



KUNA PLANNING AND ZONING COMMISSION
Agenda for April 24, 2018

Kuna City Hall ■ Council Chambers ■ 751 W. 4th St. ■ Kuna, Idaho

1. CALL TO ORDER AND ROLL CALL

Chairman Lee Young
Vice Chairman Dana Hennis
Commissioner Cathy Gealy
Commissioner Stephen Damron
Commissioner John Laraway

2. CONSENT AGENDA

- a. Meeting Minutes for April 10, 2018.
- b. **Findings of Fact and Conclusions of Law** for 18-01-ZC; Rezone of approximately 73.50 acres of four lots within Chisum Valley Subdivision No. 1 and 2.

3. NEW BUSINESS

- a. **18-10-DR (Design Review)** – Indian Creek Sports; The applicant, Troy Todd with Indian Creek Sports, seeks Design Review approval from the Planning and Zoning Commission (acting as Design Review Committee) for a new 5,000 square foot showroom, shop, boat lot and an accessory recreational vehicle storage area, accompanying landscaping, lighting and parking lot along South Meridian Road. The approximately 5.49-acre site is located at 8797 South Meridian Road, Kuna, Idaho 83634 (APN# S1312142304).
 - **Staff requests the Items be tabled to the next Planning and Zoning Commission Meeting on May 8, 2018.**
- b. **18-11-DR (Design Review)** – Accessory Building; 18-11-DR: Applicant requests approval from the Planning and Zoning Commission for a project consisting of a single new 6,000 Square Foot (SF) building, to be built next to the existing building on the lot. The purpose is to provide spaces for start-up business that require between 1,500 and 6,000 SF.

4. PUBLIC HEARING

- a. **18-07-SUP (Special Use Permit)** – A Touch of Home Daycare; Applicant, Arisa McRoberts, seeks Special Use Permit approval in order to operate a childcare center (childcare for 13 plus children, ages 0-12) in an existing residential structure. The site is located at 302 E. Avalon St., Kuna, ID 83634.

5. COMMISSION REPORTS

6. ADJOURNMENT

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PZ COMMISSION MEMBER	PRESENT	CITY STAFF PRESENT:	PRESENT
Chairman Lee Young	X	Wendy Howell, Planning Director	X
Commissioner Dana Hennis	X	Troy Behunin, Senior Planner	X
Commissioner Cathy Gealy	X	Jace Hellman, Planner II	X
Commissioner Stephen Damron	Absent		
Commissioner John Laraway	X		

6:00 pm – COMMISSION MEETING & PUBLIC HEARING

Chairman Young called the meeting to order at **6:00 pm**.

Call to Order and Roll Call

1. CONSENT AGENDA

- a. Meeting Minutes for March 13, 2018.
- b. **Findings of Fact and Conclusions of Law** for 17-08-ZC (Rezone) & 17-12-S (Pre-Plat); Redhawk Square.

Commissioner Gealy Motions to approve the consent agenda; Commissioner Hennis Seconds, all aye and motion carried 3-0.

2. PUBLIC HEARING

- a. **18-01-ZC (Rezone)**; Applicant, Katie Miller, with Bailey Engineers, on behalf of Thistle Farm, and Vanderkooy Farm, LLC's (Owner), requests approval for a rezone of approximately 73.50 acres of four lots within Chisum Valley Subdivision No. 1 and 2, from Agriculture (Ag.) TQ an R-6 (Medium Density Residential) MDR zone, following the Comprehensive Plan. This site is located at the NWC Linder and Columbia Roads. APN Nos; R1393850100, R1693860010, R1693860290, R1693860280.

Katie Miller: Bailey Engineering, 4242 N Brookside Lane, Boise Idaho. Our application before you tonight is for a rezone, we are not quite ready for our preliminary plat, so we wanted to move forward with what we have. The site is located on South Linder Road, north of Columbia and south of Lake Hazel at the mid mile collector, the site was annexed into the city in 2006 as a part of the LID, the site contains four parcels totaling 73.17 acres. The current zoning on this is agricultural, we are proposing a medium density residential zone, with R-6 designation this evening. Before you is the Comprehensive map, which was adopted by council in 2008, which you can see 36 acres of our site is marked medium density residential, and allows 4 to 8 units per acre, at a max capacity of eight units per acre that is a capacity of about 295 lots. The east side is zone mixed use, which is 2 to 20 units per acre, which is 727 lots at max capacity. The preliminary plat, that is still conceptual, that we are proposing has approximately 310 units on it, with approximately 4.25 units per acre, so with the R-6 designation we are requesting, we are in line, and possibly even low, but well within the comp plan at an R-6 designation. Again, this was approved by the city of Kuna, and the City Council in 2008, and reflects the goals of the City leaders and its citizens. I wanted to point out the current zoning map and the comprehensive plan map, you can see the Whisper Meadows site, but you can look at the brown areas on the current zoning map, those are areas that have been currently rezoned, and annexed into the city for this medium density residential, you can see that it follows in line with what the comp plan is looking for. The City of Kuna, has continued to

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invest in infrastructure in order to support this growth by providing new regional lift stations, new irrigation pump stations, investing in new future expansion sites. you can see to the east of use the new high school site, which is scheduled to be done next year. you can see on the southwest corner, that is 52 acres of Kuna School Districts potential expansion of the school district. What we are proposing and requesting is in line with what the council and residents were proposing back in 2008. There is a lot of opposition here tonight from the neighbors, and one thing I want to keep in front of everybody, is that tonight we are talking about a rezone, and nothing else, and what we are putting in front of you is a request that is in full compliance with your future land planning and designation that you saw back in 2008. We want to keep in mind, looking at development and concerns from neighbors. We all know development, and some community members do not, we have checks and balances in place moving forward with Preliminary plats in order to make sure we are in compliance with your plans, not only yours but other agencies to ensure safety, and building communities that are sustainable and in line with what you are asking for. So, moving forward we look at that at the preliminary plat stage. If and when that is approved, we still need to go through construction drawings. Grading and Drainage plans are engineered, everything is looked at, but tonight we are just requesting a rezone to an R-6 designation, and I will stand for any questions. **C/Young:** Any questions for the applicant? **C/Hennis:** Just for clarification, how many dwelling units did you estimate? **Katie Miller:** 4.25. **C/Hennis:** Thanks! **C/Young:** Okay, we will have Troy come on up. **Troy Behunin:** Good Evening Commissioners, for the record, Troy Behunin, Planner III, 751 W. 4th Street, Kuna. I just wanted to let you know for the record that I am handing a letter from Jeff Heinrichsen. This wasn't turned in in time, so I am handing it to you tonight. The applications before you tonight are case No's 18-01-ZC is presented for your vote to recommend approval, conditional approval or denial to Council. The application materials have been assembled for your packets for your reading pleasure. All of the noticing procedures have been followed to hold the public hearing tonight; the site was posted, a public notice was in the KMN, and announcement flyers were mailed to land owners within 400', which is actually 100' further than required. Although the total application does include a Pre-Plat, we are here tonight to discuss the Rezone application only. As you know, we only forward applications along that have a final ACHD report. As the final report is not ready, we can only move the rezone portion forward. The applicant seeks approval for a Rezone that consists of approximately 73.50 acres, in Kuna City limits, in fact, the involved lands are lots within the Chisum Valley subdivision 1 and 2. This request matches the Comp Plan map, designation of Medium Density Residential on the west half and Mixed-Use General on the east half. This project is located at the NWC of Linder and Columbia Roads. This project has significant on frontage Linder Road. These lots were in the LID, and the obligations for EDU payment were satisfied in amounts set forth by the LID and City Council. With future development, the applicant will be required to extend all public utilities to the site. Since this request follows the comp plan, the comp plan map, and goals of the City, staff forwards a recommendation of approval to the Commission. Staff has worked with the applicant to get it before you tonight, and they have submitted everything staff has asked for. Staff finds this application to be complimentary to the comp plan goals and the comp plan map. I stand for questions. **C/Young:** Are there any questions for staff at this time? **C/Gealy:** None, at this time. **C/Young:** Okay, at this time we will go ahead and open up the public hearing at 6:15 and I will just note for everybody, there is a three minute time limit for each, and it is even more important when there are several people here so everyone gets their chance to have their say, so be mindful when the time off to wrap up so everybody has their chance, and when that is up the applicant will have a chance to speak again. So, with that in mind we will go ahead and I have first listed to testify, Gregory Hiatt please come forward and state your name and address for the record. **Gregory Hiatt:** 2300 W Cogburn, I just wanted my voice to be heard, and I am not opposed to development, the question is how dense does it have to be? If the preliminary drawings are for a smaller number of units, I would look at a lower development or a rezone to meet that, right now we are looking at 4.25, but we could be looking at as much as eight? I would look at a zone that is more in lines with what they are planning, as opposed to what they might changed to later, that is one thing that may

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be considered. I heard a couple of times that it is in compliance with the city. I would say it is in compliance with the city officials, or the city elected people. They may have agreed, but not the citizens, because we are hear. Being tax payers for Kuna, I would say that the city as a whole may not be in compliance or agree with this. My property is right on the corner of Chisum and Cogburn, they may be using this a thorough way for the traffic for the new subdivision that would impact my house, because there would be a lot more traffic. There will be development, how much development does their need to be and how dense does it have to be.

C/Young: Thank you. **Wendy Howell:** To clarify for the record, the City's elected officials have not yet seen this case yet, and I would also like to enter exhibit C4, the letter that was given to you earlier by Troy. **C/Young:** Next I have listed is Jenna Vonderehe. **Jenna Vonderehe:** I live at 7601 S Chisum Place. So, as a neighborhood obviously we have a lot of people here in opposition. We moved out to Kuna and that area for that little slice of dream. I am not opposed to growth, I am opposed to using our neighborhood as a through street. Growth is inevitable, but as far as using a country street which serves a neighborhood with about 25 homes in it, and you want to bring in an average of 4.25 up to eight, that many cars and home using our street going up to Columbia, it is already a mess for us in the morning with the small amount of homes that we have. I am not opposed to growth, I am opposed to using our neighborhood as a through street, when there is Lake Hazel and Linder to exit from. With that I just want to state something, there was an article written in the Idaho Statesman about growing pains in Kuna and the small town and rural feel that was attracting more people. People who live in Kuna, were called by the echoes of rural life and feel of small town America. That is what is drawing people to Kuna, but every time we approve 4 to 8 units per acre we are losing what the Idaho Statesman quoted, Kuna is the kind of place where you can buy eggs fresh from the farm, and most of the community turns out for events and festivals. It still has outlying farms and agricultural type of people who have lived in Kuna for 18 years and have returned. Kuna is still keeping true to its roots. So, my question for you, is this keep true to Kuna roots. Find that balance between growing and keeping true to its roots. So, that is all I have to say right now. **C/Young:** Thank you, next I have listed to testify is Josh Riccardi. **Josh Riccardi:** 7752 S McLintock Place in Chisum Valley. We mailed in our opposition letter did you guys receive that? What we are feeling is that when this style of development becomes attached to our community, it is going to destroy what we have. When our community was built about 12 years ago, I think we have some of the original homeowners still there, the view was to establish that style one acre, on and half type subdivision throughout, from there that is thrown out the window, and I know growth is growth, but that is going to destroy the small community have out there. The influx of traffic rolling through, and going outside the comprehensive plan, the rural feel that is going to be gone. With the high school going on Linder, yeah on the north corner, where do high school kids go, they cut through subdivisions. Right now, we have zero infrastructure, we have no sidewalks, there isn't even a speed limit through there. Nothing is there, it is all Ada County. So, when they developed this subdivision that is what happened they just left it be, and now we are attaching a large subdivision to ours, it is going to destroy ours, and I feel for a lot of the young kids, I have young kids and the rest of the community members do, that will be a big impact on us. The other thing is our irrigation runs along the outside of our property lines. We have our maps from Jeff, he is our water master he has all the maps and will show you where it is at. It is on the outside of the property line. So, how do I fix that. How do we access that? Everything else from that is in our statement that we submitted to you. It will compromise the value of the homes as well. **C/Young:** Okay, next I have listed is Alana Eyolfson. **Alana Eyolfson:** 7790 S McLintock Place in Chisum Valley, and I just wanted to reiterate what some of my neighbors have already said, and I am very concerned about the rural feel of our community, we moved their three years ago because we wanted to come back to that environment, were we have a home on a bigger piece of property with neighbors that have that country feel to it. We have invested a significant amount of money into our home because our intention is to live there a really long time. We want to retire there, and do our hobbies there, and enjoy our grandchildren at some point with our big yard. We feel that is compromised, and we concerned about the economic impact that may have, even though intend tot

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live there for a long time, and we all know things happen in life and we don't want that to be affected if we do have to sell. More important it is impact on the community. We have a very close-knit community in Chisum Valley, we moved there and we loved the idea that the kids can be out there playing in the streets. Our neighbor came out trick or treating on their horse. We love the idea that our kids and pets can be in the neighborhood, and not impacted by a lot of excess traffic moving throughout the neighborhood. People who live there know where all of the kids live and the pets are. If you open that up to another 300 people then they will not be cognoscente of who lives where, children and pets, and there are a lot of safety issues. If Kuna is wanting to have that small-town feel, that does impact that. Even though growth is inevitable we want to make sure there are checks and balances to have that accounted for. **C/Young:** Okay, thank you. Next, I have listed is Virginia Jeppesen. **Virginia Jeppesen:** 7901 S Chisum Way. Like many of my other neighbors have stated we are not opposed to development, we understand it is going to happen, but we are concerned with the amount of development that was proposed. So, one of my suggestions and one of my thoughts and not trying to be fully against it is if they want to come in, they want to be attached to our development, they want to use our main road that is great, but honor what we have existing. Continue with what is there, continue with the R-1 and give people an opportunity to have what we have, to own a little piece of property and have some of that country feel. As others have said, I have small children to, so I can worry about the safety of all of that traffic, so I live on Chisum and that could potentially be a main thoroughfare and concerns for all of that traffic coming in and out of that road, and safety for my kids. I worry about those homes, smaller homes, and smaller pieces of property, I don't know what they are predicting for the price of those homes, if they are consistent with what we currently have, and if those will bring down the value of our homes. I worry about the cost to us, because we don't currently have sidewalks and what that will do to us, we are all currently on well and septic, and when those city utilities are brought through what will that do to us. I would just say development will happen, we all know it is coming, we know it is good, and we know growth is good, but if they are going to attach to our subdivision I would love for them to be zoned R-1 thank you. **C/Young:** Okay, next we have Jared Allen. **Jared Allen:** 7980 S Chisum Way. So, when I look at this, in the building industry, the tract builders continue to put out a lot of homes, which is good, we need that right now. We have a lot of people needing homes, and homes need to be on the market. But, at the same time those tract homes are typically starter homes, and we are bumping into an established subdivision that has acreage on it. There are thousands of homes plotted and planned for the next few years and so most of these tract home builders put a one-year warranty on the house, prices are high, wages are not, which makes it keep on coming all the more difficult, that is a typical sign that you are going to start lowering values, and you will start getting a different people coming into the area. Look at how Eagle is established, we want to start getting some higher income in here as well as some starter homes. I think this is a good opportunity in the area that we are in to establish some bigger lots, and a nicer area, to bring some higher income into the area as well and help the business owners grow and create new businesses. **C/Young:** Next I have Shannon Lucky. **Shannon Lucky:** 7714 S McClintock. Some of my concerns deal with the traffic, like they said we don't have sidewalks in our subdivision so the children are in the streets and we have borrow pits, so if they need to get off the road they can't just walk into someone's yard they have to go into the borrow pit which usually is filled with rocks. With the high school going in, there will be a lot of congestion at the intersection. So, if the road where to come through our subdivision, I can see people cutting our subdivision because our speed limit will be 25, and the schools will be 20. I agree that growth will happen, I just don't think connecting to our subdivision is the right thing to do, with our small density lots. **C/Young:** lastly, I have listed is Rick Willis. **Rick Willis:** 2345 Cogburn St. I have some general comments I would like to make. I grew up in the 50s and 60s and that was a big time of protest in our country. Not only did we have the war, but there was a lot of people who were protesting urban sprawl and the lack of open space, so in 1962 there was a protest song, some of you may have heard it, most of you probably not, but it mocked suburban tract houses as cookie cutter little boxes. I want to give you the lyrics of just the first verse, I won't go through

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the entire song, but, Little boxes on the hillside, Little boxes made of ticky tacky, Little boxes on the hillside, Little boxes all the same. There's a green one and a pink one and a blue one and a yellow one, and they're all made out of ticky tacky and they all look just the same. The definition of tick tack, is shotty, unimaginably designed, flimsy and dull. Folks, Kuna has a lot of ticky tack, and I am sad to say whenever you hear about development in the valley, and they mention Kuna, almost always, the next word is cheap. That is a sad legacy for Kuna. This afternoon about four o'clock, I drove through one of these ticky tack neighborhoods between Ten Mile and Deer Flat. I counted eight portable basketball stands on the lawns and on the sidewalks in that subdivision, I counted a whole bunch more that were cemented into the driveways. I previously noted on Ten Mile and Deer Flat there was one little spot that may be a quarter of acre that has a swing set, and one of those cheap green slides. Kuna Doesn't need cheap, they need a better reputation. **C.Young:** that is all I have listed, is there anybody here that has not signed in, but would like to testify. **Dru Wright:** 7828 S McLintock Place. I like what Virginia Jepson said, we have spoken, but what she said about maintaining the consistency of our subdivision punching through the two roads coming through is absolutely inline with my way of thinking. When you look at the plat of that block you can see that there are already lots that are significant in size, but our lots are actually small in comparison to those that are out there. These are people that live on the perimeter of the block. The block comprising of Linder, Ten Mile, Lake Hazel and Columbia. The gal that spoke first talked about their plan with what they are doing in Planning and Zoning in Kuna, that may be true for what is south of Columbia, but what is north of Columbia is absolutely not consistent. I will go one step further than Ms. Jepson, and not only have them be consistent zoning wise with us but let the CC&Rs be consistent with ours. It allows large animals on the lots, horses cows, chicken, goats and sheep. If you put that in an area that would maintain the consistency of what is already there you are going attract people like fly's to the subdivision, it is going to be an immediate attraction to people in the area, and if there is any other doubt that acre, acre and a half lots wouldn't draw the people, I think you should try it, and I bet you it will sell out. To let you know there is a demand for that type of home, when a home goes for sale in the Chisum Valley Subdivision in sells almost immediately. People want to have that country appeal. But the 4.25 homes per acre is totally inconsistent with our subdivision. Thank you. **C/Young:** Next we have Glen Purnell. **Glen Purnell:** 7863 S Chisum Way. We purchased the home less than two years ago, and between the purchasing of the home and several remodeling we have put in several hundreds of thousands of dollars into that location. The main draw is the open space and rural feel. We have noticed there are some opportunities for improving the school system and maintain the larger homes and a large investment of families in the area will help with that help give a base to the community. Our concerns are similar to others would be the increase traffic, specifically we are on Chisum so that would increase our traffic there, but with that being said if the traffic was limited to this proposed subdivision with one acre lots, consistent with ours, then we would be okay with that. One other issue we have with the new subdivision proposed is they will bring in City services, which is another reason why we chose to move to where we did is because it is off of the grid, and we are not interested in hooking up. So, those are our main concerns, and we have others in the neighborhood with the sidewalks, and it is fine the way it is, but if the traffic increased it would be difficult to feel safe in that environment, and we would be likely to make a change and have better accommodations there to whatever degree we can. **C/Young:** Thank you, I will ask one last time, including yourself is there anyone else that would like to sign in to testify. **Randy Colson:** I live at 2344 W Cogburn in the Chisum Valley Subdivision. I am not going to talk about the roads or anything else we all know where that is at. When I look at what is happening here, the soul of Kuna has already been compromised with the new high school. So, my feeling here with the City Kuna moving this forward is, we want it there, the growth needs to come, but we would like to see it a little bit less density, down to three or two homes per acre. That would still justify the Country lifestyle, I just don't see sustainability with how fast the area is growing out there. The soul of the City, I see a major compromise coming that just concerns me, I would like to see it drop to a two or three home per acre when they go ahead and plat this. **Lori Allen:** 7980 S Chisum

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Way. So, taxes. We have acre lots all paying 26 – 2900 dollars in taxes and we send maybe what 2 to 3 kids per home to schools that are already over populated, we are already short on the schools, so we are already in a bind to get more tax money and create new schools. This subdivision is going to send in a lot of more children, because it is going to be younger people buying with elementary aged school kids, I think it is going to put a bigger burden on the City, and all of the tax payers in the area to create more schooling to accommodate all of these cookie cutter homes that you are bringing in. If you do the R-2, but just keeping with people like us who are paying the higher taxes because of what we have chosen as our homesteads, I think our voices might be heard and you might continue with that path instead of Corey Barton Homes. I don't think Kuna needs more any more cookie cutter homes. **C/Young:** Okay, thank you. Then we will have the applicant come forward. **Tim Eck:** Good Evening Chairman and Commissioners, my name is Tim Eck, and I am the applicant, I live at 6152 W Half-moon Lane in Eagle Our application before you this evening is for rezoning. We are not quite ready with our preliminary plat so we are proceeding only with the rezoning application. The west half of the property is in the comp plan with 36.776 acres Medium Density Residential which anticipates and allows residential densities from 4 – 8 units per acre. R4, R6 & R8 are the allowed zones in medium density residential. Our potential density of on this half if the site is 295 lots at R8. The East half is 36.382 acres mixed use general. Mixed use general has a foot note that states "mixed use general expected residential densities can range from 2 to 20 units per acre". Our potential density on this half of the site is 727 lots at 20 lots per acre. Following the comp plan land use designations on these properties we could be submitting a preliminary plat application for 1,022 lots. Asking for a R6 zone is well within the limits of the comp plan. On the medium density half of the site we are exactly in the middle of the allowed densities. On the Mixed use, half of the site we are at 30% of the allowed density. This places us well below the allowed density. Currently, we are only planning 310 residential lots placing us at 30.33% of the comp plan allowed density. The property was annexed as part of the 2006 LID, 06-14-AN. The property was enrolled into the wastewater LID and assessed accordingly. The present comp plan and its land use designations have been effective since at least 2008. The comp plan clearly identified this area and this property for the use expected and allowed by the comp plan map. Kuna identified the growth demand in this area and strategically located the state of the art Kuna North Wastewater Treatment Facility ¼ mile from our NW corner. There is a regional wastewater lift station built immediately adjacent to our NE corner specifically oversized as required by Kuna to service this property with these densities. There is a Kuna Pressure Irrigation pump station immediately east of the property sized to supply this property. All utilities required to develop this property exists across our Linder Rd frontage or at our north east corner. The Kuna School District recognized the existing growth patterns and the growth expected by the comp plan and strategically purchased acreage and are currently designing a new high school contiguous to our east boundary. We have a very attractive plat layout with 7.95% open space. We have a large open space planned to accommodate 2 sizes of regulation soccer fields. We have 13 common lots throughout the plat that will include improved pathways to allow pedestrian and bicycle connectivity throughout the development and provide easy access to the soccer fields. **C/Young:** That is all for the preliminary plat though, that we can't see at this time? **Tim Eck:** Okay, I will go onto their stub streets then. Chisum valley has 2 stub streets to the north that terminate at our south boundary. ACHD policy and Kuna code require providing and connecting to existing stub streets to promote safety and traffic circulation. It is not my desire, it is the policy of ACHD and the City of Kuna that require connection and then the subsequent connection there too. As an accommodation to Chisum Valley we are proposing connection to only the west stub street and to provide a common lot connecting to the east stub for pedestrian and bicycle connectivity. We selected the west stub street connection as recommended by our Traffic Engineer to be the connection that would receive the least use from our site. We will be constructing our proportionate share of 2 mid-mile collectors that will provide for needed traffic flow, in addition to Linder Road improvements. We are directly centered between 6 other residential developments with similar density providing a mixture of lot sizes complying with Kuna's vision for diverse housing. We are within ½ mile of the

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Silver Trail Elementary school that sits on a 52 acres parcel clearly intended for school growth. It is abundantly obvious that this is exactly the growth expected in this location. If anything, we should consider significantly higher density. As an additional accommodation we have placed large buffer lots along our south boundary contiguous with Chisum Valley ranging from 12,564 sq ft to 20,430 sq ft making our density along our south boundary. Kuna Code and Planning and Zoning at the direction of Kuna Public Works discourages plats that consist of excessive lot sizes. Sewer mains require certain volume to scour the pipes. Insufficient flow that would exist as a result of too few lots will not scour the pipes resulting in excessive maintenance. You can't do a half acre lot subdivision in Kuna any more, you won't get it through public works. Large lot subdivisions as would be required in the event of a land use designation of low density residential primarily exist with septic tanks or sequencing batch reactor type private waste water treatment facilities that require land application sites. Neither of these options would ever be considered when you are within ¼ mile of the wastewater treatment plant and have sewer connection available within a couple hundred feet of your boundary. All of our product is quite architecturally attractive. The comp plan map clearly has a large amount of low density residential and we are not in it. When the comp plan map was studied, developed, and put together, they decided where low density, medium density needed to be and where the commercial needed to be, we are where in the medium density needs to be, and the mixed use general comp plan designation is. We are doing everything possible to make is as difficult as possible to come from the school site to their stub street. But, we can see that another day. We have done everything possible to mitigate the traffic in and out of their subdivision, but I don't control the decision to connect or not connect, so I would stand for questions. **C/Gealy:** One of the neighbors expressed concerns of the irrigation, that is outside of their property and it is on your property? Is that correct? **Tim Eck:** If they have irrigation running through our property, they will have to address it through easements, or if it piped irrigation they should already have an easement, if it is not piped irrigation and it is open ditch, then there is most likely not an easement, but if it is piped irrigation and it is outside the property boundary without an easement, it probably shouldn't be there. But, we won't go ahead and cut their irrigation off. We will have to figure out a relocation, or an easement across the backs of the lots, which exists, Kuna requires a 10-foot utility easement across the back of every lot for their pressurized irrigation, if they pressurized irrigation is that same 10-foot easement, then there is an easement that will cover it. **C/Gealy:** Did staff have something they would like to contribute? **Wendy Howell:** I would like to remind the Commission that this is for a rezone only. **C/Gealy:** I guess part of question as I think staff mentions that these lots were originally apart of the Chisum Valley subdivision, at the time the location of irrigation was as relevant when it was all the same subdivision. **Tim Eck:** If it is public or communal facility through a private lot it needs to be in an easement. We put easements in all of our development, so if they have a public or communal pipeline that runs across a private lot it should be in an easement. **C/Gealy:** Thank you. **Jeff Bauer:** I am at 601 W Bannock in Boise, Idaho, and I am the legal counsel for the developer. I will be brief because I think we have covered most everything here. To reiterate staff's point and Mr. Eck's point, we are here on a very narrow issue, and that issue is a rezone. Specifically, we are here to rezone 73 acres from ag land to residential. We are not asking you tonight to approve any subdivisions or streets, or any plats. Specifically, we are asking you recommend approval of this zoning amendment to City Council to the council for final decision. Pursuant to City Code section 5-13-4 a rezone, is warranted where it complies with the comp plan. So, to reiterate here this sole issue is whether the zoning we are requesting complies with the comp plan. We have been over and over tonight, we have mixed use which allows up to twenty units per acre and medium density which allows up to 8 units per acre, we are well with in that. So, the rezone complies with Comp Plan map, and it also complies with the Comp Plan goals. Staff did a great job in your packet going through all of the goal and objective in the comp plan and the rezone will achieve. I just want to touch one that was missed and that was in chapter 4 of the comp plan which addresses schools. Two goals of the City is to have schools serve as a neighborhood focal point and provide safe and convenient travel to schools. The rezone in this case putting slightly higher density,

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one next to the future high school, and two, very close to the existing elementary helps to achieve that goal as well. I would add to the Commission that comp plan map compliance, where the city has previously made the determination that the highest and best use for this specific land is that designation, is the most important type of comp plan compliance and we have that here. Lastly another issue with comp plan compliance, because it is the only issue, chapter 13 of the comp plan, community design, a specific goal and objective stated by the city is for neighborhood connectivity, specifically with non-motorized transit. Converting this area from ag to residential will help to fulfill that goal. **C/Young:** With that I will close the public testimony portion of the hearing at 7:05 and that leaves our conversation as the Commission. **C/Hennis:** If our big item here is the rezone, we are trying to not address the preliminary plat, that is a negative in that respect because we are looking at this completely as whether or not this is a way we want to design our City's future. Although the legal counsel has talked about the comp plan compliance, there is no set rule to that, it is purely an advisory document, and in fact we are reevaluating it as a city right now. So, although we try to set it up as a way we want to design the future, and obviously things have changed from 2008, and whether this still accomplishes our goals remains to be seen. We have had a lot of R-6 subdivisions come before us in the last two to three years. We are trying to strive for adversity in our growth and our subdivisions. So, I do have concerns with this being an R-6, especially going right next to an R-1. **C/Young:** I think we need to look at R-4s and I don't know if sticking to an R-1 and R-2 is appropriate either especially giving school locations. I agree that the comp plan was set for a vision for the city in the past, we now have a high school going in there and a elementary school going in there, and we have all of the utilities heading that direction over the last eight to ten years planning for that growth, I think the biggest thing that I wrestle with on this one is looking at what ACHD has to say about going through this neighborhood. I understand the neighbors' fears. What I don't know and maybe it is question for staff, I know as a City, as we put subdivisions in and in order to plan for additional growth we put stub streets to continue that growth so it is cohesive, but there are exceptions to that at times, and I wonder if there was a way to work with ACHD in this specific case. We have put R-6 on the boundary of R-2 but I don't know if we have actually had one where had a stub street that we either did not use, or where ran one directly through with that kind of density, is there a way between the City and ACHD that can be looked at? **Wendy Howell:** it will be looked at in depth during the preliminary plat, ACHD ultimately has the call even though it is in our ordinance as well. We can talk to them about it, but it is ACHD's call because they are the transportation agency. **C/Hennis:** Especially if these streets have no pedestrian facility attached to it, it isn't appropriate for traffic to flow through it. If ACHD and our City Code mandates sidewalks and pedestrian travel, we can't get it to go through there. **C/Young:** I was just thinking if we could work with ACHD on this specific case and say this isn't one that would apply to the template, but as far as other parts of it, I think the intent that the applicant has stated of putting less density, larger lots nearest R-1s would be appealing to everybody., My biggest hang-up is the stub street. **C/Laraway:** We are just bound by zoning talk, the design of it and all of that is beyond of what we can talk about in this case. It is really hard, without to understand the traffic thing. The other thing is this, is our comp plan, we built, we designed it, that is what we are here for. I think the developer has the talent and the resource and the ability to look further into Kuna and develop some R-4s. he has built a lot of subdivisions in this area and has brought a lot of growth the area. I understand the mixed zoning could become a problem because you could end up with apartment complexes there with up to twenty units per acre, it is a catch 22 for us, but I will say it fits our comp plan. **C/Hennis:** Staff did you have something? **Troy Behunin:** Commissioner Laraway actually moved on from it, but I just wanted to remind the commission that this is a county subdivision it was built at a different time to different standards, that is why there are no curbs and gutter and sidewalks, and one thing to remember these are public roads, and City Code does require stub streets to be provided. It is important to remember those are public roads, but not private roads. **C/Gealy:** When the preliminary plat comes forward there will be another public hearing? **Troy Behunin:** Correct. **C/Gealy:** I think there is some confusion, because much of the information we have been provided is in excess

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for what we would need for a rezone, the conditions in the staff report address things far beyond the rezone. We are fortunate the developer is here and has heard the concerns of the people, and I am certain and confident that developer will take into consideration the concerns that people have voiced today. **Troy Behunin:** The conditions in the report are more of a place marker, something to remind the developer that this is coming forward. **C/Hennis:** The citizens have done a pretty good job keeping their comments to the fact that they don't agree with an R-6. **C/Young:** I think a majority of that has to deal with that connection. I don't think there would be as much concern if there wasn't that connection point. But whatever develops there will be the same concerns. The density of the development is only 4.25. **C/Gealy:** Very close to R-4. **C/Young:** Very close as an overall. And as the developer indicated the largest lots will help accommodate the existing subdivision. I think as a commission we need to keep looking at large lots, and in this case the density that has been discussed, and the true location of this directly across of the high school, zoning wise this is appropriate. **Jeff Bauer:** The conversation has obviously focused on the overall density, but we would be willing to add a condition of approval to your recommendation to the Council of R-6, but no greater density on the entire parcel than 4.25. **C/Gealy:** Well that is better than R-6. **C/Hennis:** We appreciate the offer. **Troy Behunin:** It would also be completely appropriate to recommend one connection, at the time of preliminary that, but once we start talking about alignments then we stop talking about a rezone. **C/Young:** Could we recommend no connection to the City Council? **Troy Behunin:** You are free to recommend whatever you would like. **C/Laraway:** Would it be feasible to condition that the applicant start with R-6 at one end and create bigger and bigger lots as you move towards the Chisum Valley Subdivision. **C/Young:** That was what the intention was from my understanding, but the attorney just said they would go no greater than 4.25 units per acre across the whole parcel. Is there anything else to add to the discussion? **C/Gealy:** What if we were to add a R-4 subdivision. **C/Young:** I think that that would have to be something the applicant offers, I think if we recommend R-4, we would have to deny the application. **C/Hennis:** This is primarily, do we agree with an R-6 or not. We can condition some of these things, do we think this to high of density. **C/Gealy:** I think R-6 is too high of density, I think no greater than 4.25 in more appealing. **C/Hennis:** Yes, because it could up to eight on one lot, and twenty of the other. **C/Young:** If there are not any other thoughts I would stand for a motion, I think 4.25 is a lot better than what it could be. Based on the Comp Plan, and where we have been driving for the last decade, I think with the schools and where they are, I don't know if what is being proposed is inappropriate.

Commissioner Hennis motions to recommend approval for case no. 18-01-ZC to City Council with the conditions as stated in the staff report, and additional conditions that the applicant shall be limited to a maximum of 4.25 acre dwelling units per acre across the entire parcel, and the applicant shall bypass the second street connectivity and work with ACHD and the City in order to possibly eliminate both street connections; Commissioner Laraway Seconds, all aye and motion carried 3-0.

3. COMMISSION REPORTS

- a. Comprehensive Plan Update;** Envision Kuna Public Workshop No. 2 – May 3, 2018

Wendy Howell: The May 3rd Comprehensive Plan Workshop, will be changing, they are hoping the school will be open for May 10th. But, we will let you know as soon as we know.

4. ADJOURNMENT

Commissioner Gealy motions to adjourn; Commissioner Hennis Seconds, all aye and motion carried 3-0.

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Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST:

Wendy I. Howell, Planning and Zoning Director
Kuna Planning and Zoning Department



City of Kuna

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P & Z Findings of Fact & Conclusions of Law

To: **P & Z Commission**

File Numbers: **18-01-ZC (Rezone)**

Location: Northwest corner; Linder and Columbia Roads, Meridian, ID

Planner: Troy Behunin, Planner III

Hearing date: April 10, 2018
Findings of Fact: April 24, 2018

Owner: **Thistle Farm, LLC, and Vanderkooy Farm LLC's,**
6152 W. Half Moon Ln.
Eagle, ID, 83616
208.850.0591
Timothyeck@me.com

Engineer: **Bailey Engineers,**
Katie Miller
4242 Brookside Ln.
Boise, ID, 83713
208. 938.0013
KMiller@baileyengineers.com

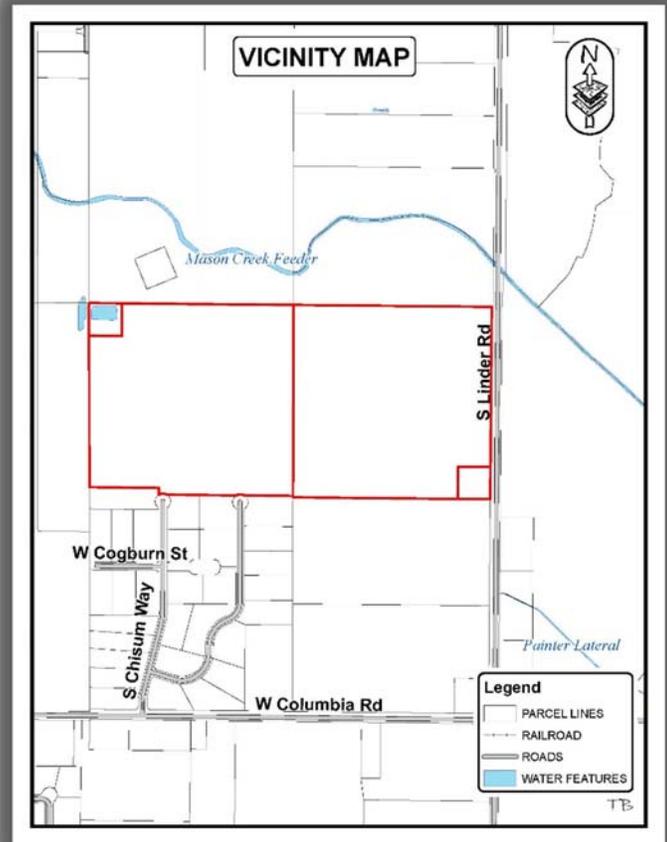


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A. Process and Noticing:

1. Kuna City Code 1-14-3 (KCC), Title 1, Chapter 14, Section 3, states that rezones are designated as public hearings, with the Commission as the recommending body, and City Council as the decision making body. This land use application was given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65 Local Planning Act.

a. Notifications

- | | |
|----------------------------|---|
| i. Neighborhood Meeting | November 14, 2017 (fifteen (15) persons attended) |
| ii. Agency Comment Request | February 12, 2018 |

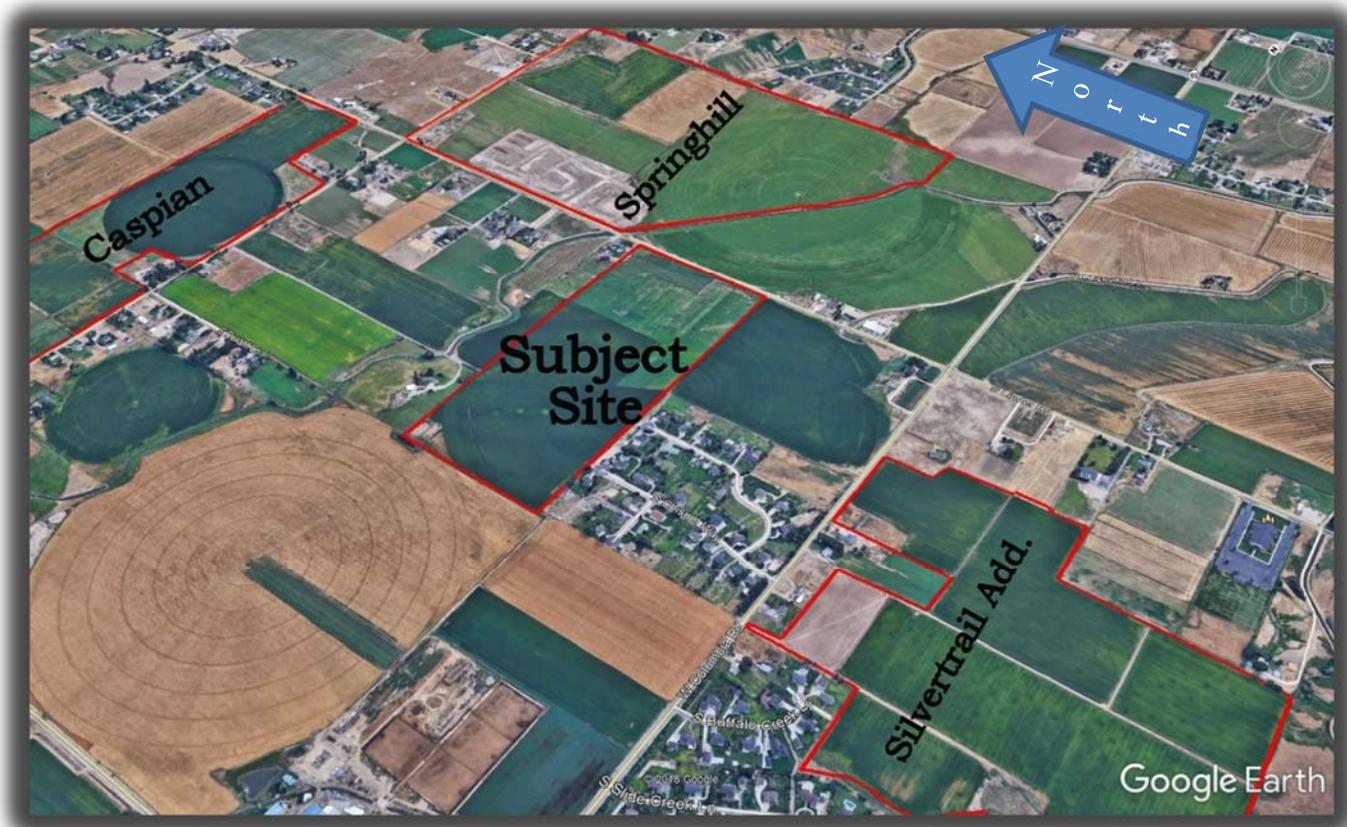
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| iii. 300' Property Owners | March 30, 2018 |
| iv. Kuna, Melba Newspaper | March 21, 2018 |
| v. Site Posted | March 27, 2018 |

B. Applicants Request:

1. Request:

Applicant, Katie Miller, with Bailey Engineers, on behalf of Thistle Farm, and Vanderkooy Farm, LLC's (Owner), requests approval for a rezone of approximately 73.50 acres of four lots within Chisum Valley Subdivision No. 1 and 2, from Agriculture (Ag.) TO an R-6 (Medium Density Residential) MDR zone, following the Comprehensive Plan. This site is located at the NWC Linder and Columbia Roads. APN No's; R1393850100, R1693860010, R1693860290, R1693860280.

C. Aerial Map:



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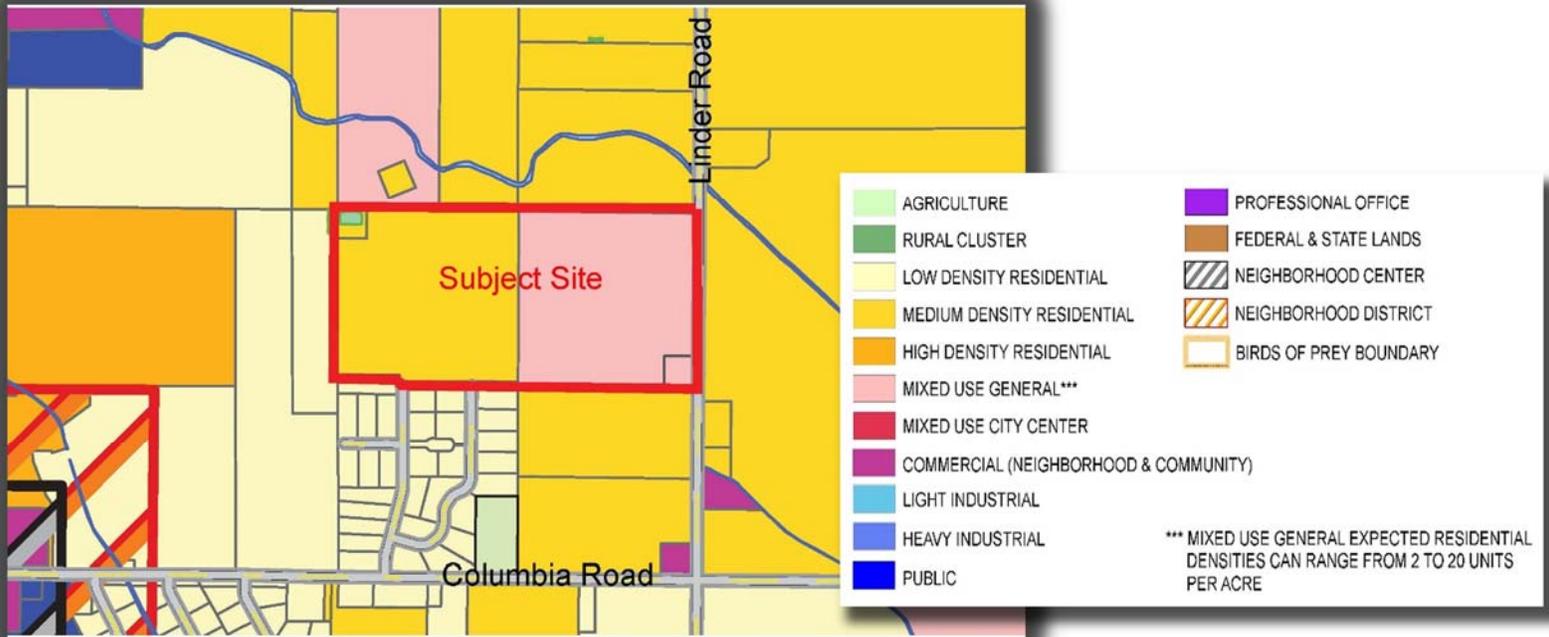
D. Site History:

These lots were annexed into Kuna on July 5, 2006, (06-14-AN; O. Gripentrog and Park Pointe Realty owners), and have historically been used for agricultural purposes.

E. General Projects Facts:

- 1. Comprehensive Plan Map:** The Comp Plan Map designation for this site is Medium Density Residential (MDR) for the west half, and Mixed-Use for the east half. Both uses encourage residential uses. The Future Land Use Map (Comprehensive Plan Map) is intended to serve as a guide for the decision making body. This

map indicates land use designations, it is not actual zoning. These land use designations have been in place since 2009, and were contemplated as such in early 2008.



2. **Recreation and Pathways Map:** The Rec. & Path Master Plan Map indicates a future trail along the Mason Creek, which is off-site. With a future application, staff recommends that a future site plan incorporate green and open spaces and should be considered a binding site plan.



3. **Surrounding Land Uses:**

North	AG, RR	Agriculture & Rural Residential – Kuna City & Ada County
South	RR	Rural Residential – Ada County
East	AG	Agriculture – Kuna City
West	AG	Agriculture – Kuna City

4. **Lot Sizes, Current Zoning, Parcel No's, and L & B No's:**

Lot Size (Approximately)	Current Zone: (Ag.) Agricultural Zone	Parcel Number(s)	Chisum Valley Sub., Lot & Block Numbers
1.00 acre	Proposed to become R-6	R1393850100	Lot 1, Block 1, Sub No. 1
35.77 acres	Proposed to become R-6	R1693860010	Lot 2, Block 1, Sub No. 2
35.38 acres	Proposed to become R-6	R1693860290	Lot 30, Block 1, Sub No. 2
1.00 acre	Proposed to become R-6	R1693860280	Lot 29, Block 1, Sub No. 2

5. **Services (at time of development):**

- Sanitary Sewer– City of Kuna
- Potable Water – City of Kuna
- Irrigation District – Kuna Municipal Irrigation District (KMID)
- Pressurized Irrigation – City of Kuna (KMID)
- Fire Protection – Kuna Rural Fire District
- Police Protection – Ada County Sheriff's office – Kuna Police
- Sanitation Services – J & M Sanitation

6. **Existing Structures, Vegetation and Natural Features:**

There are no structures on site. The site has vegetation that is generally associated with an Agricultural field.

7. **Transportation / Connectivity:**

The site is adjacent to Linder Road with significant frontage. With development in the future, applicant will be responsible for at least two points of ingress/egress on Linder Road; one at the mid-mile between Columbia and Lake Hazel, and a second point south of that mid-mile. Applicant will also be responsible for acceptable points of ingress/egress along the future mid-mile on the north and west sides of the site. All points of access must follow City & ACHD standards.

8. **Environmental Issues:**

Staff is not aware of any environmental issues, health or safety conflicts. The site's topography is generally flat with less than 3 percent slope. This site is within the Nitrate Priority Area (NPA), and will be required to connect to the City central sewer services.

9. **Agency Responses:**

The following agencies returned comments are included with this case file:

- *Ada County Highway District (ACHD)* *Exhibit B 2*
- *Boise Project Board of Control* *Exhibit B 3*
- *Central Dist. Health Dept. (CDHD)* *Exhibit B 4*
- *COMPASS* *Exhibit B 5*
- *Dept. of Environmental Quality (DEQ)* *Exhibit B 6*
- *Id Transportation Dept. (ITD)* *Exhibit B 7*

F. Staff Analysis:

In July of 2006 (06-14-AN), when these lots were annexed into Kuna city limits, all four lots were already in the Chisum Valley Subdivision with an Ag. (Agriculture) zone. Furthermore, these lots were annexed as a participant in the Local Improvement District (LID); whereby the owners were obligated to satisfy a sewer connection fee equivalent to 3 Dwelling Units an Acre (DUA) at a minimum. The project is adjacent to Linder Road (major arterial) and all public utilities are near, or adjacent to the site. The applicant seeks a rezone for this (approximately) 73.50 acre site, from Agriculture, TO R-6 (MDR). Applicant has been made aware that any development of these lots will require connection to all city services and will be subject to connection fees for that purpose. It is anticipated when these Chisum Valley lots move forward with development *in the future*, it will require a number of phases for complete build-out.

The Comprehensive Plan Map (CPM) indicates that this site is designated as Medium Density Residential (MDR) on the west half, and Mixed-Use for the east half. The MDR designation encourages residential uses ranging from four (4) DUA, up to eight (8) DUA; while the Mixed-Use designation encourages mixing commercial uses and residential uses from two (2) to 20 DUA. The adjacent properties on the north side, the eastside and east half of the south side of the site, are complementary designations. Based on the review of the CPM, staff views this request to be in concert with the CPM approved by Council. This request reflects the goals of the City leaders and its Citizens.

Staff has determined this application generally complies, or as conditioned to follow Title 5 of the Kuna City Code; Idaho Statute §50-222; and the Kuna Comprehensive Plan; and forwards a recommendation of approval for Case No. 18-01-ZC subject to the recommended conditions of approval listed in Section ‘N’ of this report.

G. Applicable Standards:

1. City of Kuna Zoning Ordinance Title 5, Chapter 13,
2. City of Kuna Comprehensive Plan, adopted September 1, 2009,
3. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

H. Procedural Background:

On April 10, 2018, the Commission considered Case No. 18-01-ZC, including the applications, agency comments, staff’s report, application exhibits and public testimony presented or given.

I. Findings of Fact for Councils Consideration:

Based on the record contained in Case No. 18-01-ZC, including the exhibits, staff’s report and the public testimony at the public hearing, the Commission of Kuna, Idaho, hereby recommends **approval** of the proposed Findings of Fact and Conclusions of Law, and Conditions of Approval for Case No. 18-01-ZC, for the *Thistle and Vanderkooy, Farm, LLC*, rezone request.

The Commission concludes that the application complies with the City of Kuna’s Zoning regulations (Title 5) of KCC and/or regulations outlined in title 5 of KCC.

1. In making a decision regarding the Subdivision application, the Council is to consider Idaho Code §67-6535 (2), which states the following:

The approval or denial of any application required or authorized pursuant to this chapter shall be in writing and accompanied by a reasoned statement that explains the criteria and standards considered relevant, states the relevant contested facts relied upon, and explains the rationale for the decision based on the applicable provisions of the comprehensive plan, relevant ordinance and statutory provisions, pertinent constitutional principles and factual information contained in the record.

In addition, Idaho Code §67-6535(2)(a), provides that:

Failure to identify the nature of compliance or noncompliance with express approval standards or failure to explain compliance or noncompliance with relevant decision criteria shall be grounds for invalidation of an approved permit or site-specific authorization, or denial of same, on appeal.

2. The Commission has the authority to recommend approval for Case No. 18-01-ZC. On April 10, 2018, Kuna's Commission voted to recommend **approval** for Case No. 18-01-ZC.

Comment: *On April 10, 2018, Commission voted to recommend **approval** for Case No's 18-01-ZC.*

3. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances to hold a public hearing on April 10, 2018, with the Commission.
4. The Kuna Commission accepts the facts as outlined in the staff report, the public testimony and the supporting evidence list presented.

Comment: *The Commission held a public hearing on the subject application on April 10, 2018, to hear from the City staff, the applicant and to accept public testimony. The decision by the Commission is based on the application, staff report and public testimony, both oral and written.*

5. Based on the evidence contained in Case No. 18-01-ZC, this proposal appears to *generally* comply with the Comprehensive Plan and Comp Plan Map as amended.

Comment: *The Comp Plan has listed numerous goals for providing a variety in housing options in Kuna. The Kuna Planning Map designates this property as Medium Density Residential and Mixed-Uses. As this request proposes MDR, the proposal follows the goals of the Comp Plan and the Comp Plan Map.*

6. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

Comment: *As noted in the process and noticing sections, all noticing requirements were met to hold a public hearing on April 10, 2018.*

J. Factual Summary:

This approximately 73.50 acre site, is already within Kuna City limits, zoned Agriculture (Ag.), with varying historical Ag. uses and is located at the northwest corner (NWC) of Linder and Columbia Roads. These lands are lots within the Chisum Valley Subdivision. These lands were included in the Local Improvement District (LID); whereby they were obligated to satisfy a sewer connection fee equivalent to 3 Dwelling Units an Acre (DUA) at a minimum. Applicant proposes a rezone from Agriculture (Ag.) TQ R-6 (Medium Density Residential). The developer is not proposing development at this time.

K. Comprehensive Plan Analysis:

The Kuna Commission accepts the Comprehensive Plan components as described below:

The designations of Medium Density Residential and Mixed-Use shown on the Planning Map (See Map above) for these lots were approved by Council. The proposed rezone for the site is consistent with the following Comprehensive Plan components:

Community Vision Statement:

Residents hoped for the creation of business and light commercial use centers within neighborhoods. These centers would include restaurants, gas stations, churches, *multi-family* use facilities, and other mixed-use developments. (Page 21).

Housing:

Residents envisioned higher densities in the City's core to include opportunities for mixed residential and light commercial activity. *They expressed interest in a mix of residential type dwellings applications; including single-family, multi-family, apartments and condominiums. They were receptive to a greater mix of lot sizes and house prices to appeal to a variety of people.* A goal expressed by many was the preservation of large lots and rural cluster development in appropriate balance with a complement of other types of residential development (Page 21).

Comment: *The proposed rezone follows the community vision and provides a way to achieve the housing goals as stated and adopted, by supplementing other existing large lot subdivisions nearby.*

Private Property Rights Goals and Objectives - Section 2 - Summary:

Ensure the City land use policies, restrictions, conditions and fees do not violate private property rights and ensure that land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property. Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right and staff shall evaluate with guidance from the City's attorney; the Idaho Attorney General's six criterion established to determine the potential for property taking.

Comment: *Utilizing the Idaho Attorney Generals criteria, and a review by the City Attorney, the proposed project does not constitute a "takings" and the economic value is intact.*

Economic Development Goals and Objectives - Section 5 - Summary:

Ensure an adequate supply of housing for all income levels and facilitate pedestrian connections, both visually and physically, to enhance pedestrian movement (Pg. 42 – 1.5 and Pg. 43 – 3.1).

Comment: *The proposed application complies with these elements of the comprehensive plan by providing an opportunity to supply varied housing types and provide pedestrian connections, thereby meeting this goal.*

Land Use Goals and Objectives - Section 6 - Summary:

Adopt a future land use plan and map that includes natural and developed open spaces, while providing a variety of housing densities and types to accommodate various lifestyles, ages and economic groups. Protect existing neighborhoods and ensure new development is sustainable and keeps Kuna desirable. Develop cohesive neighborhoods with character and quality while incorporating a variety of densities and styles (Pg. 64 – 3.1 & Goal 3 and Pg. 65 – 4.3).

Medium Density Residential:

This designation describes areas where residential development densities generally range from four to eight units per acre. These areas will be made up of single-family homes, but may include townhomes, row houses duplexes and other types of multi-family land uses. Areas featuring these densities are generally located within the City Center and around Neighborhood Centers (Page 88).

Comment: *The proposed rezone requests an R-6 zone, for residential uses, conforming to the Comprehensive Plan and Planning Map approved by Council in August of 2015.*

Mixed-Uses:

The mixed use general land use designation pertains to a land parcel or combination of parcels that are planned and developed together. This comprehensive land use category may contain residential, commercial, office and technical uses, a variety of building types and densities, common open space variations, clustered development and recreational facilities (Page 105).

Comment: *The proposed rezone requests an R-6 zone, for residential uses, conforming to the Comprehensive Plan and Planning Map approved by Council in August of 2015.*

Housing Goals and Objectives - Section 12 - Summary:

Encourage developers to provide high-quality development with a variety of lot sizes, dwelling types, densities and price points to meet the needs of current and future population while creating safe and aesthetically-pleasing neighborhoods. Ensure housing is available throughout the community for all income levels and those with special needs. Encourage logical and orderly residential development while discouraging developers from developing land divisions greater than one half acre because large lot subdivisions increase municipal costs, require public subsidy and create sprawl (Pg. 155 – 1.2, Pg. 163 12.4 and Pg. 165 – 2.1).

Encourage mixed-use development that includes town centers, single-family, *multi-family*, accessory units, and other types of residential development. – Policy 1.1.2, Section 12, Housing (Page 155).

Comment: *Applicant proposes medium density residential which will contribute to availability of varied types and home sizes in a logical and orderly manner with an opportunity to provide a quality development.*

Community Design Goals and Objectives - Section 13 - Summary:

Strengthen Kuna's Image through good community and urban design principles that create self-sufficient neighborhoods. Foster good community design concepts that incorporate landscape features to serve as buffers between incompatible uses while reducing scale and creates a sense of place.

Neighborhoods:

Kuna's updated Plan is an advocate for the development of self-sufficient neighborhoods. These neighborhoods are intended to be connected by transit and other non-motorized methods of transportation. Each neighborhood will have a center, a core and an edge. (Page 179).

Comment: *With future development, the applicant will provide an extension of the sidewalk and roadway system which must comply with the Master Street Plan adopted by Kuna. Applicant will also need to propose connections to future neighborhoods by adding pathways, sidewalks for pedestrian and non-motorized transportation, and adding and connecting to stub streets. Applicant appears prepared to propose a variety of housing densities thereby complying with approved land use designation outlined within the Comp Plan and Planning Map.*

L. Kuna City Code Analysis:

1. This request appears to be consistent and in compliance with all Kuna City Codes (KCC).

Comment: *The proposed project meets the land use and area standards in Chapter 3, Title 5 of the Kuna City Code (KCC). Staff also finds that the proposed project meets all applicable requirements of Title 5 of the KCC.*

2. The site is physically suitable for the rezone.

Comment: *The 73.50 acre (approximate) project includes a request for a rezone from Ag. TQ R-6 (Medium Density). The site appears to be compatible with the proposal.*

3. The Rezone is **not** likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.

Comment: *The land to be rezoned is not used as wildlife habitat. Future roads, dwelling units and open spaces must be planned for construction according the City requirements and best practices and will therefore not cause environmental damage or loss of habitat.*

4. The Rezone proposal **is not** likely to cause adverse public health problems.

Comment: *The proposed rezone for the property follows Kuna City Codes. Any future development requires connection to public sewer and potable water systems, therefore eliminating the occurrence of adverse public health problems.*

5. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

Comment: *The Commission did consider the location of the property and adjacent uses. The subject property is in Kuna City and will be connected to the Kuna City central sewer and potable and pressure irrigation water systems. The current adjacent uses are agriculture in nature uses and the site is adjacent to an arterial road.*

6. Based on the evidence contained in Case No. 18-01-ZC, Council finds Case No. 18-01-ZC adequately complies with Kuna City Code.
7. Based on the evidence contained in Case No. 18-01-ZC, Council finds Case No. 18-01-ZC generally complies with Kuna's Zoning Code.

M. Conclusions of Law:

1. Based on the evidence contained in Case No. 18-01-ZC, Commission finds Case No. 18-01-ZC generally complies with Kuna City Code.
2. Based on the evidence contained in Case No. 18-01-ZC, Commission finds Case No. 18-01-ZC, generally **is** consistent with Kuna's Comprehensive Plan and Comprehensive Plan Map.
3. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

N. Recommendation of the Commission to City Council:

18-01-ZC (Rezone) On April 10, 2018, the Commission voted to recommend approval for Case No. 18-01-ZC to City Council, based on the facts outlined in staff's report and the public testimony during the public hearing by the Planning and Zoning Commission of Kuna, Idaho. Therefore, the Commission hereby recommends **approval** to City Council for Case No. 18-01-ZC, a rezone request by Katie Miller (Bailey Engineers) on behalf of Thistle Farm, LLC and Vanderkooy Farm, LLC, with the following conditions of approval *at time of development in the future:*

1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
 - a. The City Engineer shall approve the sewer hook-ups.
 - b. The City Engineer shall approve the drainage and grading plans. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties". No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
 - c. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District is required.
 - d. The *Boise-Kuna* Irrigation District shall approval any modifications to the existing irrigation system.

- e. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
- 2. All public rights-of-way shall be dedicated and constructed to standards of the City, Ada County Highway District and Idaho Transportation Department. No public street construction may commence without the approval and permit from Ada County Highway District and/or Idaho Transportation Department.
 - 2.1– At time of development and as necessary, dedicate right-of-way in sufficient amounts to follow City and ACHD standards and widths.
- 3. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see **KCC 6-4-2-W**.
- 4. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
- 5. When required, submit a petition to the City (as necessary, confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and requesting to annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation system of the City (KMID).
- 6. All street lighting within and for the site shall be LED lighting and must comply with Kuna City Code.
- 7. Parking within the site shall comply with Kuna City Code. (Unless specifically approved otherwise).
- 8. Fencing within and around the site shall comply with Kuna City Code (Unless specifically approved otherwise and permitted). Perimeter fencing (and permit) is required prior to requesting final plat signatures from Kuna City Clerk and Engineer.
- 9. All signage within/for the project shall comply with Kuna City Code.
- 10. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
- 11. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through public hearing processes.
- 12. Applicant shall follow staff, City engineers and other agency recommended requirements as applicable.
- 13. Developer/owner/applicant shall comply with all local, state and federal laws.

DATED this 24th, day of April, 2018

Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST: _____
Troy Behunin, Planner III,
Kuna Planning and Zoning Department



City of Kuna

Design Review Staff Report

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.kunacity.id.gov

To: Planning and Zoning Commission;
acting as Design Review Committee

Case Numbers: 18-11-DR (Design Review)
SPI Transport

Location: 679 S. Best Business Avenue
Kuna, Idaho 83634

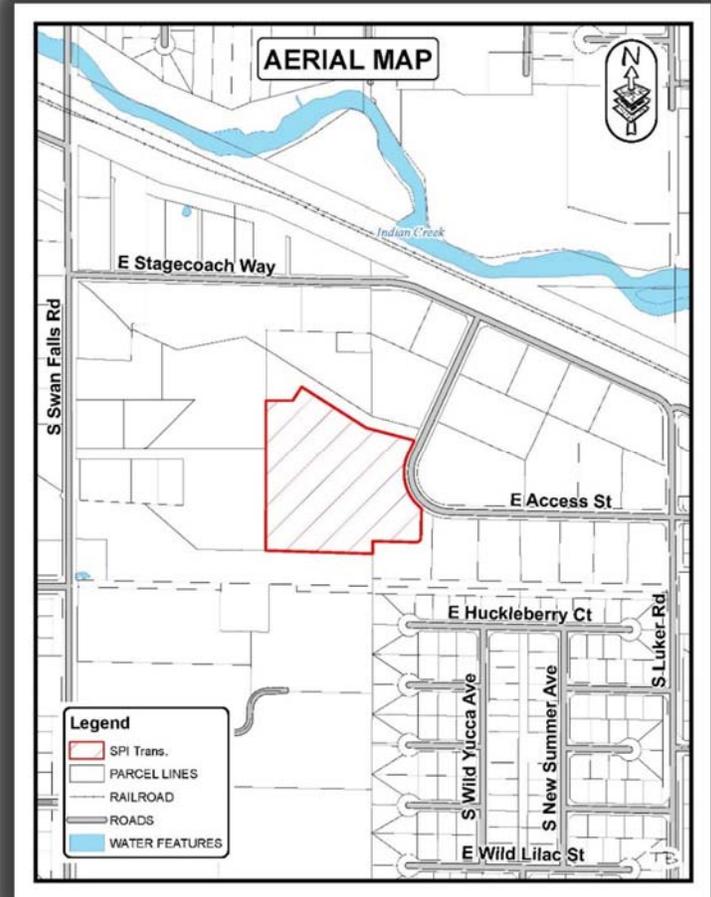
Planner: Troy Behunin, Planner III

Meeting Date: April 18, 2018

Owner: **Mike Smith**
SPI Transportation
PO Box100
Kuna, ID 8364
208.922.5771
Mikes@spiidaho.com

Table of Contents:

- A. Course Proceedings
- B. Applicant Request
- C. Aerial Maps
- D. History
- E. General Project Facts
- F. Staff Analysis
- G. Applicable Standards
- H. Proposed Decision by the Commission



A. Course of Proceedings:

1. According to Kuna City Code (KCC) Title 5, Chapter 4, Section 2 (Design Review); all new commercial buildings, landscaping, parking lots and signage are required to submit an application for review by the Design Review Committee (DRC). As a public meeting item, this action requires no formal public noticing actions.

a. Notifications

- i. Agenda

April 27, 2018

2. In accordance with KCC 5-4-2 and KCC 5-10-4-Q, this application seeks DRC approval for a new building, minimal landscaping, and parking for a new project in Kuna in the Shortline Business Park.

B. Applicant Request:

1. Applicant requests approval from the Planning and Zoning Commission (acting as Design Review Committee - DRC) for a project consisting of a single new 6,000 Square Foot (SF) building, to be built next to the existing building on the lot. The purpose is to provide spaces for start-up business that require between 1,500 and

6,000 SF. The building will be just a shell, and the tenants will improve to suit their needs, including electrical and plumbing needs.

C. **Aerial Map:**



©COPYRIGHTED

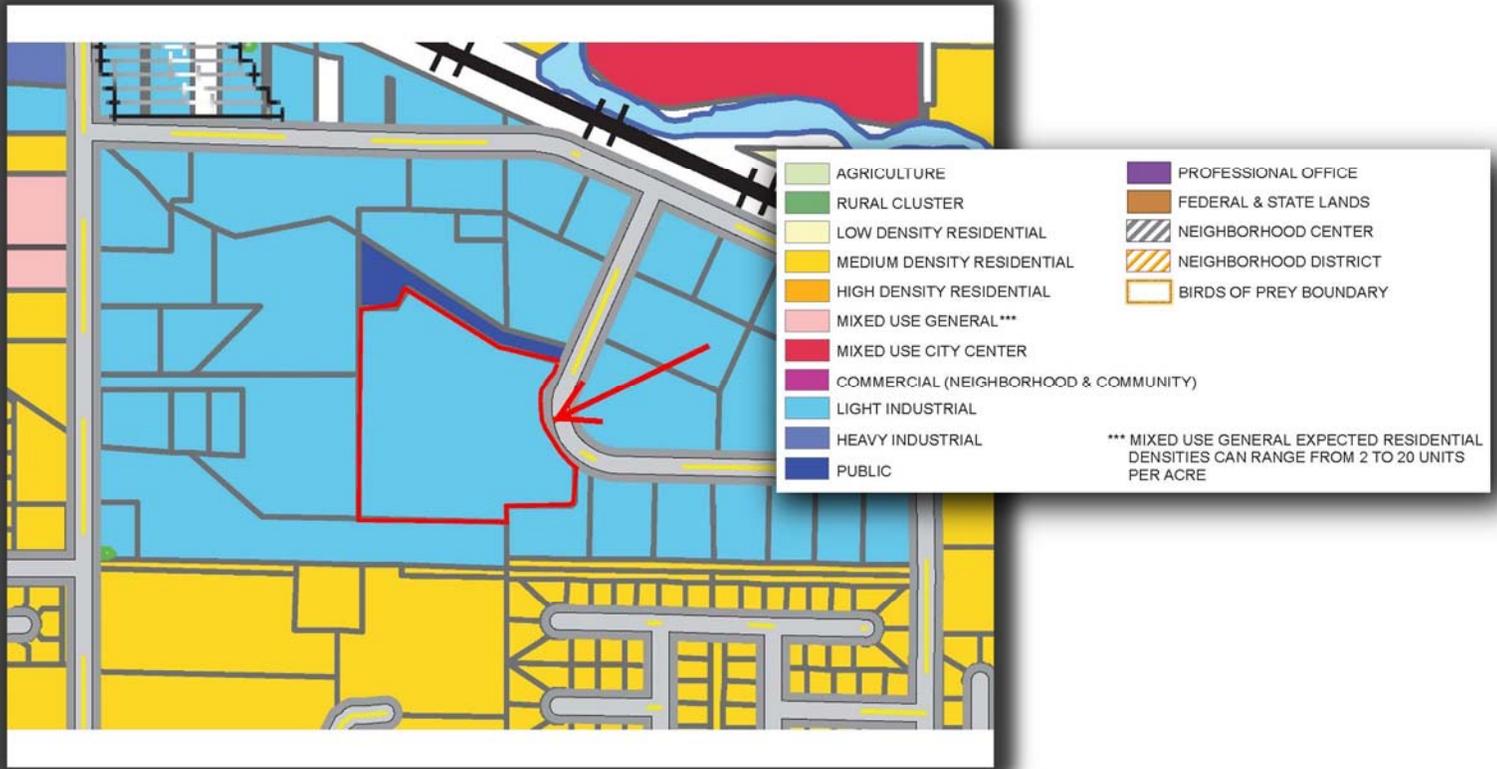
D. **History:**

The property is in City limits and is zoned M-1 (Light Industrial). This parcel had been used as an office/ business in an industrial zone since 2003. The original business was placed there in approximately 2005 and has only had one building on it since that time. Originally, the site was approved to house a single, larger building to house a larger workforce.

E. **General Project Facts:** This land is approximately 8.65 acres in size, and is Lot 4, Block 2 within Shortline Park No.1 which was platted in 2002. The lot has sewer and potable water out front, but does *not* have pressure irrigation. The Lot has significant frontage on Best Business Ave..

1. **Comprehensive Plan Designation:** The Comprehensive Plan Map (CPM) identifies this site as Light industrial District. Staff views this request to be consistent with the approved CPM map.

See Illustration below on next page.



2. Surrounding Land Uses:

North	M-1	Light industrial– Kuna City
South	M-1	Light industrial– Kuna City
East	M-1	Light industrial– Kuna City
West	M-1	Light industrial– Kuna City

3. Parcel Sizes, Current Zoning, Parcel Numbers:

- Approximately 8.66 acres
- M-1; Light Industrial
- Parcel No.: S1325233897

4. Services:

- Sanitary Sewer– City of Kuna
- Potable Water – City of Kuna
- Pressurized Irrigation – City of Kuna (KMID) – *Perhaps in the Future*
- Fire Protection – Kuna Fire District
- Police Protection – Kuna City Police (Ada County Sheriff’s office)
- Sanitation Services – J&M Sanitation

5. Existing Structures, Vegetation and Natural Features: The property has one existing building, and a partial parking lot, the remaining land exists as a vacant lot with clear ground waiting for expansion and more buildings.

6. Transportation / Connectivity: Proposed driveway access (ingress/egress) is from best Business Avenue

7. **Environmental Issues:** Staff is not aware of any environmental issues, health or safety conflicts. This site's topography is very flat with less than 2% slope.

F. Staff Analysis:

Staff has reviewed the application and finds the proposed building, landscaping and parking *generally* satisfies the intent of Kuna's Codes and generally fits into the overall vision and existing M-1 Zone uses. The proposed building generally conforms to the 'Industrial' guidelines and parking standards. Staff views this proposal to be *generally* consistent with its surrounding development.

The applicant has not proposed additional landscaping along Best Business Ave. frontage at this time. Applicant intends to continue adding additional buildings as the market requires which will continue to fill out the remaining vacant portions of the lot. With future expansion, applicant will add additional paved parking, and code compliant landscaping next to and around future buildings and along the frontage for Best Business Ave. as the parcel adds additional buildings.

The applicant has not proposed a trash collection area for the new building. Staff recommends that the applicant work with Chad Gordon at J & M Sanitation for their services.

Applicant is subject to design review inspections and fees for inspections (post construction), for DRC compliance verification of the buildings, landscaping and possible signage in the future prior to the C. of O. for the buildings being issued.

Staff views the proposed new commercial building, proposed landscaping, parking lot to be *generally* consistent with the goals and vision of the Industrial zone and Kuna city goals. Staff forwards a recommendation of approval for case No. 18-11-DRC to the Design Review Committee.

G. Applicable Standards:

1. City of Kuna Zoning Ordinance No. 230.
2. City of Kuna Design Review Ordinance, 2011-08.
3. City of Kuna Comprehensive Plan.
4. City of Kuna Landscaping Ordinance, 2012-22

H. Proposed Decision by the Commission:

Note: This proposed motion is for approval or denial of this request. However, if the Design Review Committee wishes to approve or deny specific parts of the requests as detailed in the report, those changes must be specified.

Based on the facts outlined in staff's report, the case file and discussion at the public meeting. The Design Review Committee of Kuna, Idaho, hereby (**approves/conditionally approves/denies**) Case No. 18-11-DRC, a Design Review request by Mike Smith with SPI Transportation with the following conditions of approval:

1. All monument signage for the site shall comply with current Kuna City Code, go through the Design Review process, and *obtain a sign and building permit prior to construction.*
2. Lighting within the site shall be LED lighting and comply with the Kuna City Code.
3. Landscaping shall be installed and kept in a healthy condition as required in KCC 5-17.
4. Applicant shall add paved parking to the Lot as additional buildings are proposed.
5. Applicant shall add code compliant landscaping to the Lot frontage (Best Business Ave.) as additional buildings are proposed.
6. The applicant shall follow all applicable staff and agency recommendations.
7. The applicant shall comply with all federal, state and local laws.

DATED: This ____ day of _____, 2018.

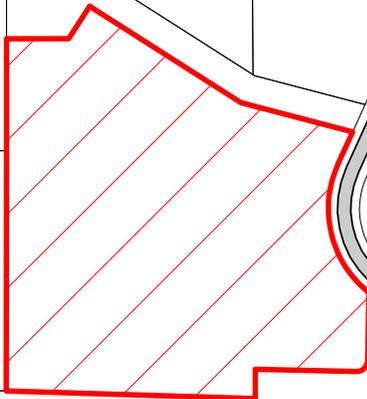
VICINITY MAP



Indian Creek

E Stagecoach Way

S Swan Falls Rd



E Access St

E Huckleberry Ct

S Luker Rd

S Wild Yucca Ave

S New Summer Ave

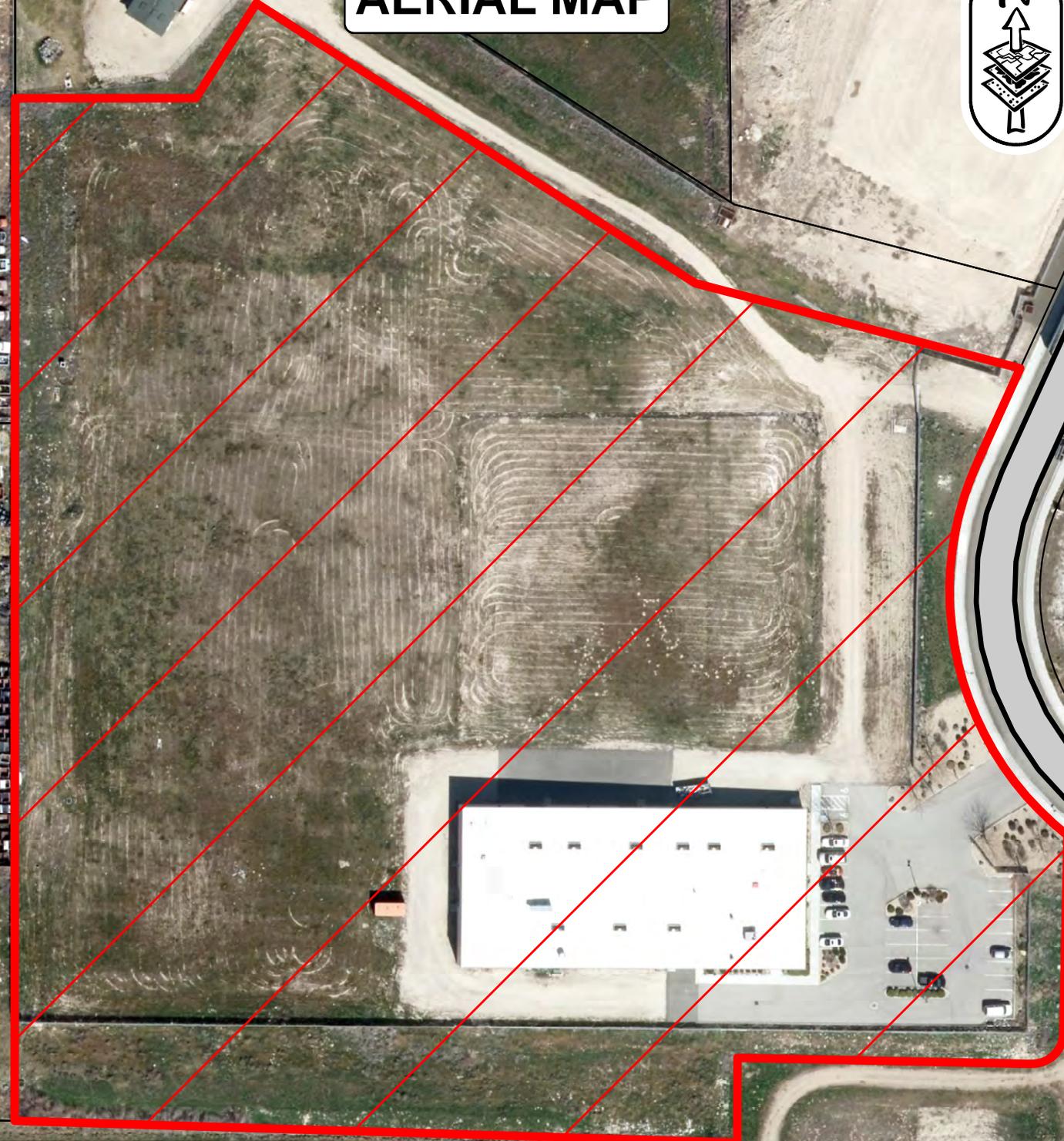
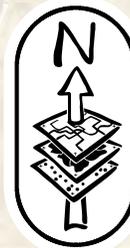
E Wild Lilac St

Legend

-  SPI Trans.
-  PARCEL LINES
-  RAILROAD
-  ROADS
-  WATER FEATURES

TB

AERIAL MAP



Legend



SPI Trans.



PARCEL LINES



RAILROAD



ROADS



WATER FEATURES



City of Kuna
 Planning & Zoning
 Department
 P.O. Box 13
 Kuna, Idaho 83634
 208.922.5274
 Fax: 208.922.5989
 Website: www.kunacity.id.gov

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	18-11-DR
Project name	SPI TRANSP ACC BUILDING
Date Received	2.21.2019
Date Accepted/ Complete	
Cross Reference Files	N/A
Commission Hearing Date	
City Council Hearing Date	N/A

Contact/Applicant Information

Owners of Record: <u>Mike Smith</u>	Phone Number: <u>208.922.5771</u>
Address: <u>P.O. Box 100</u>	E-Mail: <u>MIKES@SPIIDAHO.COM</u>
City, State, Zip: <u>KUNA ID</u>	Fax #: _____
Applicant (Developer): <u>Mike Lindley</u>	Phone Number: <u>208-206-5782</u>
Address: _____	E-Mail: <u>KUNAPITA@GMAIL.COM</u>
City, State, Zip: _____	Fax #: _____
Engineer/Representative: _____	Phone Number: _____
Address: _____	F-Mail: _____
City, State, Zip: _____	Fax #: _____

Subject Property Information

Site Address: <u>679 S BEST BUSINESS</u>	
Site Location (Cross Streets): _____	
Parcel Number (s): <u>R7080430102</u>	
Section, Township, Range: <u>25 T2 NORTH, RANGE 1 WEST</u>	
Property size: <u>8.656 ACRES</u>	
Current land use: <u>offices</u>	Proposed land use: <u>offices / GARAGES</u>
Current zoning district: <u>M-1</u>	Proposed zoning district: <u>M-1</u>

Project Description

Project / subdivision name: _____
 General description of proposed project / request: 6,000 @ warehouse building
 Type of use proposed (check all that apply):
 Residential _____
 Commercial _____
 Office _____
 Industrial _____
 Other _____
 Amenities provided with this development (if applicable): _____

Residential Project Summary (if applicable)

Are there existing buildings? Yes No
 Please describe the existing buildings: _____
 Any existing buildings to remain? Yes No
 Number of residential units: _____ Number of building lots: _____
 Number of common and/or other lots: _____
 Type of dwellings proposed:
 Single-Family _____
 Townhouses _____
 Duplexes _____
 Multi-Family _____
 Other _____
 Minimum Square footage of structure (s): _____
 Gross density (DU/acre-total property): _____ Net density (DU/acre-excluding roads): _____
 Percentage of open space provided: _____ Acreage of open space: _____
 Type of open space provided (i.e. landscaping, public, common, etc.): _____

Non-Residential Project Summary (if applicable)

Number of building lots: 1 Other lots: _____
 Gross floor area square footage: 6,000 Existing (if applicable): _____
 Hours of operation (days & hours): _____ Building height: _____
 Total number of employees: _____ Max. number of employees at one time: _____
 Number and ages of students/children: _____ Seating capacity: _____
 Fencing type, size & location (proposed or existing to remain): _____
 Proposed Parking:
 a. Handicapped spaces: _____ Dimensions: _____
 b. Total Parking spaces: _____ Dimensions: _____
 c. Width of driveway aisle: _____
 Proposed Lighting: _____
 Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): _____

Applicant's Signature: _____ Date: _____

already in →

SPI Transportation Inc

PO Box 100 | Kuna, ID 83634

Phone (208) 922-5771

To Whom it may concern.

Re: letter of intent.

We intend to build a 6000 square foot building with 4 overhead doors. The space will be available for rent to businesses that are approved for our current zoning. The spaces can be leased in 1500sf sections up to 6000 sf. This is the first phase of the project depending on rental activity. The building will not include any plumbing or electrical to start with and will be built out to suit the tenants.



Thanks Michael. R. Smith.

Freedom Steel Building Corporation

PROJECT NUMBER: U1808044A
 PROJECT NAME: Mike Smith / MRS Properties
 PROJECT LOCATION: Kuna, ID 83634
 CUSTOMER: Mike Smith / MRS Properties

Notes and Specifications

Building Erection Notes

- The general contractor and/or erector is responsible to safety and properly erect the metal building system in conformance with these drawings, OSHA requirements and metal building system in conformance with these drawings, OSHA requirements and either MBMA or CSA S16 standards pertaining to proper erection. This includes, but is not limited to, the correct use of temporary guys and bracing where needed for squaring, plumbing, and securing the structural and secondary framing. Secondary wall framing members (girts or bar joists) are not designed to function as a work platform or provide safety tie-off attachment in accordance with OSHA requirements. Secondary roof framing members (purlins or bar joists) are not designed to provide safety tie-off attachment in accordance with OSHA requirements.
- A325 & A490 Bolt tightening requirements: It is the responsibility of the erector to ensure proper bolt tightness in accordance with applicable regulations. See the RCSC Specification for Structural Joints Using A325 or A490 Bolts for more information. The following criteria may be used to determine the bolt tightness (i.e., "snug-tight" or "fully-pretensioned"), unless required otherwise by local jurisdiction or contract requirements:
 - All A490 bolts shall be "fully-pretensioned".
 - All A325 bolts in primary framing (rigid frames and bracing) may be "snug-tight", except as follows:
 - "Fully-pretension" A325 bolts if:
 - Building supports a crane system with a capacity greater than 5 tons.
 - Building supports machinery that creates vibration, impact or stress-reversals on the connections. The Engineer-of-Record for the project should be consulted to evaluate for this condition.
 - The project site is located in a high seismic area. For IBC-based codes, "High Seismic Area" is defined as "Seismic Design Category" of "D", "E", or "F". See the "Building Loads" section of this page for the defined seismic design category for this project.
 - Any connection designated in these drawings as "A325-SC", "Slip-Critical (SC)" connections must be free of paint, oil, or other materials that reduce friction at contact surfaces. Galvanized or highly rusted surfaces are acceptable.
 - In Canada, all A325 and A490 bolts shall be "fully-pretensioned", except for secondary members (purlins, girts, opening framing, etc.) and flange braces. Secondary members (purlins, girts, opening framing, etc.) and flange brace connections may always be "snug-tight", unless indicated otherwise in these drawings.
- The metal building supplier shall be notified prior to any field modifications. Modifications shall be approved by the metal building supplier before work is undertaken.
- Common Abbreviations:

a) TYP UNO - Typical Unless Noted Otherwise	f) SIM - Similar
b) SLV - Short Leg Vertical	g) NIC - Not In Contract
c) LLV - Long Leg Vertical	h) SL - Steel Line
d) NS & FS - Near Side and Far Side	i) N/A - Not Applicable
e) O.A.L. - Overall Length	j) MBS - Metal Building Supplier
- Construction loads shall not be placed on any structural steel framework unless such framework is safely bolted, welded, or otherwise adequately secured.
- Purlins and girts shall not be used as an anchorage point for a fall arrest system unless written approval is obtained from the metal building supplier.
- Purlins may only be used as a walking/working surface when installing safety systems, after all permanent bridging has been installed and fall protection is provided.
- Construction loads may be placed only within a zone that is within 8 feet of the center line of the primary support member. CFR bundles should be placed directly over the rigid frames.
- All lifting devices must meet OSHA or MSHA standards and in no case is it acceptable to use structural members supplied by the MBS as a spreader bar or lifting device.

General Design Notes

- All structural steel sections and welded plate members are designed in accordance with AWS/AISC 360 "Specifications for Structural Steel Buildings" or the CAN/CSA S16 "Limit States Design of Steel Structures", as required by the specified building code.
- All welding of structural steel is based on either AWS D1.1 "Structural Welding Code - Steel" or CAN/CSA W59 "Welded Steel Construction (Metal Arc Welding)", as required by the specified building code.
- All cold formed members are designed in accordance with ANSI/AISI S11 or CAN/CSA S136 "Specifications for the Design of Cold Formed Steel Structural Members", as required by the specified building code.
- All welding of cold formed steel is based on AWS D1.3 "Structural Welding Code - Sheet Steel" or CAN/CSA W59 "Welded Steel Construction (Metal Arc Welding)", as required by the specified building code.
- This Metal Building Supplier facility is AS AC-472 Accredited and CAN/CSA A660 and W47.1 Certified (if applicable) for the design and manufacturing of Metal Building Systems.
- If joists are included with this project, they are supplied as a part of the systems engineered metal building and are fabricated in accordance with the requirements of Section 1926.758 of the OSHA safety standards for steel erection, dated January 18, 2001.

Material Specifications

Plate and Flange Material:	5" - 12" Wide, to 1 1/4" Th. _____	A529 Grade 55
Others _____	_____	A572 Grade 50
Build-Up Structural Web _____	_____	A1011 55 (or HSLAS Class 1) Grade 55
Hot-Rolled Structural _____	_____	A36 or A572 Grade 50 or A992 Grade 50
Structural Tube _____	_____	A500 Grade B (46 KS)
Structural Pipe _____	_____	A500 Grade B (42 KS)
Cold-Formed Structural _____	_____	A1011 or A1039 55 (or HSLAS Class 1) or A653 Grade 55
Classic Roof Panel _____	_____	A792 Grade 80
CFR / VR16 II Roof Panel _____	_____	A792 Grade 50, Class 1
All Wall Panel Profiles _____	_____	A653 Grade 80, Class 1 or A792 Grade 80, Class 1
Rod Bracing _____	_____	A529 Grade 50
Welds _____	_____	AWS D1.1/D1.3 or CSA W59 per Building Code
High-Strength Bolts _____	_____	A325 Type 1 or A490 Type 1 Heavy Hex
Machine Bolts _____	_____	A307 Grade A Hex

PRIMARY AND SECONDARY STEEL PRIMER COLOR: RED

ROOF SHEETING, TYPE: CR 26 GAGE, FINISH: Galvalume

ROOF PANEL CLIP TYPE: N/A TALL SHORT UTILITY FIXED FLOATING

THERMAL BLOCKS: YES NO EPS FOAM SPACER: YES NO

SEAMING METHOD (FOR CFR ONLY): ROLL LOCK™ VISE LOCK™ VISE LOCK 360™

COMPOSITE CFR DECK, TYPE: N/A GAGE, FINISH: _____

ROOF LINE TRIM, PAINTED: Aztec Blue SP

EXTERIOR WALL SHEETING, TYPE: CW 26 GAGE, FINISH: Lightstone SP

EXTERIOR WALL CORNER TRIM FINISH: Lightstone SP

EXTERIOR BASE TRIM, PAINTED: Lightstone SP

FRAMED OPENING TRIM, PAINTED: Lightstone SP

WALL FRAMED OPENING, SIZES: FSW (4) 3'-4" x 7'-2" (4) 14'-0" x 14'-0"

BSW none

LEW none

REW none

INTERIOR WALL SHEETING, TYPE: _____ GAGE, FINISH: _____

INTERIOR CEILING LINER, TYPE: _____ GAGE, FINISH: _____

INTERIOR WALL TRIM, PAINTED: _____

YES | NO

DOWNSPOUTS PAINTED: _____ GUTTERS PAINTED: _____

WALKDOORS, QUANTITY: _____ PAINTED: _____

WINDOWS: _____ PAINTED: _____

INSULATION (NOT BY MBS), ROOF: 6 INCH WALLS: 6 INCH

CRANES (SEE CRANE PLAN FOR ADDITIONAL CRANE INFORMATION)

MEZZANINE (SEE MEZZANINE PLAN FOR ADDITIONAL MEZZANINE INFO)

WALL TRANSLUCENT PANELS: _____

ROOF TRANSLUCENT PANELS: _____

INSULATED PANELS YES NO

PIPE JACKS, SIZE: _____ QUANTITY: _____

ROOF FRAMED OPENINGS, SEE ROOF FRAMING PLAN FOR SIZES

RIDGE VENTS, 10'-0" LONG X 9" THROAT, QUANTITY: _____

ERECTOR NOTE:

ALTERNATE FASTENERS HAVE BEEN SUBSTITUTED ON THIS BUILDING. 2" WALL FASTENERS HAVE BEEN SUPPLIED FOR WALL PANEL TO GIRT ATTACHMENT. WHERE DRAWINGS INDICATE AN H1040 STRUCTURAL FASTENER, H1045 or H1047 FASTENERS HAVE BEEN SUPPLIED.

ERECTOR NOTE:

ALTERNATE FASTENERS HAVE BEEN SUBSTITUTED ON THIS BUILDING. 1 1/2" ROOF FASTENERS HAVE BEEN SUPPLIED FOR ROOF PANEL TO PURLIN ATTACHMENT. WHERE DRAWINGS INDICATE AN H1030 STRUCTURAL FASTENER, H1035 FASTENERS HAVE BEEN SUPPLIED.

THE 14'-0" x 14'-0" ROLL UP DOOR FRAMED OPENING SUPPLIED ON THIS PROJECT HAS BEEN DESIGNED TO SUPPORT A TOTAL HANGING DEAD WEIGHT OF 749 LBS. IN ADDITION, THE FRAMED OPENING HAS BEEN DESIGNED TO SUPPORT WIND LOAD, NORMAL TO THE DOOR, BASED ON THE STANDARD BUILDING CODE CRITERIA. THE FRAMED OPENING HAS NOT BEEN DESIGNED FOR ANY ADDITIONAL MOMENT OR CATENARY FORCE FROM THE DOOR. ANY CHANGE TO THE INFORMATION SHOWN HERE WOULD REQUIRE AN ENGINEERING INVESTIGATION AND POSSIBLE BUILDING REINFORCEMENT.

YES | NO

FASCIA, PROJECTION: _____ TOP OF FASCIA HEIGHT: _____

FACE PANEL, TYPE: _____ GAGE, FINISH: _____

BACK PANEL, TYPE: _____ GAGE, FINISH: _____

CAP TRIM PAINTED: _____ BASE TRIM PAINTED: _____

CLOSED SYSTEM, CLEAR UNDER SOFFIT TRIM: _____

SOFFIT PANEL, TYPE: _____ GAGE, FINISH: _____

SOFFIT TRIM AT BUILDING LINE PAINTED: _____

OPEN SYSTEM, (NO SOFFIT PANEL PROVIDED)

CLEAR UNDER FASCIA: _____

PARAPET SYSTEM

STRUCTURAL PARAPET NON-STRUCTURAL PARAPET

TOP OF PARAPET HEIGHT: _____

BACKER PANEL, TYPE: _____ GAGE, FINISH: _____

CANOPY, PROJECTION: _____

AT EAVE LINE BELOW EAVE

ROOF PANEL, TYPE: _____ GAGE, FINISH: _____

SOFFIT PANEL, TYPE: _____ GAGE, FINISH: _____

SOFFIT TRIM AT BUILDING LINE PAINTED: _____

CLEAR UNDER CANOPY BEAM: _____

EAVE EXTENSION, PROJECTION: _____

SOFFIT PANEL, TYPE: _____ GAGE, FINISH: _____

SOFFIT TRIM AT BUILDING LINE PAINTED: _____

RAKE EXTENSION, PROJECTION: _____

SOFFIT PANEL, TYPE: _____ GAGE, FINISH: _____

SOFFIT TRIM AT BUILDING LINE PAINTED: _____

PARTITION WALL SHEETING

PANEL TYPE: _____ GAGE, FINISH: _____

PARTITION WALL TRIM COLOR: _____

WAINSCOT

WALL PANEL, TYPE: _____ GAGE, FINISH: _____

BASE TRIM PAINTED: _____ JAMB TRIM PAINTED: _____

TRANSITION TRIM PAINTED: _____

ERECTOR NOTE:

ALTERNATE FASTENERS HAVE BEEN SUBSTITUTED ON THIS BUILDING. WHERE THE DRAWINGS INDICATE AN H1040 STRUCTURAL FASTENER, H1041 FASTENERS WITH WASHERS HAVE BEEN SUPPLIED. WHERE THE DRAWINGS INDICATE AN H1060 TRIM FASTENER, H1061 FASTENERS WITH WASHERS HAVE BEEN SUPPLIED.

FOR OCCUPANCY CATEGORY I OR II BUILDINGS, IBC ALLOWS FOR SINGLE STORY BUILDINGS TO HAVE NO LIMIT FOR SEISMIC STORY DRIFT. PLEASE NOTE THAT ANY INTERIOR WALLS, PARTITIONS, CEILINGS, AND EXTERIOR WALLS SHOULD BE DETAILED (BY OTHERS) TO ACCOMMODATE THIS STORY DRIFT.

THE METAL BUILDING SUPPLIER (MBS) DOES NOT MANUFACTURE, SUPPLY OR RECOMMEND THE USE OF SNOW GUARDS OR OTHER DEVICES INTENDED TO HOLD SNOW AND/OR ICE ACCUMULATIONS ON THE ROOF SYSTEM. IF SNOW GUARDS OR OTHER DEVICES ARE TO BE USED ON THIS PROJECT, THEY MUST BE INSTALLED UNDER THE GUIDANCE OF THE "ENGINEER OF RECORD" (NOT MBS) SO AS TO NOT EXCEED THE DESIGN ROOF SNOW LOAD ON THIS PROJECT.

BUILDING LOADS

DESIGN CODE: IBC 15

ROOF LIVE LOAD: 20.00 PSF MBMA OCC. CLASS: II

LIVE LOAD REDUCIBLE Yes

GROUND SNOW LOAD: 30.0 PSF SNOW EXP. FACTOR, Ce: 1.00

SNOW INFORMATION FACTOR, Is: 1.00

WIND: 115/89 MPH (Vult) / (Vosd)

C & C PRESSURES (PSF): 27 / -36

EXPOSURE: C

UL 90 NO

Classic Roof-Const. No. 161; Classic Roof w/ Translucent Panel-Const. No. 167
 CFR Roof-Const. No. 552; CFR Roof w/ Translucent Panel-Const. No. 590;
 Composite CFR Roof-Const. No. 552A; VR16 II Roof-Const. No. 332.

SEISMIC IMPORTANCE Ss: 0.280 S1: 0.099

Design Sds/Sd1: 0.294 / 0.158 Site Class: D

Seismic Imp. Factor: 1.00 Seismic Design Category: C

Analysis Procedure: Equivalent Lateral Force Method

Basic SFRS: Not Detailed for Seismic

NOTES:

- COLLATERAL DEAD LOADS, UNLESS OTHERWISE NOTED, ARE ASSUMED TO BE UNIFORMLY DISTRIBUTED. WHEN SUSPENDED SPRINKLER SYSTEMS, LIGHTING, HVAC EQUIPMENT, CEILING, ETC., ARE SUSPENDED FROM ROOF MEMBERS, CONSULT THE M.B.S. IF THESE CONCENTRATED LOADS EXCEED 500 POUNDS (USING THE WEB MOUNT DETAIL) OR 200 POUNDS (USING THE FLANGE MOUNT DETAIL), OR IF INDIVIDUAL MEMBERS ARE LOADED SIGNIFICANTLY MORE THAN OTHERS.
- THE DESIGN OF STRUCTURAL MEMBERS SUPPORTING GRAVITY LOADS IS CONTROLLED BY THE MORE CRITICAL EFFECT OF ROOF LIVE LOAD OR ROOF SNOW LOAD, AS DETERMINED BY THE APPLICABLE CODE.
- Pm IS BASED ON THE MINIMUM ROOF SNOW LOAD CALCULATED PER BUILDING CODE OR THE CONTRACT SPECIFIED SNOW LOAD, WHICHEVER IS GREATER. THIS VALUE, Pm, IS ONLY APPLIED IN COMBINATION WITH THE DEAD AND COLLATERAL LOADS. ROOF SNOW IN OTHER LOADING CONDITIONS IS DETERMINED PER THE SPECIFIED BUILDING CODE.

BUILDING	
ROOF DEAD (PSF):	3.00
PRI. COL. (PSF):	1.00
SEC. COL. (PSF):	1.00
SNOW CL:	1.10
SNOW Cs:	1.00
ROOF SNOW Ps (PSF):	30.00
ROOF SNOW Pm (PSF):	30.00
WIND ENCLOSURE:	Enclosed
Ccpl:	%0.18
SEISMIC R:	3.00
SEISMIC Cs:	0.098
BASE SHEAR (KIPS):	4.4

ERECTION MANUALS REQUIRED

(ERECTION MANUALS ARE SHIPPED WITH THE BUILDING IN A WAREHOUSE PACKING CRATE)

CFR ROOF H9700 OR H8260 SINGLE CURB (H9850)

CLASSIC ROOF H9420 OR H8201 DOUBLE CURB (H9800)

WALL SHEETING H9430 OR H8300 VR16 II (H9925)

DRAWING INDEX

COVERSHEET C1 - C3

ANCHOR BOLT DRAWINGS F1, F2

COLUMN BASE REACTIONS R1

STRUCTURAL/SHEETING DRAWINGS E1 - E7

DETAILS D1 - D7

Freedom Steel Building Corporation

PROJECT NAME: MIKE SMITH / MRS PROPERTIES
 679 S BEST BUSINESS RD, KUNA, ID 83634

CUSTOMER NAME: MIKE SMITH / MRS PROPERTIES
 KUNA, ID 83634

JOB NUMBER: U1808044A

SHEET TITLE: _____

SHEET NUMBER: C1 of 3

DATE: 2/5/2018

AMT: 2/5/2018

PERMITS: _____

ANCHOR: _____

PROFESSIONAL ENGINEER
 LICENSED
 17501
 02/05/2018
 ANTHONY M. TROUT

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ANCHOR BOLT SUMMARY

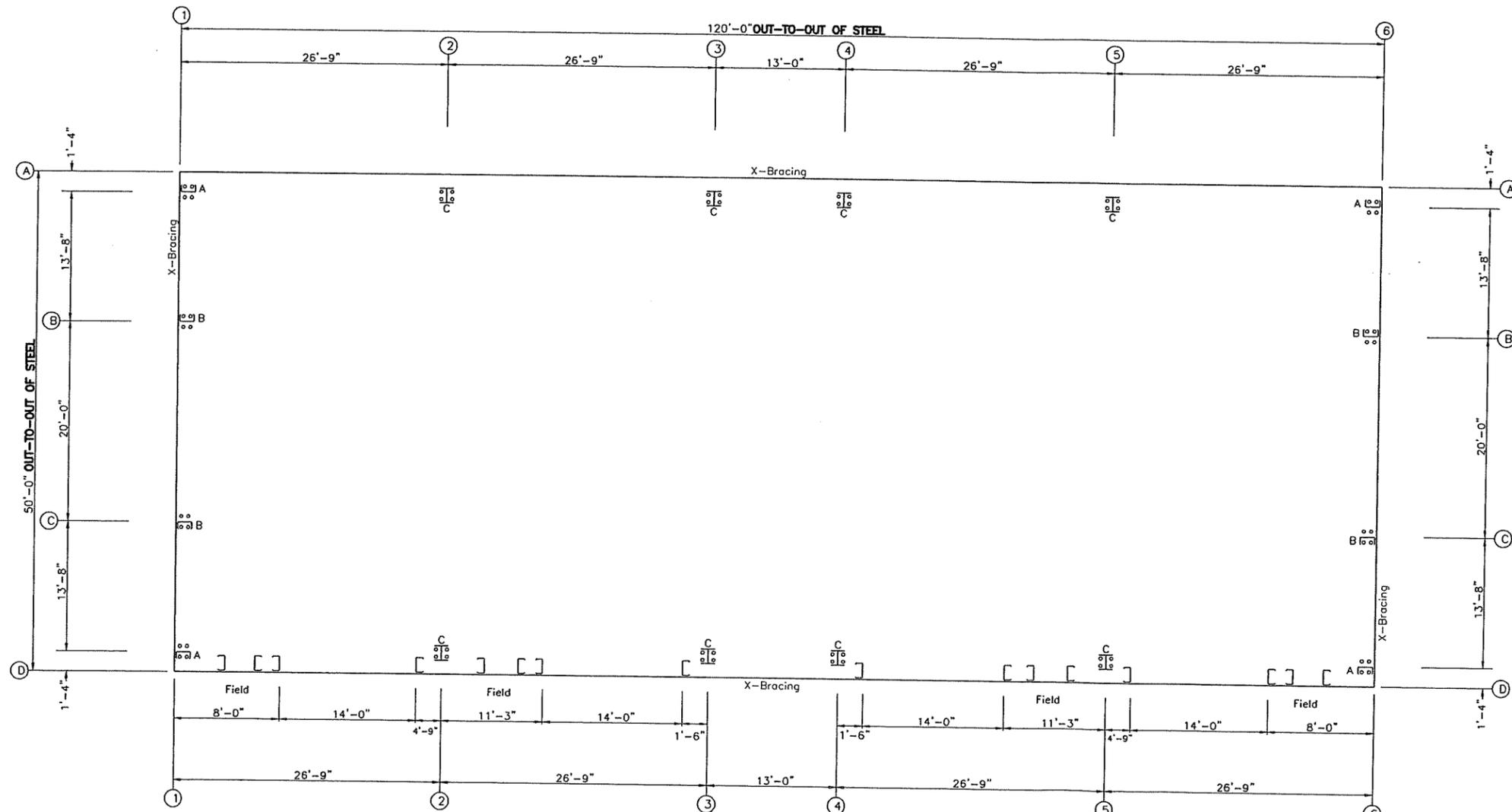
Qty	Locate	Dia (in)	Type	Proj (in)
0	32	Endwall	3/4" F1554	3.00
0	32	Frame	3/4" F1554	3.00

ISSUE	DATE	BY	CHK	APP
PERMITS	ANCHOR			
ISSUE				

ANCHOR BOLT PLAN

GENERAL NOTES

1. THE SPECIFIED ANCHOR ROD DIAMETER ASSUMES F1554 GRADE 36 UNLESS NOTED OTHERWISE. ANCHOR ROD MATERIAL OF EQUAL DIAMETER MEETING OR EXCEEDING THE STRENGTH REQUIREMENTS SET FORTH ON THESE DRAWINGS MAY BE UTILIZED AT THE DISCRETION OF THE FOUNDATION DESIGN ENGINEER. ANCHOR ROD EMBEDMENT LENGTH SHALL BE DETERMINED BY THE FOUNDATION DESIGN ENGINEER.
2. METAL BUILDING MANUFACTURER IS NOT RESPONSIBLE FOR PROJECT FOUNDATION DESIGN. THE FOUNDATION DESIGN IS THE RESPONSIBILITY OF A REGISTERED PROFESSIONAL ENGINEER, FAMILIAR WITH LOCAL SITE CONDITIONS.
3. ALL ANCHOR RODS, FLAT WASHERS FOR ANCHOR RODS, EXPANSION BOLTS, AS WELL AS ALL CONCRETE/MASONRY EMBEDMENT PLATES ARE NOT BY METAL BUILDING MANUFACTURER.
4. THIS DRAWING IS NOT TO SCALE.
5. FINISHED FLOOR ELEVATION = 100'-0" UNLESS NOTED OTHERWISE.
6. "SINGLE" CEE COLUMNS SHALL BE ORIENTED WITH THE "TOES" TOWARD THE LOW EAVE UNLESS NOTED OTHERWISE.
7. ANCHOR RODS ARE REQUIRED ONLY IN THE QUANTITIES SPECIFIED. BASEPLATES MAY BE FABRICATED WITH MORE HOLES THAN NEEDED FOR THIS PROJECT.
8. THE ANCHOR BOLT LOCATIONS PROVIDED BY METAL BUILDING MANUFACTURER SATISFY PERTINENT REQUIREMENTS FOR THE DESIGN OF THE MATERIALS SUPPLIED BY THE METAL BUILDING MANUFACTURER. PLEASE NOTE THAT THESE REQUIREMENTS MAY NOT SATISFY ALL ANCHOR BOLT CONCRETE EDGE DISTANCE REQUIREMENTS DEPENDING ON THE DETAILS OF THE FOUNDATION DESIGN. BECAUSE FOUNDATION DESIGN IS NOT WITHIN THE METAL BUILDING MANUFACTURER'S SCOPE OF WORK, IT IS THE RESPONSIBILITY OF THE QUALIFIED PROFESSIONAL DESIGNING THE FOUNDATION TO MAKE CERTAIN THAT SUFFICIENT CONCRETE EDGE DISTANCE IS PROVIDED FOR THE ANCHOR BOLTS IN THE DETAILS OF THE FOUNDATION DESIGN.



ANCHOR BOLT PLAN
NOTE: All Base Plates @ 100'-0" (U.N.)

o Dia= 3/4"

Freedom Steel
Building Corporation

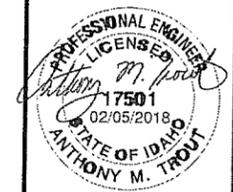
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PROJECT NAME
MIKE SMITH / MRS PROPERTIES
679 S BEST BUSINESS RD, KUNA, ID 83634

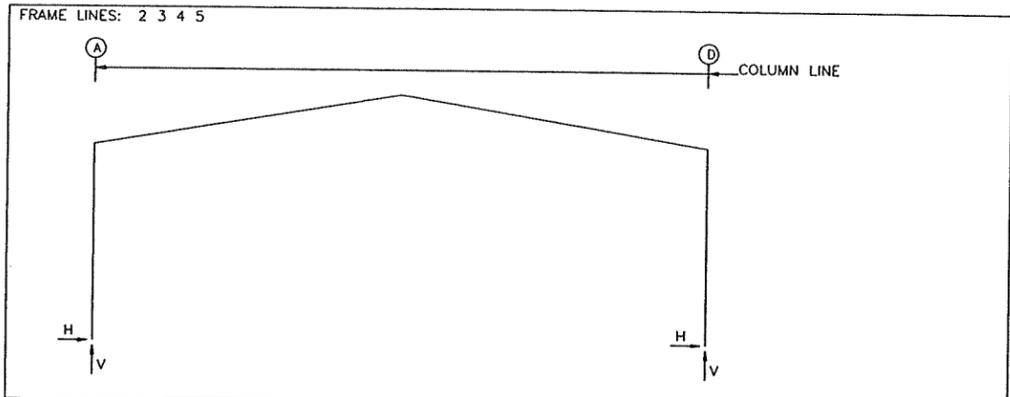
CUSTOMER NAME
MIKE SMITH / MRS PROPERTIES
KUNA, ID 83634

JOB NUMBER
U1808044A

SHEET TITLE



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RIGID FRAME: ANCHOR BOLTS & BASE PLATES

Frm Line	Col Line	Anc. Bolt Qty	Anc. Dia	Base Plate Width	Base Plate Length	Base Plate Thick	Elev. (in)
2*	A	4	0.750	8.000	12.00	0.375	0.0
2*	D	4	0.750	8.000	12.00	0.375	0.0

2* Frame lines: 2 5

RIGID FRAME: ANCHOR BOLTS & BASE PLATES

Frm Line	Col Line	Anc. Bolt Qty	Anc. Dia	Base Plate Width	Base Plate Length	Base Plate Thick	Elev. (in)
3*	A	4	0.750	8.000	12.00	0.375	0.0
3*	D	4	0.750	8.000	12.00	0.375	0.0

3* Frame lines: 3 4

ENDWALL COLUMN: BASIC COLUMN REACTIONS (k)

Frm Line	Col Line	Dead Vert	Collat Vert	Live Vert	Snow Vert	Wind Left1 Vert	Wind Right1 Vert	Wind Left2 Vert	Wind Right2 Vert	Wind Press Horiz	Wind Suct Horiz	Wind Long1 Vert	Wind Long2 Vert
1	A	0.4	0.1	1.6	2.4	-2.2	-1.3	-2.2	-1.2	-1.3	1.5	-2.2	-1.3
1	B	1.1	0.3	5.5	8.3	-7.2	-5.0	-7.2	-5.0	-3.3	3.7	-7.2	-4.7
1	C	1.1	0.3	5.5	8.3	-4.5	-7.3	-4.5	-7.3	-3.3	3.7	-4.7	-7.1
1	D	0.4	0.1	1.6	2.4	-1.7	-2.1	-1.7	-2.1	-1.3	1.5	-1.3	-2.3

Frm Line	Col Line	Seis Left Vert	Seis Right Vert	-MIN_SNOW Horiz	E1UNB_SL_L Horiz	E1UNB_SL_R Horiz	E1PAT_LL_1 Horiz	E1PAT_LL_2 Horiz
1	A	0.0	0.1	0.0	2.4	0.0	0.5	0.0
1	B	0.0	-0.1	0.0	8.3	0.0	3.6	0.0
1	C	0.0	0.0	0.0	8.3	0.0	3.6	0.0
1	D	0.0	0.0	0.0	2.2	0.0	2.3	0.0

Frm Line	Col Line	E1PAT_LL_3 Horiz	E1PAT_LL_4 Horiz
1	A	0.0	1.5
1	B	0.0	5.8
1	C	0.0	3.0
1	D	0.0	-0.4

Frm Line	Col Line	Dead Vert	Collat Vert	Live Vert	Snow Vert	Wind Left1 Vert	Wind Right1 Vert	Wind Left2 Vert	Wind Right2 Vert	Wind Press Horiz	Wind Suct Horiz	Wind Long1 Vert	Wind Long2 Vert
6	D	0.4	0.1	1.6	2.4	-2.2	-1.3	-2.2	-1.2	-1.3	1.5	-2.2	-1.3
6	C	1.1	0.3	5.5	8.3	-7.2	-5.0	-7.2	-5.0	-3.3	3.7	-7.2	-4.7
6	B	1.1	0.3	5.5	8.3	-4.5	-7.3	-4.5	-7.3	-3.3	3.7	-4.7	-7.1
6	A	0.4	0.1	1.6	2.4	-1.7	-2.1	-1.7	-2.1	-1.3	1.5	-1.3	-2.3

Frm Line	Col Line	Seis Left Vert	Seis Right Vert	-MIN_SNOW Horiz	E2UNB_SL_L Horiz	E2UNB_SL_R Horiz	E2PAT_LL_1 Horiz	E2PAT_LL_2 Horiz
6	D	0.0	0.1	0.0	2.4	0.0	0.5	0.0
6	C	0.0	-0.1	0.0	8.3	0.0	3.6	0.0
6	B	0.0	0.0	0.0	8.3	0.0	3.6	0.0
6	A	0.0	0.0	0.0	2.2	0.0	2.3	0.0

Frm Line	Col Line	E2PAT_LL_3 Horiz	E2PAT_LL_4 Horiz
6	D	0.0	1.5
6	C	0.0	5.8
6	B	0.0	3.0
6	A	0.0	-0.4

BUILDING BRACING REACTIONS

Loc	Woll Line	Col Line	± Reactions (k)				Panel Shear (lb/ft)
			Wind Horiz	Wind Vert	Seismic Horiz	Seismic Vert	Wind Seis
L_EW	1	A,B	2.3	2.7	0.6	0.7	
F_SW	D	3,4	4.4	4.7	2.3	2.4	
R_EW	6	D,C	2.3	2.7	0.6	0.7	
B_SW	A	4,3	4.4	4.7	2.3	2.4	

RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Line	Column Line	Dead Horiz	Dead Vert	Collateral Horiz	Collateral Vert	Live Horiz	Live Vert	Snow Horiz	Snow Vert	Wind_Left1 Horiz	Wind_Left1 Vert	Wind_Right1 Horiz	Wind_Right1 Vert
2*	A	1.4	2.9	0.4	0.7	4.5	8.4	11.2	21.1	-9.8	-15.1	-1.6	-10.0
2*	D	-1.4	2.9	-0.4	0.7	-4.5	8.4	-11.2	21.1	1.6	-10.0	9.8	-15.1

Frame Line	Column Line	Wind_Left2 Horiz	Wind_Left2 Vert	Wind_Right2 Horiz	Wind_Right2 Vert	Wind_Long1 Horiz	Wind_Long1 Vert	Wind_Long2 Horiz	Wind_Long2 Vert	Seismic_Left Horiz	Seismic_Left Vert	Seismic_Right Horiz	Seismic_Right Vert
2*	A	-8.8	-8.8	-0.6	-3.8	-2.2	-13.4	-3.2	-11.2	-0.6	-0.3	0.6	0.3
2*	D	0.6	-3.8	8.8	-8.8	3.2	-11.2	2.2	-13.4	-0.6	0.3	0.6	-0.3

Frame Line	Column Line	-MIN_SNOW Horiz	-MIN_SNOW Vert	F1UNB_SL_L Horiz	F1UNB_SL_L Vert	F1UNB_SL_R Horiz	F1UNB_SL_R Vert
2*	A	11.2	21.1	8.8	19.7	8.7	11.3
2*	D	-11.2	21.1	-8.7	19.7	-8.8	11.3

Frame Line	Column Line	Dead Horiz	Dead Vert	Collateral Horiz	Collateral Vert	Live Horiz	Live Vert	Snow Horiz	Snow Vert	Wind_Left1 Horiz	Wind_Left1 Vert	Wind_Right1 Horiz	Wind_Right1 Vert
3*	A	1.0	2.2	0.3	0.5	3.2	6.3	8.1	15.7	-7.2	-11.2	-1.1	-7.5
3*	D	-1.0	2.2	-0.3	0.5	-3.2	6.3	-8.1	15.7	1.1	-11.2	7.2	-11.2

Frame Line	Column Line	Wind_Left2 Horiz	Wind_Left2 Vert	Wind_Right2 Horiz	Wind_Right2 Vert	Wind_Long1 Horiz	Wind_Long1 Vert	Wind_Long2 Horiz	Wind_Long2 Vert	Seismic_Left Horiz	Seismic_Left Vert	Seismic_Right Horiz	Seismic_Right Vert
3*	A	-6.5	-6.6	-0.4	-2.8	-1.6	-10.0	-2.2	-8.3	-0.5	-0.3	0.5	0.3
3*	D	0.4	-2.8	6.5	-6.6	2.2	-8.3	1.6	-10.0	-0.5	0.3	0.5	-0.3

Frame Line	Column Line	-MIN_SNOW Horiz	-MIN_SNOW Vert	F2UNB_SL_L Horiz	F2UNB_SL_L Vert	F2UNB_SL_R Horiz	F2UNB_SL_R Vert
3*	A	8.1	15.7	6.3	14.6	6.3	8.4
3*	D	-8.1	15.7	-6.3	14.6	-6.3	14.6

2* Frame lines: 2 5
3* Frame lines: 3 4

ENDWALL COLUMN: ANCHOR BOLTS & BASE PLATES

Frm Line	Col Line	Anc. Bolt Qty	Anc. Dia	Base Plate Width	Base Plate Length	Base Plate Thick	Elev. (in)
1	A	4	0.750	8.000	8.500	0.375	0.0
1	B	4	0.750	8.000	12.50	0.375	0.0
1	C	4	0.750	8.000	12.50	0.375	0.0
1	D	4	0.750	8.000	8.500	0.375	0.0
6	D	4	0.750	8.000	8.500	0.375	0.0
6	C	4	0.750	8.000	12.50	0.375	0.0
6	B	4	0.750	8.000	12.50	0.375	0.0
6	A	4	0.750	8.000	8.500	0.375	0.0

GENERAL NOTES

- ALL LOADING CONDITIONS ARE EXAMINED. THE MAXIMUM AND MINIMUM HORIZONTAL (H) AND VERTICAL (V) REACTIONS AND THE CORRESPONDING VERTICAL (V) OR HORIZONTAL (H) REACTIONS ARE REPORTED.
- REACTIONS ARE PROVIDED BY LOAD CASE IN ORDER TO AID THE FOUNDATION ENGINEER IN DETERMINING THE APPROPRIATE LOAD FACTORS AND COMBINATION TO BE USED WITH EITHER WORKING STRESS OR ULTIMATE STRENGTH DESIGN METHODS. WIND LOAD CASES ARE GIVEN FOR EACH PRIMARY WIND DIRECTION.
- FOR ASCE7-10 BASED BUILDING CODES THE UNFACTORED LOAD CASE REACTIONS DUE TO WIND ARE GENERATED USING ULTIMATE DESIGN WIND SPEEDS (Vu1t).
- POSITIVE (+) REACTIONS ARE AS SHOWN ABOVE. FOUNDATION LOADS ARE IN OPPOSITE DIRECTIONS.
- BRACING REACTIONS ARE IN THE PLANE OF THE BRACE WITH THE HORIZONTAL REACTION (H) ACTING AWAY FROM THE BRACED BAY AND THE VERTICAL REACTION (V) ACTING DOWNWARD.

***** RIGID FRAME LOAD CASE ABBREVIATIONS: *****
 Wind_L1/Wind_R1: LATERAL WIND FROM THE LEFT/RIGHT, CASE 1
 Wind_L2/Wind_R2: LATERAL WIND FROM THE LEFT/RIGHT, CASE 2
 Wind_Ln1/Wind_Ln2: LONGITUDINAL WIND, CASE 1/2
 Seismic_L/Seismic_R: LATERAL SEISMIC LOAD FROM LEFT/RIGHT
 LWIND#_L/E/LWIND#_R/E: LONGITUDINAL WIND EDGE ZONES
 F#UNB_SL_L/F#UNB_SL_R: UNBALANCED ROOF SNOW WITH WIND FROM LEFT/RIGHT
 F#PAT_LL #/F#PAT_SL #: PARTIAL LIVE/SNOW LOADING FOR CONTINUOUS BEAM SYSTEMS

***** ENDWALL COLUMN LOAD CASE ABBREVIATIONS: *****
 Collat: COLLATERAL LOAD
 Rafter Wind_L/Rafter Wind_R: LATERAL WIND FROM THE LEFT/RIGHT
 Brace Wind_L/Brace Wind_R: LATERAL WIND FROM THE LEFT/RIGHT
 Wind_P/Wind_S: LONGITUDINAL WIND PRESSURE/SUCTION ON COLUMNS
 Wind_Ln: LONGITUDINAL WIND SUCTION ON ROOF
 Seis_L/Seis_R: LATERAL SEISMIC LOAD FROM LEFT/RIGHT
 E#UNB_SL_L/E#UNB_SL_R: UNBALANCED ROOF SNOW WITH WIND FROM LEFT/RIGHT
 E#PAT_LL #/E#PAT_SL #: PARTIAL LIVE/SNOW LOADING FOR CONTINUOUS BEAM SYSTEMS

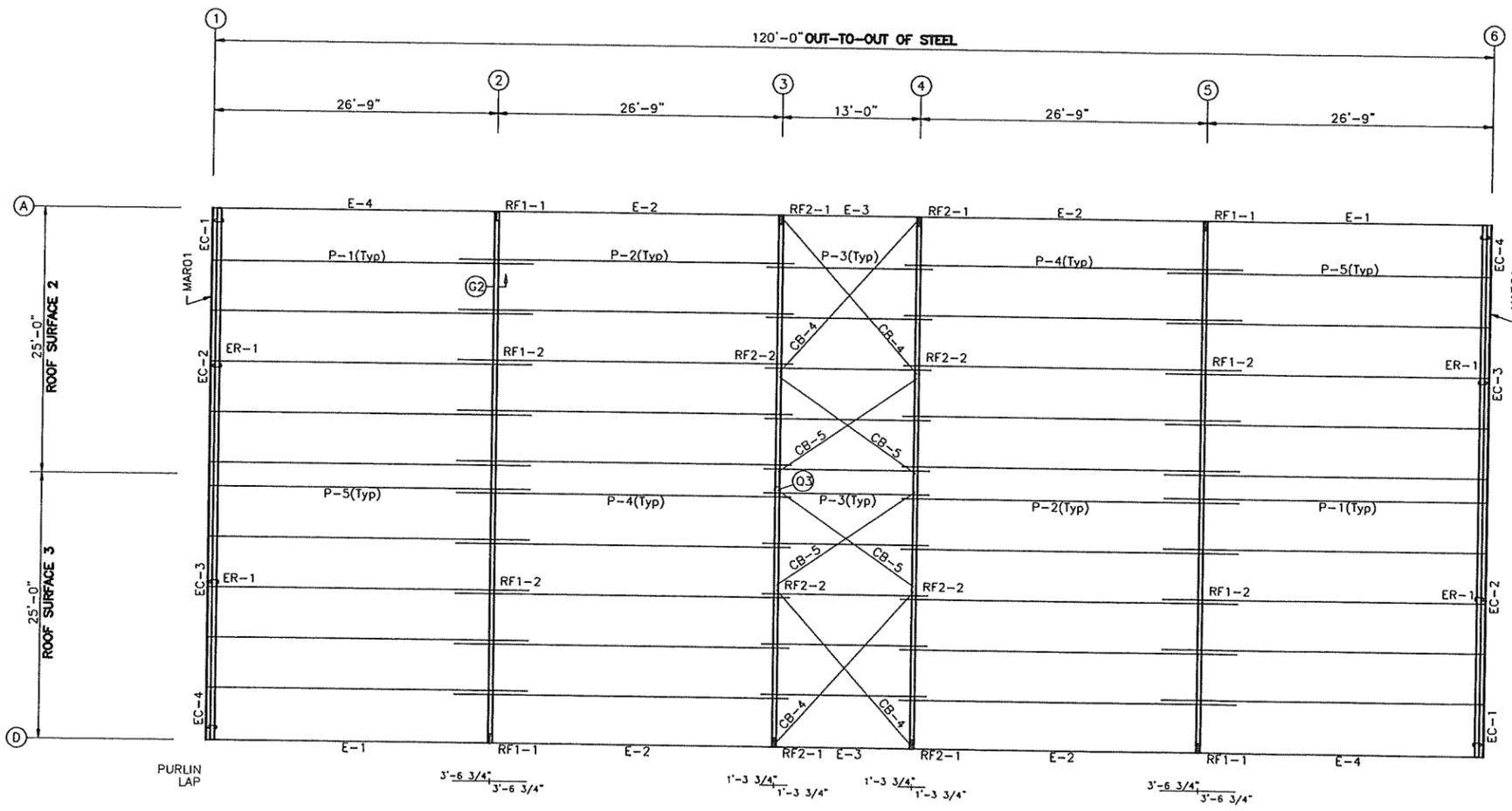
DATE	REV	BY	CHK	APP
2/5/2018	AMT			
2/5/2018	AMT			

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 FAX: (800) 630-2946
 EMAIL: engineering@freedomsteel.com

PROJECT NAME: MIKE SMITH / MRS PROPERTIES
 679 S BEST BUSINESS RD, KUNA, ID 83634
 CUSTOMER NAME: MIKE SMITH / MRS PROPERTIES
 KUNA, ID 83634
 JOB NUMBER: U1808044A
 SHEET TITLE: SHEET TITLE

PROFESSIONAL ENGINEER
 LICENSE NO. 17501
 EXPIRES 02/05/2018
 ANTHONY M. TROUT
 STATE OF IDAHO

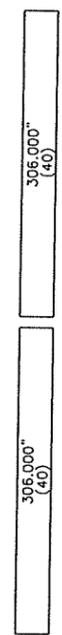
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ROOF FRAMING PLAN

TRIM TABLE			
ROOF PLAN			
ID	PART	LENGTH	DETAIL
1	RGA15	36.000	TRIM_3

MEMBER TABLE		
ROOF PLAN		
MARK	PART	LENGTH
P-1	10Z089	363.500
P-2	10Z089	379.500
P-3	10Z060	187.500
P-4	10Z089	379.500
P-5	10Z089	363.500
E-1	10E2060	320.500
E-2	10E2060	320.500
E-3	10E2060	155.500
E-4	10E2060	320.500
CB-4	RDB-	227.000
CB-5	RDB-	194.000



ROOF SHEETING
PANELS: 26 Ga. CR Galvalume

ROOF FRAMING PLAN

GENERAL NOTES

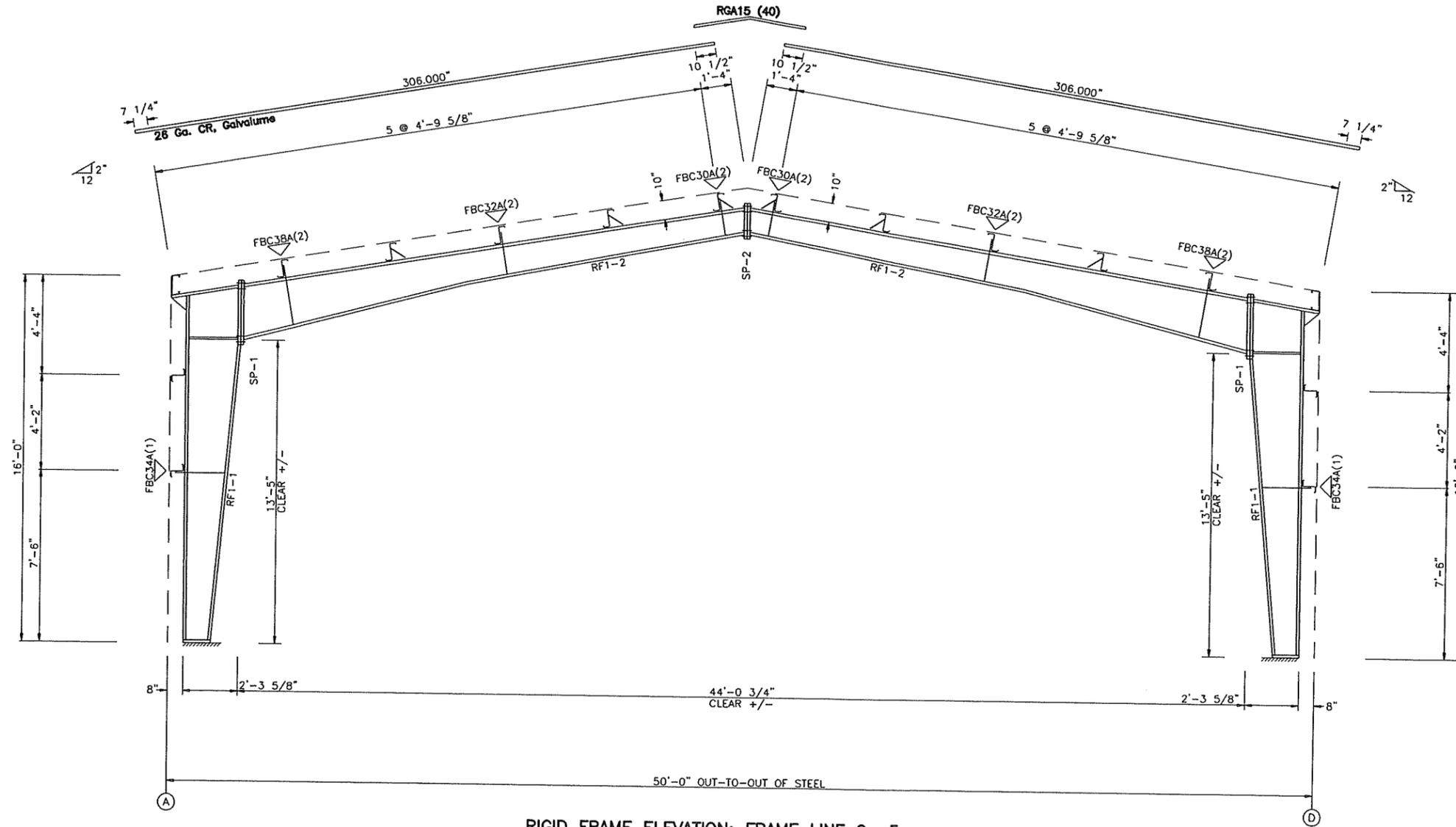
- PLACE TAGGED END OF RAFTERS TOWARDS THE LOW EAVE.
- STD. ROD/CABLE SIZES PER PART PREFIX ARE:

ROD	CABLE
RDB- = 5/8" ROD	CAA- = 1/4" CABLE
RDC- = 3/4" ROD	CAB- = 3/8" CABLE
RDD- = 7/8" ROD	CAC- = 1/2" CABLE
RDE- = 1" ROD	
RDF- = 1 1/8" ROD	
RDG- = 1 1/4" ROD	
- PURLIN AND EAVE STRUT CONNECTIONS UTILIZE BOTH A307 AND A325 BOLTS. REFER TO THE DETAILS FOR SPECIFIC USAGE REQUIREMENTS.
- THIS DRAWING IS NOT TO SCALE.

DATE: 2/5/2018	DATE: 2/5/2018
AMT: 2/5/2018	AMT: 2/5/2018
PERMITS: ANCHOR	
PROJECT NAME: MIKE SMITH / MRS PROPERTIES	PROJECT NAME: MIKE SMITH / MRS PROPERTIES
CUSTOMER NAME: 679 S BEST BUSINESS RD, KUNA, ID 83634	CUSTOMER NAME: 679 S BEST BUSINESS RD, KUNA, ID 83634
JOB NUMBER: U1808044A	JOB NUMBER: U1808044A
SHEET TITLE: MIKE SMITH / MRS PROPERTIES	SHEET TITLE: MIKE SMITH / MRS PROPERTIES
PHONE: (800) 390-2948	PHONE: (800) 390-2948
FAX: (800) 630-2946	FAX: (800) 630-2946
EMAIL: engineering@freedomsteel.com	EMAIL: engineering@freedomsteel.com
<p>This seal pertains only to the materials prepared and supplied by the listed Building Manufacturer and is not to be used on other buildings which they represent as the registered professional engineer whose seal appears on these drawings is employed by the listed Building Manufacturer and is not to be used as a seal of approval for any other building or structure. The registered professional engineer whose seal appears on these drawings is not to be used as a seal of approval for any other building or structure. The registered professional engineer whose seal appears on these drawings is not to be used as a seal of approval for any other building or structure.</p>	
<p>E1 of 7</p>	

SPLICE PLATE & BOLT TABLE									
Mark	Qty		Int	Type	Dia	Length	Width	Thick	Length
	Top	Bot							
SP-1	4	4	0	A325	0.750	3.00	6"	5/8"	2'-8 5/8"
SP-2	4	4	0	A325	0.625	2.25	6"	3/8"	1'-5 1/8"

MEMBER TABLE								
Mark	Web Depth		Web Plate		Outside Flange		Inside Flange	
	Start/End	Thick	Length	Thick	W x Thk x Length	W x Thk x Length	W x Thk x Length	
RF1-1	11.0/27.0	0.164	157.7		5 x 1/4" x 182.6	5 x 3/8" x 158.4		
	27.0/27.0	0.220	29.4		5 x 1/4" x 35.4			
RF1-2	26.0/15.0	0.188	121.4		5 x 1/4" x 117.1	5 x 5/16" x 121.9		
	15.0/11.0	0.125	149.7		5 x 5/16" x 149.7	5 x 3/16" x 147.8		



RIGID FRAME ELEVATION: FRAME LINE 2 5

GENERAL NOTES

- ▽ INDICATES FLANGE BRACING LOCATIONS. (1) = ONE SIDE; (2) = TWO SIDES.
- IF FLANGE BRACING IS REQUIRED ON BOTH SIDES OF AN EXPANDABLE RIGID FRAME, THE OPPOSITE SIDE FLANGE BRACES WILL HAVE TO BE INSTALLED AT THE TIME OF FUTURE EXPANSION. THESE FLANGE BRACES HAVE BEEN PROVIDED, AS REQUIRED, FOR THIS FUTURE CONDITION.
- RIGID FRAMES SHALL HAVE 50% OF THEIR BOLTS INSTALLED AND TIGHTENED ON BOTH SIDES OF THE WEB ADJACENT TO EACH FLANGE BEFORE THE HOISTING EQUIPMENT IS RELEASED.
- INTERIOR COLUMN METAL TAG IS ORIENTED TOWARD THE LOW EAVE OF THE BUILDING.

ISSUE	DATE	PERMITS		ANCHOR	
		AMT	DATE	AMT	DATE
	2/5/2018				
	2/5/2018				

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U1808044A

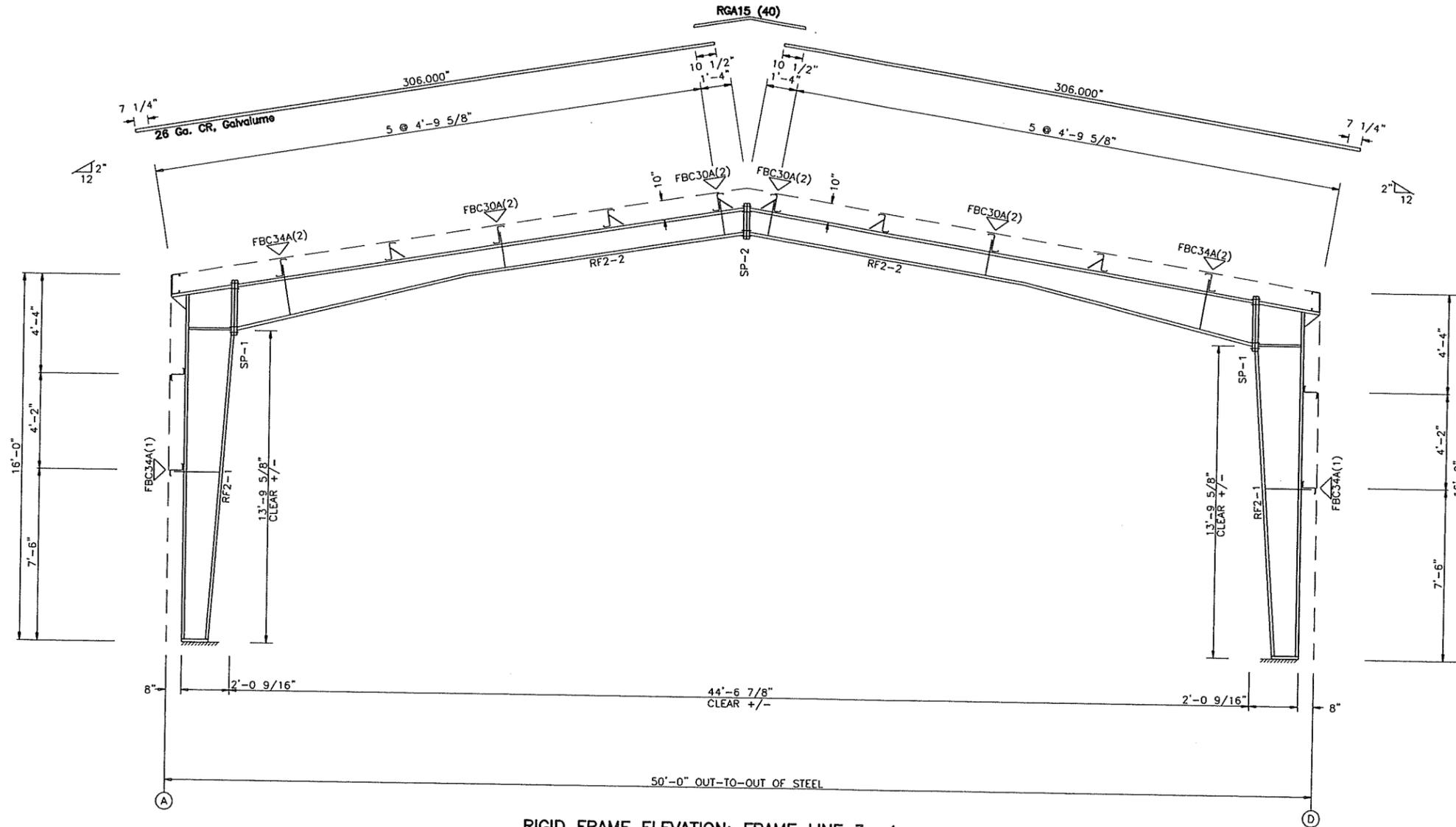


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SHEET
E2 of 7

SPLICE PLATE & BOLT TABLE									
Mark	Qty		Int	Type	Dia	Length	Width	Thick	Length
	Top	Bot							
SP-1	4	4	0	A325	0.750	3.00	6"	5/8"	2'-3 1/2"
SP-2	4	4	0	A325	0.625	2.25	6"	3/8"	1'-4 7/8"

MEMBER TABLE								
Mark	Web Depth		Web Plate		Outside Flange		Inside Flange	
	Start/End	Thick	Thick	Length	W x Thk x Length	W x Thk x Length	W x Thk x Length	
RF2-1	11.0/24.0	0.150	0.220	162.3	5 x 1/4" x 182.6	5 x 5/16" x 162.8		
RF2-2	24.0/24.0	0.220	0.164	24.3	5 x 1/4" x 32.4			
	21.0/11.0	0.164	0.125	124.8	5 x 3/16" x 121.3	5 x 5/16" x 125.2		
	11.0/11.0	0.125		148.5	5 x 1/4" x 148.5	5 x 3/16" x 146.6		



RIGID FRAME ELEVATION: FRAME LINE 3 4

GENERAL NOTES

- ▽ INDICATES FLANGE BRACING LOCATIONS. (1) = ONE SIDE; (2) = TWO SIDES.
- IF FLANGE BRACING IS REQUIRED ON BOTH SIDES OF AN EXPANDABLE RIGID FRAME, THE OPPOSITE SIDE FLANGE BRACES WILL HAVE TO BE INSTALLED AT THE TIME OF FUTURE EXPANSION. THESE FLANGE BRACES HAVE BEEN PROVIDED, AS REQUIRED, FOR THIS FUTURE CONDITION.
- RIGID FRAMES SHALL HAVE 50% OF THEIR BOLTS INSTALLED AND TIGHTENED ON BOTH SIDES OF THE WEB ADJACENT TO EACH FLANGE BEFORE THE HOISTING EQUIPMENT IS RELEASED.
- INTERIOR COLUMN METAL TAG IS ORIENTED TOWARD THE LOW EAVE OF THE BUILDING.

ISSUE	DATE
PERMITS	2/5/2018
ANCHOR	2/5/2018

Freedom Steel
Building Corporation

PHONE: (800) 390-2948
FAX: (800) 630-2946
EMAIL: engineering@freedomsteel.com

PROJECT NAME
MIKE SMITH / MRS PROPERTIES
679 S BEST BUSINESS RD, KUNA, ID 83634

CUSTOMER NAME
MIKE SMITH / MRS PROPERTIES
KUNA, ID 83634

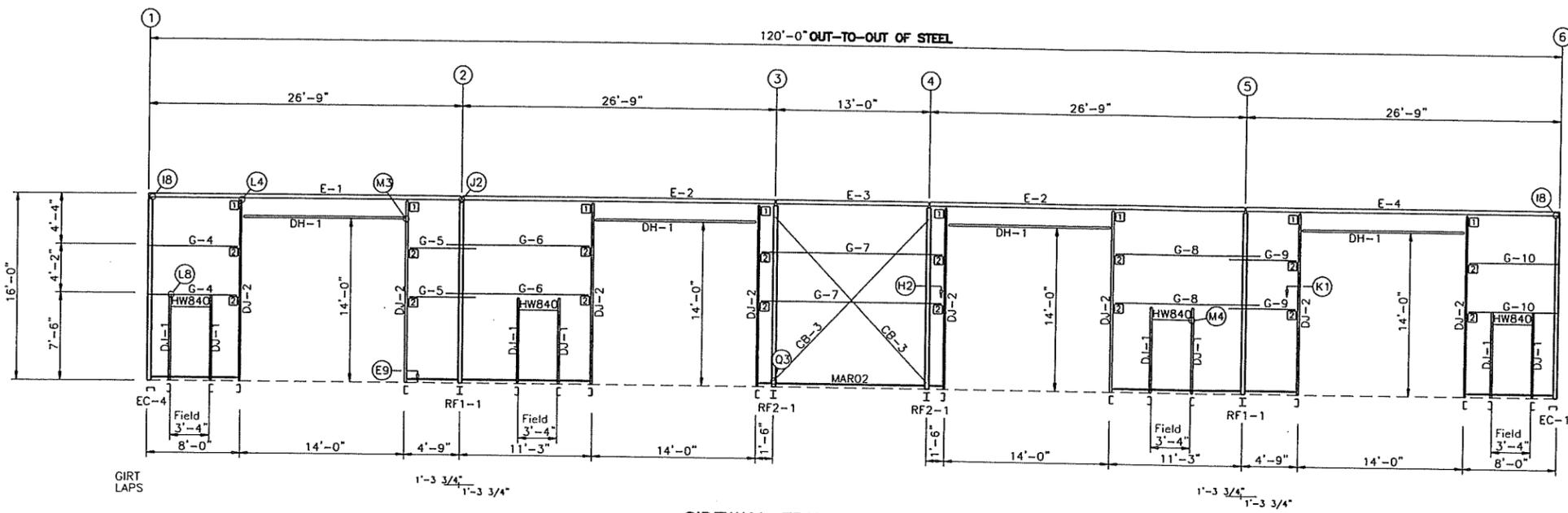
JOB NUMBER
U1808044A

SHEET TITLE

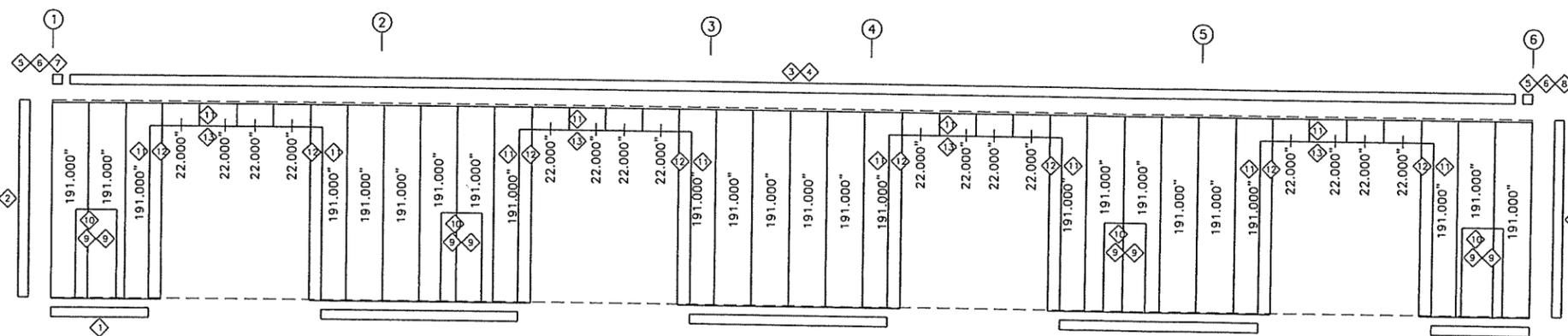


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SHEET
E3 of 7



SIDEWALL FRAMING: FRAME LINE D



SIDEWALL SHEETING & TRIM: FRAME LINE D
PANELS: 26 Ga. CW - Lightstone SP

TRIM TABLE FRAME LINE D			
ID	PART	LENGTH	DETAIL
1	BSD01	122.000	TRIM_200
2	OCA01	242.000	TRIM_79
3	SET01	121.000	TRIM_850
4	CTA03	121.000	
5	H4000	5.000	
6	ERA01	8.060	
7	RCA01	9.250	
8	RCA02	9.250	
9	JTA087	87.000	TRIM_98
10	HTA044	44.000	TRIM_98
11	CCA169	169.000	TRIM_19
12	JTA169	169.000	TRIM_98
13	HTA172	172.000	TRIM_98
14	HW840	40.000	

MEMBER TABLE FRAME LINE D		
MARK	PART	LENGTH
DJ-1	J08C060	90.000
DJ-2	J08C089	180.500
DH-1	J08C060	168.000
E-1	10E2060	320.500
E-2	10E2060	320.500
E-3	10E2060	155.500
E-4	10E2060	320.500
G-4	08Z054	92.500
G-5	08Z054	69.500
G-6	08Z054	147.500
G-7	08Z054	185.500
G-8	08Z054	147.500
G-9	08Z054	69.500
G-10	08Z054	92.500
CB-3	RDB-	239.000

CONNECTION PLATES FRAME LINE D	
ID	MARK/PART
1	JCE02
2	JCA&P02

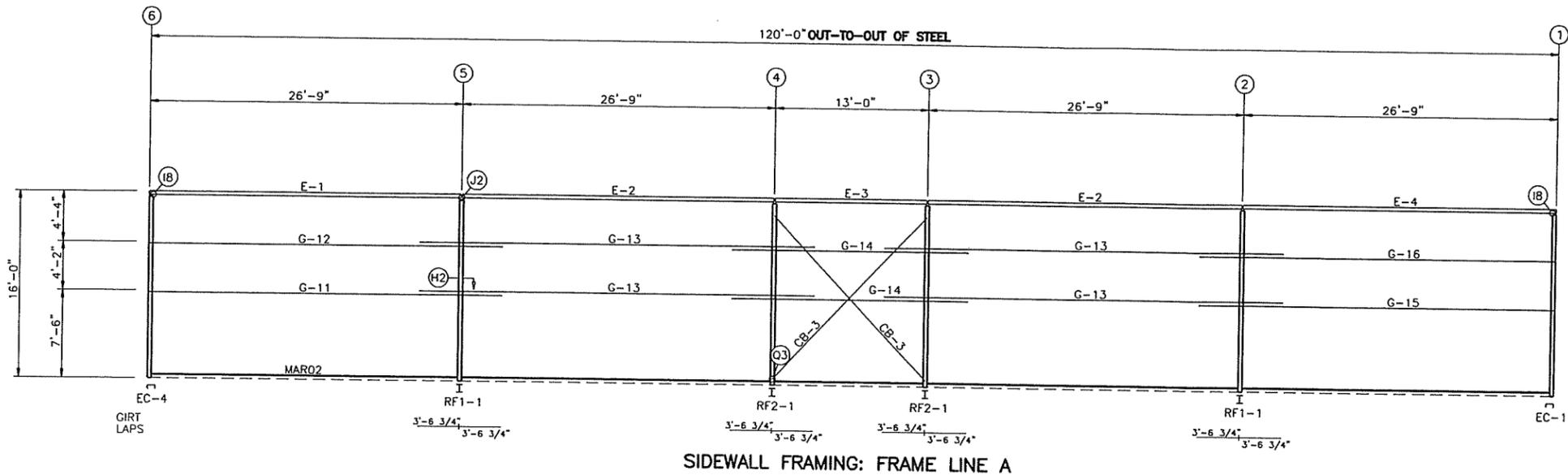
SIDEWALL FRAMING PLAN

GENERAL NOTES

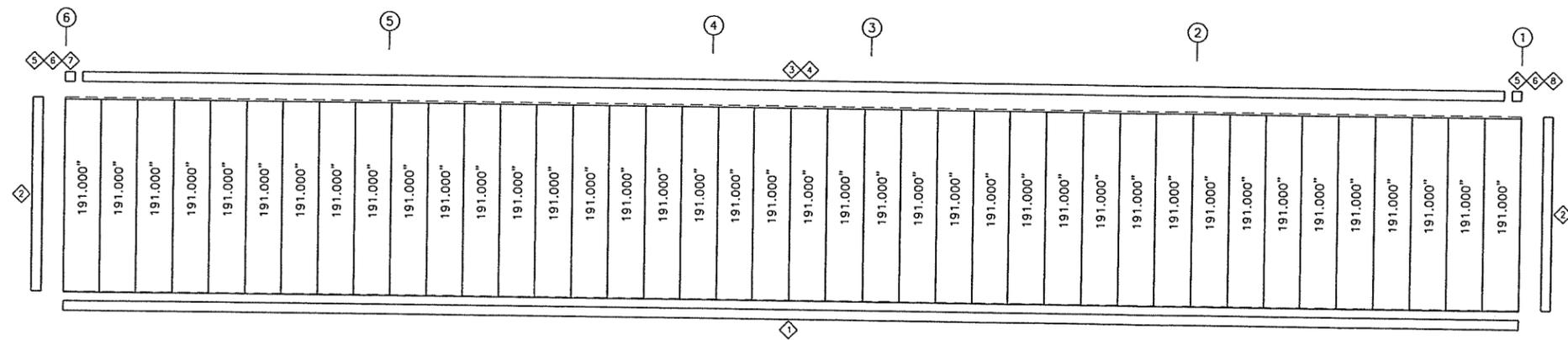
- STD. ROD/CABLE SIZES PER PART PREFIX ARE:

ROD	CABLE
RDB- = 5/8" ROD	CAA- = 1/4" CABLE
RDC- = 3/4" ROD	CAB- = 3/8" CABLE
RDD- = 7/8" ROD	CAC- = 1/2" CABLE
RDE- = 1" ROD	
RDF- = 1 1/8" ROD	
RDG- = 1 1/4" ROD	
- ROD/CABLE BRACING THAT OCCURS IN FLUSH OR INSET GIRTS CONDITIONS WILL REQUIRE FIELD SLOTTING OF GIRT WEBS TO ALLOW FOR BRACING.
- FRAMED OPENINGS WHICH ARE FIELD LOCATED WILL REQUIRE FIELD CUTTING OF GIRTS AND SHEETING.
- THIS DRAWING IS NOT TO SCALE.

<p>DATE: 2/5/2018 DATE: 2/5/2018</p>	<p>AMT: KI AMT: KI</p>	<p>ENG: BH ENG: BH</p>	<p>CHK: BH CHK: BH</p>	<p>ISSUE: PERMITS ANCHOR</p>	<p>PROJECT NAME: MIKE SMITH / MRS PROPERTIES 679 S BEST BUSINESS RD, KUNA, ID 83634 CUSTOMER NAME: MIKE SMITH / MRS PROPERTIES KUNA, ID 83634 JOB NUMBER: U1808044A</p>
<p>Freedom Steel Building Corporation</p> <p>PHONE: (800) 390-2948 FAX: (800) 630-2946 EMAIL: engineering@freedomsteel.com</p>					
<p>PROFESSIONAL ENGINEER ANTHONY M. TROUT LICENSED 17501 02/05/2018 STATE OF IDAHO</p>					
<p>U1808044A SHEET TITLE</p>					
<p>E4 of 7</p>					



SIDEWALL FRAMING: FRAME LINE A



SIDEWALL SHEETING & TRIM: FRAME LINE A
PANELS: 26 Co. CW - Lightstone SP

TRIM TABLE FRAME LINE A			
ID	PART	LENGTH	DETAIL
1	BSD01	122.000	TRIM_200
2	OCA01	242.000	TRIM_79
3	SET01	121.000	TRIM_850
4	CTA03	121.000	
5	H4000	5.000	
6	ERA01	8.060	
7	RCA01	9.250	
8	RCA02	9.250	

MEMBER TABLE FRAME LINE A		
MARK	PART	LENGTH
E-1	10E2060	320.500
E-2	10E2060	320.500
E-3	10E2060	155.500
E-4	10E2060	320.500
G-11	08Z067	363.500
G-12	08Z054	363.500
G-13	08Z054	406.500
G-14	08Z054	241.500
G-15	08Z067	363.500
G-16	08Z054	363.500
CB-3	RDB-	239.000

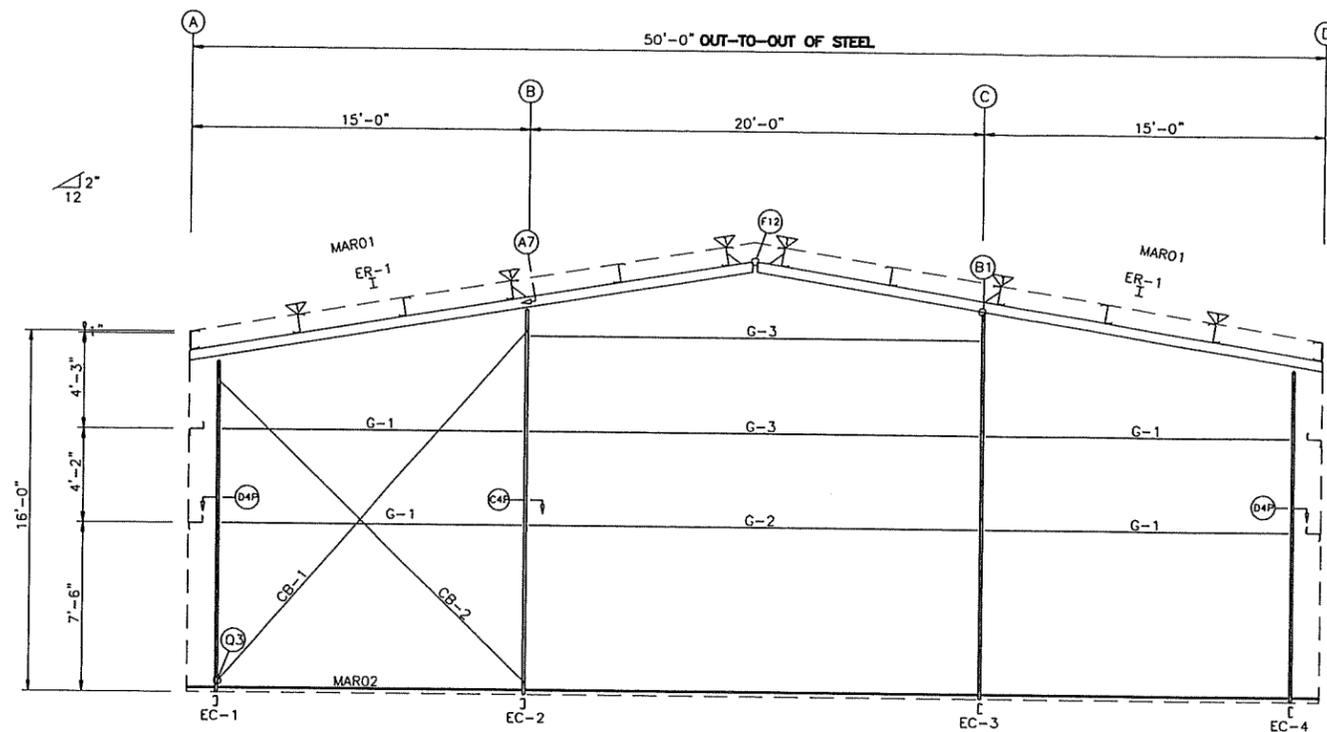
SIDEWALL FRAMING PLAN

GENERAL NOTES

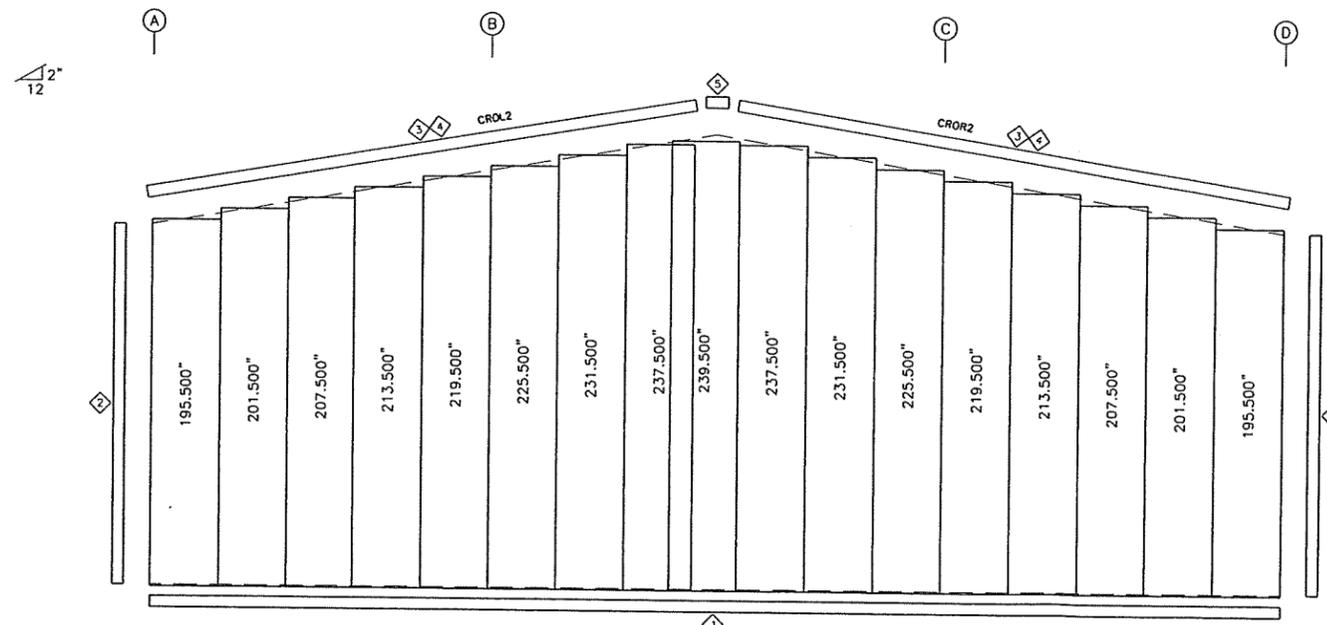
- STD. ROD/CABLE SIZES PER PART PREFIX ARE:

ROD	CABLE
RDB- = 5/8" ROD	CAA- = 1/4" CABLE
RDC- = 3/4" ROD	CAB- = 3/8" CABLE
RDD- = 7/8" ROD	CAC- = 1/2" CABLE
RDE- = 1" ROD	
RDF- = 1 1/8" ROD	
RDG- = 1 1/4" ROD	
- ROD/CABLE BRACING THAT OCCURS IN FLUSH OR INSET GIRTS WILL REQUIRE FIELD SLOTTING OF GIRT WEBS TO ALLOW FOR BRACING.
- FRAMED OPENINGS WHICH ARE FIELD LOCATED WILL REQUIRE FIELD CUTTING OF GIRTS AND SHEETING.
- THIS DRAWING IS NOT TO SCALE.

ISSUE	DATE	BY	CHK	APP	DATE
PERMITS	ANCHOR	MBS	MBS	MBS	MBS
ANCHOR	ANCHOR	ANCHOR	ANCHOR	ANCHOR	ANCHOR
<p>Freedom Steel Building Corporation</p> <p>PHONE: (800) 390-2948 FAX: (800) 630-2946 EMAIL: engineering@freedomsteel.com</p>					
<p>PROJECT NAME: MIKE SMITH / MRS PROPERTIES 679 S BEST BUSINESS RD, KUNA, ID 83634</p> <p>CUSTOMER NAME: MIKE SMITH / MRS PROPERTIES KUNA, ID 83634</p> <p>JOB NUMBER: U1808044A</p> <p>SHEET TITLE: SIDEWALL FRAMING PLAN</p>					
<p>PROFESSIONAL ENGINEER ANTHONY M. TROUT LICENSE NO. 17501 02/05/2018 STATE OF IDAHO</p>					
<p>This seal pertains only to the materials designed and supplied by the Metal Building Manufacturers Association (MBMA) and the Metal Building Manufacturers Association (MBMA) and does not constitute an endorsement or approval of the design or construction of the building or any other structure. The registered professional engineer whose seal appears on these drawings is responsible for the design and construction of the building and shall not be considered as such.</p>					
<p>SHEET E5 of 7</p>					



ENDWALL FRAMING: FRAME LINE 1



ENDWALL SHEETING & TRIM: FRAME LINE 1
PANELS: 26 Ga. CW - Lightstone SP

BOLT TABLE FRAME LINE 1				
LOCATION	QUAN	TYPE	DIA	LENGTH
ER-1/ER-1	4	A325	5/8"	2 1/4"
Columns/Rof	6	A325	1/2"	2"

TRIM TABLE FRAME LINE 1			
ID	PART	LENGTH	DETAIL
1	BSD01	122.000	TRIM_200
2	OCA01	242.000	TRIM_79
3	RTA01	121.000	TRIM_2
4	RTA02	242.000	TRIM_2
5	MPB02	26.440	

MEMBER TABLE FRAME LINE 1		
MARK	PART	LENGTH
EC-1	W08S075	176.500
EC-2	W12S075	203.875
EC-3	W12S075	203.875
EC-4	W08S075	176.500
ER-1	W8x10	303.875
G-1	08Z054	155.500
G-2	08Z075	231.500
G-3	08Z060	231.500
CB-1	RDB-	257.000
CB-2	RDB-	237.000

FLANGE BRACE TABLE FRAME LINE 1			
ID	#	MARK	CLIP
1	1	FBC30	

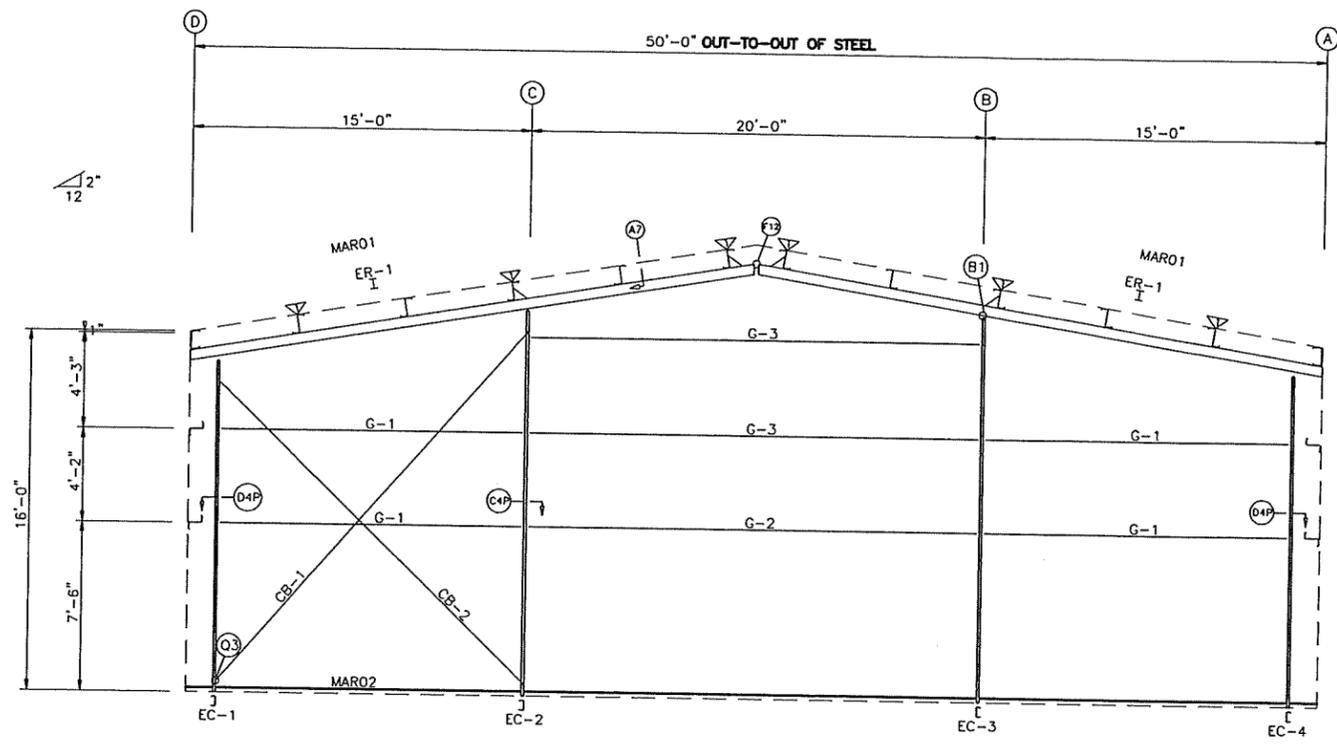
ENDWALL FRAMING PLAN

GENERAL NOTES

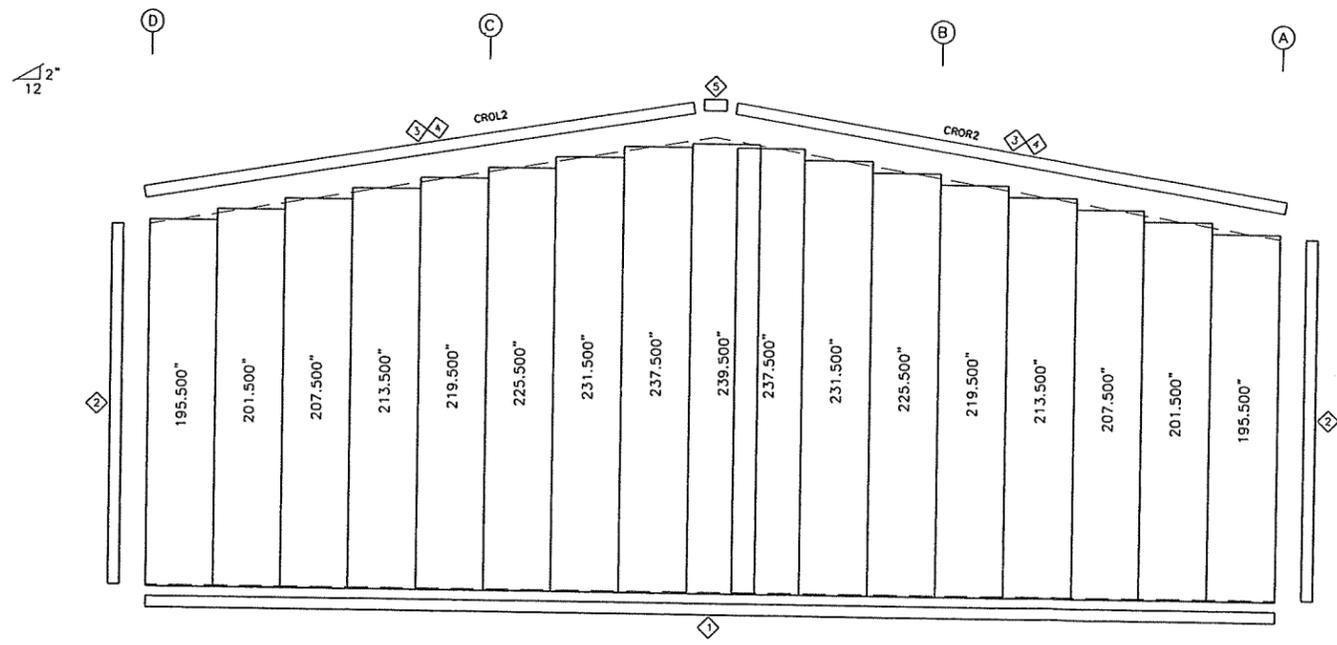
- STD. ROD/CABLE SIZES PER PART PREFIX ARE:

RDB- = 5/8" ROD	CAA- = 1/4" CABLE
RDC- = 3/4" ROD	CAB- = 3/8" CABLE
RDD- = 7/8" ROD	CAC- = 1/2" CABLE
RDE- = 1" ROD	
RDF- = 1 1/8" ROD	
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PROJECT NAME MIKE SMITH / MRS PROPERTIES 679 S BEST BUSINESS RD, KUNA, ID 83634 CUSTOMER NAME MIKE SMITH / MRS PROPERTIES KUNA, ID 83634 JOB NUMBER U1808044A	SHEET TITLE U1808044A	PERMITS ANCHOR DATE 2/5/2018 2/5/2018	PHONE: (800) 390-2948 (800) 630-2946 EMAIL: engineering@freedomsteel.com	SHEET E6 of 7
This sheet contains only the materials designed and supplied by the Metal Building Manufacturer. The drawings and the metal building components are the property of the Metal Building Manufacturer. The registered professional engineer whose seal appears on these drawings is employed by the Metal Building Manufacturer and does not serve as or represent the project engineer of record and shall not be responsible for such.				



ENDWALL FRAMING: FRAME LINE 6



ENDWALL SHEETING & TRIM: FRAME LINE 6
PANELS: 26 Ga. CW - Lightstone SP

BOLT TABLE
FRAME LINE 6

LOCATION	QUAN	TYPE	DIA	LENGTH
ER-1/ER-1	4	A325	5/8"	2 1/4"
Columns/Raf	6	A325	1/2"	2"

TRIM TABLE
FRAME LINE 6

ID	PART	LENGTH	DETAIL
1	BSD01	122.000	TRIM_200
2	OCA01	242.000	TRIM_79
3	RTA01	121.000	TRIM_2
4	RTA02	242.000	TRIM_2
5	MPB02	26.440	

MEMBER TABLE
FRAME LINE 6

MARK	PART	LENGTH
EC-1	W08S075	176.500
EC-2	W12S075	203.875
EC-3	W12S075	203.875
EC-4	W08S075	176.500
ER-1	W8x10	303.875
G-1	08Z054	155.500
G-2	08Z075	231.500
G-3	08Z060	231.500
CB-1	RDB-	257.000
CB-2	RDB-	237.000

FLANGE BRACE TABLE
FRAME LINE 6

ID	#	MARK	CLIP
1	1	FBC30	

ENDWALL FRAMING PLAN

GENERAL NOTES

- STD. ROD/CABLE SIZES PER PART PREFIX ARE:

ROD	CABLE
RDB- = 5/8" ROD	CAA- = 1/4" CABLE
RDC- = 3/4" ROD	CAB- = 3/8" CABLE
RDD- = 7/8" ROD	CAC- = 1/2" CABLE
RDE- = 1" ROD	
RDF- = 1 1/8" ROD	
RDG- = 1 1/4" ROD	
- ROD/CABLE BRACING THAT OCCURS IN FLUSH OR INSET GIRT CONDITIONS WILL REQUIRE FIELD SLOTTING OF GIRT WEBS TO ALLOW FOR BRACING.
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Freedom Steel
Building Corporation

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PROJECT NAME: MIKE SMITH / MRS PROPERTIES
679 S BEST BUSINESS RD, KUNA, ID 83634

CUSTOMER NAME: MIKE SMITH / MRS PROPERTIES
KUNA, ID 83634

JOB NUMBER: U1808044A

SHEET TITLE: E7 of 7

PROFESSIONAL ENGINEER
ANTHONY M. TROUT
LICENSE # 17501
02/05/2018
STATE OF IDAHO

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Existing Building

Existing Landscape

See Attached

Side Walk

New Building

Match Existing Landscaping

Side Walk

679 Best Business



PROPOSED MATERIALS & LANDSCAPING

12" PVC C-900

FUTURE EXPANSION

PHASE 2 BUILDING

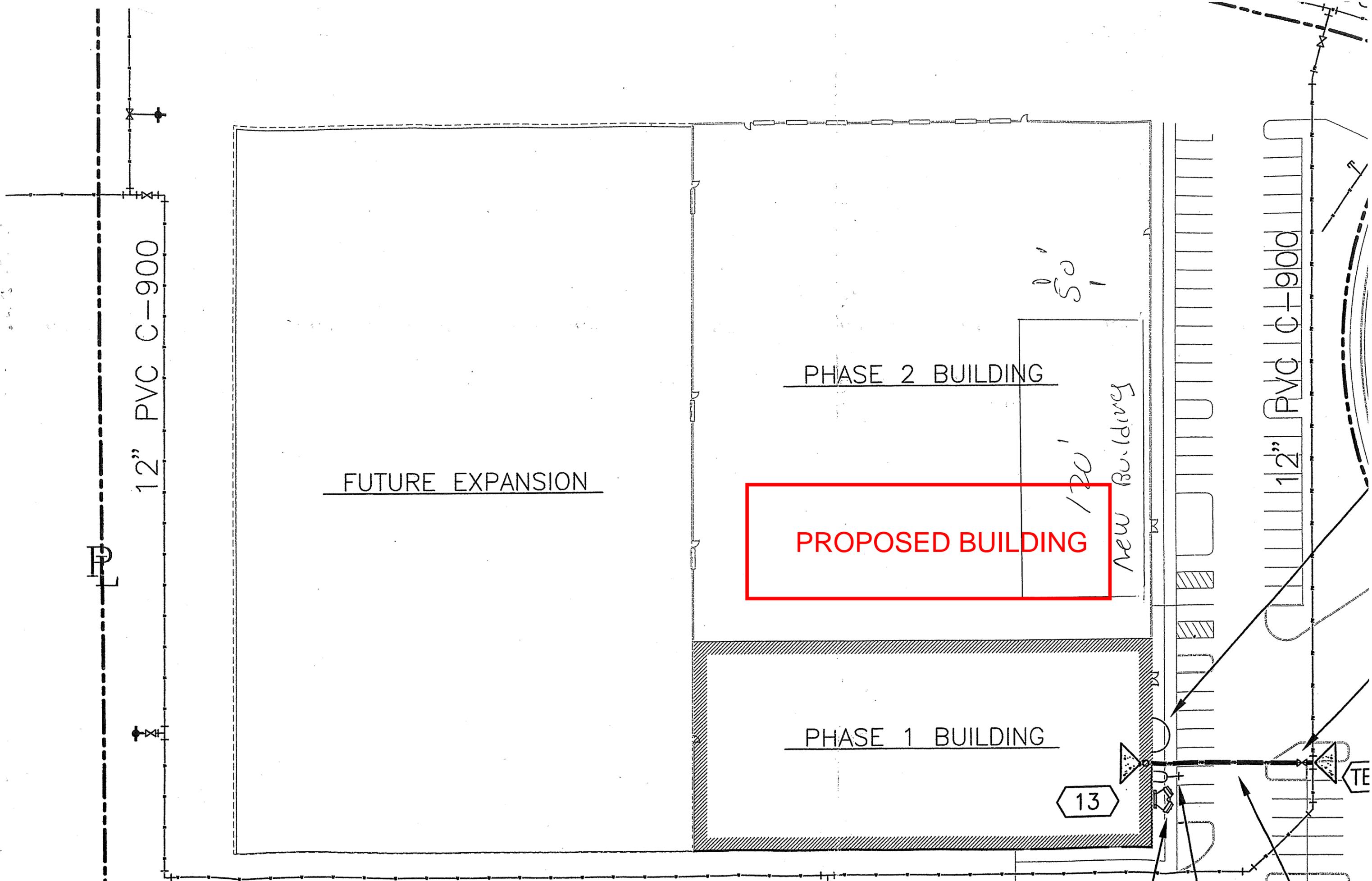
PROPOSED BUILDING

New Building

PHASE 1 BUILDING

13

12" PVC C-900





EXISTING CONDITIONS



EXISTING CONDITIONS



EXISTING CONDITIONS





City of Kuna

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

Planning & Zoning Commission - Staff Report

To: Kuna Planning and Zoning Commission.

File Numbers: 18-07-SUP (Special Use Permit); A Touch of Home Daycare

Location: 302 E. Avalon St, Kuna, Idaho 83634

Planner: Jace Hellman, Planner II

Hearing date: April 24, 2018

Owner: Ralph Mellin
10100 W Franklin Rd.
Boise, ID 83709

Applicant: Arisa McRoberts
1205 N Black Cat Rd.
Kuna, ID 83634
208-695-7502
Arizamc7@hotmail.com

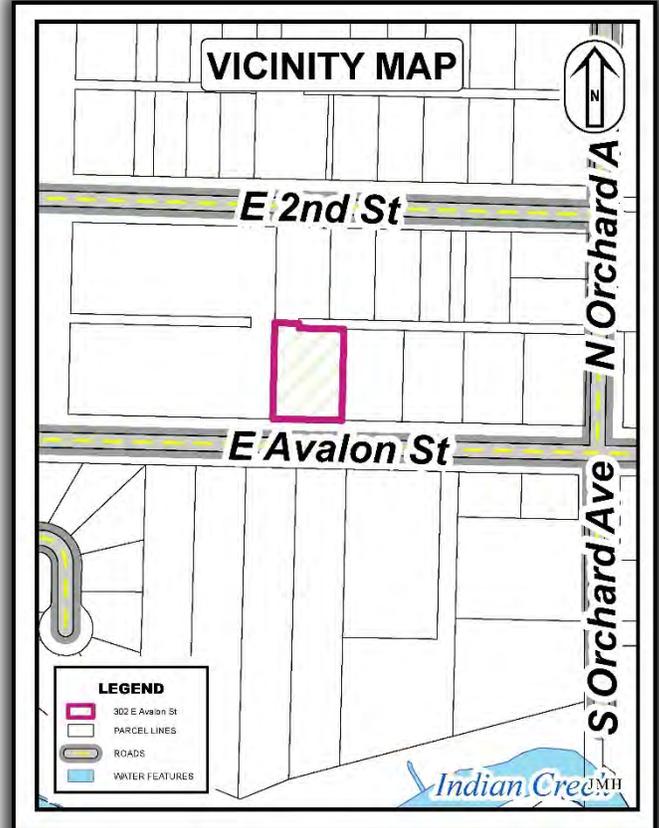


Table of Contents:

- A. Course Proceedings
- B. Applicants Request
- C. Aerial & Zoning map
- D. History
- E. General Project Facts
- F. Staff Analysis
- G. Applicable Standards
- H. Comprehensive Plan Analysis
- I. Proposed Findings of Fact
- J. Kuna City Code Analysis
- K. Proposed Conclusions of Law
- L. Proposed Decision by the Commission

A. Course of Proceedings:

1. The applicant is proposing to operate a Childcare Center within an existing residence located at 302 E. Avalon Street. In accordance with Titles 5-3 and 5-6 (Zoning Districts and Definitions) of Kuna City Code (KCC); this use requires approval of a Special Use Permit (SUP).
2. In accordance with KCC Title 5, Chapters 3 and 6, the applicant seeks approval of a Special Use Permit (SUP) for a Childcare Center at the subject site which allows for more than 13 children at any one time, on a regularly scheduled basis.

a. Notifications

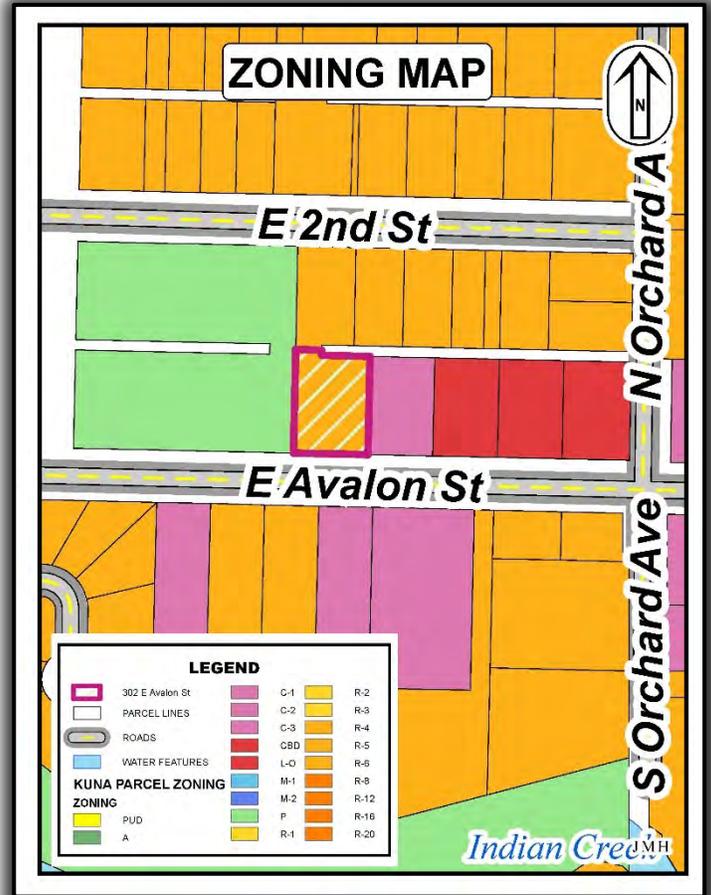
- i. Neighborhood Meeting March 10, 2018 (four attendees)
- ii. Agencies March 29, 2018

- iii. 300' Notice to Property Owners April 4, 2018
- iv. Kuna, Melba Newspaper April 4, 2018
- v. Site Posted April 13, 2018

B. Applicants Request:

Applicant, Arisa McRoberts, seeks Special Use Permit approval in order to operate a childcare center in an existing residential structure. The site is located at 302 E. Avalon St., Kuna, ID 83634.

C. Aerial & Zoning Map:



D. History: The property is within City limits and is currently zoned R-6 (Medium Density Residential). The current home on the property was previously used as a residential rental unit.

E. General Projects Facts:

1. Surrounding Land Uses:

North	R-6	Medium-Low Density Residential – Kuna City
South	C-2	Area Commercial District – Kuna City
East	C-2	Area Commercial District – Kuna City
West	P	Public – Kuna City

2. **Parcel Sizes, Current Zoning, Parcel Numbers:**

- Parcel Size: Approximately 0.40 acres
- Zoning: R-6 (Medium Density Residential)
- Parcel #: R0615001031

3. **Services:**

Sanitary Sewer– City of Kuna
Potable Water – City of Kuna
Irrigation District – Kuna Municipal District (KMID)
Pressurized Irrigation – City of Kuna (KMID)
Fire Protection – Kuna Rural Fire District
Police Protection – Kuna Police (Ada County Sheriff)
Sanitation Services – J&M Sanitation

4. **Existing Structures, Vegetation and Natural Features:**

There is currently a single family residential home onsite, estimated to be approximately 1,700 square feet, and a detached two-car garage, estimated to be approximately 572 square feet. Landscaping on site is generally associated with an existing residential lot, including several mature trees.

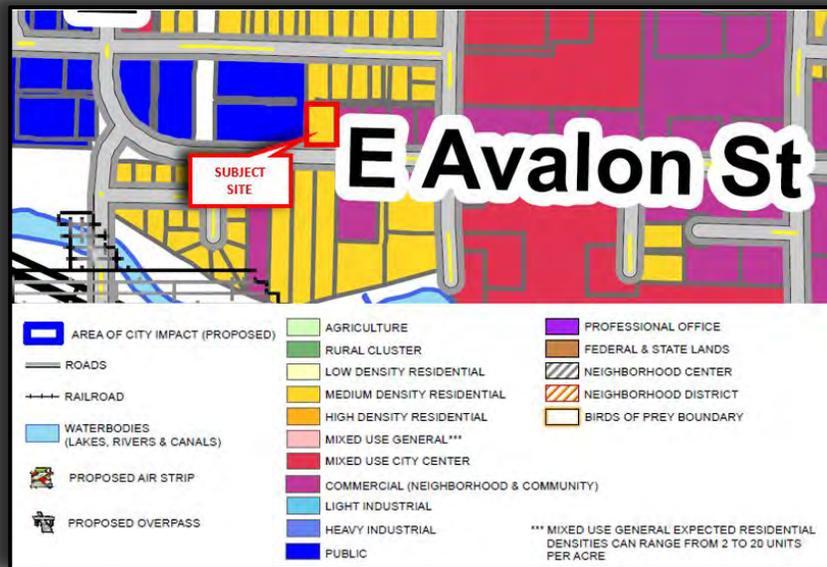
5. **Transportation / Connectivity:**

Current access to the site exists along the subject sites frontage on East Avalon Street via an existing pull through U-shaped gravel driveway. A marked crosswalk is located approximately 1,200 feet east of the subject site at the intersection of East Avalon Street and South Blue Diamond Lane. There are no sidewalks along the subject sites frontage.

6. **Environmental Issues:**

Apart from being in the nitrate priority area, staff is not aware of any environmental issues, health or safety conflicts at this time. This site’s topography is generally flat.

7. **Comprehensive Future Land Use Map:** The Future Land Use Map (FLU) identifies this site as Medium-Density Residential. Staff views this proposed Special Use Permit request to be consistent with the surrounding zoning designations as designated in the Future Land Use Map.



8. Agency Responses:

The following agencies returned comments which are included as exhibits with this case file:

- Kuna School District (April 2, 2018)Exhibit B1
- Department of Environmental Quality (April 6, 2018)Exhibit B2
- Idaho Transportation Department (April 10, 2018).....Exhibit B3
- Central District Health Department (April 12, 2018).....Exhibit B4
- Nampa & Meridian Irrigation District (April 16, 2018).....Exhibit B5
- Ada County Highway District (April 17, 2018).....Exhibit B6

F. Staff Analysis:

In order to operate a childcare center within a residential zone, a Special Use Permit is required per Kuna City Code 5-3 and 5-6 (Zoning Districts and Definitions). With a childcare center, the applicant is allowed to provide childcare for 13 plus children, ages 0-12, on regularly scheduled basis, with the appropriate child to staff ratio according to Idaho Code 39-1109(4)(a). The Childcare Center hours of operation will be Monday through Friday from approximately 6:00 am to 6:00 pm with some variation for special circumstances. The applicant proposed a total of 6-10 employees with a maximum of 3-4 employees working onsite at one time.

Per Kuna City Code 5-9-3: - Parking Space requirements, the applicant is required to have a minimum of six marked parking stalls for the building including a minimum of one handicapped accessible parking stall. Staff would note that per Kuna City Code 5-9-2-D: - Standards, all parking lots, driveways, aisles and other circulation areas, shall be improved with such material to provide a durable and dust-free surface and approved by the City Engineer. Gravel or dirt surfaces shall not be permitted for any parking or loading/unloading areas within R-2, R-4, R-6, R-8, R-12, R-20, C-1, C-2, C-3, CBD, O or P zones. Staff would suggest that the applicant be required to pave the existing driveway and proposed parking area in order to provide a durable and dust-free surface.

Childcare facilities require a minimum of forty (40) square feet or usable indoor space per child and eighty (80) square feet of usable outdoor space per child. The applicant will be required to comply with Idaho Code Title 39, Chapter 11.

Staff has determined that this application complies with Title 5 of Kuna City Code; Idaho Statute §67-6512; and the Kuna Comprehensive Plan; and forwards a recommendation of approval for Case No. 18-07-SUP to the Planning and Zoning Commission, subject to the recommended conditions of approval.

G. Applicable Standards:

1. Kuna City Code, Title 5, Zoning Regulations
2. City of Kuna Comprehensive Plan
3. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act
4. Idaho Code, Title 39, Chapter 11, Health and Safety

H. Comprehensive Plan Analysis:

The Kuna Planning and Zoning Commission may accept or reject the Comprehensive Plan components as described below:

1. The proposed Special Use Permit application for the site are consistent with the following comprehensive plan components:

2.0 – Property Rights

Goal 1: *Ensure that the City of Kuna land use policies, restrictions, conditions and fees do not violate private property rights. Establish an orderly, consistent review process for the City of Kuna to evaluate whether proposed actions may result in private property “takings”.*

Policy: As part of a land use action review, the staff shall evaluate with guidance from the City's attorney; The Idaho Attorney General's six criteria established to determine the potential for property taking.

5.0 – Economic Development

Goal 1: Promote and support a diverse and sustainable economy that will allow more Kuna residents to work in their community

Objective 1.2:

Strengthen existing business enterprises and promote their expansion.

6.0 – Land Use

Goal 2: Encourage a balance of land uses to ensure that Kuna remains a desirable, stable and self-sufficient community

Objective 2.2:

Plan for areas designed to accommodate a diverse range of businesses and commercial activity – within both the community-scale and neighborhood-scale centers – to strengthen the local economy and to provide more opportunities for social interaction.

Policy: Retail and residential land uses should be appropriately mixed and balanced with professional offices and service facilities to provide residents with a broader mix of services within walking distance from their homes.

I. Proposed Findings of Fact:

1. Based on the record contained in Case No. 18-07-SUP, including the exhibits, staff's report and any public testimony at the public hearing, the Planning and Zoning Commission of Kuna, Idaho, hereby *approves/conditionally approves/denies* the Findings of Fact and Conclusions of Law, and the conditions of approval for Case No. 18-07-SUP.
2. The Kuna Planning and Zoning Commission *approves/conditionally approves/denies* the facts as outlined in the staff report, the public testimony and the supporting evidence list presented.

Comment: *The Kuna Commission held a public hearing on the subject applications on April 24, 2018 to hear from City staff, the applicant, and to accept public testimony. The decision by the Commission is based on the application, staff report and public testimony, both oral and written*

3. Based on the evidence contained in Case No. 18-07-SUP, this proposal appears to generally comply with the Comprehensive Plan and Future Land Use Map.

Comment: *The Comprehensive Plan Future Land Use Map designates the approximately 0.40 acres (project site) as Medium-Density Residential. The childcare center is permitted in this zone with a special use permit.*

4. The Kuna Planning and Zoning Commission has the authority to approve or deny this application.

Comment: *On April 24, 2018, Kuna's Planning and Zoning Commission will vote to approve/conditionally approve/deny application 18-07-SUP.*

5. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances

Comment: *As noted in the process and noticing section, notice requirements were met to hold a public hearing on April 24, 2018.*

J. Kuna City Code Analysis:

1. This request appears to be consistent and in compliance with all Kuna City Code (KCC).

Comment: *The proposed application adheres to the applicable requirements of Title 5 of the KCC.*

2. The site is physically suitable for the proposed project.

Comment: *The 0.40-acre project site is suitable for a childcare center.*

3. The special use permit is not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat

Comment: *The land to be built on is not used as wildlife habitat. Roads, structures and open space already exist and will therefore not cause environmental damage or loss of habitat.*

4. The special use permit application is not likely to cause adverse public health problems.

Comment: *The proposed childcare center is connected to Kuna public sewer and water therefore eliminating the occurrence of adverse public health problems.*

5. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

Comment: *The special use permit request considers the location of the property and adjacent uses. The adjacent uses are residential, commercial and public – as referenced in the Kuna Comprehensive Plan Future Land Use Map.*

6. The existing utility services in proximity to the site are suitable and adequate for the proposed use.

Comment: *Utility services are suitable and adequate for a childcare center.*

K. Proposed Conclusions of Law:

1. Based on the evidence contained in Case No. 18-07-SUP, Commission finds Case No. 18-07-SUP generally *complies/ does not comply* with Kuna City Code.
2. Based on the evidence contained in Case No. 18-07-SUP, Commission finds Case No. 18-07-SUP is generally *consistent/not consistent* with Kuna's Comprehensive Plan.
3. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

L. Proposed Decision by the Commission:

Note: This motion is for approval, conditional approval or denial of these requests. However, if the Planning and Zoning Commission wishes to approve or deny specific parts of these requests as detailed in the report, those changes must be specified.

Based on the facts outlined in staff's report and public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby (approves, conditionally approves or denies) Case No. 18-07-SUP, a Special Use Permit request by Arisa McRoberts (with or without) the following conditions of approval:

1. As requested by the applicant, the childcare center facility is allowed to be open Monday through Friday from 6:00 am to 6:00 pm, with some variation to accommodate special circumstances.
2. Signs, banners, flags or other means to attract attention onsite are allowed, with a permit, in accordance with KCC 5-10-4. A sign permit must be obtained prior to installing any new, or modifying any existing, signage.
3. Applicant shall ensure that fencing around the outside play area is in safe condition and complies with Idaho Code 39-1109.
4. The applicant shall provide the City with a copy of the Childcare License from the State of Idaho "Health and Welfare" Department within 30 days after approval and signing of the City's Findings of Fact, Conclusions of Law for the Special Use Permit or the approvals may be revoked.
5. The applicant shall provide a copy of all subsequent license renewals to Kuna's Planning and Zoning Department for the childcare center.
6. Applicant shall install a door chime on the front door to indicate any opening.
7. Applicant shall install safety locks on doors and cabinets where chemicals are stored.
8. Applicant shall install a fire extinguisher with the correct class rating (5lb ABC) for a kitchen.
9. All electrical outlets shall be covered with safety devices.
10. In the event the uses or the building on this parcel are enlarged, expanded upon or altered in anyway (even for temporary purposes), the landowner/applicant/developer, and any future assigns having interest in the subject property, shall seek an amendment to the approvals of this Special Use Permit through the Planning and Zoning Department.
11. This Special Use Permit is valid if the conditions of approval are adhered to continuously. In the event the conditions are not continuously followed; the special use permit approval may be revoked.
12. The applicant shall maintain a Kuna City Business License through Kuna City Clerk's office once the Special Use Permit is acquired.
13. The Fire District, Building Inspector and Central District Health Department must perform their necessary inspections for final sign-off. The applicant shall provide the City with copies.
14. The Special Use Permit shall follow the proposed intent provided on the SUP application and divest when the applicant no longer operates a Childcare Center on the property and/or no longer has any interest in the property or the business is discontinued for more than one (1) year. The applicant is obligated to advise the City of any changes in ownership or leasing agreements which would affect business operations.
15. The special use permit is not transferable from one parcel to another.
16. The applicant shall follow all staff and agency recommendations.
17. The applicant shall comply with all local, state and federal laws.

DATED: this 24th day of April, 2018.

received
3/15/18



City of Kuna
Planning & Zoning
Department
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website: www.kunacity.id.gov

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

For Office Use Only	
File Number (s)	18-07-Sub
Project name	Arisa McRoberts A touch of home variance
Date Received	3/15/18
Date Accepted/Complete	3/29/18
Cross Reference Files	
Commission Hearing Date	4/24/18
City Council Hearing Date	

Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use - childcare permit
- Temporary Business
- Vacation
- Variance

Contact/Applicant Information

Owners of Record: <u>Ralph Mellin prop.</u>	Phone Number: _____
Address: <u>10100 W. Franklin Rd</u>	E-Mail: _____
City, State, Zip: <u>Boise ID 83709</u>	Fax #: _____
Applicant (Developer): <u>Arisa McRoberts</u>	Phone Number: <u>(208) 695-7502</u>
Address: <u>1205 N. Black Cat Rd</u>	E-Mail: <u>arisame7@hotmail.com</u>
City, State, Zip: <u>Kuna ID 83634</u>	Fax #: _____
Engineer/Representative: _____	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____

Subject Property Information

Site Address: <u>302 E. Avalon St. Kuna ID 83634</u>	
Site Location (Cross Streets): <u>E. Avalon Street + Linder</u>	
Parcel Number (s): <u>R0615001031</u>	
Section, Township, Range: <u>Lots 20 to 22 inc + E 40' of vac st adj to Lot 20 D1k7</u>	
Property size: <u>0.40 acres</u>	
Current land use: <u>rental</u>	Proposed land use: <u>childcare</u>
Current zoning district: <u>R-6</u>	Proposed zoning district: <u>no change</u>



Property owner
childcare owner

Project Description

Project / subdivision name: A Touch of Home Daycare + Preschool

General description of proposed project / request: to provide childcare + preschool services

Type of use proposed (check all that apply):

Residential _____

Commercial _____

Office _____

Industrial _____

Other Childcare

Amenities provided with this development (if applicable): childcare + preschool

Residential Project Summary (if applicable)

Are there existing buildings? Yes No

Please describe the existing buildings: a house + 2 car garage

Any existing buildings to remain? Yes No

Number of residential units: 1 Number of building lots: 0

Number of common and/or other lots: 0

Type of dwellings proposed:

Single-Family _____

Townhouses _____

Duplexes _____

Multi-Family _____

Other childcare

Minimum Square footage of structure (s): ~1700

Gross density (DU/acre-total property): 1/0.40 Net density (DU/acre-excluding roads): 1/0.40

Percentage of open space provided: ~50% Acreage of open space: ~0.20

Type of open space provided (i.e. landscaping, public, common, etc.): playground

Non-Residential Project Summary (if applicable)

Number of building lots: 0 Other lots: _____

Gross floor area square footage: 1700 Existing (if applicable): 1700

Hours of operation (days & hours): M-F 6am-6pm Building height: _____

Total number of employees: 6-10 Max. number of employees at one time: 3-4

Number and ages of students/children: 0-12 yrs Seating capacity: 50

Fencing type, size & location (proposed or existing to remain): left vinyl fence

Proposed Parking: u-shape drive + long driveway

a. Handicapped spaces: 1 Dimensions: _____

b. Total Parking spaces: ~6 Dimensions: _____

c. Width of driveway aisle: ~20 ft

Proposed Lighting: existing lighting on house

Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): N/A

Applicant's Signature: [Signature] Date: 3-10-18

received
3/15/18



City of Kuna
Planning & Zoning
Department
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website: www.kunacity.id.gov

Special Use Checklist

Special Use requires a public hearing with the Planning & Zoning Commission. A public hearing sign will be required to be posted by the applicant for the meeting. Sign posting regulations are available online.

Project name: A Touch of Home Daycare **Applicant:** Arisa McRoberts

All applications are required to contain one copy of the following:

Applicant (✓)	Description	Staff (✓)
X	Completed and signed Commission & Council Review Application.	X
X	Detailed submittal letter explaining how the project enhances and beautifies the community and types of services the project will provide.	X
X (on file)	Legal description of the property: Include a metes & bounds description to the section line of all adjacent roadways stamped & signed by a registered professional land surveyor with a calculated closure sheet & a map showing the boundaries of the legal description.	X
X (on file)	Proof of ownership—A copy of your deed and Affidavit of Legal Interest (for all interested parties). <i>(Ralph provided deed + legal description)</i>	X
X	8 1/2 x 11 vicinity map showing streets, driveways, property lines, etc.	X
X <i>will use landscape already existing</i>	Landscape plan drawn to scale as the same size as the site development plan with the following details: <ul style="list-style-type: none"> ◇ Type, size and location of all existing & proposed plant materials and other ground covers. The size of plants at planting and maturity should be included. ◇ Existing vegetation labeled to remain or to be removed with landscaping on adjacent properties by area (s) to be considered. ◇ Method of irrigation. <i>Sprinkler</i> ◇ Cross-sections through areas of special features, berms, retaining walls, etc. ◇ Footprints of all structures to be constructed. 	X
X <i>will use already existing site</i>	Site development plan on 24x36 to scale (not smaller than 1=30 unless otherwise approved) with the following information: <ul style="list-style-type: none"> ◇ Building locations—existing and proposed with spare-footages. ◇ Fences—existing, surrounding and proposed. ◇ Off-street parking, circulation and driveway locations and types. ◇ Location and size of adjacent streets and driveways. ◇ North arrow and property lines. ◇ Drawings of major exterior elevations. ◇ Building materials and color scheme. ◇ Existing grades and proposed new grades. ◇ Existing lighting and proposed lighting. 	X
X	Commitment of Property Posting form signed by the applicant/agent.	X
X	Neighborhood meeting certification (certification & neighborhood meeting list forms shall accompany this application).	X

Note: Only one copy of the above items need to be submitted when applying for multiple applications.

This application shall not be considered complete (nor will a Public Hearing be set) until staff has received all required information. Once the application is deemed complete, staff will notify the applicant of the scheduled hearing date, fees due, additional copies needed, etc.

Exhibit
A4



received
3/15/13

City of Kuna Special Use Permit Child Care Facility Application

Fee: \$330.00 (Home/Group Care)/ \$800.00 (Center)

P.O. Box 13
Kuna, Idaho 83634
(208) 922-5274
Fax: (208) 922-5898
Website:
www.kunacity.id.gov

File No. : 18-07-SUP
Cross Ref. :
File Name: A Touch of Home Daycare

Definition of a Home Daycare:

Daycare Facilities: Any home where non-medical care, protection or supervision is regularly provided to children under twelve (12) years of age, for periods less than twenty four (24) hours per day, while the parents or guardians are not on the premises. Any facility providing daycare is required to have a special use permit and a State of Idaho basic daycare license.

- A. **Family Childcare Home:** A childcare facility which provides care for six (6) or fewer children throughout the day.
- B. **Group Childcare Home:** A childcare facility, which provides care for seven (7) to twelve (12) children throughout the day.
- C. **Childcare Center:** A childcare facility, which provides care for more than twelve (12) children throughout the day. *Note: Childcare Centers are subject to the Design Review process.*

It should be noted that, in determining the type of childcare facility that is being operated, the total number of children cared for during the day and not the number of children at the facility at any one time is determinative.

KCC 5-6-5: Supplementary Conditions and Safeguards:

In granting any special use, the planning and zoning commission may prescribe appropriate conditions, bonds and safeguards in conformity with this title. Violations of such conditions, bonds or safeguards, when made a par of the terms under which the special use is granted, shall be deemed a violation of this title.

KCC 5-6-6: Procedure for Hearing Notice:

Prior to granting a special use permit, at least one public hearing in which interested persons shall have an opportunity to be heard shall be held. At least fifteen (15) days prior to the hearing, notice of the time and place and a summary of the proposal shall be published in the official newspaper or paper of general circulations within the jurisdiction. Notice shall also be provided to

Exhibit
A4

property owners and residents within three hundred feet (300') of the external boundaries of the land being considered, and any additional area that may be substantially impacted by the proposed special use as determined by the commission.

KCC 5-1A-8:

A:1: Posting of Hearing Notice on Property: Not less than ten (10) days prior to the hearing, the applicant shall post a copy of said notice of hearing of the application on the property under consideration; except as noted herein, posting of the property must be in substantial compliance.

KCC 5-6-7: Action by Commission:

Within thirty (30) days after the public hearing, the planning and zoning commission shall approve, conditionally approve or disapprove the applications as presented. If the application is approved or approved with modifications, the commission shall direct the director to issue a special use permit listing the specific conditions specified by the commission for approval.

Any special use permit so granted shall be personal to the applicant and shall not run with the land, shall not be transferable, and shall terminate when the applicant ceases to do business at the location stated in the permit.

Application Submittal Requirements

Applicant Use		Staff Use
<input type="checkbox"/>	Copy of CPR and First Aid Training Certificate	<input type="checkbox"/>
<input checked="" type="checkbox"/>	A complete Special Use Permit Application form <i>Note: It is the applicant's responsibility to use the most current application.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with the Special Use conditions.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	One (1) Vicinity Map (8 1/2" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	One 8 1/2" x 11" colored aerial photos depicting proposed site, street names, and surrounding area within five-hundred feet (500'). The purpose of these photos is to view the site for existing features and adjacent sites.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Copy of Deed; and , if the applicant is not the owner, an original notarized statement (Affidavit of Legal Interest) from the owner (and ALL interested parties) stating the applicant is authorized to submit this application. <i>On file</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Copy of Daycare License from the State of Idaho "Health and Welfare" Department <i>* New application is Submitted</i>	<input type="checkbox"/>

- One (1) detailed site plan that includes the following: (8 1/2" x 11" minimum)
- All existing structures labeled as existing and proposed uses
 - Size of parcel (acres or square feet)
 - Special features such as sidewalks, fencing, retaining walls or berms.
 - Parking areas with garage door widths shown
 - Off street parking, circulation and driveway locations
 - Proposed or existing types of outdoor lighting
 - Child pick-up area
 - Existing and proposed landscaping
 - Dimensions of usable outdoor and indoor "play areas"
 - Fences: Type and Height, including gates. Indicate if existing or proposed.
Note: All gates are required to be locked during business hours.
 - Diagram showing uses within the home. (IE: bedroom, kitchen, etc.)
- Commitment of Property form signed by the applicant / agent
- Neighborhood Meeting Certificate
Note: Certificate and Neighborhood meeting list forms must accompany this application.
- Diagram for evacuation plans of house in case of fire or other disaster

Additional Information

1. Are there smoke detectors in every living area except the bedrooms and bathrooms? Yes X No
2. Locks installed on all doors to the outside? Yes X No
3. Door chime installed on the front door to indicate any opening? Yes No
4. Safety locks on doors and cabinets where chemicals are stored? Yes No
5. Fire extinguisher installed in kitchen? Yes No
6. Is the home daycare located on an arterial or collector street? *will be installed* Yes No
Note: If yes, there must be an on-site pick-up area designed to prevent vehicles from backing onto the roadway. This application must include a diagram which shows how this will be accomplished. U-shaped off road pick up site
7. Are there any indoor and/or outdoor pools? Yes No X
If a pool is present, what measures are taken to protect children from the pool area?

N/A

8. Are there stairs indoor/outdoor of proposed site? Yes No
 If yes, are there safety barriers installed? Yes No
 9. Are electrical outlets covered with safety devices? will be installed Yes No

Applicant Information

Applicant: ARISA McRoberts Phone: (208) 695-7502
 Owner Purchaser Lessee

Fax/Email: arisa.mc7@hotmail.com

Applicant's Address: 1205 N. Black Cat Rd

Kuna ID Zip: 83634

Owner: _____ Phone: _____

Owner's Address: _____ Email: _____

_____ Zip: _____

Represented By: *(if different from above)* _____ Phone: _____

Address: _____ Email: _____

_____ Zip: _____

Please check the box that reflects the intent of the application:

FAMILY CHILDCARE HOME
 CHILDCARE CENTER

GROUP CHILDCARE HOME

Subject Property Information

Site Address: 302 E. Avalon St Kuna ID 83634

Site Location (Cross Streets): Avalon

(on file)

Parcel Number(s): _____ Section, Township, Range: _____

Gross Floor Area: ~1700 sq ft Live-able Space (not for daycare use): N/A

Current Land Use: Rental Proposed Land Use: daycare Currently Zoning District: _____

Project Description / Summary

Is this facility in your principal residence? Yes _____ No X

Will you be hiring any employees who do not reside on the premises? Yes X No _____

If yes, how many? 6-10 , 4-5 at a time

Project Description: A Touch of Home daycare + preschool

General Description of request: child care + preschool

Hours/Days of operation: M-F, 6am - 6pm

Number and ages of children: ages 0-12 , see # TBD

Fencing type / size / & location: left vinyl, chain link + wood already existing

Existing or proposed lighting: lighting on house already existing

Parking available: yes Number of possible parking spots: ~6-8

Off street parking available: yes Designated pick-up area: U-shape driveway

Standard Conditions (Home/Group Care Only)

- Meet requirements of the International Fire Code (IFC)
Note: If the applicant is uncertain about a particular code and its application, they are responsible to seek that knowledge.
- Maintain fire safety standards.

- Provide at least two (2) unblocked outside exits that remain unimpeded at all times. Staff and parents shall be advised where these exits are located and they need to be marked appropriately.
- Provide corridors and stairs that are a minimum of 36" wide and provide gates so children cannot access stairs.
- Flame source utilities shall not be accessible to children and I posses a carbon monoxide detector that is operable at all times and located in proximity to the flame source.
- Storage areas shall be free of excessive combustibles or highly flammable materials and be inaccessible to children.
- Smoke detectors shall be installed on the ceilings of each floor story, in front of the doors, to stairways and separated a maximum 30-foot in corridors or at other distance's required by code.
- Bathroom and closet doors shall be designed so they can be unlocked from the outside
- The site address on the side of the building fronting the street shall be numbered and illuminated so that it can be readily seen from the street
- Provide a flashlight on-site and other emergency supply, in anticipation of a power outage. These supplies need to readily accessible and maintained in good working order
- Ensure that all food preparation, serving and storage areas, equipment and utensils are clean, in good repair and kept out of the children's reach
- Ensure that all dishes and utensils are properly cleaned, rinsed, sanitized and air dried
- Ensure that all perishable foods are stored in a covered container, in an operating refrigerator, with a maximum temperature of 40 degrees
- Ensure that deep freezers or other refrigeration type units, which cannot be opened from the inside, are locked or stored in a locked room
- Ensure that no home-canned foods are served to the children
- All child care facilities are required to be inspected by Central District Health Department for compliance with Idaho Code §39-1110. The child care provider shall practice acceptable public health practices in order to curtail the spread of communicable diseases and maintain sanitary conditions
- Ensure that a minimum 40 square feet of habitable indoor dwelling area is provided for each child. The City staff shall review and determine which areas of the building are considered habitable
- Ensure that a minimum 80 square feet of outdoor play space is provided for each child. The City shall review and determine what outdoors areas meet this area requirement

- Ensure that all cleaning agents and other poisonous substances that pose danger to children are kept in locked storage or preferably removed from the premises. Chemical storage of chemicals underneath, over or near a sink should be avoided since many chemicals are affected by moisture and become hazardous through chemical change
- Ensure that child care rooms are clean and dry; that all floors, walls, ceiling and furniture are clean and kept in good repair; that all floors are swept and mopped daily with a sanitizing solution and carpeted areas vacuumed daily
- The facility must be free of exposed lead-based paint surfaces, that are chipped, flaking or peeling. If the residence has lead based paint, the applicant shall advise the City of this fact
- Ensure an onsite telephone is operable at all times. Post emergency phone numbers, including fire, rescue, police (or 911 or local equivalent where they are ready accessible to the daycare provider). Place City Planning Department and Poison Control phone numbers in a prominent location
- Ensure that play materials, equipment and furnishing are kept clean, in good repair; and do not possess sharp edges. Children shall be located in safe, sight-obstructing fenced outdoor play areas. The fences shall be sturdy with no sharp or jagged edges. All equipment shall be kept in good repair and well maintained. Equipment shall be sturdy, stable and free of hazards including sharp edges, lead based paint, loose nails, splinters, protrusions (excluding nuts and bolts on sides of fences) and pinch and crush points. Children shall not be allowed to play on outdoor equipment that is hot to the touch
- Ensure the building's used for child care meet the City's building and Fire District codes
- Ensure that all doors opening to the outside are self-closing (except for sliding glass doors) and all ventilating windows have locking screens
- Ensure that heating, ventilating and lighting facilities meet City code
- Ensure that child accessible electrical outlets are covered with safety caps, ground fault interrupters or have safety outlets' installed that meet City code
- All child care provider's refuse and garbage shall be collected, stored and disposed of in an appropriate manner with a minimum weekly solid waste pickup or disposal service. Garbage shall be contained so that it does not attract rodents or insects. Waste material will be placed in containers and locations approved by the City
- The childcare facility grounds will be kept neat and clean and free from rodents, hazards and other perils
- Smoking shall be prohibited in all areas of the facility during its hours of operation

- Ensure that children who are ill are excluded from the general population and sent home as soon as possible to minimize safety threat to fellow children. Provide the City with a protocol of how sick children will be attended. Report any health related concerns to either the City or the Health Department
- Ensure that sleeping, play areas and fixtures are maintained in a sanitary condition. Children shall not share unwashed bedding; and all bedding shall be washed after soiling and at least once a week
- Outdoor play areas shall adjoin, or be safely accessible to indoor areas
- All equipment openings, steps, decks and handrails shall be smaller than three and half inches (3 ½") in spacing or diameter or greater than nine inches (9") to prevent child entrapment
- All upright angles shall be greater than 55 degrees to prevent the children's entrapment and entanglement
- The outdoor play area shall be enclosed by a private or semi-private fence constructed of approved building materials to a minimum height of five feet (5') but not to exceed six feet (6'). The fence shall include a minimum of two (2) operating exits. Semi-private fences shall not have openings exceeding 1 ¾ inch width
- All stationary outdoor equipment that is more than eighteen inches (18") in height shall be installed over a protective surfacing
- Play equipment shall be place at least six feet (6') away from buildings, fences, trees or other play equipment and kept in good repair. Swing seats shall be made of plastic, soft or flexible material
- Exterior balconies, porches, and stairs shall be of stable construction and any space under porches needs to be closed off in such a manner as to guard against children's curiosity
- Vertical offsets such as outsides basement window wells, stairways or retaining walls shall have guardrails or approved screening
- Area's inhabited by children, shall be free of electrical hazards (switchboxes, unfenced air conditioners, or power lines) and attractive hazards (vehicles, metal drums, pallets tools or wood piles)
- Wells, tool sheds and other hazards are to be fenced or closed off
- Areas inhabited by children are to be kept free of animal wastes and debris
- Remove any poisonous substances such as plants, berries or mushrooms from the premises

- Sandbox or sand play areas are to be completely covered when not in use
- Outdoor water features are not allowed on the premises or nearby child accessible areas; water features includes pools, spas, ponds and other similar water containment areas
- Child care facilities shall not be permitted next to an open body of water without an approved method of fencing construction that has been reviewed by City Planning Staff
- The child care owner/operator shall ensure that firearms, other types of weapons, weapon accessories and ammunition are kept in locked storage. Firearms shall be kept unloaded at all times and the ammunition will be stored separately from the firearms. The children's parents or guardians shall be notified of weapons kept on premises and advised of how they are secured

Applicant's Signature:  **Date:** 3-12-18

Signature of receipt by City Staff:  **Date:** 3/29/18

ADDITIONAL COMMENTS:

HEARTSAVER PEDIATRIC FIRST AID CPR AED

Heartsaver®
Pediatric First Aid
CPR AED



American
Heart
Association®

Arisa McRoberts

This card certifies that the above individual has successfully completed the objectives and skills evaluations in accordance with the curriculum of the AHA Heartsaver Pediatric First Aid CPR AED Program. Completed modules are those **NOT** marked out:
Pediatric First Aid Child/Infant CPR AED Adult CPR AED Written Test Asthma Care Video

3/26/2015
Issue Date

3/2017
Recommended Renewal Date

HEARTSAVER PEDIATRIC FIRST AID CPR AED

Training Center Name Minidoka Memorial Hospital TC ID # ID15134 ID/MT

TC Info 1224 8th Street Rupert, ID 83350 TC Phone 208-288-0916

Course Location BLS Rules, LLC

Instructor Name Robin Callahan Inst. ID # 11110062664

Holder's Signature [Signature]

© 2013 American Heart Association Tampering with this card will alter its appearance. 901625

3/15/18
Receipt

Exhibit
A7a

received
3/15/18

Dear Kuna Planning and Zoning committee,

I am applying for the proposed special use permit to provide a child care center for the residents of Kuna. I have been Licensed and certified by the State of Idaho for 21 years in this field. In 1999 I received a diploma in Child Daycare Management and in 2003 completed the required courses to receive a Child Development Associate degree through BSU with an endorsement in preschool. I feel that Kuna is growing rapidly and the need for quality childcare in this area is in very high demand. I feel that I can continue to be of great service to this community by offering my knowledge and skills to working parents and a growing community.

Thank you for your consideration,

Arisa McRoberts

Exhibit
A46

AERIAL MAP



E 2nd St

N Orchard A



E Avalon St

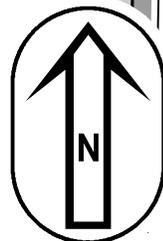
S Orchard Ave

LEGEND

-  302 E Avalon St
-  PARCEL LINES
-  ROADS
-  WATER FEATURES

Indian Creek JMH

VICINITY MAP

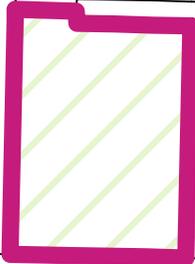


E 2nd St

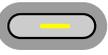
E Avalon St

N Orchard Ave

S Orchard Ave



LEGEND

-  302 E Avalon St
-  PARCEL LINES
-  ROADS
-  WATER FEATURES



City of Kuna AFFIDAVIT OF LEGAL INTEREST

received
3/15/18

City of Kuna
P.O. Box 13
Kuna, Idaho 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.cityofkuna.com

State of Idaho)
) ss.
County of Ada)

I, Mellin Properties Ltd. 302 E Auslon
Name limited Partnership Address
Kuna ID 83634
City State Zip Code

being first duly sworn upon oath, depose and say:

(If Applicant is also Owner of Record, skip to B)

A. That I am the record owner of the property described on the attached, and I grant my permission to Arisa McRoberts 1205 N. Black Cat Rd
Name Kunay ID Address 83634

to submit the accompanying application pertaining to that property.

B. I agree to indemnify, defend and hold City of Kuna and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

C. I hereby grant permission to the City of Kuna staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this February 20²² day of February, 2018
Bun

Ralph Welber, General Partner
Signature

Subscribed and sworn to before me the day and year first above written.



[Signature]
Notary Public for Idaho w/US Banker Overland @ Five mile

Residing at: Ada County, Idaho

My commission expires: 7 June, 2021

3/15/18

STATE OF IDAHO
DEPARTMENT OF HEALTH AND WELFARE
BASIC DAYCARE LICENSE

The holder of this Basic Daycare License

Resource ID: 00000003540

**A TOUCH OF HOME
DAYCARE & PRESCHOOL**

ARISA MCROBERTS - OWNER

1205 N. BLACK CAT RD.
KUNA, ID 83634

NAME OF FACILITY / APPLICANT / ADDRESS

has complied with the requirements of Section 39-1104, Idaho Code, and has obtained a fire inspection and health inspection establishing compliance with Section 39-1109 and 39-1110 and the requirements in Idaho Code 39-1105 regarding criminal history checks to be licensed as a:

DAYCARE CENTER
Occupancy Load: 36

03/04/2016

Effective Date

03/03/2018

Expiration Date

Your continued compliance will require criminal history checks for all owners, operators and employees who have direct contact with children, and on all other individuals thirteen (13) years of age or older who have unsupervised direct contact with children or are regularly on the premises of this daycare facility.

According to Section 39-1117, Idaho Code, a daycare license does not constitute a representation affirming to any person that the program or facility is free from risk. A daycare license does not guarantee adequacy of care, services, safety, or the well-being of any child, staff, contractor, volunteer, or visitor of a daycare facility. It is the parent's primary responsibility for evaluation and selection of daycare services.

Your Basic Daycare License and contact information to file daycare complaints must be posted in a conspicuous place at your facility and a copy of Idaho Code Sections 39-1101 through 39-1119 shall be available on the premises at all times for staff and parents to read upon request.

Ericka Rupp

Ericka Rupp, Program Manager
Division of Welfare

3-18-2016

Date

Exhibit

A4F

received
3/15/18

Play ground

Proposed Vinyl
6ft fence

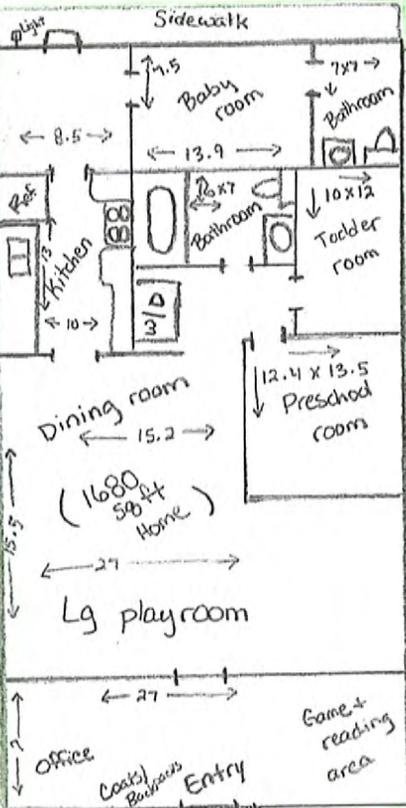
2 car
garage
20x25 ft

proposed vinyl
gate

existing Vinyl
6ft fence

(Cement
slab)

Parking



Lot size 0.40 acres

(Gravel)

Child pick up
(drive thru)

Avalon Street

Exhibit

A4g

Parallel parking map

2 car garage

#1

#2

#3

Handicap

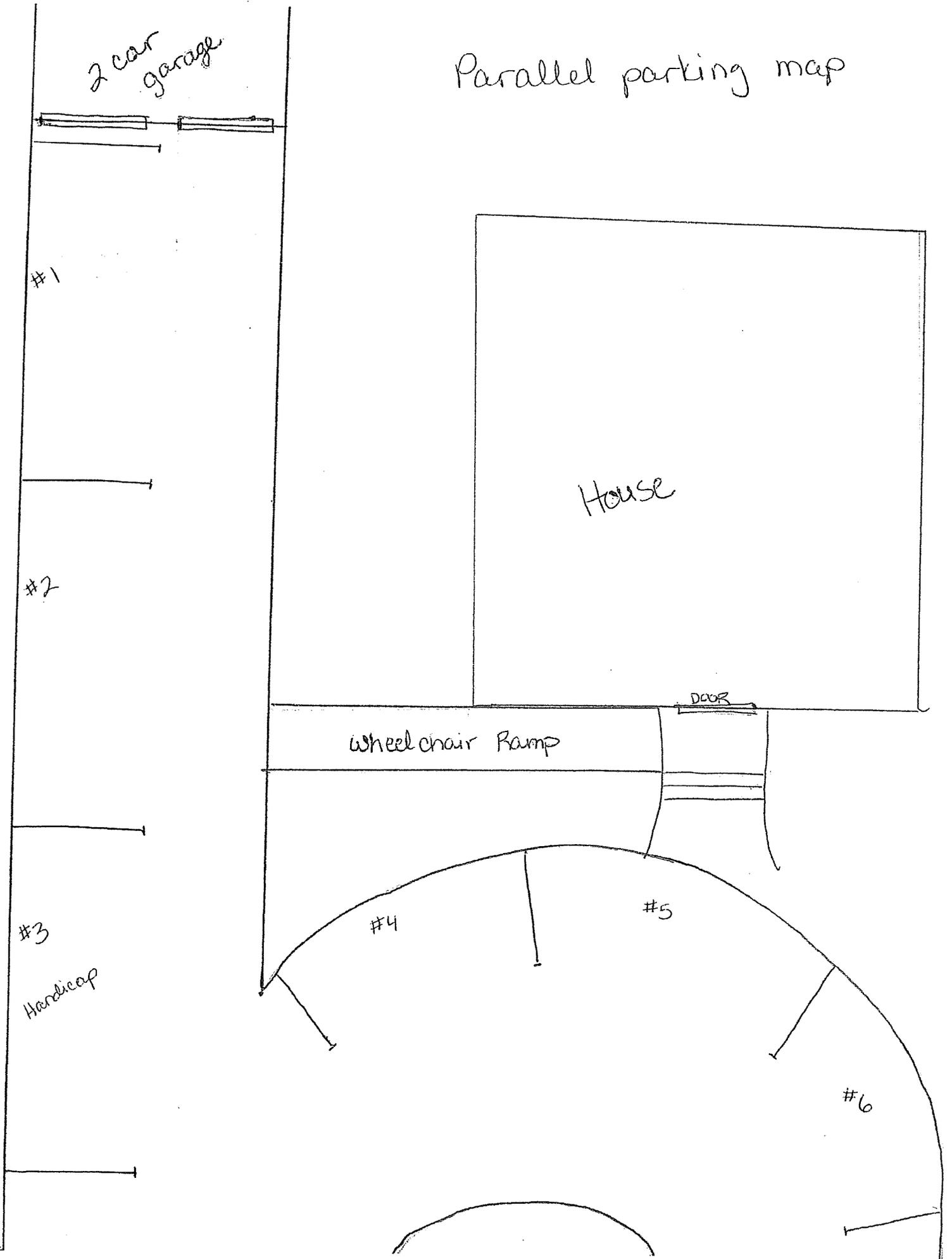
wheel chair Ramp

DOOR

#4

#5

#6



45° angle parking map

2 car garage

#1

#2

#3

Handicap parking

#4

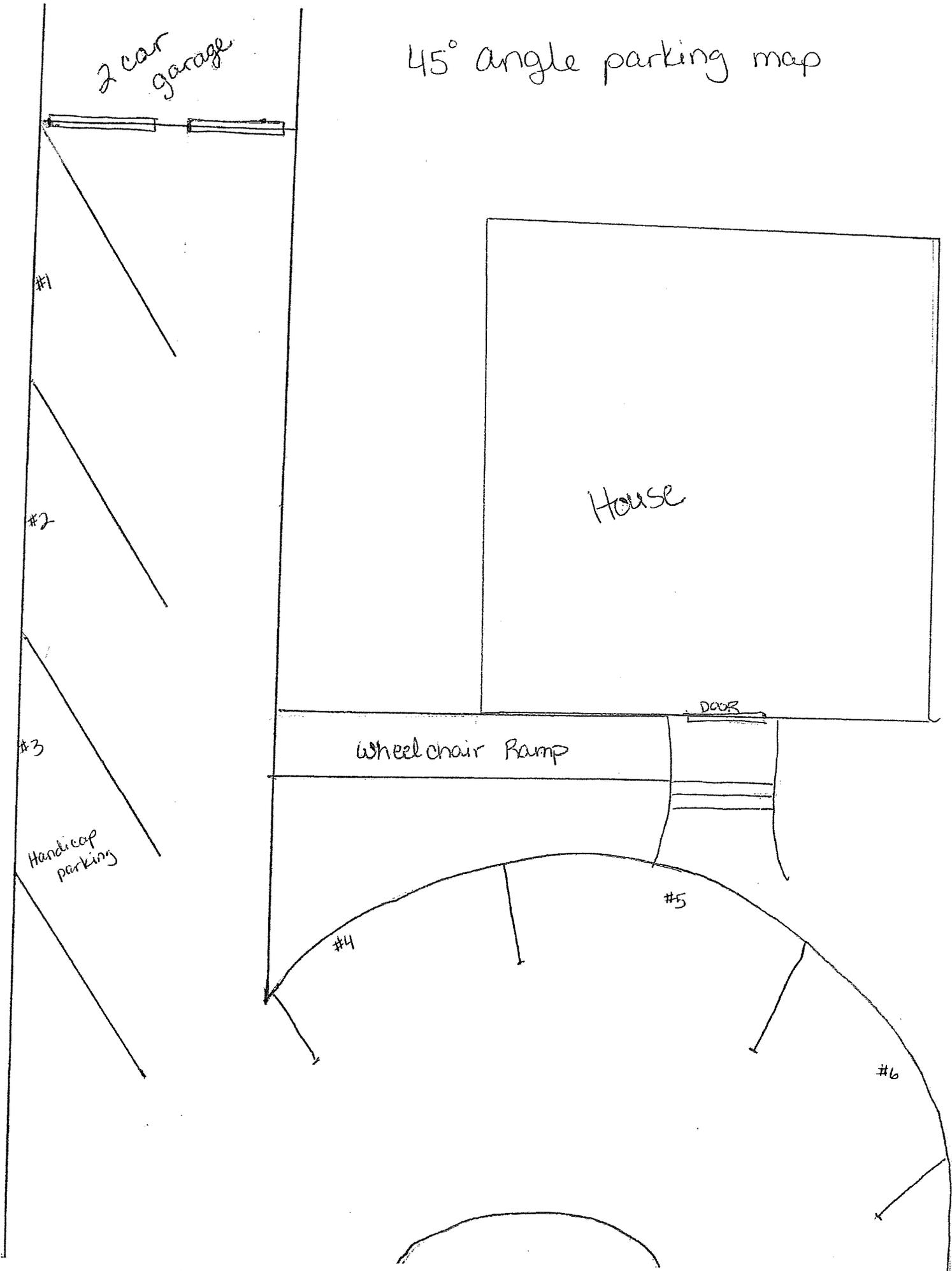
#5

#6

House

Door

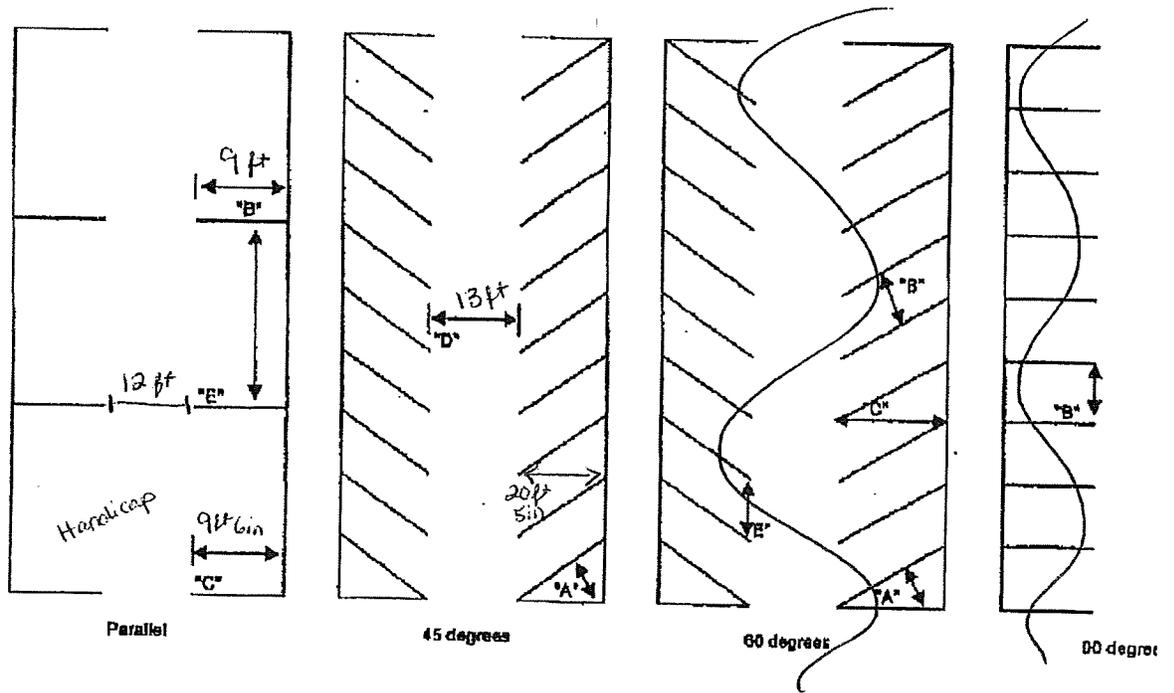
wheel chair Ramp



* need to parking spaces

Minimum standards for parking:

P.



"A"	Parking angle	45°	60°	90°	Parallel
"B"	Width of parking space	9'	9'	9'	9'
"C"	Stall depth	20'5"	21'10"	20'	9'
"D"	Width of driveway aisle	13'	16'	22'	12'
"E"	Curb length of space	12'9"	10'5"	9'	23'

1 Handicap stall = 9ft 6in wide



received
3/15/18

City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

City of Kuna

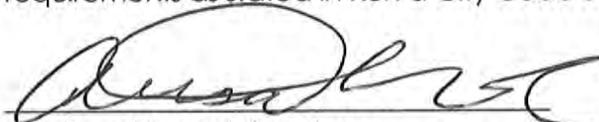
COMMITMENT TO PROPERTY POSTING

Per City Code 5-1A-8, the applicant for all applications requiring a public hearing shall post the subject property not less than ten (10) days prior to the hearing. The applicant shall post a copy of the public hearing notice or the application(s) on the property under consideration.

The applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the City no later than seven (7) days prior to the public hearing attesting to where and when the sign(s) were posted. Unless such Certificate is received by the required date, the hearing will be continued.

The sign(s) shall be removed no later than three (3) days after the end of the public hearing for which the sign(s) had been posted.

I am aware of the above requirements and will comply with the posting requirements as stated in Kuna City Code 5-1A-8.


Applicant/agent signature:

3-10-18
Date:



Neighborhood Meeting Certification

Received 3/15/18

CITY OF KUNA PLANNING & ZONING * 763 W. Avalon, Kuna, Idaho, 83634 * www.kunacity.id.gov * (208) 922-5274 * Fax: (208) 922-5989

GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 8-7A-3 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.

Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.

Description of proposed project: (Childcare) A Touch of Home
 Date and time of neighborhood meeting: Sat. March 10th 3-4pm
 Location of neighborhood meeting: Kuna Library

SITE INFORMATION:

Location: Quarter: _____ Section: _____ Township: _____ Range: _____ Total Acres: _____
 Subdivision Name: _____ Lot: _____ Block: _____
 Site Address: 302 E. Avalon St Tax Parcel Number(s): _____
Kuna ID 83634

Please make sure to include all parcels & addresses included in your proposed use.

CURRENT PROPERTY OWNER:

Name: Ralph Mellen
 Address: _____ City: _____ State: _____ Zip: _____

CONTACT PERSON (Mail recipient and person to call with questions):

Name: Arisa McRoberts Business (if applicable): A Touch of Home Daycare
 Address: 1205 N. BlackCat City: Kuna State: ID Zip: 83634

Exhibit A4

PROPOSED USE:

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

Application Type

Brief Description

Annexation

Re-zone

Subdivision (Sketch Plat and/or Prelim. Plat)

Special Use

Childcare

Variance

Expansion of Extension of a Nonconforming Use

Zoning Ordinance Map Amendment

APPLICANT:

Name: _____

Address: _____

City: _____ State: _____ Zip: _____

Telephone: _____ Fax: _____

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 5-1A-2 of the Kuna City Code

Signature: (Applicant) 

Date 3/10/18

A Touch of Home Daycare

Meeting Agenda

Saturday 3/10/18 - Kuna Library Conference room

3:00-3:10 Sign In

3:10-3:20 Introductions

3:20-3:30 Explanation of project

3:30-4:00 Questions & Feed back

SIGN IN SHEET

PROJECT NAME: A Touch of Home

Date: 3/10/18

	<u>Name</u>	<u>Address</u>	<u>Zip</u>	<u>Phone</u>
1	<u>Arisa + DANNY McRoberts</u>	<u>1205 N. Black Cat Rd</u>	<u>83634</u>	<u>(208) 695-7502</u>
2	<u>Tawny Pitt</u>	<u>1329 W Armandst</u>	<u>83642</u>	<u>208-380-0643</u>
3	<u>Bridgette McRoberts</u>	<u>1205 N. Black Cat RD</u>	<u>83634</u>	<u>208-789-6745</u>
4				
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30				



Room Checkout Form

Conference Room

Meeting Room

Number of Attendees

Number of Attendees

Papers Picked up

Papers Picked up

Tables cleared off

Tables cleared off

Tables wiped down

Tables wiped down

Chairs Pushed In around table

Chairs and tables put away
Please do not drag tables.

A/V equipment turned off
 TV, VCR, DVD or Disc Player

Kitchen Area Cleaned

Lights Turned off

Stove and Oven turned off

Damages Noted:

Garbage put in
 provided container

Folding screen in place

Equipment returned to
 front desk, in working order

Back door secure

Lights turned off

Present this form to the front desk for check out and signature

Organization: A Touch of Home
 (Please Print)

Acisa McRoberts
 (Representative)

Signature: *Acisa McRoberts* Date: 3/10/18

Signature: *Scott Mc* Date: 3-10-18
 (Library Personnel)



Neighborhood Meeting List Request

CITY OF KUNA PLANNING & ZONING, 763 West Avalon, Kuna, Idaho 83634 * www.kunacity.id.gov * (208) 922-5274 * Fax: (208) 922-5989

GENERAL INFORMATION:

If you are applying for one of the uses listed below, you must conduct a Neighborhood Meeting. This meeting allows neighbors to learn more about your project before the public hearing (Kuna Planning & Zoning will notify surrounding property owners of the hearing). All involved property owners within *300 feet of the subject property boundary need to be invited to your meeting.

According to Kuna City Code, the meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 6 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. **Please fill out the supplied certification form and include it with your application so we have written record of your meeting.** Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

*PLEASE NOTE: A \$20.00 FEE IS REQUIRED FOR THIS SERVICE (CITY OF KUNA PROVIDES MAILING LABELS)

PROPOSED USE:

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

<u>APPLICATION TYPE</u>	<u>BRIEF DESCRIPTION</u>
<input type="checkbox"/> Subdivision (Sketch Plat and/or Prelim. Plat)	
<input checked="" type="checkbox"/> Conditional Use	<u>Childcare Facility</u>
<input type="checkbox"/> Variance	
<input type="checkbox"/> Expansion of Extension of a Nonconforming Use	
<input type="checkbox"/> Zoning Ordinance Map Amendment	

SITE INFORMATION:

Location: Quarter: _____ Section: _____ Township: _____ Range: _____ Total Acres: _____
 Subdivision Name: _____ Lot(s): _____ Block(s): _____
 Site Address: 302 E. Avalon St. Tax Parcel Number(s): _____
Kuna ID 83634

Please make sure to include all parcels & addresses included in your proposed use.

CURRENT PROPERTY OWNER:

Name: Ralph Mellis
 Address: 302 E. Avalon St. City: Kuna State: ID Zip: 83634

CONTACT PERSON (Mail recipient and person to call with questions):

Name: Arisa McRoberts Business (if applicable): A Touch of Home
 Address: 1205 N. Black Cat Rd City: Kuna State: ID Zip: 83634
 Fax: _____ Phone: _____ Cell: (208) 695-7502

OFFICE USE ONLY

File No.:	Received By:	Date:	Stamped:
-----------	--------------	-------	----------

Play ground

received
3/15/13

2 car garage

Sidewalk

6 ft fence

(Cement slab)

Emergency meeting area

Parking

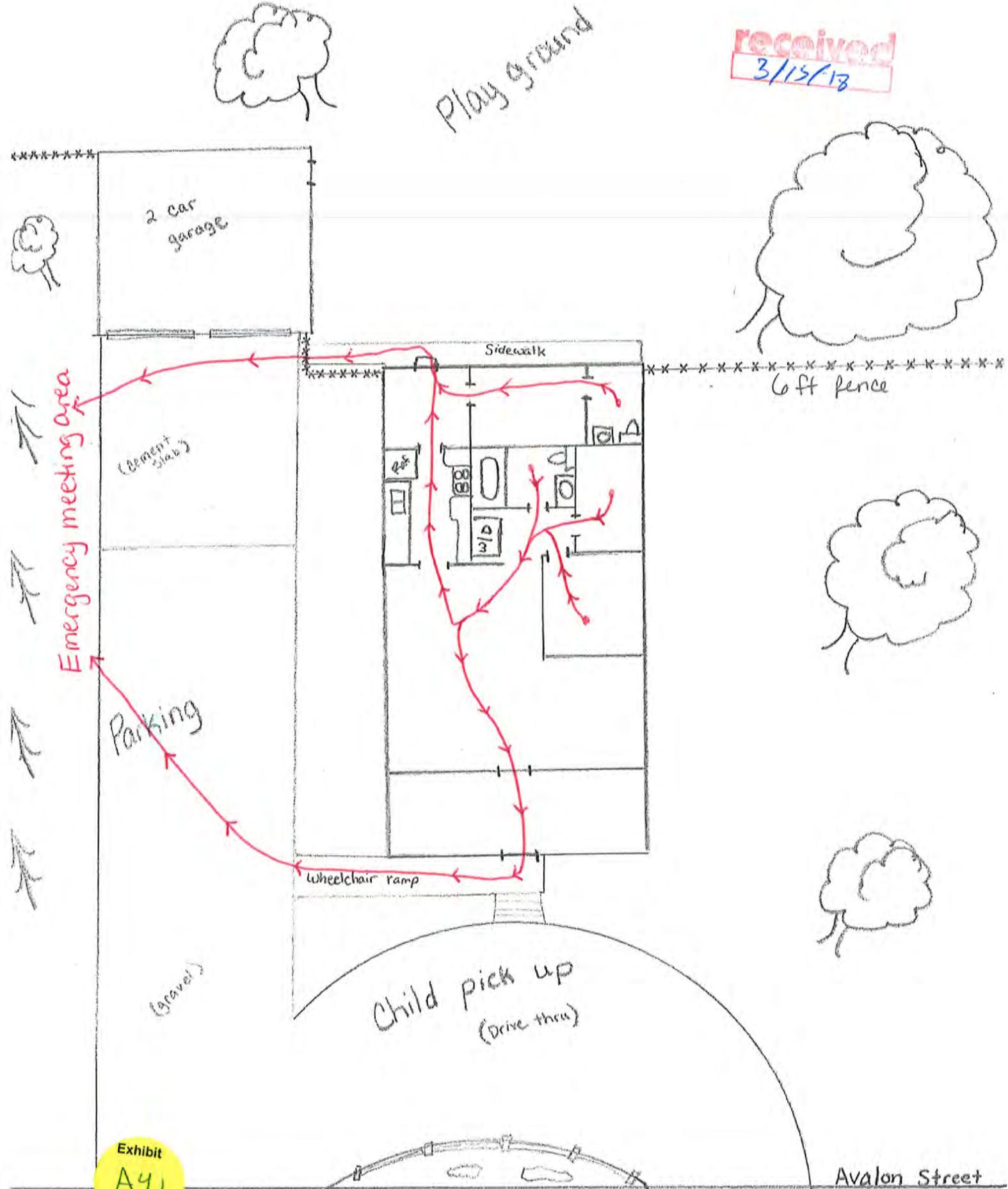
wheelchair ramp

(Gravel)

Child pick up
(drive thru)

Exhibit
A41

Avalon Street



received
4.2.18

Jace Hellman

From: Brenda Saxton <bsaxton@kunaschools.org>
Sent: Monday, April 2, 2018 10:45 AM
To: Jace Hellman
Subject: Re: Kuna Planning and Zoning Request for Comment - Case No. 18-07-SUP (Special Use Permit) A Touch of Home Daycare

Hello Jace,

We have no issue with Daycare.

Thank you,
Brenda

On Thu, Mar 29, 2018 at 12:23 PM, Jace Hellman <jhellman@kunaid.gov> wrote:

March 29, 2018

Notice is hereby given that the following action is under consideration by the City of Kuna:

FILE NUMBER		18-07-SUP (Special Use Permit) <i>Arisa McRoberts – A Touch of Home Daycare</i>
PROJECT DESCRIPTION		Applicant is requesting approval for a Special Use Permit (SUP) to operate a Childcare Center in an existing residence located at 302 E Avalon St., Kuna, ID 83634. The applicant proposes childcare for a minimum of at least 12 children (0-12) at any one time. The proposed hours of operation will be approximately 6 am – 6 pm, Monday through Friday.
SITE LOCATION		302 E Avalon St., Kuna, Idaho 83634.
APPLICANT/ REPRESENTATIVE		Arisa McRoberts 1205 N Black Cat Rd. Kuna, ID 83634

Exhibit
B1

		<u>208-695-7502</u> <u>Arisamc7@hotmail.com</u>
SCHEDULED HEARING DATE		Tuesday, April 24th, 2018
KUNA STAFF CONTACT		Jace Hellman, Planner II <u>jhellman@kunaid.gov</u> Phone: 922-5274 Fax: 922-5989
We have enclosed information to assist you with your consideration and responses. No response within 15 business days will indicate you have no objection or concerns with this proposed project. We would appreciate any information you can supply us as to how this action would affect the services you provide. The public hearing is at 6:00 p.m. or as soon thereafter as it may be heard located at Kuna City Hall 751 W. 4 th Street, Kuna, ID 83634.		

Thank you all!

Jace Hellman

Planner II

City of Kuna

751 W 4th Street

Kuna, ID 83634

Jhellman@kunaID.gov



STATE OF IDAHO
DEPARTMENT OF ENVIRONMENTAL QUALITY
BOISE REGIONAL OFFICE
1445 North Orchard Street • Boise, ID 83706-2239 • (208) 373-0550

received
4/6/18

DEQ Response to Request for Environmental Comment

Date: April 6, 2018
Agency Requesting Comments: City of Kuna, Planning & Zoning Department
Date Request Received: March 29, 2018
Applicant/Description: 18-07-SUP (Special Use Permit) Arisa McRoberts – A Touch of Home Daycare

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at <http://www.deq.idaho.gov/ieg/>.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. Air Quality

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).

For questions, contact David Luft, Air Quality Manager, at 373-0550.

- IDAPA 58.01.01.201 requires an owner or operator of a facility to obtain an air quality permit to construct prior to the commencement of construction or modification of any facility that will be a source of air pollution in quantities above established levels. DEQ asks that cities and counties require a proposed facility to contact DEQ for an applicability determination on their proposal to ensure they remain in compliance with the rules.

For questions, contact the DEQ Air Quality Permitting Hotline at 1-877-573-7648.

2. Wastewater and Recycled Water

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.

All projects for construction or modification of wastewater systems require

Exhibit

B2

preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.

- *DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.*
- *DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.*

For questions, contact Todd Crutcher, Engineering Manager, at 373-0550.

3. Drinking Water

- *DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.*
- *IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.*

All projects for construction or modification of public drinking water systems require preconstruction approval.

- *DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at <http://www.deq.idaho.gov/water-quality/drinking-water.aspx>). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.*
- *If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.*
- *DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.*
- *DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.*

For questions, contact Todd Crutcher, Engineering Manager at 373-0550.

4. Surface Water

- *A DEQ short-term activity exemption (STAE) from this office is required if the project will involve de-watering of ground water during excavation and discharge back into surface water, including a description of the water treatment from this process to prevent excessive sediment and turbidity from entering surface water.*
- *Please contact DEQ to determine whether this project will require a National Pollution*

Discharge Elimination System (NPDES) Permit. If this project disturbs more than one acre, a stormwater permit from EPA may be required.

- *If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.*
- *The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call 208-334-2190 for more information. Information is also available on the IDWR website at:
<http://www.idwr.idaho.gov/WaterManagement/StreamsDams/Streams/AlterationPermit/AlterationPermit.htm>*
- *The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.*

For questions, contact Lance Holloway, Surface Water Manager, at 373-0550.

5. Hazardous Waste And Ground Water Contamination

- **Hazardous Waste.** *The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.*
- *No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards, Rules and Regulations for Hazardous Waste, and Rules and Regulations for the Prevention of Air Pollution.*
- **Water Quality Standards.** *Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852).*

Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.

- **Ground Water Contamination.** *DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water*

quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

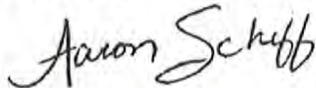
For questions, contact Albert Crawshaw, Waste & Remediation Manager, at 373-0550.

6. Additional Notes

- *If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at 373-0550, or visit the DEQ website (<http://www.deq.idaho.gov/waste-mgmt-remediation/storage-tanks.aspx>) for assistance.*
- *If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.*

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any our technical staff at 208-373-0550.

Sincerely,



Aaron Scheff
aaron.scheff@deq.idaho.gov
Regional Administrator
Boise Regional Office
Idaho Department of Environmental Quality

ec: TRIM 2018AEK44



IDAHO TRANSPORTATION DEPARTMENT
P.O. Box 8028
Boise, ID 83707-2028

received
4/10/18

(208) 334-8300
itd.idaho.gov

April 10, 2018

Jace Hellman
City of Kuna
751 W. 4th Street
Kuna, ID 83634

VIA EMAIL

RE: 18-07-SUP A TOUCH OF HOME DAYCARE

The Idaho Transportation Department has reviewed the referenced special use permit by Arisa McRoberts requesting approval to operate a childcare center in an existing residence proposing childcare for a minimum of at least 12 children at any one time. The site is located at 302 East Avalon Street, 0.09 miles west of SH-69 milepost 1.43. ITD has the following comments:

1. This parcel does not abut the State Highway system.
2. Idaho Code 40-1910 does not allow advertising within the right-of-way of any State highway system.
3. IDAPA 39.03.60 rules govern advertising along the State highway system. The applicant may contact Justin Pond, Program Manager for ITD's Headquarters Right-of-Way Section at (208)-334-8832 for more information.
4. ITD does not object to the special use permit application as presented.

If you have any questions, you may contact Shona Tonkin at (208)-334-8341 or me at (208)-332-7190.

Sincerely,

A handwritten signature in cursive script that reads 'Ken Couch'.

Ken Couch
Development Services Coordinator
Ken.Couch@itd.idaho.gov

Exhibit

B3



CENTRAL DISTRICT HEALTH DEPARTMENT
Environmental Health Division

Return to:

- ACZ
Boise
Eagle
Garden City
Kuna
Meridian
Star

RECEIVED

APR 12 2018

CITY OF KUNA

Rezone # 18-07-SUP

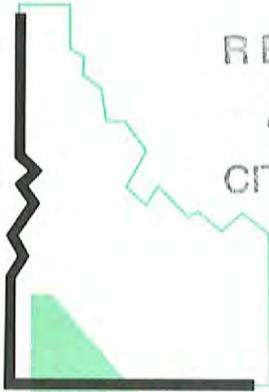
Conditional Use #

Preliminary / Final / Short Plat

A Touch of Home Daycare Sect 24

- 1. We have No Objections to this Proposal.
2. We recommend Denial of this Proposal.
3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
4. We will require more data concerning soil conditions on this Proposal before we can comment.
5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
high seasonal ground water
bedrock from original grade
waste flow characteristics
other
6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
8. After written approval from appropriate entities are submitted, we can approve this proposal for:
central sewage
interim sewage
individual sewage
community sewage system
central water
individual water
community water well
9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
central sewage
sewage dry lines
community sewage system
central water
community water
10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
12. We will require plans be submitted for a plan review for any:
food establishment
beverage establishment
swimming pools or spas
grocery store
child care center
13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDHD.
14. Reviewed By: [Signature]
Date: 4/6/18

Exhibit B4



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APR 16 2018

CITY OF KUNA

ORGANIZED 1904

Nampa & Meridian Irrigation District

1503 FIRST STREET SOUTH
FAX #208-463-0092

NAMPA, IDAHO 83651-4395
nmid.org

OFFICE: Nampa 208-466-7861
SHOP: Nampa 208-466-0663

April 9, 2018

City of Kuna
Planning & Zoning Department
PO Box 13
Kuna, ID 83634

RE: 18-07SUP/ A Touch of Home Daycare & Preschool; 302 E. Avalon Street

Planning & Zoning Department:

Nampa & Meridian Irrigation District (NMID) has no comment on the above referenced application as it lies outside of our district boundaries. Please contact Bob Carter, Boise Project- Board of Control, at (208) 344-1141 or 2465 Overland Road Room 202 Boise, ID 83705-3173.

All private laterals and waste ways must be protected. All municipal surface drainage must be retained on-site. If any surface drainage leaves the site NMID must review drainage plans. Developers must comply with Idaho Code 31-3805.

Sincerely,

Greg G. Curtis
Water Superintendent
Nampa & Meridian Irrigation District
GGC/ gnf

Cc: Office/ File
B. Carter, Board of Control



APPROXIMATE IRRIGABLE ACRES
RIVER FLOW RIGHTS - 23,000
BOISE PROJECT RIGHTS - 40,000

Jace Hellman

From: Dawn Battles <Dbattles@achdidaho.org>
Sent: Tuesday, April 17, 2018 11:31 AM
To: Jace Hellman
Subject: RE: KUNA18-0011/18-07-SUP A Touch of Home Daycare

I will not write a staff report. This is our comment. Have a great day.

Thanks,

Dawn Battles
Planner
Ada County Highway District
3775 Adams St.
Garden City, ID 83714
Tel:208.387.6218
dbattles@achdidaho.org

"We drive quality transportation for all Ada County-Anytime...Anywhere!"



From: Jace Hellman [mailto:jhellman@kunaID.gov]
Sent: Tuesday, April 17, 2018 11:30 AM
To: Dawn Battles
Subject: RE: KUNA18-0011/18-07-SUP A Touch of Home Daycare

Hey Dawn,

Are you still going to provide me with a staff report, or will this suffice as comment? I am asking for scheduling purposes so I can let the applicant know when her case will take place!

Thank you again Dawn!

Jace Hellman
Planner II
City of Kuna
751 W 4th Street
Kuna, ID 83634
Jhellman@kunalD.gov



From: Dawn Battles <Dbattles@achdidaho.org>
Sent: Tuesday, April 17, 2018 11:11 AM
To: 'arisamc7@hotmail.com' <arisamc7@hotmail.com>
Cc: Jace Hellman <jhellman@kunalD.gov>
Subject: KUNA18-0011/18-07-SUP A Touch of Home Daycare

This is in regards to the request located at 302 E. Avalon Street in Kuna, ID. ACHD is requiring that the existing gravel horseshoe driveway be paved. I have included a link below for the driveway approach request that needs to be submitted to ACHD. Please let me know if you have any questions. Have a great day.

<http://www.achdidaho.org/Documents/Forms/mostDocs/DrivewayApproachRequest.pdf>

Thanks,

Dawn Battles
Planner
Ada County Highway District
3775 Adams St.
Garden City, ID 83714
Tel:208.387.6218
dbattles@achdidaho.org

"We drive quality transportation for all Ada County-Anytime...Anywhere!"



Jace Hellman

From: Jace Hellman
Sent: Thursday, March 29, 2018 12:23 PM
To: ACHD; Ada County Engineer; Adam Ingram; Attorney Icloud; Becky Rone - Kuna USPS Addressing; Bob Bachman; Boise Project Board of Control; Boise Project Board of Control; Boise-Kuna Irrigation Distr.; Cable One t.v.; Central District Health Dept. CDHD; COMPASS; DEQ (Alicia.martin@deq.idaho.gov); Eric Adolfson; Idaho Power; Idaho Power; Idaho Power Easements 1; Idaho Power Easements 2; Intermountain Gas; Intermountain Gas; J&M Sanitation - Chad Gordon; Jaime Gollither; Julie Stanely - Regional Address Mgmt.; Ken Couch; Idaho Transportation Department; Kuna Police; Kuna Postmaster - Marc C. Boyer; Kuna School District; Kuna School District; Kuna School District; Nampa Meridian Irrigation District; New York Irrigation; Paul Stevens; Perry Palmer; Planning Mgr: Ada County Development Services; Terry Gammel
Subject: Kuna Planning and Zoning Request for Comment - Case No. 18-07-SUP (Special Use Permit) A Touch of Home Daycare
Attachments: VICINITY MAP.PDF; 18-07-SUP - Agency Packet.pdf

March 29, 2018

Notice is hereby given that the following action is under consideration by the City of Kuna:

FILE NUMBER	18-07-SUP (Special Use Permit) <i>Arisa McRoberts – A Touch of Home Daycare</i>
PROJECT DESCRIPTION	Applicant is requesting approval for a Special Use Permit (SUP) to operate a Childcare Center in an existing residence located at 302 E Avalon St., Kuna, ID 83634. The applicant proposes childcare for a minimum of at least 12 children (0-12) at any one time. The proposed hours of operation will be approximately 6 am – 6 pm, Monday through Friday.
SITE LOCATION	302 E Avalon St., Kuna, Idaho 83634.
APPLICANT/ REPRESENTATIVE	Arisa McRoberts 1205 N Black Cat Rd. Kuna, ID 83634 208-695-7502 Arisamc7@hotmail.com
SCHEDULED HEARING DATE	Tuesday, April 24th, 2018
KUNA STAFF CONTACT	Jace Hellman, Planner II jhellman@kunaid.gov Phone: 922-5274 Fax: 922-5989

We have enclosed information to assist you with your consideration and responses. **No response within 15 business days will indicate you have no objection or concerns with this proposed project.** We would appreciate any information you can supply us as to how this action

would affect the services you provide. The public hearing is at 6:00 p.m. or as soon thereafter as it may be heard located at Kuna City Hall 751 W. 4th Street, Kuna, ID 83634.

Thank you all!

Jace Hellman

Planner II
City of Kuna
751 W 4th Street
Kuna, ID 83634
Jhellman@kunaID.gov



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APR 12 2018
CITY OF KUNA

345222 1747201

1 KUNA, CITY OF

P.O. BOX 13
KUNA ID 83634

and could jeopardize the public hearing process. If you have any questions or require special accommodations, please contact the Kuna Planning & Zoning Department prior to the meeting at (208)922-5274.

Please do not contact anyone who would be involved in this decision making process, which would include the Planning & Zoning Commissioners, City Council Members, or the Mayor; as such private conversations would be considered ex parte (one sided)

ered. Please mail to PO Box 13 Kuna, ID 83634, or drop off at City Hall: 751 West 4th Street, Kuna, ID.
Please do not contact anyone who would be involved in this decision making process, which would include the Planning & Zoning Commissioners, City Council Members, or the Mayor; as such private conversations would be considered ex parte (one sided)

ED 83634. The applicant proposes childcare for a minimum of at least 12 children (0-12) at any one time. The proposed hours of operation will be approximately 6 am - 6 pm, Monday through Friday. The public is invited to present written and/or oral comments. Any written testimony must be received by close of business on April 18, 2018, or it may not be considered.

EN, that the Kuna Planning & Zoning Commission will hold a public hearing, Tuesday, April 24, 2018 at 6:00 pm, or as soon as can be heard at Kuna City Hall, 751 W. 4th St, Kuna, ID; in connection with a Special Use Permit request from Arisa McRoberts to operate a Childcare Center in an existing residence located at 302 E. Avalon St., Kuna,

LEGAL NOTICE
File # 18-07-SUP
A Touch of Home Daycare
NOTICE IS HEREBY GIV-

Exhibit
C2

AFFIDAVIT OF PUBLICATION
STATE OF IDAHO

County of Ada

)
)SS.
)

Sharon Jessen
of Nampa, Canyon County, Idaho, being
first duly sworn, deposes and says:

1. That I am a citizen of the United States, and at all times hereinafter mentioned was over the age of eighteen years, and not a party to the above entitled action.
2. That I am the Principle Clerk of the Kuna Melba News, a weekly newspaper published in the City of Kuna, in the County of Ada, State of Idaho; that the said newspaper is in general circulation in the said County of Ada, and in the vicinity of Kuna and Melba, and has been uninterruptedly published in said County during a period of seventy-eight consecutive weeks prior to the first publication of this notice, a copy of which is hereto attached.
3. That the notice, of which the annexed is a printed copy, was published in said newspaper 1 time(s) in the regular and entire issue of said paper, and was printed in the newspaper proper, and not in a supplement.

That said notice was published the following:
04/04/2018

Sharon Jessen
STATE OF IDAHO

County of Canyon

On this 4th day of April in the year of 2018 before me a Notary Public, personally appeared, Sharon Jessen, known or identified to me to be the person whose name is subscribed to the within instrument, and being by me first duly sworn, declared that the statements therein are true, and acknowledge to me that he/she executed the same.

Colleen Nielsen
Notary Public for Idaho
Residing at Canyon County
My Commission expires 06/28/2023



Jace Hellman

From: Jace Hellman
Sent: Thursday, March 29, 2018 1:21 PM
To: 'IDAHO PRESS TRIBUNE'
Subject: City of Kuna Request for Legal Publication
Attachments: KMN publish Req 18-07-SUP.DOCX

Greetings:

We would like to request that you publish the attached legal notification in the **April 4th, 2018** cycle of Kuna Melba News on behalf of the City of Kuna, Planning & Zoning Department.
This notification needs to only be published for one (1) cycle.

The Kuna P.O. for this request is #6784 (if you need it).
Thank you.

Jace Hellman

Planner II
City of Kuna
751 W 4th Street
Kuna, ID 83634
Jhellman@kunaID.gov



Jace Hellman

From: Sharon Jessen <sjessen@idahopress.com>
Sent: Friday, March 30, 2018 9:02 AM
To: Jace Hellman
Subject: Re: City of Kuna Request for Legal Publication

Legals Email First Response

Thank you for your request. You will receive an email confirmation with proof, price and publication dates shortly.

Idaho Press-Tribune, Emmett Messenger-Index, Kuna-Melba News, and Meridian Press-Tribune

Legal Clerk
208-465-8129
legals@idahopress.com
8:00am – 12:00pm Monday – Friday

From: Jace Hellman <jhellman@kunaID.gov>
Sent: Thursday, March 29, 2018 1:21 PM
To: IPT Legals
Subject: City of Kuna Request for Legal Publication

Greetings:

We would like to request that you publish the attached legal notification in the **April 4th, 2018** cycle of Kuna Melba News on behalf of the City of Kuna, Planning & Zoning Department.
This notification needs to only be published for one (1) cycle.

The Kuna P.O. for this request is #6784 (if you need it).
Thank you.

Jace Hellman
Planner II
City of Kuna
751 W 4th Street
Kuna, ID 83634
Jhellman@kunaID.gov



Jace Hellman

From: Jace Hellman
Sent: Friday, March 30, 2018 11:29 AM
To: 'IDAHO PRESS TRIBUNE'
Subject: RE: Confirmation: Ad 1747201 for 1 KUNA, CITY OF
Attachments: 18-07-SUP KMN Confirmation.pdf

Thank you, Everything looks great!

Jace Hellman
Planner II
City of Kuna
751 W 4th Street
Kuna, ID 83634
Jhellman@kunalD.gov

-----Original Message-----

From: IDAHO PRESS TRIBUNE <legals@idahopress.com>
Sent: Friday, March 30, 2018 9:29 AM
To: Jace Hellman <jhellman@kunalD.gov>
Cc: legals@idahopress.com
Subject: Confirmation: Ad 1747201 for 1 KUNA, CITY OF

Legals Email Approval Request

Good Day,

Attached is an invoice which shows proof, price and publication dates. Please check spelling and run dates for accuracy. PLEASE RESPOND by 10:00AM to confirm or make changes in order to meet deadline. You can simply reply to this email.

Idaho Press-Tribune, Emmett Messenger-Index, Kuna-Melba News and Meridian Press-Tribune

Legal Clerk
legals@idahopress.com
208-465-8129
Monday through Friday 8:00am – 12:00pm

IDAHO PRESS TRIBUNE
MERIDIAN PRESS, KUNA MELBA NEWS
C/O ISJ PAYMENT PROCESSING CENTER
PO BOX 1570
POCATELLO ID 83204
(208)467-9251

ORDER CONFIRMATION

Salesperson: LEGALS

Printed at 03/30/18 08:28 by sje14

Acct #: 345222

Ad #: 1747201

Status: N

1 KUNA, CITY OF
P.O. BOX 13
KUNA ID 83634

Start: 04/04/2018 Stop: 04/04/2018
Times Ord: 1 Times Run: ***
LEG 1.00 X 57.00 Words: 240
Total LEG 57.00
Class: 0006 GOVERNMENT NOTICES
Rate: LG Cost: 47.18
Affidavits: 1

Contact: CHRIS ENGLES
Phone: (208)387-7727
Fax#:
Email: awelker@kunaaid.gov; gsmith@k
Agency:

Ad Descrpt: 18-07-SUP
Given by: JACE HELLMAN
Created: sje14 03/30/18 08:25
Last Changed: sje14 03/30/18 08:28

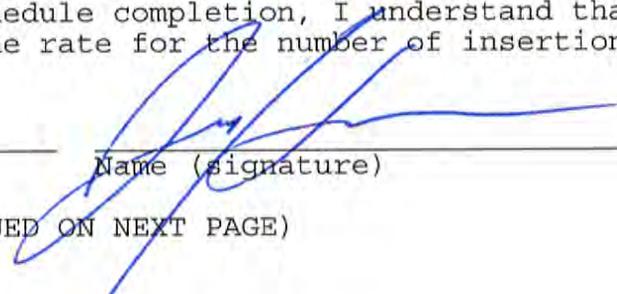
PUB	ZONE	EDT	TP	START	INS	STOP	SMTWTFS
KMN	A	96	S	04/04			

AUTHORIZATION

Under this agreement rates are subject to change with 30 days notice. In the event of a cancellation before schedule completion, I understand that the rate charged will be based upon the rate for the number of insertions used.

Jace Hellman

Name (print or type)



Name (signature)

(CONTINUED ON NEXT PAGE)

IDAHO PRESS TRIBUNE
MERIDIAN PRESS, KUNA MELBA NEWS
C/O ISJ PAYMENT PROCESSING CENTER
PO BOX 1570
POCATELLO ID 83204
(208)467-9251

ORDER CONFIRMATION (CONTINUED)

Salesperson: LEGALS

Printed at 03/30/18 08:28 by sjel4

Acct #: 345222

Ad #: 1747201

Status: N

LEGAL NOTICE

File # 18-07-SUP
A Touch of Home Daycare

NOTICE IS HEREBY GIVEN, that the Kuna Planning & Zoning Commission will hold a public hearing, **Tuesday, April 24, 2018 at 6:00 pm**, or as soon as can be heard at Kuna City Hall, 751 W. 4th St, Kuna, ID; in connection with a **Special Use Permit** request from Arisa McRoberts to operate a **Childcare Center** in an existing residence located at 302 E. Avalon St., Kuna, ID 83634. The applicant proposes childcare for a minimum of at least 12 children (0-12) at any one time. The proposed hours of operation will be approximately 6 am - 6 pm, Monday through Friday.

The public is invited to present written and/or oral comments. Any written testimony must be received by close of business on April 18, 2018, or it may not be considered. Please mail to PO Box 13 Kuna, ID 83634, or drop off at City Hall: 751 West 4th Street, Kuna, ID.

Please do not contact anyone who would be involved in this decision making process, which would include the Planning & Zoning Commissioners, City Council Members, or the Mayor; as such private conversations would be considered ex parte (one sided) and could jeopardize the public hearing process.

If you have any questions or require special accommodations, please contact the Kuna Planning & Zoning Department prior to the meeting at (208)922-5274.

Kuna Planning & Zoning
Department

April 4, 2018 1747201



Looks Great!



CITY OF KUNA
PLANNING & ZONING DEPARTMENT

751 West 4th Street
P.O. Box 13
Kuna, ID 83634
Phone: 208-922-5274
Fax: 208-922-5989
www.kunacity.id.gov

CERTIFICATE OF MAILING

Date: 4/4/2018

To: 300' Property Owners Other _____

Planner: Jace Hellman

Case Name: 18-07-SUP (special use permit)

I HEREBY CERTIFY that on this 4th day of 2018, I caused a true and correct copy of the foregoing instrument to be deposited in the United States mail, with prepaid postage.

Signature

Dawn Stephens
Attest



PRIMOWNER	SECOWNER	ADDCONCAT	STATCONCAT
✓BACHMAN BOB	BACHMAN LISA	330 E 2ND ST	KUNA, ID 83634-0000
✓BACHMAN BOB		1677 N CALAVERAS PL	KUNA, ID 83634-0000
✓BERG CODY RYAN		381 E 2ND ST	KUNA, ID 83634-0000
✓BIDONDO CHRISTOPHER P		362 E 2ND ST	KUNA, ID 83634-0000
✓CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS		50 E NORTH TEMPLE ST FL 12	SALT LAKE CITY, UT 84150-0000
✓CLIFFORD-BURR ANGIE	BURR BRUCE	151 S ORCHARD AVE	KUNA, ID 83634-0000
✓DUNN FAMILY REVOCABLE TRUST	DUNN DENNIS MICHAEL TRUSTEE	8940 N DUNCAN LN	BOISE, ID 83714-0000
✓HEALTHY PET HAPPENINGS LLC		366 E AVALON ST	KUNA, ID 83634-0000
✓KONZEK ROBERTA		366 E AVALON ST	KUNA, ID 83634-0000
✓MARCH DAVID M	MARCH SHAWN A	251 E AVALON ST	KUNA, ID 83634-2130
✓MCRAE DARREN J		14 N ROBINSON RD	NAMPA, ID 83687-0000
✓MELLIN PROPERTIES LIMITED PARTNERSHIP		10100 W FRANKLIN RD	BOISE, ID 83709-0333
✓MILLER BRANDON	MILLER ASHLEY	PO BOX 163	MELBA, ID 83641-0000
✓MOTE MICHELLE G &	MOTE TERRY L	260 E MORRIS CT	KUNA, ID 83634-2324
✓NORQUIST INVESTMENTS LIMITED PARTNERSHIP		PO BOX 7832	BOISE, ID 83707-1832
✓ONE CALL RESTORATION LLP		11381 W GILA DR	KUNA, ID 83634-0000
✓PARKER GEORGE A	PARKER RANEA	273 E AVALON ST	KUNA, ID 83634-0000
✓PHILLIPS RONALD E &	PHILLIPS MARTHA L	PO BOX 466	KUNA, ID 83634-0000
✓QUEEN CHAD J	QUEEN MARISA M	4975 W AMITY RD	NAMPA, ID 83687-9027
✓REID WILLIAM E	REID KAREN D	310 E 2ND ST	KUNA, ID 83634-0000
✓ROOT CHARLES E	ROOT MARY KATHERINE	349 E 2ND ST	KUNA, ID 83634-0000
✓RUSSELL JAMES D	RUSSELL SHERI J	781 S SCHOOL AVE	KUNA, ID 83634-0000
✓SHEPARD JAMES A		348 E 2ND ST	KUNA, ID 83634-0000
✓SPAFFORD ANNA		291 E AVALON ST	KUNA, ID 83634-0000
✓STEUBE AMBER	STEUBE ELWIN S	175 N ORCHARD AVE	KUNA, ID 83634-0000
✓THOMAS JOHN B	THOMAS LISA K	375 E AVALON ST	KUNA, ID 83634-0000
✓TURBO FITNESS LLC		PO BOX 5201	BOISE, ID 83705-0000
✓UPSHAW TROY L &	UPSHAW THERESA M	240 E MORRIS CT	KUNA, ID 83634-0000
✓WIGGINS KODY	WIGGINS JULIA	210 MORRIS CT	KUNA, ID 83634-0000
✓YARNO RICHARD LLEWELLYN	YARNO MARILYN Z	331 E 2ND ST	KUNA, ID 83634-0000

Bob & Lisa Bachman
330 E 2nd St
Kuna, ID 83634

Bob Bachman
1677 N Calaveras PL
Kuna, ID 83634

Cody Berg
381 E 2nd St
Kuna, ID 83634

Christopher Bidondo
362 E 2nd St
Kuna, ID 83634

Church of Jesus Christ
of Latter-Day Saints
50 E North Temple St FL 12
Salt Lake City, UT 84150

Bruce Burr
Angie Clifford-Burr
151 S Orchard Ave
Kuna, ID 83634

Dunn Family Revocable Trust
Dennis Dunn Trustee
8940 N Duncan LN
Boise, ID 83714

Healthy Pet Happenings LLC
Roberta Konzek
366 E Avalon St
Kuna, ID 83634

David & Shawn March
251 E Avalon St
Kuna, ID 83634

Darren McRae
14 N Robinson Rd
Nampa, ID 83687

Mellin Properties Limited Partnership
10100 W Franklin Rd
Boise, ID 83709

Brandon & Ashley Miller
PO Box 163
Melba, ID 83642

Michelle & Terry Mote
260 E Morris Ct
Kuna, ID 83634

Norquist Investments Limited
Partnership
PO Box 7832
Boise, ID 83707

One Call Restoration LLP
11381 W Gila Dr
Kuna, ID 83634

George & Ranea Parker
273 E Avalon St
Kuna, ID 83634

Ronald & Martha Phillips
PO Box 466
Kuna, ID 83634

Chad & Marisa Queen
4975 W Amity Rd
Nampa, ID 83687

William & Karen Reid
310 E 2nd St
Kuna, ID 83634

Charles & Mary Root
349 E 2nd St
Kuna, ID 83634

James & Sheri Russel
781 S School Ave
Kuna, ID 83634

James Shepard
348 E 2nd St
Kuna, ID 83634

Anna Spafford
291 E Avalon St
Kuna, ID 83634

Elwin & Amber Steube
175 N Orchard Ave
Kuna, ID 83634

John & Lisa Thomas
375 E Avalon St
Kuna, ID 83634

Turbo Fitness LLC
PO Box 5201
Boise, ID 83705

Troy & Theresa Upshaw
240 E Morris Ct
Kuna, ID 83634

Kody & Julia Wiggins
210 E Morris Ct
Kuna, ID 83634

Richard & Marilyn Yarno
331 E 2nd St
Kuna, ID 83634



CITY OF KUNA
PLANNING & ZONING DEPARTMENT
PO Box 13 • 751 W. 4th St • Kuna, Idaho • 83634
Phone (208) 922-5274 • Fax: (208) 922-5989
www.kunacity.id.gov

Dear Property Owner:

NOTICE IS HEREBY GIVEN that the City of Kuna **Planning and Zoning Commission** is scheduled to hold a public hearing on **April 24, 2018**, beginning at **6:00 pm** on the following case:

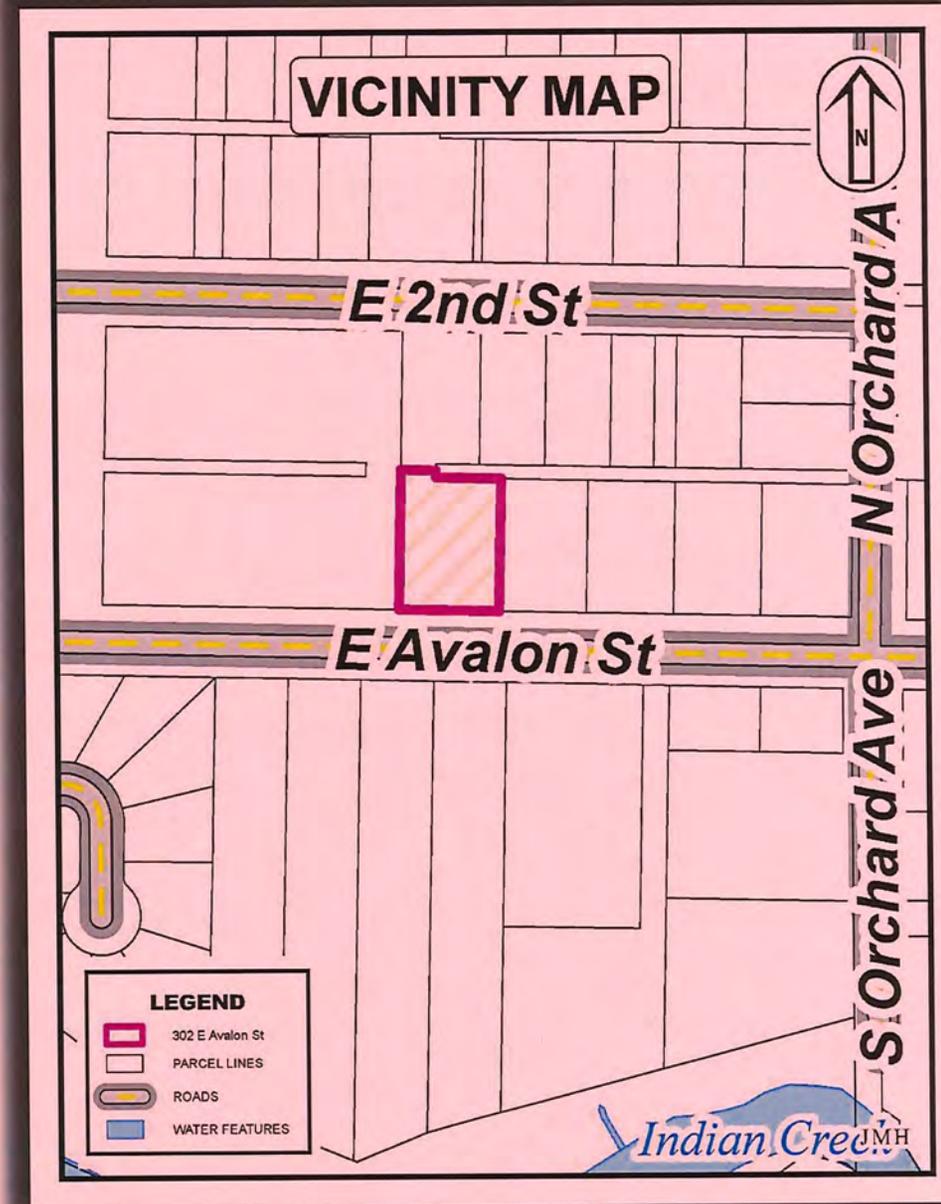
A **Special Use Permit (SUP)** request from Arisa McRoberts to operate a **Childcare Center** in an existing residence located at 302 E. Avalon St., Kuna, ID 83634. The applicant proposes childcare for a minimum of at least 12 children (0-12) at any one time. The proposed hours of operation will be approximately 6 am – 6 pm, Monday through Friday.

The hearing will be held at **6:00 PM** in the **Council Chambers at City Hall** located at **751 W. 4th Street, Kuna, Idaho**.

All documents concerning public hearing items may be reviewed at Kuna City Hall, 751 W. 4th Street, Kuna, Idaho, 83634. Office hours are 8:00 am to 5:00 pm, Monday through Friday, except holidays. If you have questions or would like additional information, please contact the Planning and Zoning Division at (208) 922-5274.

You are invited to provide oral or written comments to the Commission at the hearing. Please note that all comments made to the Commission during the public hearing will be restricted to three (3) minutes per person. Prior to the hearing, written comments may be submitted to the appropriate governing body at least seven (7) days prior to the hearing. These comments will be forwarded to the Planning and Zoning Commission.

In all correspondence concerning this case, please refer to the case name: **18-07-SUP (Special Use Permit) – A Touch of Home Daycare**.



MAILED 04/04/18



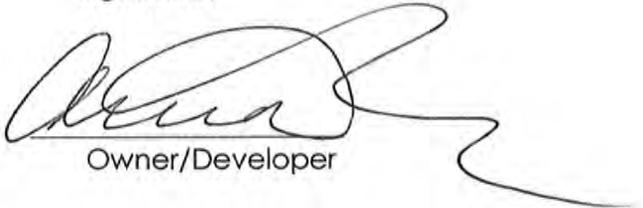
City of Kuna PROOF OF PROPERTY POSTING

City of Kuna
P.O. Box 13
Kuna, Idaho 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

This notice shall confirm that the Public Hearing Notice for 302 E. Avalon St.
(NAME OF SUBDIVISION OR ADDRESS) was posted as required per Kuna City Ordinance
5-1-5B. Sign posted Thurs. April 12th, 2018 (DAY OF THE WEEK, MONTH,
DATE AND YEAR). This form is required to be returned three (3) calendar days
subsequent to posting and signs are to be removed from the site three (3) calendar
days after the hearing.

DATED this 13th day of April, 2018.

Signature,



Owner/Developer

STATE OF IDAHO)
County of Ada) : ss

On this 13th day of April, 2018, before me the
undersigned, a Notary Public in and for said State, personally appeared before me
(Owner, Developer).

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal
the day and year in this certificate first above written.

Dawn Stephens
Notary Public
Residing at Kuna, Idaho
Commission Expires 3-7-24





CITY OF KUNA
PUBLIC HEARING NOTICE
BEFORE THE KUNA PLANNING
AND ZONING COMMISSION
WHEN: APRIL 24TH 2018
KUNA CITY HALL, 751 W. 4TH ST
SPECIAL USE FOR
CHILD CARE
LOCATION: 302 E. AVALON ST
KUNA, ID 83634
APPLICATION BY: A TOUCH
OF HOME, MCROBERTS
QUESTIONS? CONTACT CITY OF KUNA
(208) 922-5546

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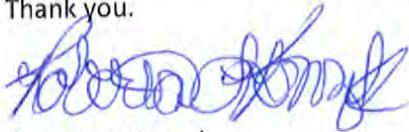
CITY OF KUNA
PUBLIC HEARING NOTICE
BEFORE THE KUNA PLANNING
AND ZONING COMMISSION
WHEN: APRIL 24TH 2018
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April 17.2018

To Whom It May Concern:

Regarding SUP for 302 E Avalon: My concerns are 2-fold: 1) congestion with pick up and drop off on an already busy street , and 2) off street parking. Not sure how to address #1, except better enforcement of speed limit in that area. For #2, according to your code 5-9-3, there should be 2 spaces per classroom but not less than 6 for the building. Also, a marked ADA space is required per code. Have these concerns been address in the approval process?

Thank you.



Roberta L Konzek

Exhibit
CS