the site and includes the following features:

Site Plan

Applicant Use		Staff Use
[X]	North Arrow	[ ]
[X]	To scale drawings	[ ]
[X]	Property lines	[ ]
[X]	Name of "Plan Preparer" with contact information	[ ]
[X]	Name of project and date	[ ]
[X]	Existing structures, identify those which are to be relocated or removed	[ ]
[X]	On-site and adjoining streets, alleys, private drives and rights-of-way	[ ]
[X]	Drainage location and method of on-site retention / detention	[ ]
[ ] N/A	Location of public restrooms	[ ]
[X]	Existing / proposed utility service and any above-ground utility structures and their location	[ ]
[X]	Location and width of easements, canals and drainage ditches	[ ]
[X]	Location and dimension of off-street parking	[ ]
[X]	Locations and sizes of any loading area, docks, ramps and vehicle storage or service areas	[ ]
[X]	Trash storage areas and exterior mechanical equipment, with proposed method of screening	[ ]
[X]	Sign locations *(a separate sign application must be submitted with this application)*	[ ]
[X]	On-site transportation circulation plan for motor vehicles, pedestrians and bicycles	[ ]
[X]	Locations and uses of ALL open spaces	[ ]
[X]	Locations, types and sizes of sound and visual buffers *(Note: all buffers must be located outside the public right-of-way)*	[ ]
[X]	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	[ ]
[ ] N/A	Locations of subdivision lines *(if applicable)*	[ ]
[X]	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles LANDSCAPE PLAN	[ ]
[ ] N/A	Location of walls and fences and indication of their height and material of construction	[ ]
[X]	Roofline and foundation plan of building, location on the site	[ ]
[X]	Location and designations of all sidewalks	[ ]
[X]	Location and designation of all rights-of-way and property lines	[ ]

Landscape and Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscaped and streetscape plans must be colored. The Planning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Applicant Use		Staff Use
[X]	North Arrow	[ ]
[X]	To scale drawings	[ ]
[X]	Boundaries, property lines and dimensions	[ ]
[X]	Name of "Plan Preparer" with contact information	[ ]
[X]	Name of project and date	[ ]
[X]	Type and location of all plant materials and other ground covers. *Please review the City's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of all proposed landscape materials at the time of planting, and at maturity. A list of acceptable trees is available upon request from City Planning Staff. If there are any questions, please contact the City Forester, Natalie Reeder, at 208.880.0953*	[ ]
[X]	Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed.	[ ]
[X]	Method of irrigation. *Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance.*	[ ]
[X]	Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fencings, fountains street/pathway furniture *(benches, etc.), etc.*	[ ]
[X]	Sign locations *Note: A separate sign application must be submitted with this application*	[ ]
[X]	Locations and uses for open spaces	[ ]
[X]	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	[ ]
[X]	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	[ ]
[X]	Location and designations of all sidewalks	[ ]
[X]	Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved design review application, a detailed site grading and drainage plan, prepared by a registered professional engineer (PE) shall be submitted to the City for review and approval by the City Engineer.	[ ]

Building Elevations

Applicant Use		Staff Use
[X]	Detailed elevation plans of each side of any proposed building(s) or additions(s) *Note: Four (4) elevations to include all sides of development and must be in color*	[ ]
[X]	Identify the elevations as to north, south, east, and west orientation	[ ]
[X]	Colored copies of all proposed building materials and indication where each material and color application is to be located *Note: Submit as 11"x17" reductions*	[ ]
[X]	Screening/treatment of mechanical equipment PARAPET WALLS	[ ]
[X]	Provide a cross-section of the building showing any roof top mechanical units and their roof placement	[ ]
[X]	Detailed elevation plans showing the materials to be used in construction of trash enclosures	[ ]

Lighting Plan

Applicant Use		Staff Use
[X]	Exterior lighting including detained cut sheets and photometric plan (pedestrian, vehicle, security, decoration)	[ ]
[X]	Types and wattage of all light fixtures *Note: The City encourages use of "dark sky" lighting fixtures*	[ ]
[X]	Placement of all light fixtures shown on elevations and landscaping plans	[ ]

Roof Plans

Applicant Use		Staff Use
[X]	Size and location of all roof top mechanical units	[ ]

Design Review Application

Applicant: Julie Benintendi Phone: 208-336-8370 x214

☐ Owner ☒ Representative Fax/Email: julieb@brsarchitects.com

Applicant's Address: 1010 S Allante Pl, Ste 100

Boise, Idaho Zip: 83709

Owner: ES-O-EN, LLC - Stan Nicolaysen (contact) Phone: 208-888-6428

Owner's Address: PO Box 607 Email: sonicolaysen@esoen.com

Meridian, Idaho Zip: 83680

Represented By: *(if different from above)* Phone:

Address: Email:

Zip:

Address of Property: 985 N Meridian Road

Kuna, Idaho Zip: 83634

Distance from Major Cross Street: 1650 feet south of intersection Street Name(s): Deerflat & Meridian

Please check the box that reflects the intent of the application

☒ **BUILDING DESIGN REVIEW**
☐ **SUBDIVISION / COMMON AREA LANDSCAPE**
☐ **DESIGN REVIEW MODIFICATION**
☐ **STAFF LEVEL APPLICATION**

This Design Review application is a request to construct, add or change the following: *(Briefly explain the nature of the request.)*

Construction of a new Taco Bell Drive-Thru Restaurant and associated site improvements.

1. Dimension of Property: 0.910 acres
2. Current Land Use(s): C-1
3. What are the land uses of the adjoining properties?
   - North: Commercial
   - South: Commercial
   - East: Farm Land
   - West: Commercial
4. Is the project intended to be phased, if so what is the phasing time period? No

   Please explain:
5. The number and use(s) of all structures: Restaurant and trash enclosure
6. Building heights: 24 feet Number of stories: One

The height and width relationship of new structures shall be compatible and consistent with the architectural character of the area and proposed use.

Note: The maximum building height for each zoning district is as follows:

L-O: 35'	C-2: 60'	CBD: 80'	M-2: 60'	P: 60'
C-1: 35'	C-3: 60'	M-1: 60'	M-3: 60'	

7. What is the percentage of building space on the lot when compared to the total lot area? 5.6%
8. Exterior building materials & colors: *(Note: This section must be completed in compliance with the City of Kuna Ordinance No. 2007-21A (as amended); found online at (www.cityofkuna.com) under the City Code.*

	MATERIAL		COLOR
Roof:	TPO	/	Tan

Walls: (State percentage of wall coverage fro each type of building material below for each frontage wall) If there is not adequate space to identify the various building materials and applications, please list them on the attached sheet of this application. Please attach photos to support application types.

% of Wood application:	0	/	
% EIFS: *(Exterior Insulation Finish System)*	64.75%	/	
% Masonry:	0	/	
% Face Block:	0	/	
% Stucco:	0	/	
& other material(s):	23.48%	/	faux wood slat wall, rustwall panels
List all other materials:	metal slat wall, metal wall panels		
Windows/Doors: *(Type of window frames & styles / doors & styles, material)*	storefront/metal 8.91%	/	bronze storefront, metal service door
Soffits and fascia material:	0	/	
Trim, etc.:	2.86%	/	metal coping/drains

Other: _____ / _____

9. Please identify Mechanical Units: (2) Trane RTU's

   Type/Height: YHC092F3R & YZD150F3R / 41" high plus curb + 14" curb

   Proposed Screening Method: Parapet Walls

10. Please identify trash enclosure: *(size, location, screening & construction materials)* 10'-8" x 13'-4" x 7'-6" CMU with metal gates

    Located at south end of property next to the drive-thru

11. Are there any irrigation ditches/canals on or adjacent to the property? No

    If yes, what is the name of the irrigation or drainage provider? _____

12. Fencing: *(Please provide information about new fencing material as well as any exiting fencing material)*

    N/A

    Type: _____

    Size: _____

    Location: _____

    (Please note that the City has height limitations of fencing material and requires a fence permit to be obtained prior to installation)

13. Proposed method of On-site Drainage Retention/Detention:

    Storm drains piped to existing development storm system and retention pond

14. Percentage of Site Devoted to Building Coverage: 5.3%

    % of Site Devoted to Landscaping: *(Including landscaped rights-of-way)* 31% Square Footage: 12,291

    % of Site that is Hard Surface: *(Paving, driveways, walkways, etc.)* 63.4% Square Footage: 25,132

    % of Site Devoted to other uses: 0.3%

    Describe: Trash Enclosure

    % of landscaping within the parking lot (landscaped islands, etc.): 15%

15. For details, please provide dimensions of landscaped areas within public rights-of-way:

    6054 sq ft

16. Are there any existing trees of 4" or greater in caliper on the property? *(Please provide the information on the site plans.)* No

    If yes, what type, size and the general location? *(The City's goal is to preserve existing tree with greater than a four inch (4") caliper whenever possible):*

    No

17. Dock Loading Facilities:

    Number of docking facilities and their location: N/A

    Method of screening: N/A

18. Pedestrian Amenities: *(bike racks, receptacles, drinking fountains, benches, etc.)* Bike rack

19. Setbacks of the proposed building from property lines:

Front 83.5 -feet Rear 116.75 -feet Side 55 -feet Side 60.67 -feet

20. Parking requirements: 14

Total Number of Parking Spaces: 29 Width and Length of Spaces: 9' x 20'

Total Number of Compact Spaces 8'x17'): 0

21. Is any portion of the property subject to flooding conditions? Yes _____ No X

IF THE PLANNING DIRECTOR OR DESIGNEE, THE DESIGN REVIEW BOARD AND/OR THE CITY COUNCIL DETERMINE THAT ADDITIONAL AND/OR REVISED INFORMATION IS NEEDED, AND/OR IF OTHER UNFORESEEN CIRCUMSTANCES ARISE, ANY DATES OUTLINED FOR PROCESSING MAY BE RECHEDULED BY THE CITY. APPLICANT/REPRESENTATIVE MUST ATTED THE DESIGN REVIEW BOARD MEETING/PLANNING AND ZONING MEETINGS.

The Ada County Highway District may also conduct public meetings regarding this application. If you have questions about the meeting date or the traffic that this development may generate or the impact of that traffic on streets in the area, please contact the Ada County Highway District at 208.387.6170. In order to expedite you request, please have ready the file number indicated in this notice.

Signature of Applicant Juli Benistant Date 11/20/17

City staff comments:

Signature of receipt by City Staff _____ Date _____

FOR ADDITIONAL INFORMATION:

(Please list page number and item in reference)

BRS ARCHITECTS
1010 S. Allante Place,
Suite 100
Boise, Idaho 83709
Telephone 208 336-8370
Fax 208 336-8380

RECEIVED 11/20/17

November 20, 2017

Attn: City of Kuna, Planning and Zoning - Design Review
751 W 4th Street
Kuna, Idaho 83634

RE: Taco Bell
Design Review Application

To Whom it May Concern,

On behalf of ES-O-EN, LLC, please accept this letter of explanation for the new Taco Bell Drive-Thru restaurant located in Kuna. The site is located right off North Meridian Road, South of Deer Flat Road in the Ensign Subdivision on Lot 3. The location is near a Dollar Store, Ridleys Grocery Store, and a tractor supply store, all of which match company standards more than one of the architectural styles in the design guideline book.

The proposed design of the building is of the current prototype style and fits mostly into the approved architectural style of the Prairie School that is shown in the Architecture and Site Design Booklet. The design is very boxy and incorporates stucco, rusted metal panels, and metal slats. The overall colors of the building are earth tones of tan, browns, rust, and grays. The brand color of purple is incorporated into the design behind the metal slat walls. The trash enclosure will be made of painted CMU and metal gates. The colors will match the colors of the building. There is a drive-thru lane that wraps around the building and incorporates an escape lane. The light poles around the site will use LED fixtures and the base will be of a "bagged" finish as shown in the guide booklet. A bike rack will be provided on the north side of the building. The proposed landscape design is organic in nature and is designed as an extension of the existing landscape from the Development Landscape Plans to help unify the development and the city. A pedestrian connection has been provided to the site from the public sidewalk that runs along Meridian Road. All sidewalks meet current ADA compliance requirements and two ADA parking stalls have been provided.

Thank you for your review and consideration of our project. We welcome input and helpful interaction from you and your staff during the review process to provide the owner and the City of Kuna a successful project. Please contact me with any questions or comments regarding this design review application.

Sincerely,

Julie Benintendi

Julie Benintendi, Project Manager II
BRS Architects
julieb@brsarchitects.com

Exhibit
B-3

ADA COUNTY RECORDER Christopher D. Rich
BOISE IDAHO Pgs=2 BONNIE OBERBILLIG
TITLEONE BOISE

2017-063911
07/14/2017 08:09 AM
$15.00

TitleOne
a title & escrow co.

Order Number: 16283851

WARRANTY DEED

For Value Received,

SCN PAN

Emmett Partners, LLC, a Utah limited liability company, the Grantor, does hereby grant, bargain sell and convey unto, **Stephen Carl Nicolaysen and Pamela A Nicolaysen, husband and wife,** whose current address is **PO Box 607, Meridian, ID 83680,** the Grantee, the following described premises, in **Ada County, Idaho,** To Wit:

Lot 3 in Block 1 of Ensign Subdivision No. 1, according to the official plat thereof, filed in Book 111 of Plats at Pages 16058 through 16061, official records of Ada County, Idaho.

TO HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee, its heirs and assigns forever. And the said Grantor does hereby covenant to and with the said Grantee, that Grantor is the owner in fee simple of said premises; that they are free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee; and subject to all existing patent reservations, easements, right(s) of way, protective covenants, zoning ordinances, and applicable building codes, laws and regulations, general taxes and assessments, including irrigation and utility assessments (if any) for the current year, which are not due and payable, and that Grantor will warrant and defend the same from all lawful claims whatsoever. Whenever the context so requires, the singular number includes the plural.

Dated: 7/11/17

Emmett Partners, LLC, a Utah limited liability company

X By: _____
M. Brett Jensen, Member

Exhibit
B-5

State of Utah County of Cache, ss.

On this 11th day of July, 2017, before me, the undersigned, a Notary Public in and for said State, personally appeared M. Brett Jensen, known or identified to me to be a Member of the limited liability company that executed the within instrument and acknowledged to me that he executed the same for and on behalf of said limited liability company and that such limited liability company executed it.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Karrie Shelton
Notary Public for Idaho
Residing In: Logan, UT
My Commission Expires: 08-04-2020

KARRIE SHELTON
NOTARY PUBLIC • STATE of UTAH
COMMISSION # 690390
COMM. EXP. 08/04/20

City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

City of Kuna

AFFIDAVIT OF LEGAL INTEREST

State of Idaho)
) ss
County of Ada)

I, Stan Nicolaysen, PO Box 607
Name **Address**

Meridian, Idaho 83680 ,
City **State** **Zip Code**

being first duly sworn upon oath, depose and say:

(If Applicant is also Owner of Record, skip to B)

A. That I am the record owner of the property described on the attached, and I grant my

Permission to BBS Architects 1010 S Allante Pl. Ste 100 Boise, ID 83709
Name **Address**
to submit the accompanying application pertaining to that property.

B. I agree to indemnify, defend and hold City of Kuna and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

C. I hereby grant permission to the City of Kuna staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 7 day of November, 20 17

Signature

Subscribed and sworn to before me the day and year first above written.

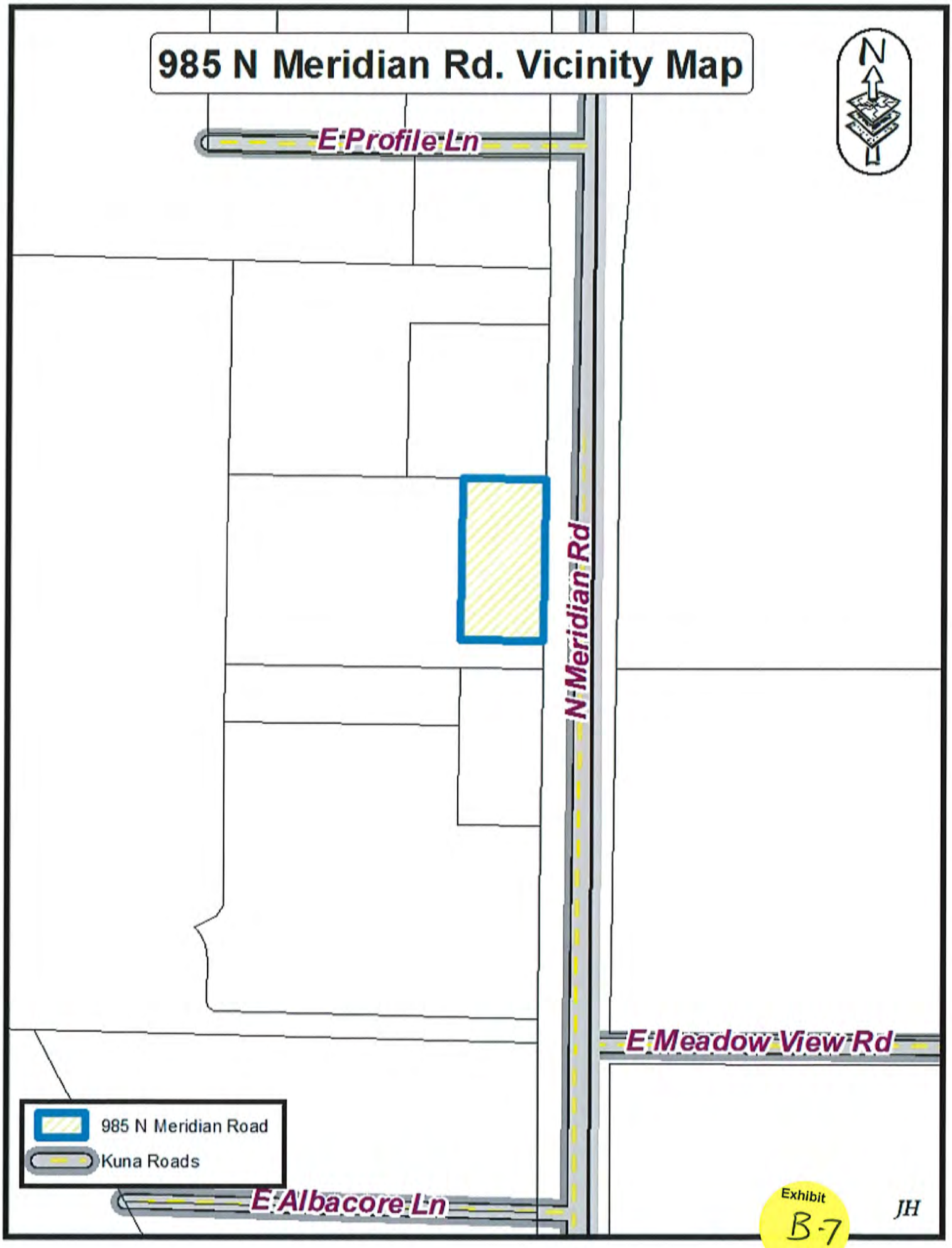
Julia Ann Rivera
Notary Public for Idaho

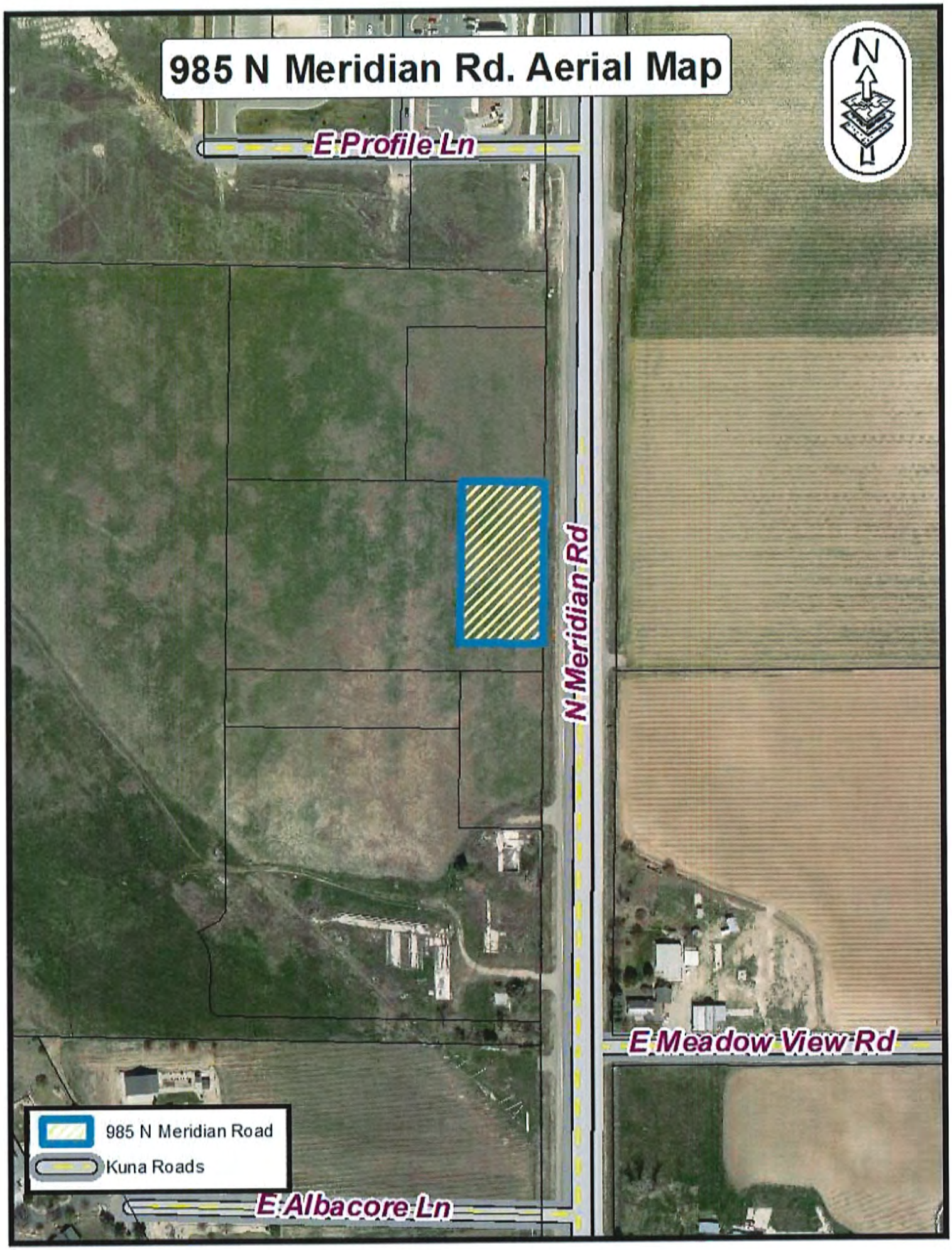
Residing at: Kuna, Idaho

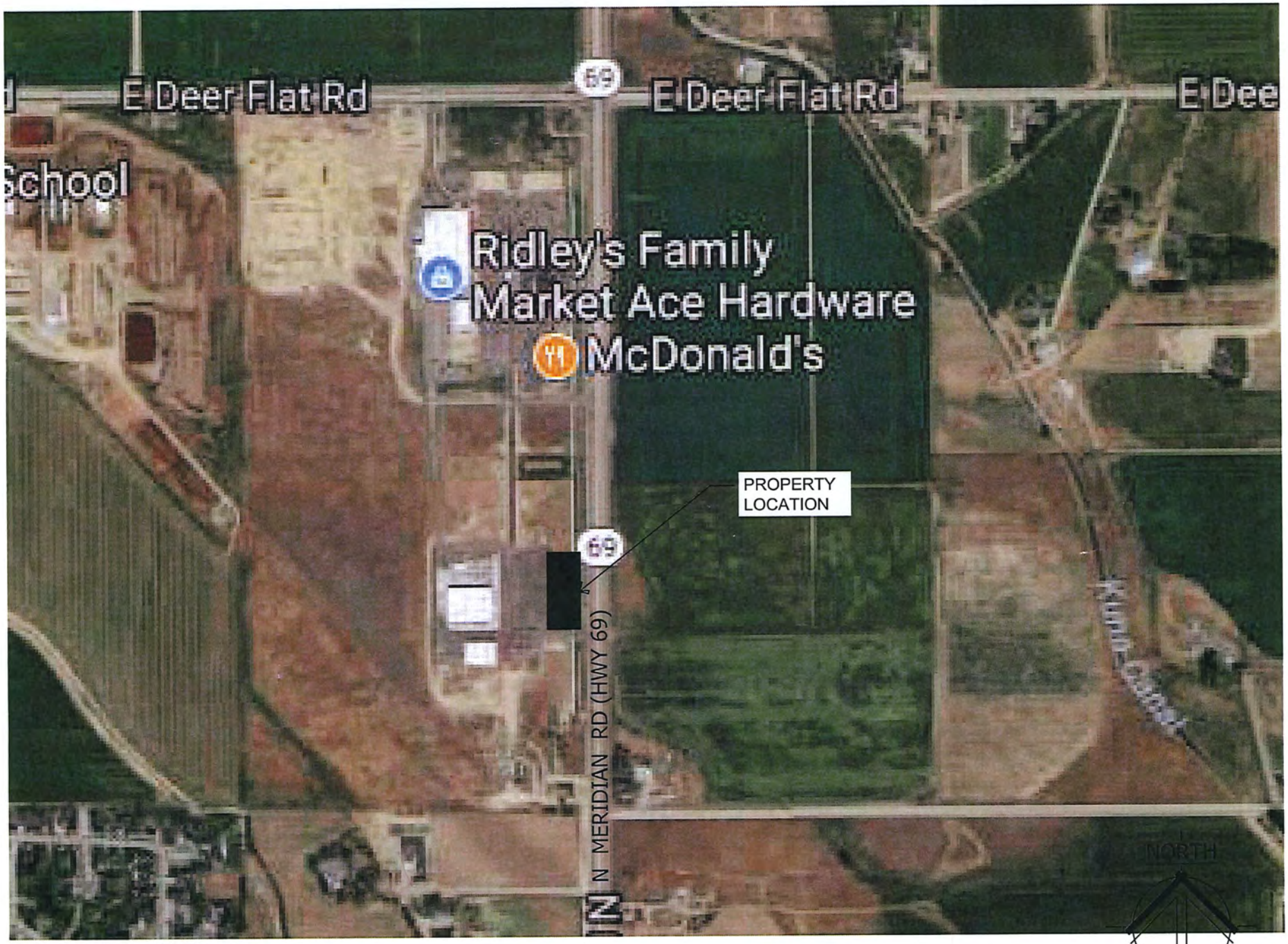
My commission expires: 2/6/19

JULIA ANN RIVERA NOTARY PUBLIC STATE OF IDAHO

Exhibit B-6

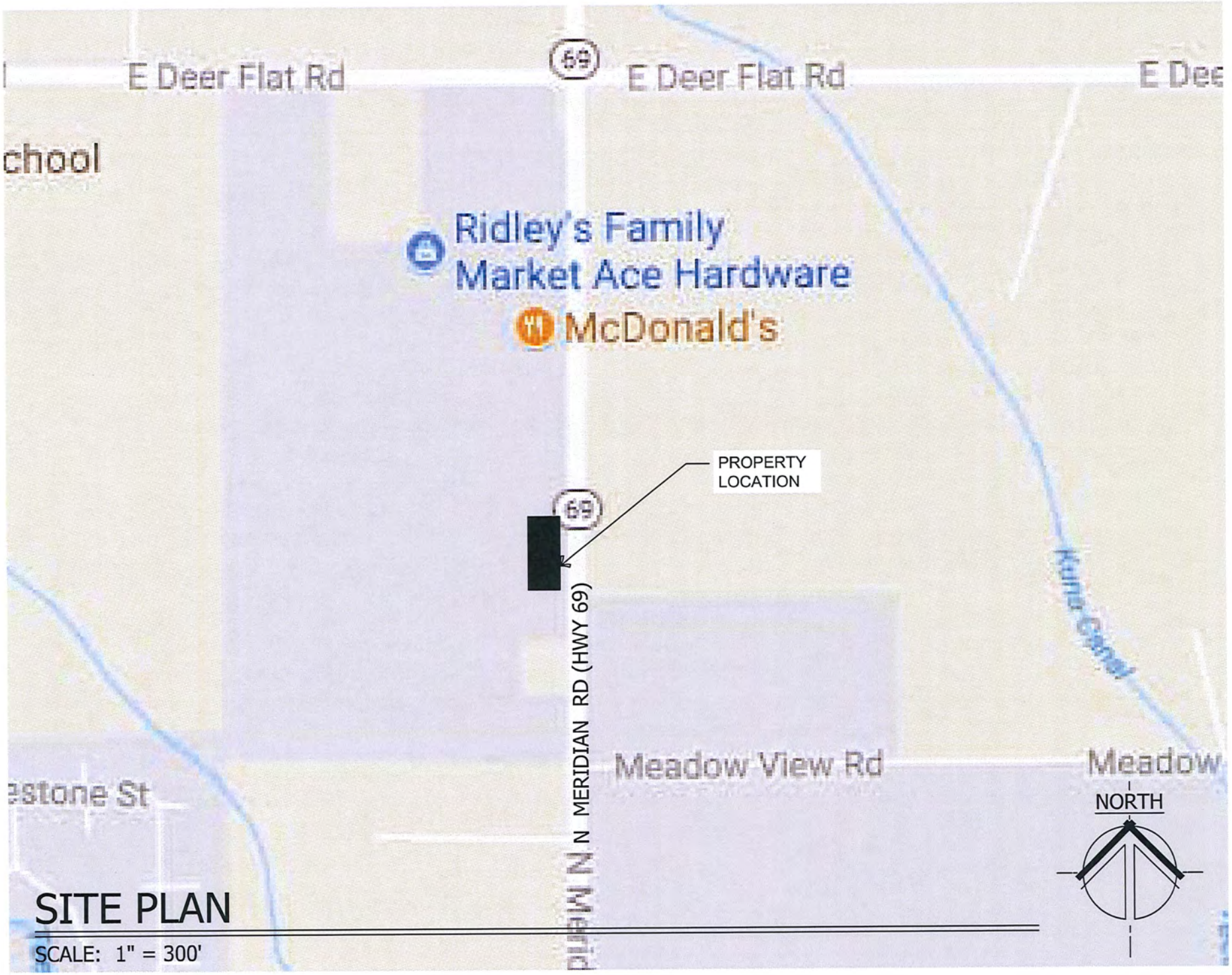

985 N Meridian Rd. Vicinity Map
N
E Profile Ln
N Meridian Rd
E Meadow View Rd
E Albacore Ln
985 N Meridian Road
Kuna Roads
Exhibit
B-7
JH


985 N Meridian Rd. Aerial Map
N
E Profile Ln
N Meridian Rd
E Meadow View Rd
E Albacore Ln
985 N Meridian Road
Kuna Roads



SITE PLAN

SCALE: 1" = 300'

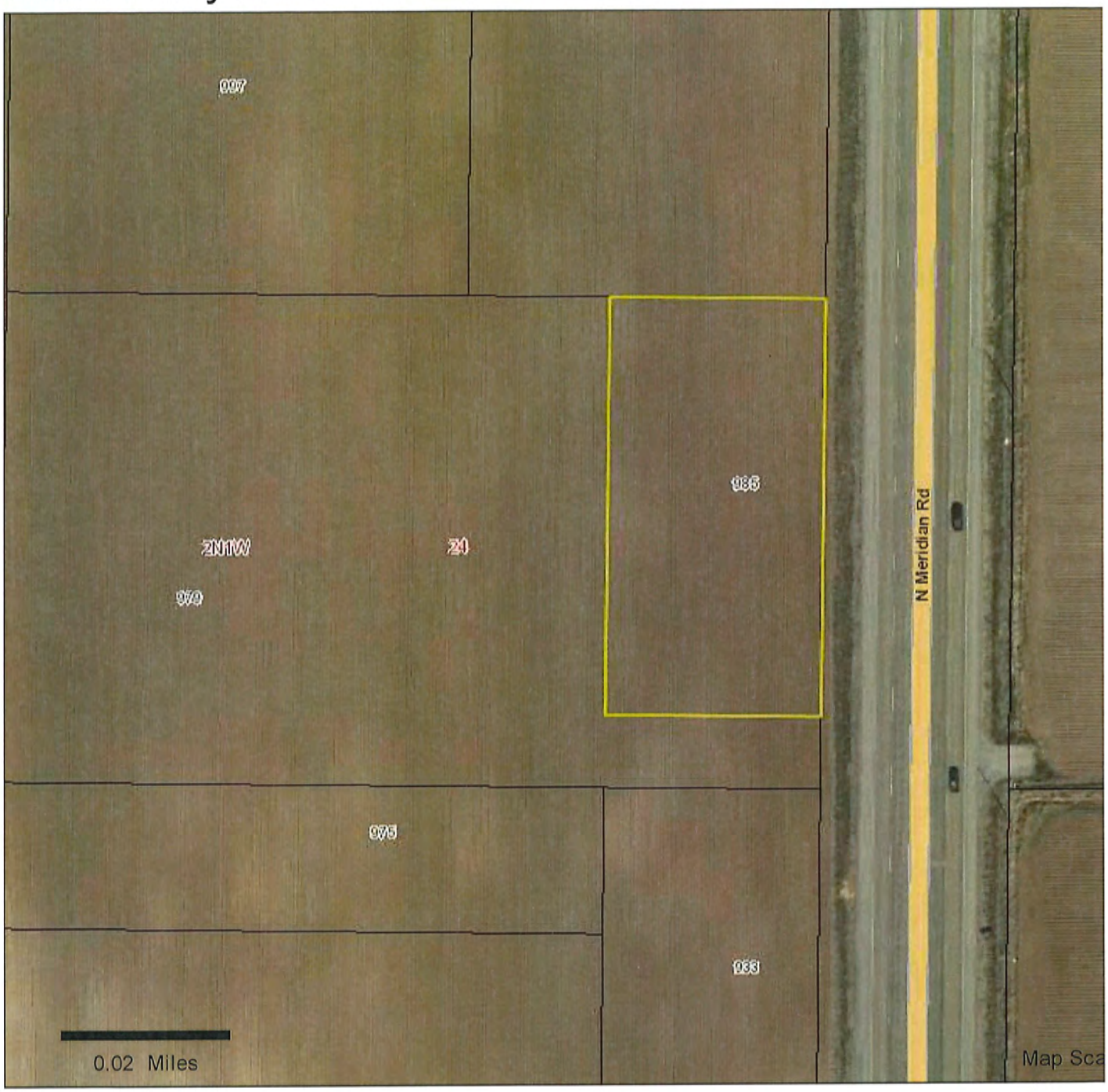


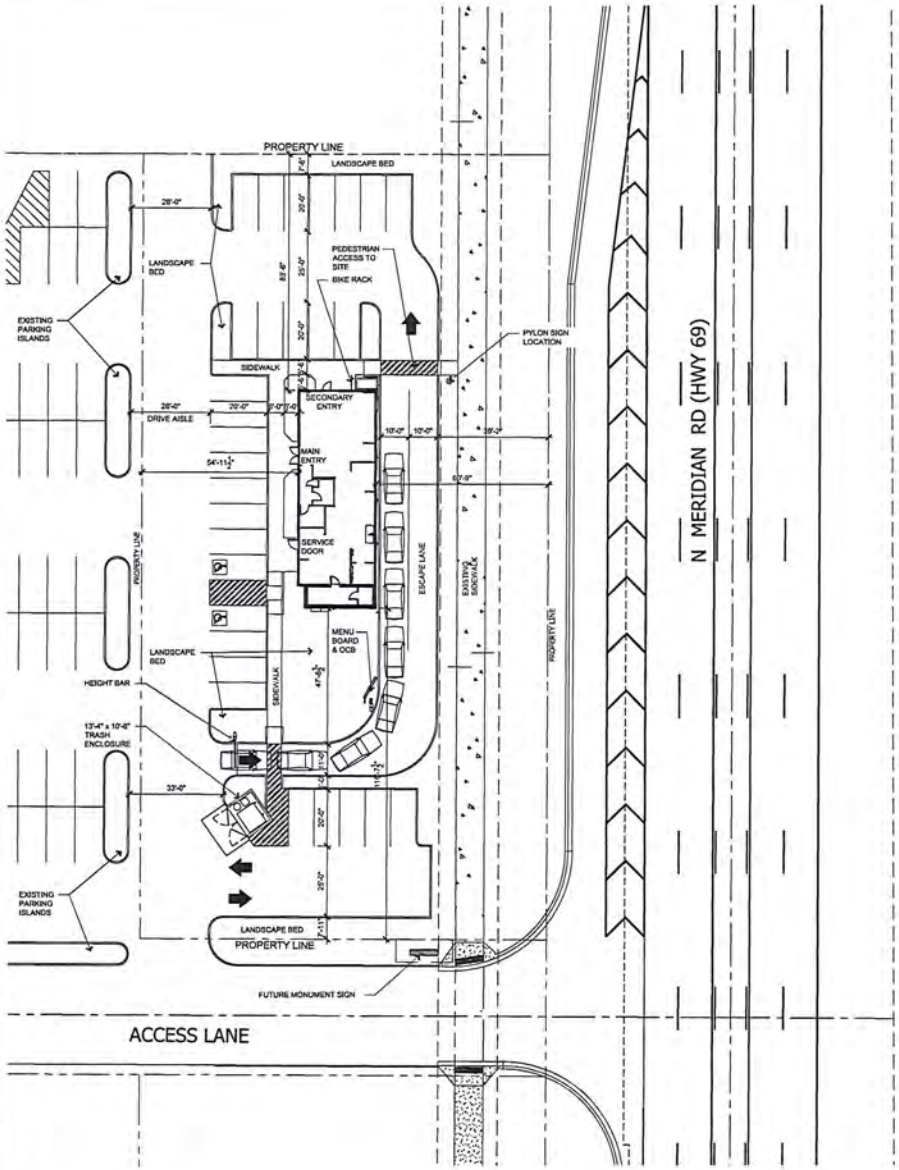
SITE PLAN

SCALE: 1" = 300'

Ada County Assessor

This map is a user generated static output from an Internet mapping site and is not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED





NORTH

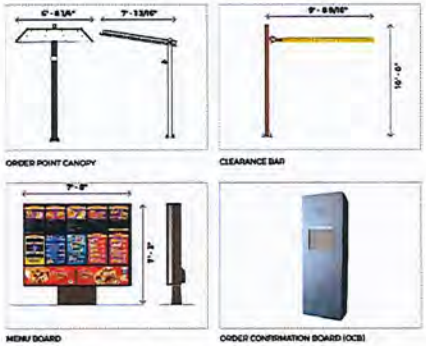
SITE PLAN

SCALE: 1" = 20'-0"

NORTH

VICINITY MAP

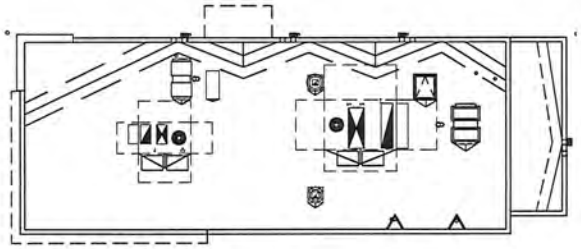
SCALE: N.T.S.

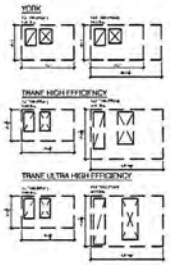


BIKE RACK

SITE EQUIPMENT/SIGNAGE

SCALE: N.T.S.





ROOF PLAN & MECHANICAL UNIT OPTIONS

SCALE: 1/8" = 1'-0"

BUILDING / SITE DATA

SITE ZONING

ZONE: C-1
PARCEL: R2404320030

SITE AREA

0.910

NEW BUILDING AREA

RESTAURANT 2,065 SF

LEGAL DESCRIPTION

ADDRESS:
985 N MERIDIAN RD
KUNA, ID 83634

PARCEL DESCRIPTION:
LOT 03 BLK 01
ENSIGN SUB NO 01

PARKING REQUIREMENTS

2,065 SF RESTAURANT
1 PER 150 SF = 13.77 SPACES
14 SPACES REQUIRED

27 STANDARD SPACES PROVIDED
2 HANDICAP SPACES PROVIDED

29 TOTAL SPACES PROVIDED

DESIGN TEAM

ARCHITECT:

BRS ARCHITECTS
1010 S. ALLANTE PL. STE. 100
BOISE, ID 83709
PHONE: (208)336-8370
CONTACT: JULIE BENINTENDI

CIVIL ENGINEER

QUADRANT CONSULTING, INC.
1984 W OVERLAND RD
BOISE, ID 83705
PHONE: (208)342-0091
CONTACT: CHUCK CHRISTENSEN

LANDSCAPE ARCHITECT

BAER DESIGN GROUP, LLC
539 S FITNESS PL, STE 120
EAGLE, ID 83616
PHONE: (208)938-7721
CONTACT: GREG BAER

ELECTRICAL ENGINEER

E2CO
8005 INDUSTRY WAY #350
MERIDIAN, ID 83642
PHONE: (208)378-4450
CONTACT: KEITH ADAMS

NO.	REVISIONS	DATE

BRS ARCHITECTS
1010 S. ALLANTE PL.
SUITE 100
BOISE, IDAHO 83709
(208) 336-8370
FAX (208) 336-8380

PROPOSED DEVELOPMENT FOR:

TACO BELL

DRIVE-THRU RESTAURANT

985 N MERIDIAN ROAD
KUNA, IDAHO

DRAWN	JAB
DATE	11/17/17
CHECKED	JAB
JOB NO.	17012

PRELIMINARY SITE PLAN

DR1

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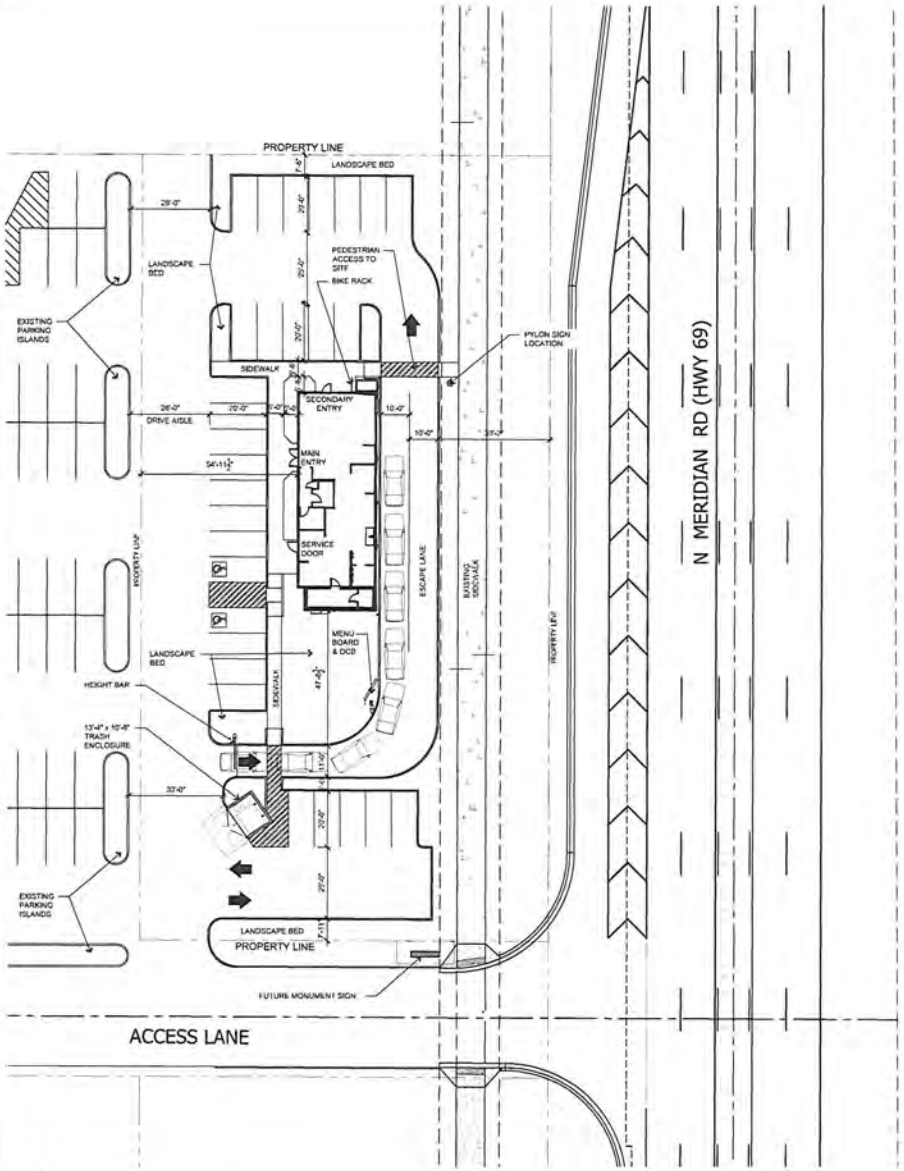
Exhibit
3-8



NORTH

SITE PLAN

SCALE: 1" = 20'-0"

NORTH

VICINITY MAP

SCALE: N.T.S.

BUILDING / SITE DATA

SITE ZONING

ZONE: C-1
PARCEL: R2404320020

SITE AREA

0.910

NEW BUILDING AREA

RESTAURANT 2,065 SF

LEGAL DESCRIPTION

ADDRESS:
985 N MERIDIAN RD
KUNA, ID 83634

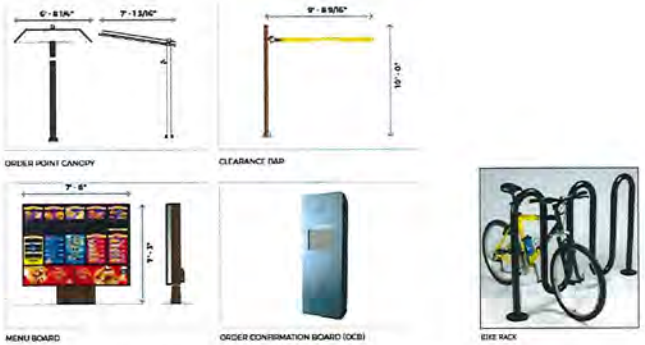
PARCEL DESCRIPTION
LOT 03 BLK 01
ENSIGN SUB NO 01

PARKING REQUIREMENTS

2,065 SF RESTAURANT
1 PER 150 SF = 13.77 SPACES
14 SPACES REQUIRED

27 STANDARD SPACES PROVIDED
2 HANDICAP SPACES PROVIDED

29 TOTAL SPACES PROVIDED



SITE EQUIPMENT/SIGNAGE

SCALE: N.T.S.

NO.	REVISIONS	DATE

BRS ARCHITECTS
1010 S. ALLANTE PL.
SUITE 100
BOISE, IDAHO 83709
(208) 336-8370
FAX (208) 336-8380

PROPOSED DEVELOPMENT FOR:

TACO BELL

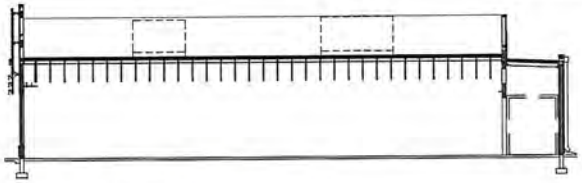
DRIVE-THRU RESTAURANT

985 N MERIDIAN ROAD
KUNA, IDAHO

DRAWN	JAB
DATE	11/17/17
CHECKED	JAB
JOB NO.	17012

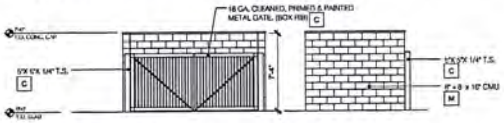
PRELIMINARY SITE PLAN

DR1



BUILDING SECTION

SCALE: 3/16" = 1'-0"

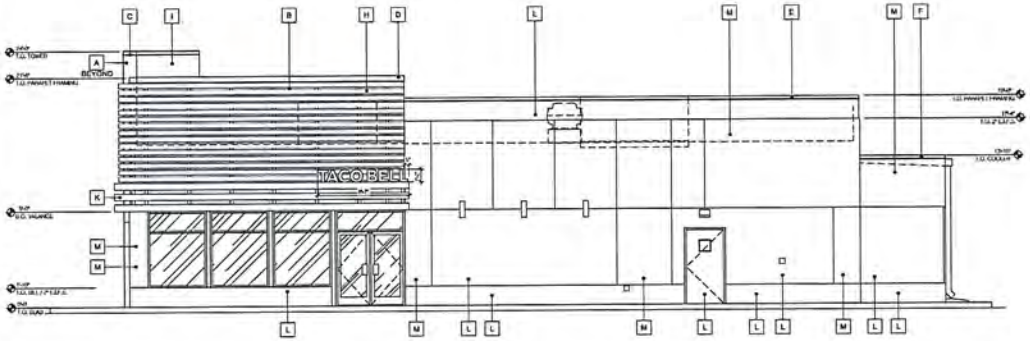


TRASH ENCLOSURE ELEVATIONS

SCALE: 3/16" = 1'-0"

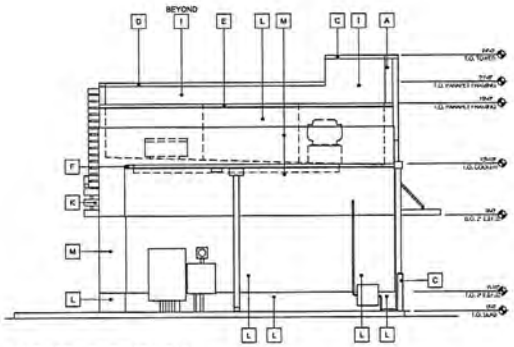
BUILDING COLORS & MATERIALS

A	METAL PANELS 18" A606-4 RUSTWALL PANELS	F	PARAPET CAP (COOLER) GALVALUME PLUS (FACTORY FINISH)	K	VALANCE COLOR SW 7034 "STATUS BRONZE" (OR EQUAL)
B	WALL COLOR BEHIND SCREEN WALL SW 6831 "CLEMATIS"	G	ALUMINUM STOREFRONT DARK BRONZE	L	MAIN BUILDING COLOR SW 7067 "CITYSCAPE"
C	PARAPET CAP (TOWER), PIPE BOLLARDS MEDIUM BRONZE (FACTORY FINISH)	H	SLAT WALL WOOD LINE FINISH TBD BY VENDOR	M	ACCENT COLOR SW 6008 "PACER WHITE"
D	PARAPET CAP (FRONT) SW 6832 "IMPULSE PURPLE" EGGSHELL (P-4)	I	PARAPET BACK ROOFING THE COLOR SHALL BE FACTORY COLORED "TAN". EQUAL ALTERNATIVE ALLOWED.		
E	PARAPET CAP COLOR REGAL WHITE (FACTORY FINISH)	J	AWNING, PATIO ROOF, COOLER WALL S-DECK PREWEATHERED GALVALUME		



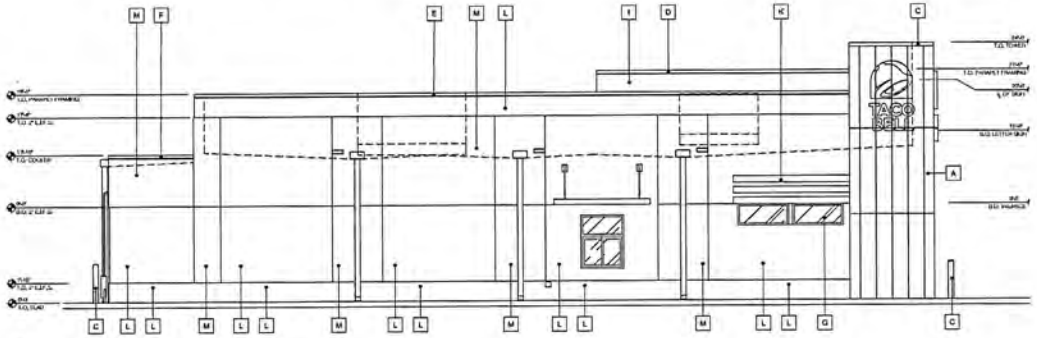
WEST ELEVATION

SCALE: 3/16" = 1'-0"



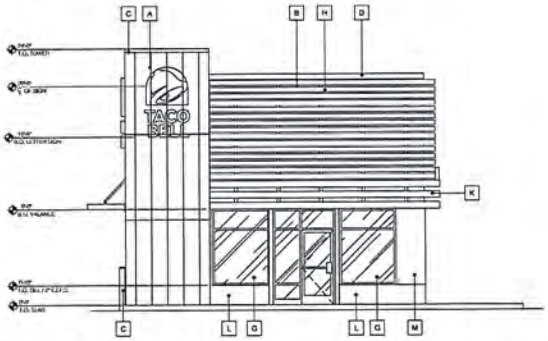
NORTH ELEVATION

SCALE: 3/16" = 1'-0"



EAST ELEVATION

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

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(208) 336-8370
FAX (208) 336-8380

PROPOSED DEVELOPMENT FOR:

TACO BELL

DRIVE-THRU RESTAURANT

955 N MERIDIAN ROAD

KUNA, IDAHO

DRAWN	JAB/TRG
DATE	11/17/17
CHECKED	JAB
JOB NO.	17012

ELEVATIONS

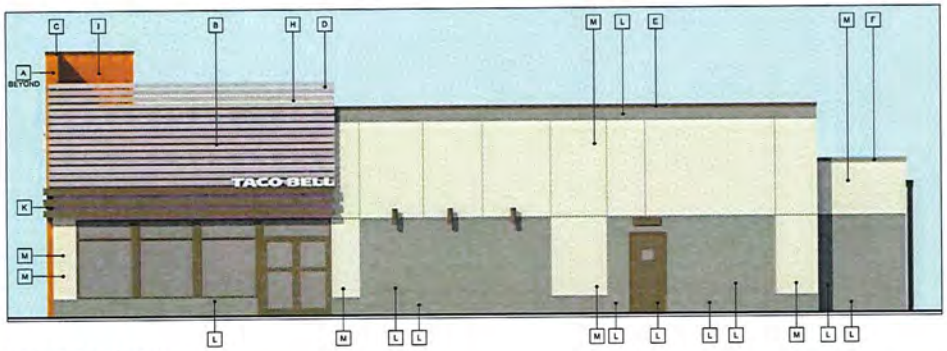
DR2

COLOR ELEVATION

SCALE: N.T.S.

BUILDING COLORS & MATERIALS

- A — METAL PANELS 18" A606-4 RUSTWALL PANELS
- B — WALL COLOR BEHIND SCREEN WALL SW 6831 "CLEMATIS"
- C — PARAPET CAP (TOWER), PIPE BOLLARDS MEDIUM BRONZE (FACTORY FINISH)
- D — PARAPET CAP (FRONT) SW 6832 "IMPULSE PURPLE" EGGSHELL (P-4)
- E — PARAPET CAP COLOR REGAL WHITE (FACTORY FINISH)
- F — PARAPET CAP (COOLER) GALVALUME PLUS (FACTORY FINISH)
- G — ALUMINUM STOREFRONT DARK BRONZE
- H — SLAT WALL WOOD LIKE FINISH TBD BY VENDOR
- I — PARAPET BACK ROOFING THE COLOR SHALL BE FACTORY COLORED "TAN". EQUAL ALTERNATIVE ALLOWED.
- J — AWNING, PATIO ROOF, COOLER WALL S-DECK PREWEATHERED GALVALUME
- K — VALANCE COLOR SW 7034 "STATUS BRONZE" (OR EQUAL)
- L — MAIN BUILDING COLOR SW 7067 "CITYSCAPE"
- M — ACCENT COLOR SW 6098 "PACER WHITE"



WEST ELEVATION

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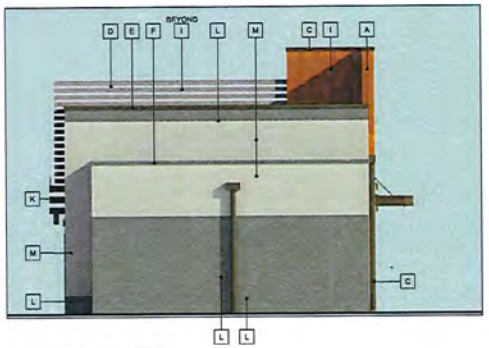

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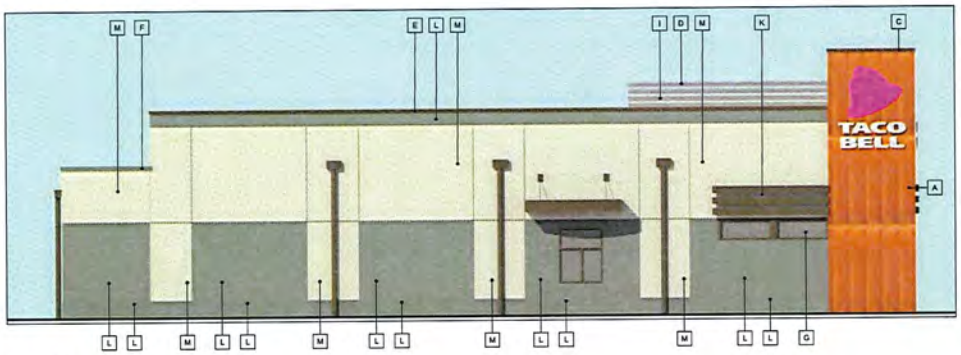

EAST ELEVATION

SCALE: 3/16" = 1'-0"

SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

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PROPOSED DEVELOPMENT FOR:

TACO BELL

DRIVE-THRU RESTAURANT

985 N MERIDIAN ROAD

KUNA, IDAHO

DRAWN	JAB
DATE	11/17/17
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ELEVATIONS

DR3

COLOR ELEVATION

SCALE: N.T.S.

BUILDING SIGNAGE

QTY	ITEM DESCRIPTION	ELEC
V-020	2 TB 3'-6" x 4'-0" LOGO BELL - FACE LIT	X
V-040	3 TB 1'-6" CHANNEL LETTER - WHITE	X
V-250	1 DRIVE-THRU CANOPY - 4'-0"D x 9'-0"W x 8'H	X

BUILDING COLORS & MATERIALS

- A — CANOPY RAFTER / BEAM PAINT SW 3022 "WOODSCAPES BLACK ALDER"
- B — CANOPY COLUMN PAINT SW 7067 "ROCK BOTTOM"
- C — PARAPET CAP (TOWER), PIPE BOLLARDS MEDIUM BRONZE (FACTORY FINISH)
- D — PARAPET CAP (FRONT) SW 6832 "IMPULSE PURPLE" EGGSHELL (P-4)
- E — PARAPET CAP COLOR REGAL WHITE (FACTORY FINISH)
- F — PARAPET CAP (COOLER) GALVALUME PLUS (FACTORY FINISH)
- G — STOREFRONT WINDOW CLEAR ANODIZED
- H — SLAT WALL WOOD LIKE FINISH TBD BY VENDOR
- I — PARAPET BACK ROOFING THE COLOR SHALL BE FACTORY COLORED "TAN". EQUAL ALTERNATIVE ALLOWED.
- J — AWNING, PATIO ROOF, COOLER WALL S-DECK PREWEATHERED GALVALUME
- K — VALANCE COLOR SW 7034 "STATUS BRONZE" (OR EQUAL)
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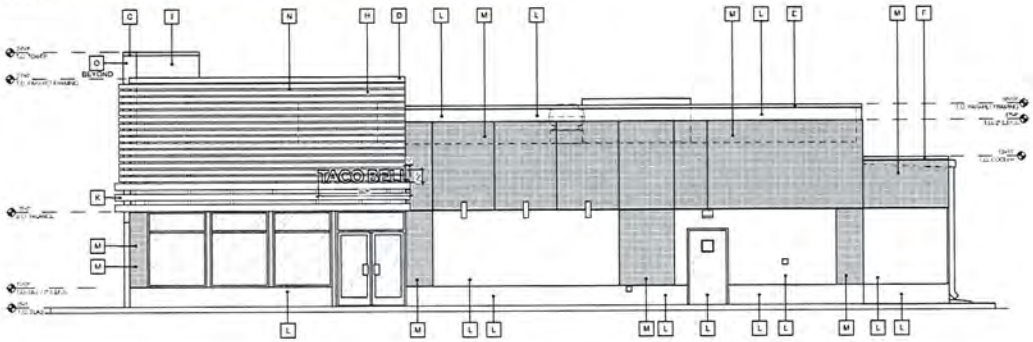
- O — METAL PANELS 18" A606-4 RUSTWALL PANELS



WEST ELEVATION

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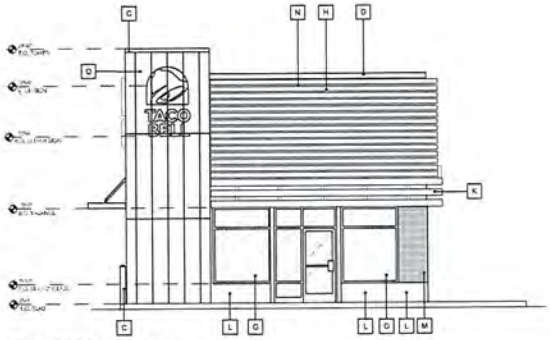

NORTH ELEVATION

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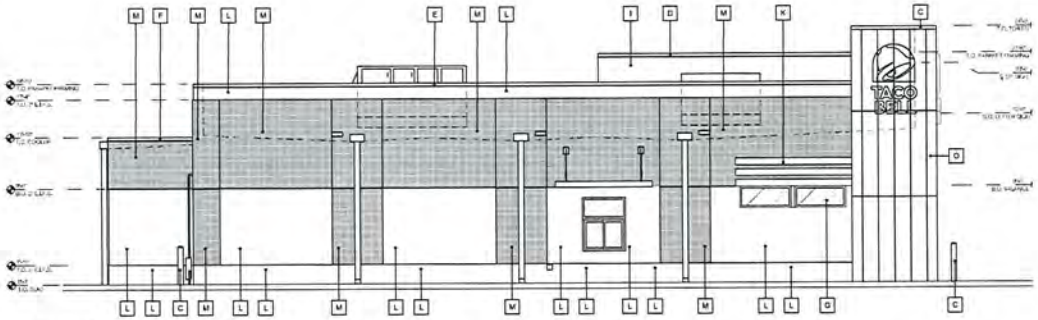
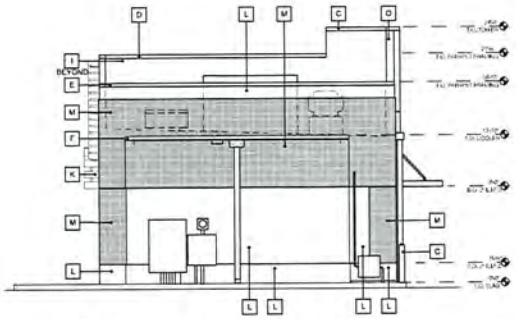


EAST ELEVATION

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

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PROPOSED DEVELOPMENT FOR:

TACO BELL

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985 N MERIDIAN ROAD KUNA, IDAHO

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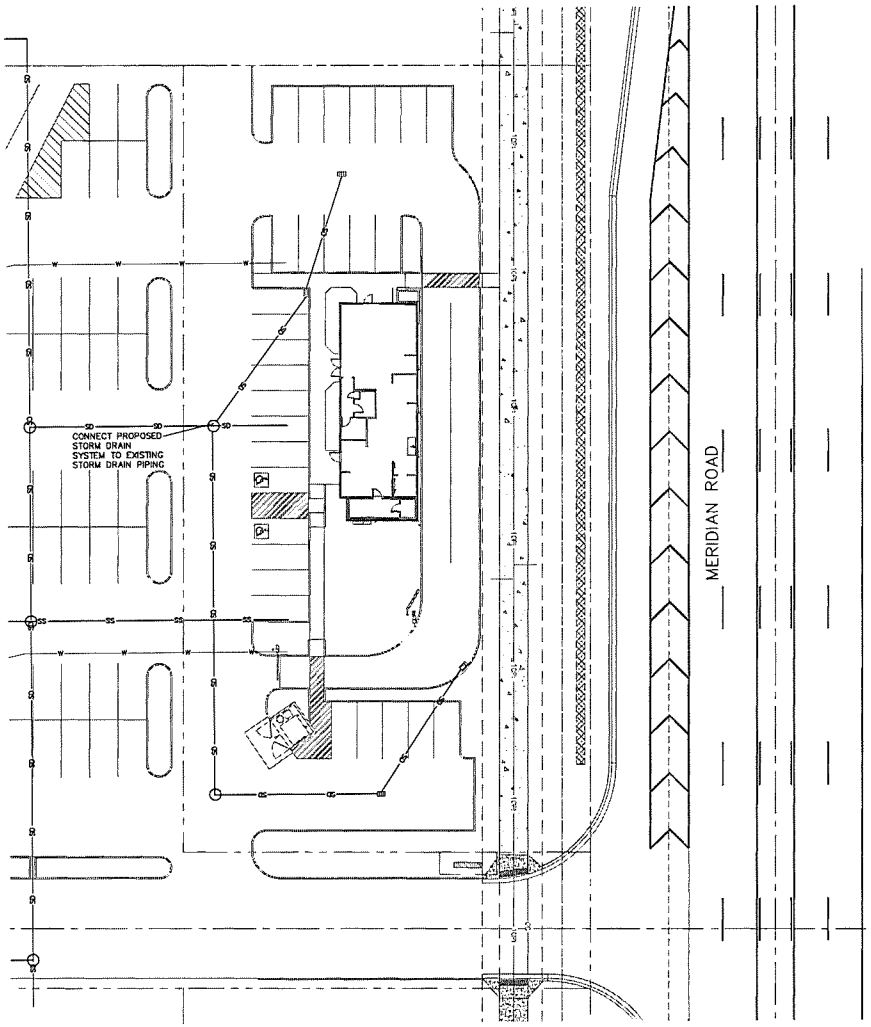
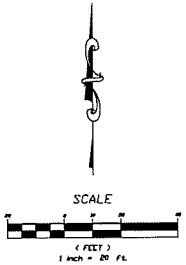
ELEVATIONS

DR3





GENERAL CONSTRUCTION NOTES

1. CONTRACTOR SHALL VERIFY SITE CONDITIONS AND REPORT DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING WORK.
2. PERMITS AND REQUIRED INSPECTIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
3. SITE WORK SHALL CONFORM TO THE CURRENT EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION.
4. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT EDITION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION. NO EXCEPTIONS TO DISTRICT POLICY, STANDARDS, AND THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING.
5. THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. CONTRACTOR SHALL CALL DIG LINE 48 HOUR PRIOR TO CONSTRUCTION (342-1585). ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AT THE COST OF THE CONTRACTOR.
6. CONTRACTOR IS REQUIRED TO FILE ALL NOTICES OF INTENT AND NOTICES OF TERMINATION WITH THE ENVIRONMENTAL PROTECTION AGENCY AS REQUIRED.
7. PAVEMENT MARKINGS DAMAGED OR OBLITERATED DURING CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR.
8. TRAFFIC CONTROL, IF REQUIRED, IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE SUBMITTED TO THE APPROPRIATE AGENCY FOR APPROVAL.
9. THIS PLAN SET IS STRICTLY FOR GRADING, DRAINAGE AND UTILITY INSTALLATION AND IS NOT INTENDED TO SERVE ANY OTHER PURPOSE. NO REPRESENTATION, NEITHER IMPLICIT NOR EXPLICIT, IS MADE THAT THESE PLANS MEET ANY OTHER REQUIREMENTS, STANDARDS, OR SPECIFICATIONS.
10. THE PROPERTY BOUNDARY SHOWN ON THIS MAP IS BASED ON PREVIOUSLY RECORDED INFORMATION AND FIELD MEASUREMENTS; HOWEVER, NO PROPERTY PINS HAVE BEEN SET AND NO RECORD OF SURVEY HAS BEEN FILED.
11. THE CONTRACTOR SHALL HAVE PLANS STAMPED "APPROVED FOR CONSTRUCTION" BY THE CITY OF KUNA PUBLIC WORKS DEPT. ON SITE AT ALL TIMES.
12. ANY CHANGE FROM THESE PLANS SHALL BE APPROVED BY THE DESIGN ENGINEER.

Quadrant Consulting, Inc.
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Boise, Idaho 83705
(208) 342-0091 PHONE (208) 342-0092 FAX
CIVIL ENGINEERING-SURVEYING

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PROPOSED DEVELOPMENT FOR:

TACO BELL

DRIVE-THRU RESTAURANT

985 N MERIDIAN ROAD

KUNA, IDAHO

DRAWN	
DATE	11/9/17
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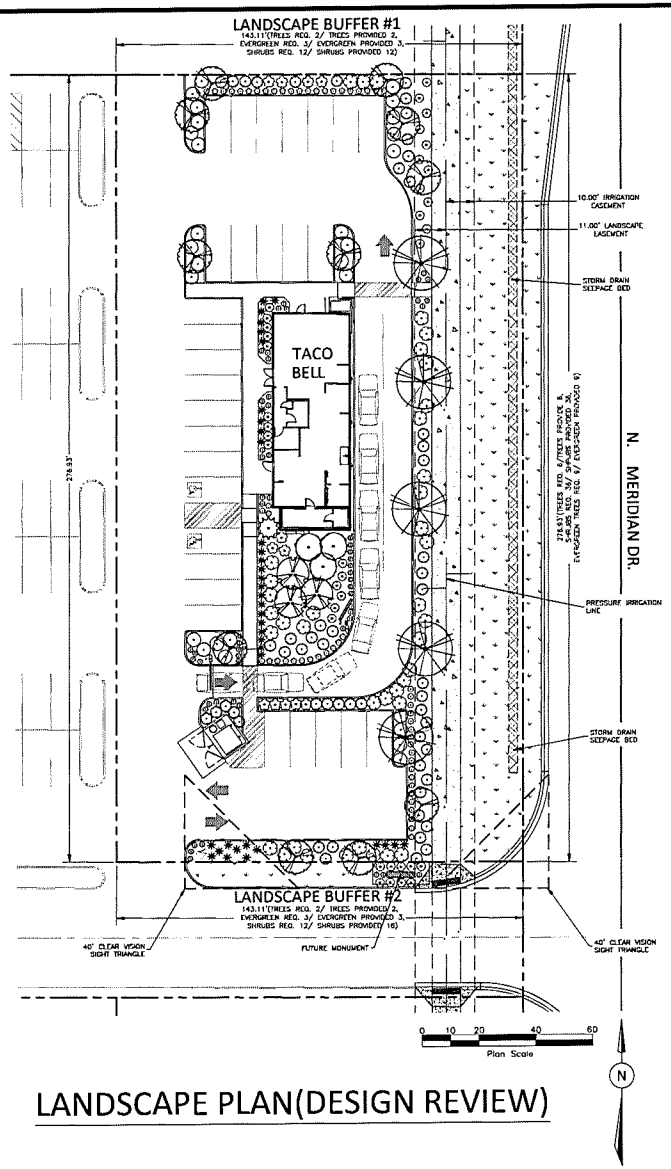
JOB NO.	17012

CONCEPTUAL GRADING PLAN

SD-1



LANDSCAPE PLAN(DESIGN REVIEW)

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	SIZE	MATURE HGHT	CLASS
	5	CERCIS CANADENSIS EASTERN REDBUD	2" CAL. B&B	30'X25'	
	11	LIQUIDAMBAR STYRACIFLUA "SLENDER SILHOUETTE" COLUMNAR SWEET GUM	2" CAL. B&B	25'X15'	CLASS II
	3	MAGNOLIA STELLATA "ROYAL STAR" ROYAL STAR MAGNOLIA	2" CAL. B&B	15'X12'	
EVERGREEN TREES	**QTY**	**BOTANICAL NAME**	**SIZE**	**MATURE HGHT**	**CLASS**
	15	JUNIPERUS SCOPULORUM "BLUE ARROW" BLUE ARROW JUNIPER	5'-6' B&B	4'X15'	
	5	JUNIPERUS SCOPULORUM "BLUE ARROW" BLUE ARROW JUNIPER	5'-6' B&B	4'X15'	
	1	PICEA ABIES "PENDULA" WEEPING NORWAY SPRUCE	2" CAL. B&B	10'X6'	
SHRUBS	**QTY**	**BOTANICAL NAME**	**SIZE**	**MATURE HGHT**	
	27	CARYOPTERIS X CLANDONENSIS "BLUE MIST" BLUE MIST SHRUB	5 GAL.	3'X3'	
	3	EUONYMUS ALATUS "COMPACTUS" COMPACT BURNING BUSH	5 GAL.	8'X10'	
	41	HESPERALOE PARVIFLORA "BRAKELIGHTS" TM BRAKELIGHTS RED YUCCA	5 GAL.	2'X3'	
	12	HYDRANGEA ARBORESCENS "ADETWO" INCREDIBALL HYDRANGEA	5 GAL.	4'X4'	
	28	JUNIPERUS HORIZONTALIS "BLUE CHIP" BLUE CHIP JUNIPER	2 GAL.	1'X6'	
	39	PHYSOCARPUS OPULIFOLIUS "SUMMER WINE" SUMMER WINE NINEBARK	5 GAL.	5'X5'	
	34	SPIRAEA NIPPONICA "SNOWMOUND" SNOWMOUND SPIREA	5 GAL.	4'X4'	
GRASSES	**QTY**	**BOTANICAL NAME**	**SIZE**	**MATURE HGHT**	
	48	CALAMAGROSTIS X ACUTIFLORA "KARL FOERSTER" FEATHER REED GRASS	1 GAL.	4'X2'	
	10	CALAMAGROSTIS X ACUTIFLORA "OVERDAM" OVERDAM FEATHER REED GRASS	1 GAL.	6'X2'	
	32	HELICTOTRICHON SEMPERVIRENS "BLUE OATS" BLUE OAT GRASS	1 GAL.	3'X3'	
	20	PANICUM VIRGATUM "HEAVY METAL" BLUE SWITCH GRASS	1 GAL.	4'X2'	
GROUND COVERS	**QTY**	**BOTANICAL NAME**	**CONT**		
	7,908 SF	TURF SOD RHIZOMATOUS RHIZOMATOUS TALL FESCUE	SOD		

GENERAL LANDSCAPE NOTES

1. CONTRACTOR SHALL LOCATE AND IDENTIFY EXISTING UNDERGROUND AND OVERHEAD UTILITIES WITHIN CONTRACT WORK AREAS PRIOR TO CONSTRUCTION. CONTACT DIG LINE, INC. @ 1.800.342.1813. PROVIDE ADEQUATE MEANS OF PROTECTION OF UTILITIES AND SERVICES DESIGNATED TO REMAIN. REPAIR UTILITIES DAMAGED DURING SITE WORK OPERATIONS AT CONTRACTOR'S EXPENSE.
2. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN.
3. ALL PLANTED BEDS TO RECEIVE A MIN. 3" DEPTH ORGANIC MULCH, SUCH AS BARK, SOIL AID, PERMABARK, OR SIMILAR PRODUCTS. USE OF MULCH OR ROCK AS THE ONLY GROUND COVER IN REQUIRED PLANTING AREA IS PROHIBITED. IF ROCK MULCH IS USED, INSTALL A PERMEABLE FABRIC WEED BARRIER UNDER ROCK MULCH. IMPERMEABLE PLASTIC WEED BARRIERS ARE PROHIBITED.

ACHD LANDSCAPE NOTES

1. TREES SHALL NOT BE PLANTED WITHIN THE 10' CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
2. SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.

GENERAL IRRIGATION NOTES

1. ALL PLANT MATERIALS TO BE WATERED BY THE DEVELOPMENT OR SUBDIVISION PRESSURIZED IRRIGATION SYSTEM.
2. COVERAGE; THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE ONE HUNDRED PERCENT (100%) COVERAGE WITH HEAD TO HEAD SPACING OR TRIANGULAR SPACING AS APPROPRIATE.
3. MATCHED PRECIPITATION RATES: SPRINKLER HEADS SHALL HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE.
4. IRRIGATION DISTRICTS: SPRINKLER HEADS IRRIGATING LAWN OR OTHER HIGH WATER DEMAND AREAS SHALL BE CIRCUITED SO THAT THEY ARE ON THE SEPARATE ZONE OR DISTRICT FROM THOSE IRRIGATING TREES, SHRUBS, OR OTHER REDUCED WATER DEMAND AREAS.
5. OVERSPRAY: SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES SUCH AS STREETS, SIDEWALKS, DRIVEWAYS, AND PARKING AREAS.

TREE PROTECTION NOTES

1. THE CONTRACTOR SHALL TAKE EXTREME CARE TO PROTECT THE CRITICAL ROOT ZONE OF ALL TREES AT ALL TIMES THROUGHOUT PROJECT.
2. PRIOR TO COMMENCING WORK, TEMPORARY FENCING SHALL BE INSTALLED IMMEDIATELY AROUND EACH TREE IMPACTED BY DEMOLITION OR CONSTRUCTION. FENCING SHALL BE MAINTAINED THROUGHOUT THE COURSE OF THE ENTIRE DEMOLITION AND CONSTRUCTION PROCESS.
3. BULK MATERIAL, EQUIPMENT, VEHICLES, AND CONSTRUCTION DEBRIS AND WASTE SHALL NOT BE STOCKPILED WITHIN HE CRITICAL ROOT ZONE.
4. COMPACTION BY EQUIPMENT TRAFFIC IS PROHIBITED WITHIN THE CRITICAL ROOT ZONE.
5. MAINTAIN WATERING WITHIN THE CRITICAL ROOT ZONE. APPLY A MIN. 1.5" OF WATER OVER THE CRITICAL ROOT ZONE PER WEEK. THIS IS A MIN. RECOMMENDATION. CONTRACTOR IS RESPONSIBLE TO DETERMINE IF MORE WATER IS NECESSARY DURING CONSTRUCTION.
6. ANY DAMAGE TO EXISTING TREES DURING CONSTRUCTION SHALL BE THE CONTRACTORS RESPONSIBILITY. THE CONTRACTOR SHALL PERFORM REMEDIAL WORK TO DAMAGED TREES AT THE CONTRACTOR'S EXPENSE.

TREE REQUIREMENT CALCULATIONS

LANDSCAPE BUFFER(TYP 100')	TREES REQ.(2 TREES)	TREES PROVIDED	SHRUBS REQ.(12 SHRUBS)	SHRUBS PROVIDED	EVERGREEN TREE REQ.(3 TREES)	EVERGREEN TREE PROVIDED
N. MERIDIAN DR.	6	6	36	40	9	9
LANDSCAPE BUFFER #1	2	2	12	12	3	3
LANDSCAPE BUFFER #2	2	2	12	16	3	3

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FAX (208) 336-8360

PROPOSED DEVELOPMENT FOR:

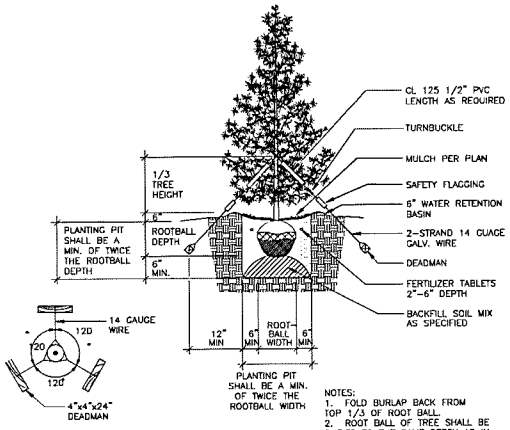
TACO BELL

DRIVE-THRU RESTAURANT

965 N MERIDIAN ROAD

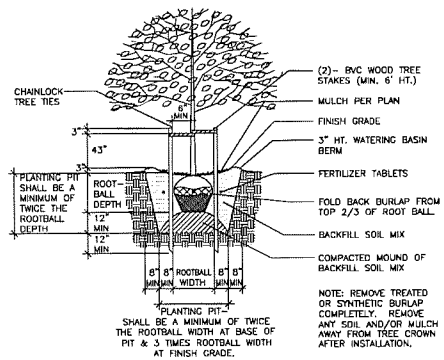
KUNA, IDAHO

DRAWN	RH
DATE	11/16/17
CHECKED	CPB
JOB NO.	17012



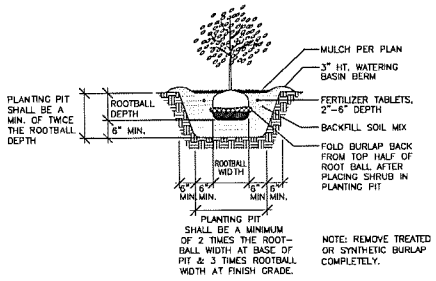
NOTES:
1. FOLD BURLAP BACK FROM TOP 1/3 OF ROOT BALL.
2. ROOT BALL OF TREE SHALL BE BURIED TO THE SAME DEPTH AS IN PREVIOUS NURSERY SETTING.
3. IF TREATED OR SYNTHETIC BURLAP IS USED, REMOVE COMPLETELY.

1 CONIFEROUS TREE PLANTING AND GUYING DETAIL
NTS



NOTE: REMOVE TREATED OR SYNTHETIC BURLAP COMPLETELY. REMOVE ANY SOIL AND/OR MULCH AWAY FROM TREE CROWN AFTER INSTALLATION.

2 DECIDUOUS TREE PLANTING AND STAKING DETAIL
NTS



NOTE: REMOVE TREATED OR SYNTHEIC BURLAP COMPLETELY.

3 SHRUB PLANTING DETAIL
NTS

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DRAFT

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PROPOSED DEVELOPMENT FOR:

TACO BELL
DRIVE-THRU RESTAURANT

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KUNA, IDAHO

DRAWN	RH
DATE	11/16/17
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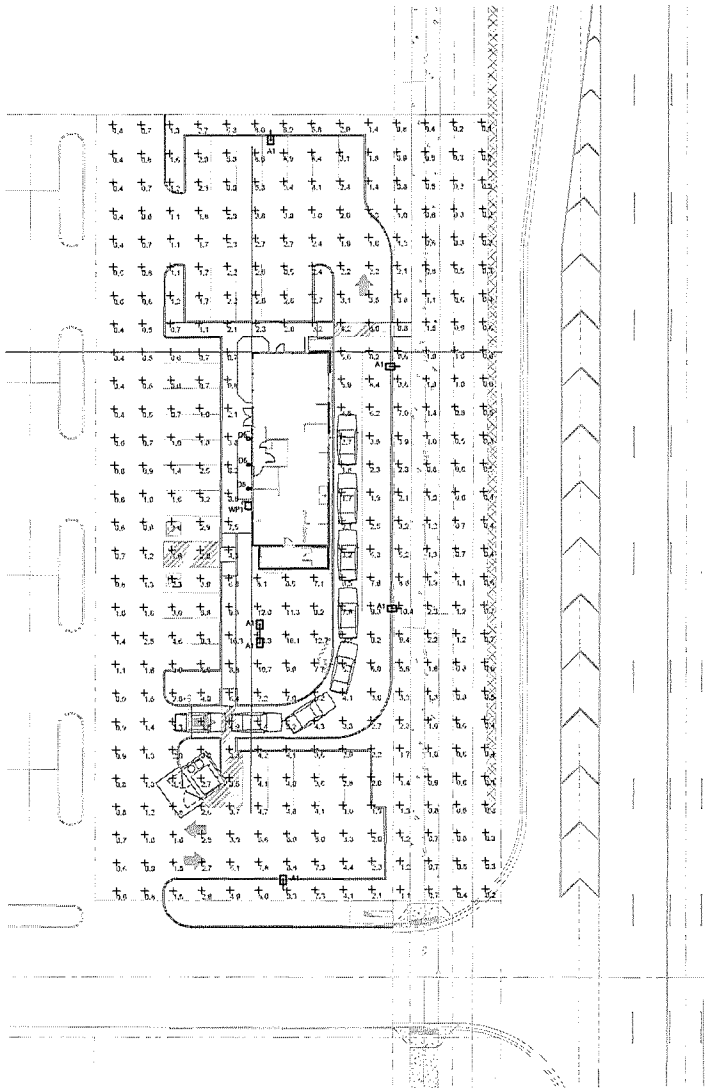

SITE PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
■	D5	3	Progress Lighting	P5463-30	6" X 16"H, WALL CYLINDER UPDOWN (2) PAR38 LED LAMPS		1	H-15094 30W LED2E.IES	1143.781	0.91	26
◘	WP1	1	SATON - LUMARK (FORMER COOPER LIGHTING)	LDWP-GL-35-ED-704W	LUMARK WALPAK GLASS 2LED 4000K	(2) 4000K CGB LEDS	1	LDWP-GL-35-ED-704.ies	3267	0.91	27.1
■	A1	6	LSI INDUSTRIES, INC	ALCHAPT-LED-65-CW			1	ALCHAPT-LED-65-CW.ies	12466	0.91	191.7

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
TACO BELL	+	2.3 fc	29.3 fc	0.1 fc	293.0:1	29.0:1

NOT FOR CONSTRUCTION

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engineering 4 tomorrow
world wide web: e2co.com
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meridian, idaho 83642
phone: 208.378.4450
fax: 208.378.4451
e2co project #: 17203

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FAX (208) 336-8380

PROPOSED DEVELOPMENT FOR:

TACO BELL

DRIVE-THRU RESTAURANT

955 N MERIDIAN ROAD

KUNA, IDAHO

DRAWN	KWA
DATE	11/15/17
CHECKED	JVS
JOB NO.	17012

SITE PHOTOMETRIC PLAN

E1.1

ES-O-EN Management LLC and its Affiliated Companies
DBA Taco Bell
P.O. Box 607
Meridian, ID 83680
Phone 208.888.6428
Fax 208.888.6313

RE: Sign Permit Application for 985 N Meridian Rd, Kuna, Idaho (Taco Bell)

To whom it may concern:

We would like to request the following signage in conjunction with the proposed Taco Bell construction.

1. A single-faced freestanding pole sign
2. Monument sign. Uses the same cabinet as the pole sign, but uses a shorter pole. (This would be in place of the pole sign if we are able to be on the shopping center sign. Currently working with shopping center to see if this is possible)
3. Drive Thru menu board
4. Taco Bell logo and stacked wording on east elevation
5. Taco Bell logo and stacked wording on north elevations
6. Taco Bell wording on the west elevation.

Thank you for your consideration.

Stan Nicolaysen

Exhibit
B9

City of Kuna

SIGN PERMIT APPLICATION

City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

SUBMITTAL FEE: $30

SUBMIT

- ✓ Completed & signed Sign Permit application.
- ✓ Detailed letter by applicant describing the request/project
- ✓ Copy of the dimension and location of existing sign (s). Include picture of both wall signs and free standing signs.
- ✓ Copy of the dimension and location of proposed signs including:
- ✓ Complete text to appear on sign (business name, log, sub-titles, etc) including size & lettering style
- ✓ Overall sign dimensions (including base, wall area, background area
- ✓ Construction materials
- ✓ Sign and lettering color (s) – include color samples or paint chips
- ✓ Copy of building elevations, including wall dimensions & exact, scaled location of sign on building (for wall signs)
- ✓ Copy of site plan showing property lines & any adjacent sidewalks, rights of way from center of streets, landscaping, screening and exact, scaled location of sign on property. (for free standing sign)

Parcel #: R2404320030 Zone C-1

Site Address: 985 N Meridian Road

Applicant's Name: Stan Nicolaysen Phone: (208) 870-5407

Applicant's Address: PO Box 607 City: _____ Zip: _____

Contact's Email: stan@esoen.com RCE# _____

Note: The following information must be completed in entirety. For additional signs, please attach information to application

SIGN #1 PROPOSED X EXISTING ____ OFF PREMISES ____ ON PREMISE X
Type of Sign: Freestanding X Wall ____ Ground Monument ____
Sign Dimensions: Length 8' 11" Width 5' 10" Square Feet 48
Building Lineal Foot (space of which is occupied by enterprise) 210'

SIGN #2 PROPOSED X EXISTING ____ OFF PREMISES ____ ON PREMISE X
Type of Sign: Freestanding ____ Wall ____ Ground Monument X
Sign Dimensions: Length 8' 11" Width 5' 10" Square Feet ____
Building Lineal Foot (space of which is occupied by enterprise) 210'

Note: *Once plans have been checked and approved for issuance the applicant **MUST** pick up the building permit within **30 days** or the plans will be destroyed. Per IBC 2006 regulations, work must commence or resume within 180 days or permit is invalid. Building Official may grant time extensions prior to expiration.*

Applicant's Signature: [signature] Date: 11/20/17

**********OFFICE USE ONLY**********

BP #	SITE ADDRESS	Planning & Zoning Approval and Date
FILE #		/

Sign #3

- Proposed & On Premise
- Type of sign: Freestanding (Drive Thru Menu Board)
- Dimensions: Length- 7' 3" Width- 7' 8" Square Feet- 55.59

Sign #4

- Proposed & On Premise
- Type of sign: Wall (East Elevation)
- Dimensions: Length- 6' 6" Width- 4' 3" Square Feet- 27.65

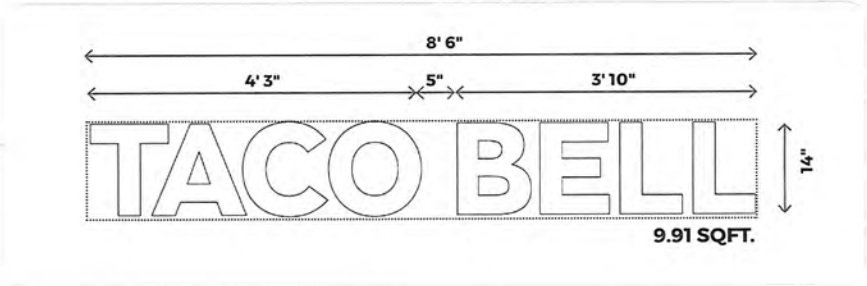
Sign #5

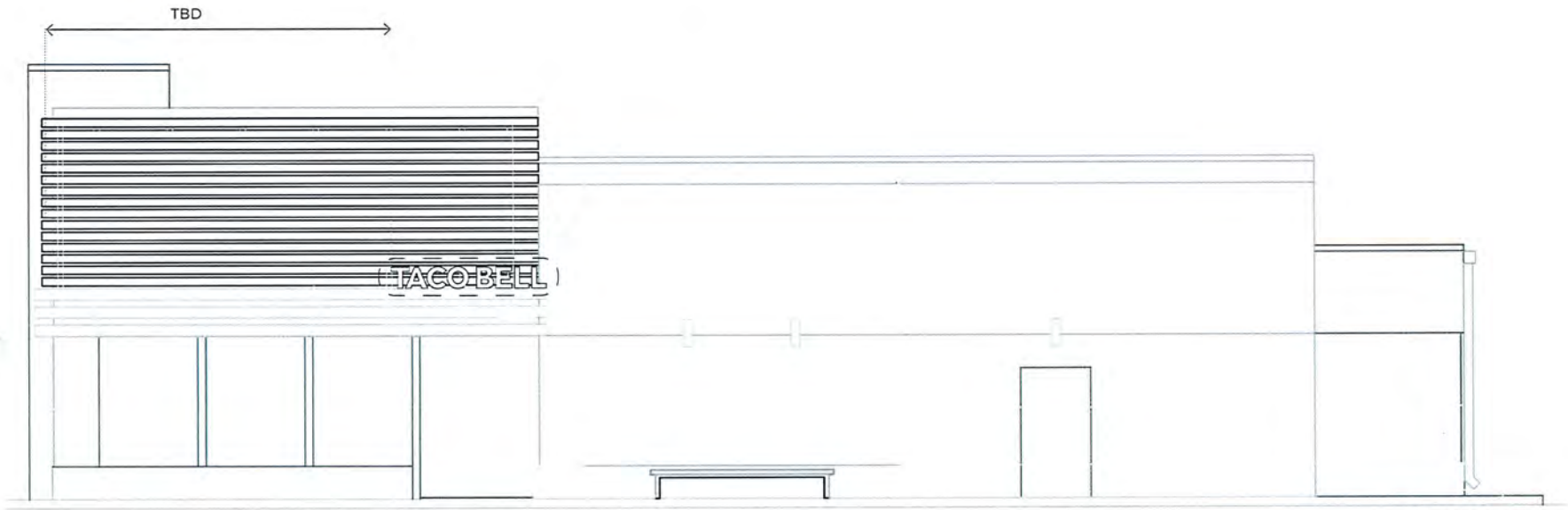
- Proposed & On Premise
- Type of sign: Wall (North Elevation)
- Dimensions: Length- 6' 6" Width- 4' 3" Square Feet- 27.65

Sign #6

- Proposed & On Premise
- Type of sign: Wall (West Elevation)
- Dimensions: Length- 14" Width- 8' 6" Square Feet- 9.91

BUILDING SIGNS EXPLORER LITE

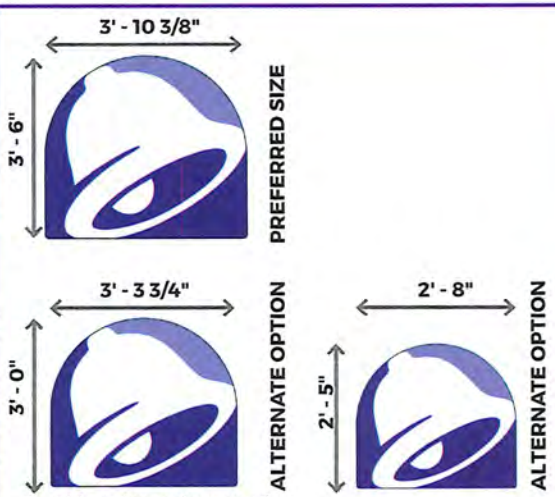




Side Elevation

BUILDING SIGNS EXPLORER LITE

SWINGING BELL OPTIONS



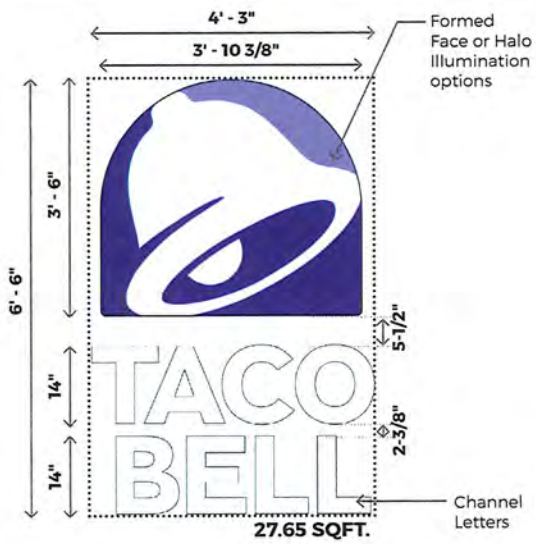
*For this option and custom sizes, refer to page 16 for additional information. Work with your Brand Manager to meet requirements.

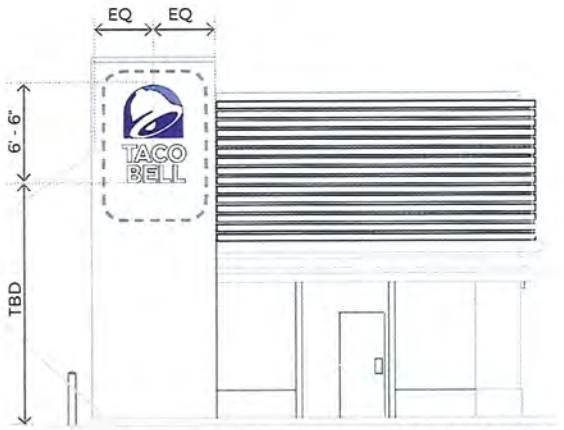
*Options are available for face form or halo illumination.

DIGITAL SIGN

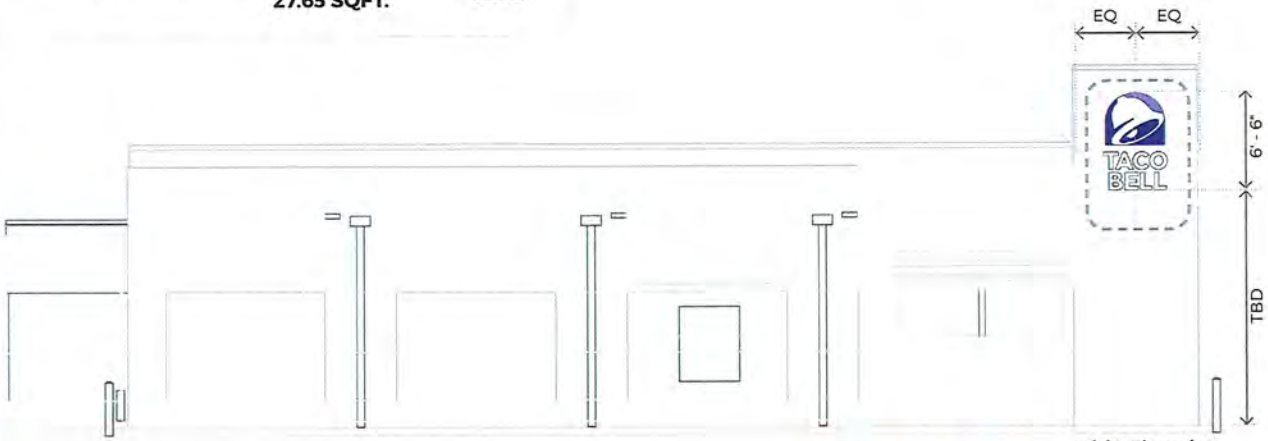
Franchises can pick between a digital or standard sign. Dark/light purple logo color configuration is the primary color. However, exterior building signs can cycle through these colors if you prefer a digital sign.

(cycles through 7 different pre-selected colors)





Front Elevation



Side Elevation

GENERAL SPECIFICATIONS:

10" deep extruded aluminum cabinet & retainers w/ Satin Black finish

Internally illuminated w/ white LEDs;

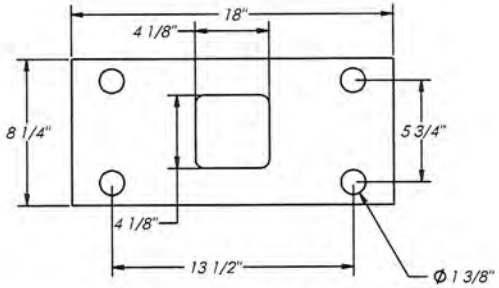
AgiLight Retrorays, 500 Lumens light bar 50K

COLORS:

Dark Purple PMS 2603
Light Purple PMS 2577
Black
White

TYPE FACE:

Frutiger 77 Black Condensed



E006329B & E 00047B
49SQ - 8 1/4" X 18" X 3/4" PLATE

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Everbrite
Everbrite LLC
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Phone: 414-529-3500 • Fax: 414-529-7191
Website: www.everbrite.com

Part No: E008122	**V-902**	Project No: 350969-2
Description: 48 Sq. Ft. Main ID Sign / Breakfast		Date: 10/28/16
		Drawn By: RB

TACO BELL