



KUNA PLANNING AND ZONING COMMISSION

Agenda for July 23, 2019

Kuna City Hall ▪ Council Chambers ▪ 751 W. 4th St. ▪ Kuna, Idaho

1. CALL TO ORDER AND ROLL CALL

Chairman Lee Young
Vice Chairman Dana Hennis
Commissioner Cathy Gealy
Commissioner John Laraway
Commissioner Stephen Damron

2. CONSENT AGENDA: *All Listed Consent Agenda Items are Action Items*

- a. Meeting Minutes for July 9, 2019.
- b. **Findings of Fact and Conclusions of Law** for 19-06-SN (Sign) & 19-16-DR (Design Review) – Anchor Baptist Church Monument Sign
- c. **Findings of Fact and Conclusions of Law** for 19-05-AN (Annexation) - Hansen Annexation
- d. **Findings of Fact and Conclusions of Law** for 19-10-AN (Annexation) – Memory Ranch Pool House and Pool

3. NEW BUSINESS:

- a. **19-21-DR (Design Review)** - On behalf of Panda Express, Inc., CRM Architects & Planners requests approval of a design review for a new 2,381 (approximate) square-foot *Panda Express* restaurant, including landscaping, lighting and a parking lot, within Ashton Estates subdivision No. 1, lot 5 block 1, at 1311 North Jacksonmill Avenue, Kuna, Idaho 83634. **ACTION ITEM**
- b. **19-15-DR (Design Review) Modification** – Downtown Tabby Addition; On behalf of Downtown Tabby, Inc, Stephen Miller requests design review approval for proposed additions and modifications to the *Downtown Tabby* commercial building. The subject site is located at 239 W. 4th St., Kuna, ID 83634 (APN# R5070000375). **ACTION ITEM**

4. PUBLIC HEARING:

- a. **19-03-SUP (Special Use Permit)** – Johns In-Home Salon; The applicants, Will and Ali Johns, seek approval for a Special Use Permit in order to operate an in-home salon at 1143 East Yankee Basin Road, Kuna, ID 83634 (APN: R3280931190). **ACTION ITEM**

5. COMMISSION REPORTS

- a. None

6. ADJOURNMENT

**CITY OF KUNA
PLANNING & ZONING COMMISSION**

**MEETING MINUTES
Tuesday, July 9, 2019**

PZ COMMISSION MEMBER	PRESENT	CITY STAFF PRESENT:	PRESENT
Chairman Lee Young	X	Wendy Howell, Planning Director	X
Commissioner Dana Hennis	X	Troy Behunin, Senior Planner	X
Commissioner Cathy Gealy	X	Jace Hellman, Planner II	N/A
Commissioner Stephen Damron	X	Sam Weiger, Planner I	X
Commissioner John Laraway	X		

6:00 pm – COMMISSION MEETING

Chairman Young called the meeting to order at **6:00 pm**.

Call to Order and Roll Call

1. CONSENT AGENDA

Meeting Minutes for July 1, 2019.

Findings of Fact and Conclusions of Law For 19-13-DR (Design Review) – Shortline Park No. 2 Flex Space

Findings of Fact and Conclusions of Law For 19-20-DR (Design Review) Modification – Snerk’s Drive Thru + Retail Building

Commissioner Hennis Motions to approve the consent agenda; Commissioner Damron Seconds, all aye and motion carried 4-0.

2. NEW BUSINESS

19-17-DR (Design Review) & 19-07-SN (Sign) – PiSTEM Academy Sign; The PiSTEM Academy request sign and design review approval for an approximately 18 square foot, double-sided monument sign. The subject site is located 2275 W. Hubbard Road, Kuna, ID 83634 (APN# S1314120891).

Troy Behunin: Troy Behunin, 751 West Fourth Street, Kuna Planning and Zoning Department. Staff has nothing further to add. Theresa Fleming just indicated there is something she needs to address. **Theresa Fleming:** Theresa Fleming, 299 Stewart Road. I did speak with Troy last week, and they let us know what the options were so that could take that to the board of directors for the school. The first option is to move forward and submit as we submitted and pay the fees. The second option noted was to move forward as normal, and then after paid, ask for reimbursement or a waiver on those fees. That couldn’t happen until after the fact. The third option would be to just do a wall sign and paint the name of the school on the wall for a lower fee. I took those options to the board of directors. Without some sort of guarantee that those fees would be waived, we have decided to withdraw the request and just paint the name on the school.

19-06-SN (Sign) & 19-16-DR (Design Review) – Anchor Baptist Church Monument Sign; On behalf of Anchor Baptist Church, Superior Signs requests design review approval for an 11-ft multi-tenant commercial monument sign. The subject site is located 7910 S. Meridian Road, Kuna, ID 83634.

Sam Weiger: Chairman, commissioners, for the record Sam Weiger, Planner I, City of Kuna 751 W 4th St. The application before you this evening is for design review consideration for a multitenant monument sign for Anchor Church Sign located at 7910 South Meridian Road. The proposed sign stands approximately 11 ft high and nine ft across at its widest point. The proposed sign also includes a 32 square foot reader board and 30 square foot sign

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copy that features space for three tenants: Anchor Baptist Church, Anchor Academy Daycare and Idaho Baptist College. Staff has determined the design review application complies with Kuna City Code, Title 5, and would recommend that if the proposed project is approved, the applicant be subject to the conditions of approval listed in the staff report and any additional conditions requested by the Planning and Zoning Commission. **C/Young:** It sounds like there is a stone look to the base, which is consistent with everything else that is out there in terms of colors. **C/Gealy:** I have no questions or concerns.

Commissioner Hennis motions to approve Case No. 19-06-SN & 19-16-DR with the conditions as outlined in the staff report; Commissioner Damron seconds, all aye and motion carried 4-0.

3. PUBLIC HEARING

19-05-AN (Annexation) – Hansen Annexation; The applicant, Larry Hansen, on behalf of Sandstone Farms, LLC, Go For It, LLC, and Jane Golden and Select Development & Contracting requests to annex six parcels comprising of approximately 125 acres at 1863/2075 East Rodeo Lane and 2400 North Meridian Road into Kuna City Limits with C-1 and R-4 zoning districts; (APNs S141823400, S1418233650, R7534260155, R7534260400, R7534260218, & R7534260350).

Sam Weiger: Chairman, Commissioners, for the record, Sam Weiger, Kuna Planning and Zoning Staff 751 W. 4th St. The application before you this evening is for an annexation approval at 1863 and 2075 East Rodeo Lane and 2400 North Meridian Road. The applicant requests to annex six sites, approximately 125 acres, into Kuna City limits. Approximately 77 acres will come in with a C-1 (neighborhood commercial) zoning district and 48 acres will come in with an R-4 (medium density residential) zoning district. Because the applicant has proposed a combination of uses, the application complies with the Future Land Use Map. Staff would like to note that the City of Kuna does not force annex any lots into Kuna City limits. Staff has determined the annexation complies with the goals and policies for Kuna City, Title 5 and Title 6 of the Kuna City Code; Idaho Code; and the Comprehensive Plan; and forwards a recommendation for a recommendation of approval for Case No's 19-05-AN (Annexation) subject to the conditions of approval. I will stand for any questions. **C/Gealy:** I have no questions. **C/Young:** This may be a question for the applicant, but I know there is a commercial component and a residential component. Is it the intent that when the preliminary plat comes in, that the commercial property is all frontage on Meridian Road?

Sam Weiger: Chairman Young, there was no intent given in this application given that it was just for the annexation. The applicant might have additional comment on that. **C/Hennis:** Since we're bringing these parcels in under a C-1 and an R-4, how do we designate what's being designated as each? In the future land use map, we have mixed-use as the zoning, and that's probably something that you noticed. Initially, Mr. Hansen was going to bring everything in exactly how the future land use map was shown. That would have meant that they would come in with a mixed-use zoning district. However, that district does not yet exist, because the comprehensive plan was tabled. It will be going back July 16, so that zoning district does not exist. Therefore, he had to come in a different zoning and we worked on that together. With Wendy's approval, we worked out the C-1 zoning to replace the mixed-use. In addition, there was one parcel, the 17-acre parcel that had a split of R-4 and mixed-use on the future land use map. That one needed to come in with one district, because a parcel can't come in with two different zones. That one will be coming in with R-4. **Larry Hansen:** Larry Hansen, 3440 West Davis Lane, Meridian. I'm really representing six clients here. It's a combination of properties. The intent is that the 48-acres that was spoken of is actually an extension of the Lugarno Terra Subdivision. Select Development is doing that. The larger parcel is owned by Go For It, or Russ Hunemiller. That is kind of just up for future negotiations with the commission and planners as far as what to do with that parcel. When we first started on it, the understanding was to come in with mixed-use. Then, Council didn't approve the mixed-use. As I understand it in the future, we would probably end up with more like a development agreement, because bringing it all in under C-1 probably doesn't make a lot of sense. Certainly, a good portion of this would go in as C-1. That piece would still be something for discussion. Staff suggested to bring it in under C-1. **C/Gealy:** I'm a little confused about the six different parcels. **Larry Hansen:** The

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larger rectangular piece, which comprises of two parcels, previously known as the Huff property, is approximately 78 acres. That's the piece that we were going to bring in as mixed-use, but now C-1 per staff's request. C-1, correct me if I'm wrong, would allow us to come in and do various uses within that C-1. It wouldn't exceed what is required in C-1. All of that piece, both parcels, was sold by Huff Farm to an investor. Now, it is actually being reassembled for future development. Before we start doing any planning, it needs to be annexed so we know where all the services are coming from. All of the rest of it is the assemblage that will go to Select Development, LLC. That will all be an extension of Lugarno Subdivision. With the exception of eight acres, this is all now one parcel, owned by Jane Golden. Select wants to buy an approximate amount, but because it needs to be split, staff and the county prefer that this was annexed into the City, before we do that split. The split can be done as part of the platting for Lugarno Phase 2. **C/Gealy:** Is it your intention to apply for the southern part of this as R-4, and the 78 acres up top will be the C-1? **Larry Hansen:** Correct, everything south of the half-section line, which would be an extension of Ardell, would be R-4. Everything north of it would be C-1. **C/Gealy:** If we look at the six parcels that you were talking about, with the different acreages, what makes up that 78 acres? **Larry Hansen:** The 63 acres and the 12 acres, which puts the Huff property back into its original rectangular configuration. **Sam Weiger:** We initially had the 17-acre parcel in the comp plan split with two different uses, but because we can't annex it with two different districts, it's coming in with an R-4 zoning. Can you please readdress the concern? **C/Gealy:** In the staff report, 63 acres is coming in as an R-4. From what Mr. Hansen is saying, the 63 acres is coming in as a C-1. **C/Hennis:** The total acreage in those zones is not what the applicant is reflecting. **Sam Weiger:** Commissioner, that is correct, there was a mix-up with the numbers. **Sam Weiger:** The 63 acres should be coming in with a C-1 zoning, and the 12 acres. **C/Gealy:** There are two parcels that come in as C-1 and four parcels that come in with R-4, correct? **Sam Weiger:** Commissioner, the road, Rodeo Lane was supposed to come in as mixed-use. That one is a 1.13-acre parcel and should be coming in C-1. There should be three and three. The road and two parcels furthest north are C-1, and the three parcels on Rodeo Lane should be coming in with R-4. **Larry Hansen:** With regard to the road parcel, I don't care what that comes in as. That's a designated private road that will remain private forever. The only reason we're annexing it in, is because we're doing a road modification that eliminates the cul-de-sac that was never built. Staff as well as county determined that it would be much easier to handle that on the City level as we're platting, rather than as a separate application. **C/Young:** We'll go ahead and open up the public testimony at 6:25. **Marcia Smith:** Marcia Smith, 2284 North Meridian Road. We own the two parcels on Meridian Road in the back. One of our five-acre parcels has ingress and egress, according to Ada County for Rodeo Lane. Rodeo Lane was not in the contract, and so we have a little difficulty making sure that our ingress and egress goes well. I just wanted to say that if this property is being sold, that we still have ingress and egress to Meridian Road. **Rich Hersey:** Rich Hersey, 2202 N Meridian Road. On the map there, I can see the lot that I have. When I first bought it, it was a S-curve road that belonged to the county. It came through the one bed south of the corner. I talked with Mike and I see he's not here. he showed me a map that it somehow reappeared in 2016. Sometime between 2010 and 2013, the County came back and said that I owned the land. I told him at that time, the S curve road that goes into Rodeo Lane. This would mean that I could not go through this drive being in my front yard. He said yes, and then come back later, because I own the land. That means I needed to go to the County and sign off, which I did. I signed off, and then I received a piece of paper. I've been to an engineering firm in Emmett, and they agreed with me that the land all the way to where Rodeo Lane ends now. My property line on the south side on that show 1.13 acres. A piece of paper with the same map showed up, with somebody else's handwriting on it that asked if I was giving 20 feet off mine. The answer is no. It needed to be signed off, if it happened, before April 30. This paper verifies that it happened, whoever did it a number of months later. When they did it, I got a second copy of the map. I have the first one and then the second one. The second one makes it like I am giving away 20 feet, but I am not. What Rodeo Lane is now, which is 30 feet, is all that is going to be on my property. I can verify that there are one of two others that are on the same property that are not giving away theirs. I want that fully understood. You have the paperwork, and I was told by Pioneer Title that somebody wrote a letter to them saying how bad they were. My daughter happens to be one of the head employees there. It was done, Rodeo Lane is not to be changed on my property. **C/Young:** When you say "your property" and "twenty feet", is there an easement that is listed on

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your parcel that you're referring to? **Rich Hersey**: Somebody took a pencil and made a little dotted line down through it. **C/Young**: This is on a recorded document? **Rich Hersey**: I tried to make it a recorded document. This was in 2016, but I brought the property in 2013. It's deeded. I am not giving it up. **C/Damron**: There's no easement on your title, correct? **Rich Hersey**: Absolutely not. There was this S-curve that came in it and created part of that 20 feet and beyond. That when I went into the County and signed off. They said they could not have it, and they signed it off that way and it's in big and bold print. The County signed off, I signed off and my wife signed off on the same night. I have this other piece of paper that shows the same aerial view. My name is on it, my wife's as well. It was dated back in April or May of 2013. I went into the County and did it myself. **C/Damron**: You went into the County, and signed that off saying that this is not an easement within this property. **Rich Hersey**: That's right, it's been out there. Engineering has come out from that same company and redone some stuff, like the stakes in front of my property. In the west and southeast corner, there's fence. The Smith's ingress and egress into the property should be on the same tract. **C/Damron**: They didn't place any markers to show anything? **Rich Hersey**: No. **C/Damron**: That's what I needed, thank you. **Larry Hansen**: There was a lot of turmoil around the one-acre road parcel. It's all been fixed, long ago. There is no claim to anything other than the 30-foot Rodeo Lane when is an actual platted parcel. There are three people who have easements to it. Fifteen years later, we found out that there was an easement there. That has nothing to do with this application, though. It has nothing to do with Rodeo Lane, I don't dispute anything. I have a 30-foot wide strip of road there. **C/Young**: In response to Ms. Smith, the lane is going to stay a private lane, correct? Additionally, the access won't change for anybody, correct? **Larry Hansen**: That's correct, through some occupation of the cul-de-sac, but to the lane itself, it will stay at 30 feet. It doesn't change. **Rich Hersey**: Does this application mean that we can be forced into the City? **C/Young**: No. **C/Young**: We'll close the public testimony at 6:36. That initiates Commission discussion. **C/Hennis**: Seems pretty much right, altogether. The easements are taken care of. We'll know later on about what they're going to do with the land. It doesn't sound like there's much planned right other than to provide for future use. I think it seems like it's laid out pretty well. **C/Young**: The zone request complies and it's consistent with our comprehensive plan and what we see in the direction going north. I agree as far as everything else, it all looks good as far as the annexation goes. Anybody that's not a part of what's indicated here will not be pulled into the City at any point. If you want to come in, that's an application you would make, rather than anyone else on your behalf. **C/Gealy**: I was a lot happier when I thought that 63 acres was going to be R-4. I have to rethink how I feel about 78 acres coming in as C-1. Sorry we don't have mixed-use yet. **Troy Behunin**: Commission, just to clarify, there's no way that an applicant or staff can split a parcel with two different zones. The intention is not to bring in all of that as C-1. With the future development that doesn't fit that zone, they'd have to come back through for a rezone on something that doesn't match that zone. The intention is not to have that entire 63-acre parcel as commercial. It's only a portion of it. **C/Gealy**: In the future, they can split the use, correct? **Troy Behunin**: Correct, with a future rezone application and a preliminary plat, yes. **C/Gealy**: Not in the annexation process, correct? **Troy Behunin**: No. **C/Gealy**: It has to come in under one zone, because it's one parcel, but they can split it in the future when they come back with a pre-plat, correct? **Troy Behunin**: Correct. With a pre-plat or something that's defined that states this is how much commercial we want, and this is how much non-commercial we want. It would then go through the pre-plat and rezone for whatever's not commercial at that time. They can't do that now, because they don't have a pre-plat, they don't have a defined plan for that entire thing, and the only reason that they are coming in now is to set the stage for future development. **C/Gealy**: They could have easily annexed as R-4 and then changed it, correct? **Sam Weiger**: Commissioner Gealy, the R-4 though would not have complied with the future land use map like the C-1 does. The R-4 doesn't have the flexibility that the C-1 does. **C/Laraway**: Going back to what we've talked about before with the I-69 corridor, that's what this is all about. We knew it was coming. **C/Gealy**: We just don't know how deep it could go, but this is all we can do at this point. **Troy Behunin**: It might be a good idea for the Commission to direct staff to make the correction in the staff report for the findings of fact. **C/Gealy**: I just wanted to add that I'm excited about the R-4, because we haven't seen a lot of the R-4. Now it's less, though. That's all. **C/Laraway**: They could come back later from C-1, and come back with R-4 or multifamily. **Troy Behunin**: C-1 doesn't allow for multifamily anymore. They would have to rezone. **C/Gealy**: Has that been approved? **Troy**

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Behunin: Yes. **C/Gealy:** The mixed-use has not been approved, correct? **Troy Behunin:** Correct, but multifamily is no longer available in a C-1 zone. It's been that way since February of this year. **C/Gealy:** Good to know, so that was not part of the Comprehensive Plan? **Troy Behunin:** Correct. That was an ordinance change ahead of the Comp Plan, but the mixed-use is part of the Comp Plan that is going to Council on July 16th, because it was tabled at its last hearing.

Commissioner Hennis motions to recommend approval of Case No. 19-05-AN with the conditions as outlined in the staff report; With an additional condition that staff make the corrections in Section "E" of the staff report with regards to the zoning and acreage totals that are going into each zone. Commissioner Damron seconds, all aye and motion carried 4-0.

4. COMMISSION REPORTS

5. ADJOURNMENT

Commissioner Hennis motions to adjourn; Commissioner Gealy Seconds, all aye and motion carried 4-0.

Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST:

Wendy I. Howell, Planning and Zoning Director
Kuna Planning and Zoning Department



City of Kuna

Planning and Zoning Commission

Findings of Fact and Conclusions of Law

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To: Planning and Zoning Commission

Case Numbers: 19-06-SN (Sign);
 19-16-DR (Design Review) -
Anchor Baptist Church Monument Sign

Site Location: 7910 S. Meridian Road, Meridian, ID 83642

Planner: Sam Weiger, Planner I

Meeting Date: July 9, 2019
Findings: **July 23, 2019**

Owner/Applicant: Anchor Baptist Church
 7910 South Meridian Road
 Meridian, ID 83642
 208-794-2806
pastorgraves@anchorbaptistchurchkuna.org

Representative: Superior Signs; Dana Vance
 120 N. 21st Ave.
 Caldwell, ID 83605
 208-454-0860
dana@superiorsignsidaho.com



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| A. Process and Noticing | D. Staff Analysis |
| B. Applicant's Request | E. Applicable Standards |
| C. General Project Facts | F. Decision by the Commission |

A. Process and Noticing:

Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states that design reviews are designated as *public meetings*, with the Planning and Zoning Commission (acting as the Design Review Board) as the decision-making body. As a public meeting item, this action requires no formal public noticing actions.

B. Applicant's Request:

On behalf of Anchor Baptist Church, Superior Signs requests design review approval for an 11-ft (approximate) multi-tenant commercial monument sign. The subject site is located 7910 S. Meridian Road, Meridian, ID 83642. (APN# 1406336171).

C. General Projects Facts:

1. **Surrounding Land Uses:**

North	RR	Rural Residential – Ada County
South	RR	Rural Residential – Ada County
	R-1	Estate Residential – Ada County
East	RR	Rural Residential – Ada County
West	A	Agricultural – Kuna City

2. **Parcel Sizes, Current Zoning, Parcel Numbers:**

Property Owner	Parcel Size	Current Zone:	Parcel Number
Anchor Baptist Church	16.44 acres	C-1 – Kuna City	S1406336171

3. **Existing Structures, Vegetation and Natural Features:**

The subject site includes a monument sign for Idaho Baptist College with landscaping, the Anchor Academy Daycare building (approved by Special Use Permit in April 2019), a garage and a shop.

4. **Environmental Issues:**

Staff is not aware of any environmental issues, health or safety conflicts beyond the designation of being in the nitrate priority area.

D. Staff Analysis:

The applicant is proposing to construct a new onsite monument sign for Anchor Baptist Church, located at 7910 S. Meridian Road. The proposed monument sign will replace the existing freestanding sign adjacent to Meridian Road. The monument sign stands approximately 11 feet high and nine feet across at its widest point. The sign area is approximately 100 square feet, which includes an approximately 32 square foot reader board and a 30 square foot sign copy. The applicant has proposed the sign to be built approximately 32 ft from the right-of-way and approximately 40 feet from the roadway.

Staff has determined the design review application complies with Kuna City Code, Title 5; Staff recommends if the proposed project is approved, the applicant be subject to the conditions of approval listed in section “F” of this report and any additional conditions requested by the Planning and Zoning Commission.

E. Applicable Standards:

1. City of Kuna Zoning Ordinance Title 5.
2. City of Kuna Comprehensive Plan.
3. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

F. Commission’s Order of Decision:

Based on the facts outlined in staff’s report as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby approves Case Nos. 19-06-SN (Sign) & 19-16-DR (Design Review), a request from Superior Signs for design review approval for a monument sign, subject to the following conditions:

1. All signage on site shall comply with KCC 5-10.
2. All electrical components of sign shall obtain a building permit with the City of Kuna. All work shall be inspected by Kuna City inspectors.
3. Any footings and foundations shall obtain a building permit with the City of Kuna. All work shall be inspected by Kuna City inspectors.
4. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of approval by the Design Review Committee/Planning and Zoning Commission, or seek an amendment through the Design Review process.
5. Applicant shall follow staff, City Engineer and other agency recommended requirements, as applicable.
6. Applicant shall comply with all local, state and federal laws.

DATED this 23rd day of July, 2019.



City of Kuna
Planning and Zoning Commission
Findings of Fact and Conclusions of Law

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Based upon the record contained in Case Nos. 19-06-SN & 19-16-DR including the Comprehensive Plan, Kuna City Code, and Staff's Memorandums, including the exhibits, Kuna Planning and Zoning Commission hereby approves Case Nos. 19-06-SN and 19-16-DR, a design review request from Superior Signs for an 11-foot multi-tenant commercial monument sign.

If the Planning and Zoning Commission wishes to change specific parts of the Findings of Facts and Conclusions of Law as detailed below, those changes must be specified.

1. Based on the evidence contained in Case Nos. 19-06-SN and 19-16-DR, this proposal *does* generally comply with City Code.

Staff Finding: *The applicant has submitted a complete application, and following staff review for technical compliance the application appears to be in general compliance with the design requirements, objectives and considerations listed in Kuna City Code Title 5.*

2. The proposed Design Review application *does* contain all of the necessary requirements as listed in Kuna City Code 5-4-9 – Design Review Application Required.

Staff Finding: *Review by Staff and the Commission of the proposed Design Review confirms all applicable requirements listed in KCC 5-4-9 were provided.*

3. The proposed project *does* generally conform to the Kuna Architecture guidelines.

Staff Finding: *The applicant proposes to construct of multi-tenant monument sign that stands approximately 11 feet high and nine feet across at its widest point. The sign area is approximately 100 square feet, which includes an approximately 32 square foot reader board and a 30 square foot sign copy. The applicant has proposed to construct the sign out of materials and colors that are consistent with the existing buildings.*

DATED this 23rd day of July, 2019.

Lee Young, Chairman
Planning and Zoning Commission

ATTEST:

Sam Weiger, Planner I
Kuna Planning and Zoning Department



City of Kuna

Planning and Zoning Commission

Findings of Fact and Conclusions of Law

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To: Planning and Zoning Commission

Case Numbers: 19-05-AN
Hansen Annexation

Site Locations: 1863/2075 East Rodeo Lane
& 2400 North Meridian Road
Kuna, ID 83634

Planner: Sam Weiger, Planner I

Hearing Date: July 9, 2019

Findings: **July 23, 2019**

Owners: **Go For It, LLC**
Select Development & Contracting, LLC
Jane Golden
Sandstone Farms

Applicant: **Larry Hansen**
3440 West Davis Lane
Meridian, ID 83642
208.866.0346
larryh@lhrealtors.com

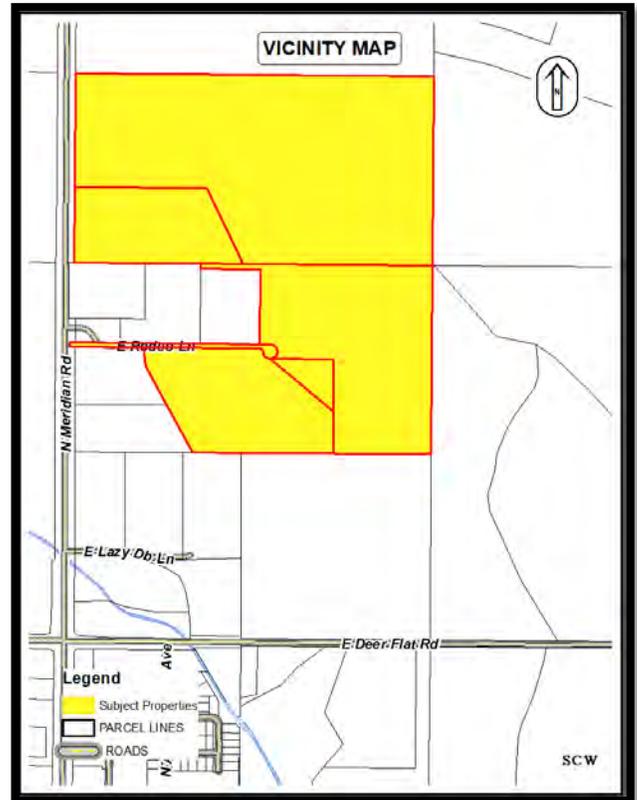


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| E. Staff Analysis | |

A. Process and Noticing:

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3 states that annexations are designated as public hearings, with the Planning and Zoning Commission as a recommending body and City Council as the decision-making body. This land use application was given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Local Planning Act.

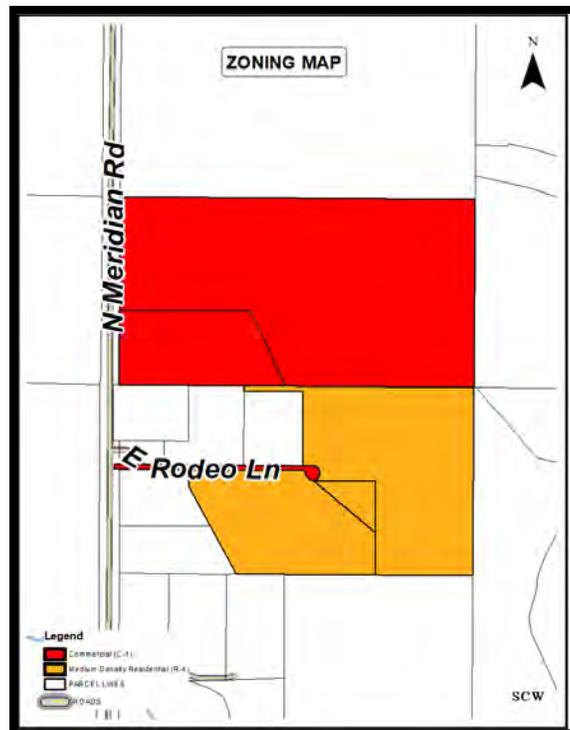
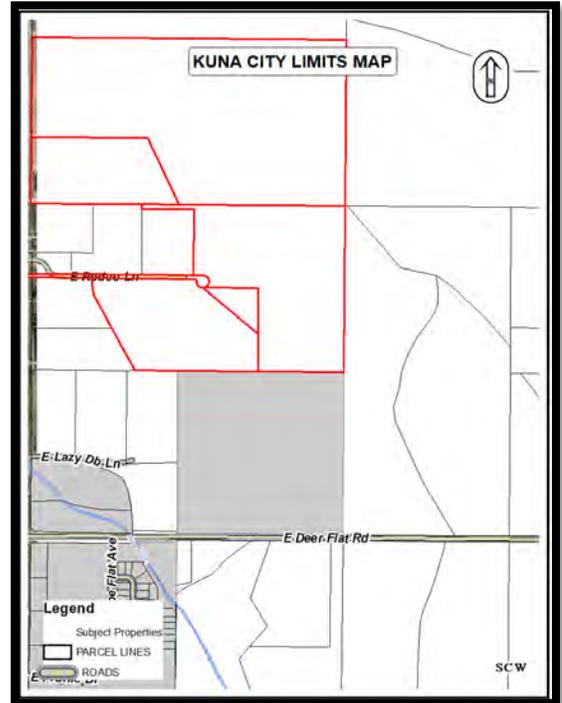
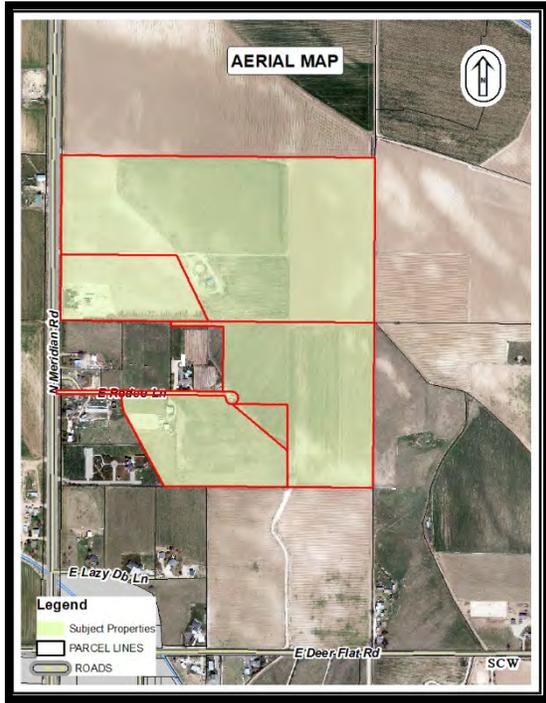
a. Notifications

- | | |
|---------------------------------|------------------------------------|
| i. Neighborhood Meeting | April 8, 2019 (13 people attended) |
| ii. Site Posted | May 25, 2019 |
| iii. Agency Comment Request | June 10, 2019 |
| iv. 400' Property Owners Notice | June 10, 2019 |
| v. Kuna, Melba Newspaper | June 12, 2019 |

B. Applicant's Request:

The applicant, Larry Hansen, requests to annex six contiguous parcels on East Rodeo Lane and North Meridian Road into Kuna City Limits with C-1 and R-4 zoning districts. The subject sites are located at 1863 East Rodeo Lane, 2075 East Rodeo Lane and 2400 North Meridian Road; (APNs S141823400, S1418233650, R7534260155, R7534260400, R7534260218, & R7534260350).

C. Exhibit Maps:



D. General Projects Facts:

1. **Comprehensive Plan Map:** The Future Land Use Map is intended to serve as a *guide* for the decision-making body for the City. The Future Land Use Map indicates land use designations, it is not the actual zone. The Future Land Use Map identifies the 63.26-acre parcel, 12.74-acre parcel, 1.13-acre parcel and western portion of the 17.13-acre parcel as mixed-use. The 28.69-acre parcel, 1.86-acre parcel and eastern portion of the 17.13-acre parcel as medium density residential.



2. Surrounding Land Uses:

North	RR	Rural Residential – Ada County
South	R-4 RUT	Medium Density Residential – Kuna City Rural-Urban Transition – Ada County
East	RR	Rural Residential – Ada County
West	RUT RR	Rural-Urban Transition – Ada County Rural Residential – Ada County

3. Parcel Sizes, Current Zoning, Parcel Numbers:

Property Owner	Parcel Size	Current Zone:	Parcel Number
Go For It, LLC	63.26 acres	RR, Ada County	S1418233650
Go For it, LLC	12.74 acres	RR, Ada County	S1418234000
Select Development & Contracting, LLC	28.69 acres	RR, Ada County	R7534260350
Select Development & Contracting, LLC	1.86 acres	RR, Ada County	R7534260218
Sandstone Farms, LLC	1.13 acres	RUT, Ada County	R7534260400
Jane Golden	17.13 acres	RUT, Ada County	R7534260155
Total acres: 124.81 acres			

4. Services:

- Sanitary Sewer– City of Kuna
- Potable Water – City of Kuna
- Pressurized Irrigation – City of Kuna (KMIS)
- Fire Protection – Kuna Rural Fire District
- Police Protection – Kuna Police (Ada County Sheriff’s office)
- Sanitation Services – J & M Sanitation

5. **Existing Structures, Vegetation and Natural Features:**

The 63.26-acre parcel contains one agricultural building and historically has been farmed. The 12.74-acre parcel and 17.13-acre parcel contain features associated with a residential lot, ag buildings, and farm land. The 28.69-acre parcel and 1.86-acre parcel historically have been farmed and contain features associated with agricultural land. The 1.13-acre parcel contains a private, gravel road and cul-de-sac. The sites are relatively flat with an estimated average slope of 0%. Bedrock depth is estimated to be between 20 and 40 inches and greater than 60 inches, according to the USDA Soil Survey for Ada County.

6. **Transportation/Connectivity:**

The 17.13-acre site, 1.86-acre site, 1.13-acre site and 28.69-acre site are currently accessed via East Rodeo Lane. The 12.74-acre site and 63.26-acre site are currently accessed via North Meridian Road.

7. **Environmental Issues:**

Staff is not aware of any environmental issues, health or safety conflicts beyond the designation of being in the nitrate priority area.

8. **Agency Responses:** The following responding agency comments are included as exhibits with this case file:

- City Engineer - Exhibit B-1
- Ada County Development Services - Exhibit B-2
- Community Planning Association of Southwest Idaho - Exhibit B-3
- Ada County Highway District – Exhibit B-4

E. Staff Analysis:

A pre-application meeting was held on March 13, 2019. The applicant and Planning and Zoning staff were in attendance to discuss the proposed project. A neighborhood meeting was held by the applicant for residents with the vicinity of the proposed project on April 8, 2019. A recap of the neighborhood meeting can be found within the applicant's neighborhood meeting certification (Exhibit A2h).

The applicant proposes to annex three parcels of approximately 17.13 acres, 1.86 acres and 28.69 acres (approximately 48 total acres) into Kuna City limits with an R-4 (Medium Density Residential) zoning district, and annex three parcels of approximately 63.26 acres, 12.74 acres and 1.13 acres (approximately 77 total acres), into Kuna City limits with a C-1 (Neighborhood Commercial) zoning district. City limits are contiguous to the southern property line of the 17.13 and 28.69-acre parcels.

The applicant stated in the letter of intent that, "The reason for annexation is to plan for future development." In the future, when development is desired, the project will be required to submit for applications pertaining to the type of development.

If the annexation is approved, any future reconfiguration of the subject properties shall go through the re-platting process or a lot line adjustment as applicable to comply with KCC Title 5, Chapter 16, Special Developments. The meeting minutes from Ada County Development Services (Exhibit B2) indicate that the applicant expressed interest in a vacation within Rodeo Subdivision. Any vacation within the Rodeo Subdivision following annexation into the City will be required to comply with Kuna City Code Title 6, Chapter 6, Vacations, Dedications and Variances.

This project is adjacent to North Meridian Road and East Rodeo Lane. All major public utilities are located within approximately 300 feet of the subject sites. Development of these parcels will require connection to all city services and associated connection fees are required at time of building permit.

Staff would like to note that the ACHD Roadways to Bikeways Master Plan and City of Kuna Pathways Master Plan Map identify the future extensions of East Ardell Road and South Stroebel Road as future bike paths.

Staff has determined the annexation complies with the goals and policies for Kuna City, Title 5 and Title 6 of Kuna City Code; Idaho Code; and the Kuna Comprehensive Plan; and forwards a recommendation of approval for Case No. 19-05-AN (Annexation), subject to any conditions of approval outlined by Kuna’s Planning and Zoning Commission and City Council.

F. Applicable Standards:

1. City of Kuna Zoning Ordinance Title 5.
2. City of Kuna Subdivision Ordinance Title 6.
3. City of Kuna Comprehensive Plan.
4. Idaho Code, Title 67, Chapter 65

G. Comprehensive Plan Analysis:

The Kuna Planning and Zoning Commission may accept or reject the Comprehensive Plan components, and has determined the proposed annexation request for the sites *is* consistent with the following Comprehensive Plan components as described below:

2.0 – Property Rights

Goal 1: Ensure that the City of Kuna land use policies, restrictions, conditions and fees do not violate private property rights. Establish an orderly, consistent review process for the City of Kuna to evaluate whether proposed actions may result in a private property “takings”.

Policy: As part of a land use action review, the staff shall evaluate with guidance from the City’s attorney; The Idaho Attorney General’s six criteria established to determine the potential for property taking.

6.0 – Land Use

Policy: Provide a variety of housing densities and types to accommodate various lifestyles, ages and economic groups.

Goal 2: Encourage a balance of land uses to ensure that Kuna remains desirable, stable and a self-sufficient community.

Objective 2.1: Ensure that neighborhoods have easy access to open green space, pathways, trails and bike lanes.

H. Kuna City Code Analysis:

1. This request *appears* to be consistent and in compliance with all Kuna City Code (KCC).

Comment: *The proposed application adheres to the applicable requirements of Title 5 and Title 6 of KCC.*

2. These applications *are not* likely to cause adverse public health problems.

Comment: *The project would connect to public sewer and potable water systems, therefore eliminating the occurrence of adverse public health problems.*

I. Commission’s Recommendation:

Based on the facts outlined in staff’s report and public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby recommends *approval* of Case No. 19-05-AN (Annexation), an annexation request from Larry Hansen, on behalf of Go For It, LLC, Select Development & Contracting, Jane Golden and Sandstone Farms, LLC, to annex approximately 124.81 acres into Kuna City limits, with the following conditions of approval:

- ***Staff shall make the corrections in Section “E” of the staff report with regards to the zoning and acreage totals that are going into each zone.***

1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the drainage and development plans. All site improvements are prohibited prior to approval of the following agencies:
 - a. The City Engineer shall approve the sewer hook-ups.
 - b. The City Engineer shall approve all civil plans. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan from the City Engineer.
 - c. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties".
 - d. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District are required.
 - e. The Kuna Municipal Irrigation System and Boise Project Board of Control shall approve any modifications to the existing irrigation system.
 - f. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
 - g. All public rights-of-way shall be dedicated and constructed to standards of the City and Ada County Highway District. No public street construction may commence without the approval and permit from Ada County Highway District.
2. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see **KCC 6-4-2-W**.
3. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
4. When required, submit a petition to the City (as necessary, confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and request to annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation system of the City (KMIS).
5. Any and all vacations within the Rodeo Subdivision following annexation into the City shall comply with Kuna City Code Title 6, Chapter 6.
6. Any future reconfiguration of the subject properties shall go through the re-platting process or a lot line adjustment as applicable.
7. Curb, gutter and detached sidewalk shall be installed throughout the proposed project sites and along the sites' frontages on North Meridian Road and East Rodeo Lane.
8. The developer/owner/applicant, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through public hearing processes.
9. Developer/owner/applicant shall follow staff, City engineers and other agency recommended requirements as applicable.
10. Developer/owner/applicant shall comply with all local, state and federal laws.

DATED this 23rd day of July, 2019.



City of Kuna
Planning and Zoning Commission
Findings of Fact and Conclusions of Law

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

Based upon the record contained in Case No. 19-05-AN (annexation) including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, exhibits, and the testimony during the public hearing, the Kuna Planning and Zoning Commission hereby *recommends approval of* the Findings of Fact and Conclusions of Law, and conditions of approval for Case No. 19-05-AN, a request from Larry Hansen to annex approximately 125 acres into Kuna City limits with C-1 and R-4 zoning districts.

1. *Based on the evidence contained in Case No. 19-05-AN, this proposal does generally comply with the City Code.*

Staff Finding: *The applicant has submitted a complete application, and following staff review for technical compliance the application appears to be in general compliance with Kuna City Code Title 5.*

2. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

Staff Finding: *Neighborhood notices were mailed to residents within 400-ft of the proposed project site on April 8, 2019 and a legal notice was published in the Kuna Melba Newspaper on June 12, 2019. The applicant posted a sign on the property on May 25, 2019.*

3. *Based on the evidence contained in Case No. 19-05-AN, this proposal does generally comply with the Comprehensive Plan.*

Staff Finding: *The Comprehensive Plan has listed numerous goals for providing a variety of housing densities that will accommodate various lifestyles, ages and economic groups in Kuna. The proposed zoning districts are C-1 (Commercial) and R-4 (Medium Density Residential). The Comprehensive Plan Map designates these properties as medium density residential and mixed-use.*

4. All private landowners have consented to annexation.

Staff Finding: *Affidavits of legal interest were signed by Jane Golden, Select Development, LLC, Sandstone Farms, LLC, and Russell Hunemiller, allowing Larry Hansen to act on their behalf for this project, therefore consenting to the annexation of the proposed project site.*

5. The proposed project lands are contiguous or adjacent to property within Kuna City Limits.

Staff Finding: *The 17-acre (approximate) and 29-acre (approximate) parcels are contiguous with City limits to the south.*

DATED this 23rd day of July, 2019.

Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST:

Sam Weiger, Planner I
Kuna Planning and Zoning Department



City of Kuna

P.O. Box 13
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P&Z Findings of Fact & Conclusions of Law

To: Kuna Planning and Zoning Commission acting as the Design Review Committee

File Numbers: 19-10-DR (Design Review)

Location: Future Lot 26, Block 5
Memory Ranch Sub. No. 3.
Meridian, Idaho 83642

Planner: Troy Behunin, Planner III

Hearing date: July 1, 2019
Special Meeting

Owner: **Trilogy Development**
Shawn Brownlee
9839 W. Cable Car
Suite 101
Boise, ID 83709
208.895.8858
Shawn@trilogydco.com

Architect: **TAO Architects**
Rob TeBeau
499 Main St.
Boise, ID 83702
208.639.6407
rob@taoidaho.com

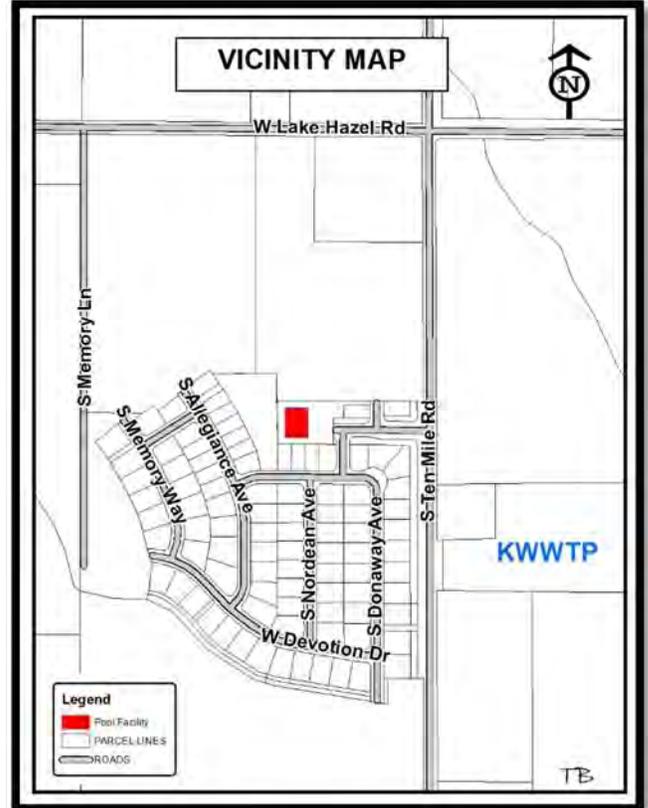


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| B. Applicants Request | G. Applicable Standards |
| C. Aerial map | H. Comprehensive Plan Analysis |
| D. History | I. Decision by the Commission |
| E. General Project Facts | |

A. Course of Proceedings:

1. According to Kuna City Code (KCC) Title 5, Chapter 4, Section 2 (Design Review); all new commercial projects and parking lots are required to submit an application for review by the Planning and Zoning Commission. As a public meeting item, this action requires no formal public noticing actions.

a. Notifications

- | | |
|------------------------|---------------|
| i. Completeness Letter | June 26, 2019 |
| ii. Agenda | July 1, 2019 |

B. Applicants Request:

Rob TeBeau, with TAO Architects Idaho, requests Design Review (DR) approval to construct a pool house, one pool, and an accompanying a parking lot with seven stalls.

C. Aerial Map:



D. History: The property is within City limits and is currently zoned R-6 (Medium Density Residential). The Memory Ranch Subdivision was approved on October 6, 2015. This property had historically been used for agricultural purposes until 2016 when construction on the subdivision began. The Pool and Pool house will be on lot 26, block 5, in Phase three Memory Ranch.

E. General Projects Facts:

1. Surrounding Land Uses:

North	R-6	Medium Density Residential – Kuna City
South	R-6	Medium Density Residential – Kuna City
East	R-6	Medium Density Residential – Kuna City
West	R-6	Medium Density Residential – Kuna City

2. Parcel Sizes, Current Zoning, Parcel Numbers:

- Approximately .91 acres (currently, it may change once platted)
- Zoning: R-6 (Medium Density Residential)
- Parcel # S1303111910, (until platted)

3. Services:

Sanitary Sewer – City of Kuna	Potable Water – City of Kuna
Pressurized Irrigation – Kuna Municipal System (KMIS)	Fire Protection – Kuna Rural Fire District
Police Protection – Kuna Police (Ada County Sheriff’s office)	Sanitation Services – J & M Sanitation

4. **Existing Structures, Vegetation and Natural Features:**

There are no structures or vegetation on the subject site. This site has been graded and prepped for development and is generally flat.

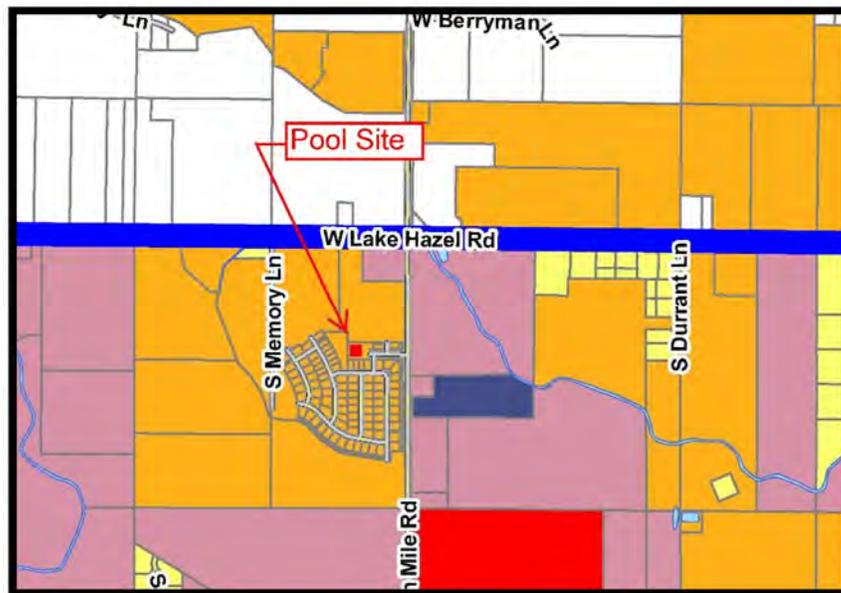
5. **Transportation / Connectivity:**

Vehicle ingress/egress will become available with the future construction of Memory Ranch Subdivision No. 3's construction via a public road.

6. **Environmental Issues:**

The subject site lies within the designated Nitrate Priority Area (NPA). Beyond the NPA, staff is not aware of any additional environmental issues, health or safety conflicts.

7. **Comprehensive Future Land Use Map:** The Future Land Use Map (FLU) identifies this site as Medium Density Residential.



F. **Staff Analysis:**

The pool, pool house is planned for future Lot 26, Block 5 of Memory Ranch Subdivision No. 3. Staff has reviewed the application and finds that the proposed pool house, pool, and parking lot satisfy the intent of Kuna's Codes and conform to the Kuna architecture guidelines and parking standards and should blend in well with the current architectural theme the builder has established.

Staff finds that the proposed pool house building height, masonry and asphalt shingle-roof generally appears to conform to Kuna City Code Title 5, Chapter 4, Design Review Overlay District. The proposed structure appears to comply with Kuna City Code. It was not apparent to staff how the applicant plans to treat trash collection. Staff also recommends a bike rack to provide parking for at least six (6) bikes be provided. Staff recommends at least one street light be provided in the parking lot.

The applicant proposes seven off-street parking stalls on the lot. Staff finds that the proposed number of parking spaces appears to meet the requirements specified in Kuna City Code (KCC) 5-9-3. With the proposed size of the pool, staff recommends that at least one more stall be added. Staff also notes KCC states the minimum depth for stalls is 20' rather than the proposed 17'. Staff recommends that stalls be placed following KCC. Staff notes the applicant will be required to have all drainage and storm water retention plans reviewed and approved by the City Engineer.

The applicant is hereby notified that this project is subject to a Design Review inspection and fees for the building and parking lot. Required inspections, post construction, are to verify Design Review compliance for the buildings, parking lot and lighting.

Staff has determined that this application complies with Kuna City Code; Kuna Comprehensive Plan; and the Future Land Use Map. Staff forwards a recommendation of approval for Case No. 19-10-DR (Design Review) to the Planning and Zoning Commission, subject to the recommended conditions of approval.

G. Applicable Standards:

1. Kuna City Code, Title 5, Zoning Regulations
2. City of Kuna Comprehensive Plan
3. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act

H. Decision by the Commission:

The decision is based on the facts outlined in staff's report, the case file, and the discussion at the public meeting. The Planning and Zoning Commission (acting as Design Review Committee) of Kuna, Idaho, hereby approves Case No. 19-10-DR, a Design Review request by Rob TeBeau to construct a pool house, pool, accompanying lighting and a parking lot, with the following conditions of approval:

- *Follow the conditions as outlined in the staff report,*
- *Applicant shall lengthen the parking stalls to maintain the City Code,*
- *Applicant shall provide seven (7) parking stalls.*
- *Applicant shall work with J&M Sanitation for a trash enclosure or tip cart area.*

1. The applicant shall follow all requirements for sanitary sewer, potable water, irrigation system connections, and all other requirements of the Kuna Public Works Department.
2. The applicant shall obtain written approval of the construction plans from the agencies noted below. The approval may be either on agency letterhead referring to the approved use or may be written or stamped upon a copy of the approved plans. All site improvements are prohibited prior to approval of these agencies and the issuance of a building permit:
 - a. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the civil plan.
 - b. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District is required.
 - c. The KMID Irrigation District shall approve any modifications to the existing irrigation system.
 - d. Approval from Ada County Highway District / Impact Fees, if any shall be paid prior to building permit approval.
3. The City Engineer shall review and approve all civil plans and sewer hook-ups.
4. The applicant shall obtain separate electrical and plumbing permits **prior** to construction.
5. This development is subject to building design review inspections **prior** to receiving a certificate of occupancy. Design review inspection fees shall be paid prior to requesting staff inspection.
6. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the Planning and Zoning Commission, or seek amending them through the Design Review process.
7. Applicant shall provide 8 stalls for parking, parking stall and drive aisle sizes shall follow KCC.
8. Applicant shall provide a bike rack to house at least six (6) bikes.
9. Applicant shall provide at least one street light in the parking lot.
10. Applicant shall follow staff, City engineer and other agency recommended requirements, as applicable.
11. Applicant shall comply with all local, state and federal laws.



City of Kuna
Planning and Zoning Commission
Findings of Fact and Conclusions of Law

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
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I. Based upon the record contained in Case No. 19-10-DR including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, including the exhibits, the Kuna Commission hereby *approves the* of the Findings of Fact and Conclusions of Law, and conditions of approval for Case No. 19-10-DR (Design Review), a request for design review approval for a pool, pool house and parking lot.

1. Based on the evidence contained in Case No. 19-10-DR, this proposal generally complies with the City Code.

Finding: *The applicant has submitted a complete application, and following staff review for technical compliance, the application appears to be in general compliance with the design requirements listed in Kuna City Code Title 5.*

2. The contents of the proposed design Review application contains all of the necessary requirements as listed in Kuna City Code 5-4-9: - Design Review Application Required.

Finding: *Review by Staff and the Commission of the proposed Design Review confirms all applicable requirements listed in KCC 5-4-9 were provided.*

3. The parking lot site plan design minimizes the impact of traffic on adjacent streets, and provide appropriate, safe vehicle parking.

Finding: *The parking lot is a private parking lot that serves the residents of the Memory Ranch Subdivision – all phases. The parking lot will be accessed via a public street connection with phase 3 construction. The applicant has proposed seven off-street stalls, which provides pedestrians safe access to and from the pool. Staff recommends an additional stall be added for a total of eight stalls. Applicant shall follow stall and aisle design standards listed in KCC.*

4. The site landscaping minimizes the impact on adjacent properties.

Finding: *The applicant has proposed a landscape buffer including trees, shrubs and a wrought iron fence. The proposed landscaping is in conformance with Kuna City Code, and minimizes impact on adjacent uses.*

5. On-site grading and drainage *are* designed to maximize land use benefits and minimize off-site impact.

Finding: *The applicant proposes a storm drain in the parking lot. The applicant is required to have all civil plans reviewed and approved by the Kuna City Engineer prior to construction in order to ensure that the drainage benefits the land use and minimizes off-site impact.*

DATED this 23rd day of July, 2019.

Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST:

Troy Behunin, Planner III
Kuna Planning and Zoning Department



City of Kuna

Planning and Zoning Commission

Staff Report

P.O. Box 13
Kuna, ID 83634
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www.Kunacity.Id.gov

To: Planning and Zoning Commission
(acting as Design Review Committee)

Case Numbers: 19-21-DR (Design Review)
Panda Express

Location: 1311 North Jacksonmill Avenue,
Kuna, ID 83634

Planner: Sam Weiger, Planner I

Meeting Date: July 23, 2019

Owner: SDN, LLC
P.O. Box 1939
Eagle, ID 83616

Applicant: Panda Express, Inc.
1683 Walnut Grove Avenue
Rosemead, CA 91770
916.205.7566
Michael.cadell@pandaRG.com

Representative: CRM Architects & Planners
5800 Stanford Ranch Road, Ste 720
Rocklin, CA 95765
559.903.0336
lupeS@CRMArchitects.com



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| A. Course Proceedings | D. Staff Analysis |
| B. Applicant's Request | E. Applicable Standards |
| C. General Project Facts | F. Proposed Decision by the Commission |

A. Course of Proceedings:

1. According to Kuna City Code (KCC) Title 5, Chapter 4 (Design Review), all new commercial buildings with landscaping, a parking lot and lighting are required to submit an application for review by the Planning and Zoning Commission. As a public meeting item, this action requires no formal public noticing actions.

a. Notifications

- | | |
|--------------------------|---------------|
| i. Completeness Letter | June 28, 2019 |
| ii. Agency Notifications | June 28, 2019 |
| iii. Agenda | July 23, 2019 |

B. Applicant’s Request:

On behalf of Panda Express, Inc., CRM Architects & Planners requests approval of design review for a new approximately 2,381 square-foot *Panda Express* restaurant, including landscaping, lighting and a parking lot, within Ashton Estates subdivision No. 1, Lot 5 Block 1, at 1311 North Jacksonmill Avenue, Kuna, Idaho 83634.

C. General Projects Facts:

1. **Comprehensive Plan Designation:** The Comprehensive Plan Future Land Use Map identifies this project location as Commercial.

2. **Surrounding Land Uses:**

North	C-1	Neighborhood Commercial – Kuna City
South	R-6	Medium Density Residential – Kuna City
East	R-6	Medium Density Residential – Kuna City
West	C-1	Neighborhood Commercial – Kuna City

3. **Parcel Sizes, Current Zoning, Parcel Numbers:**

- 1.162 (approximate) acres
- C-1 (Neighborhood Commercial)
- Parcel No. R0539760100

4. **Services:**

- Sanitary Sewer – City of Kuna
- Potable Water – City of Kuna
- Pressurized Irrigation – City of Kuna (KMIS)
- Fire Protection – Kuna Rural Fire District
- Police Protection – Kuna City Police (Ada County Sheriff’s office)
- Sanitation Services – J&M Sanitation

5. **Existing Structures, Vegetation and Natural Features:**

The site consists of a vacant lot with low vegetation.

6. **Transportation / Connectivity:**

The applicant proposes one driveway access from Parcel No. R0539760080 (the parcel north of the subject site).

7. **Environmental Issues:**

The subject site lies within the designated Nitrate Priority Area (NPA). Beyond the NPA, staff is not aware of any additional environmental issues, health or safety conflicts.

D. Staff Analysis:

The driveway access to the north of the subject site is not on the *Panda Express*’ lot. A recorded cross-access agreement is required, which provides uninterrupted vehicle access to the lot. Additionally, staff would like to note that the trash enclosure is on the subject property, so no formal agreement will be required for the trash enclosure.

The applicant has been in communication with J&M Sanitation regarding the trash enclosure. The applicant will be required to build the solid waste enclosure to comply with Kuna City Code 5-5-6.

The submitted elevations indicate that the building will have four wall signs (one wall sign on each building elevation). The wall signs will require a Sign Permit. Additionally, the letter of intent indicates that the building will include a drive-thru service lane. If the applicant desires to install a drive-thru/drive-up service menu board sign, a separate design review application will be required for the menu board. The wall signs are in conformance with Kuna City Code 5-10-4.

The applicant is subject to design review inspections and fees, for compliance verification of the building façade, parking lot and landscaping, prior to the Certificate of Occupancy being issued.

With the recommended and required changes, staff has determined that the application generally complies with Title 5 and 6 of KCC; Idaho Code; the Kuna Architecture guidelines and the Comprehensive Plan; Staff forwards a recommendation of approval for Case No. 19-21-DR to the Planning and Zoning Commission, subject to the recommended conditions of approval listed in section “F” of this report.

E. Applicable Standards:

1. Kuna City Code, Title 5
2. Kuna City Code, Title 6
3. City of Kuna Comprehensive Plan
4. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act

F. Proposed Order of Decision by the Planning and Zoning Commission:

Note: This proposed motion is for (approval, conditional approval or denial) of this request. If the Planning and Zoning Commission wishes to change specific parts of the request as detailed in the report, those changes must be specified.

Based on the facts outlined in staff’s report, the case file and discussion at the public meeting, the Planning and Zoning Commission of Kuna, Idaho, hereby (approves/conditionally approves/denies) Case No. 19-21-DR, a design review request to construct a new 2,381 square-foot Panda Express restaurant, including landscaping, lighting and a parking lot, with the following conditions of approval:

1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
 - a. The City Engineer shall approve the sewer hook-ups.
 - b. The City Engineer shall approve all civil plans. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
 - c. The applicant shall provide the subsurface seepage bed design with supporting calculations to the City Engineer’s office prior to commencement of construction. Storm Water shall be managed on site.
 - d. The Kuna Fire District shall approve fire flow requirements. Installation of fire protection facilities as required by Kuna Fire District are required.
 - e. The Kuna Public Works Department and Boise Project Board of Control shall approve any modifications to the existing irrigation system.
 - f. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
 - g. All public rights-of-way shall be dedicated and constructed to standards of the City and Ada County Highway District. No public street construction may commence without the approval and permit from Ada County Highway District.
2. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see **KCC 6-4-2-W**.
3. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
4. Street lights and parking lights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Skies practices.
5. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace any unhealthy or dead plant material immediately or as the planting season permits, as required

to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with a license agreement from the public and/or private entities owning the property.

6. All signs shall be permitted with the City of Kuna. All work shall be inspected by the appropriate staff.
7. The applicant shall provide a recorded cross-access agreement (which provides uninterrupted vehicle access to the lot) to the City.
8. The applicant shall build the trash enclosure to comply with Kuna City Code, Title 5, Chapter 5.
9. The proposed driveway shall be installed according to the City, ITD and ACHD's access management standards to comply with Kuna City Code Title 6, Chapter 4, Improvement Standards.
10. The developer/owner/applicant and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the Planning and Zoning Commission, or seek amending them through the design review process.
11. Developer/owner/applicant shall follow staff, City engineers and other agency recommended requirements.
12. Developer/owner/applicant shall comply with all local, state and federal laws.

DATED this 23rd day of July, 2019.

received
7.1.19



City of Kuna
Planning & Zoning
Department
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website: www.kunacity.id.gov

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	19-21-DR
Project name	Panda Express
Date Received	7/1/19
Date Accepted/Complete	
Cross Reference Files	
Commission Hearing Date	
City Council Hearing Date	

Contact/Applicant Information

Owners of Record: <u>SDN, LLC</u>	Phone Number: <u>-</u>
Address: <u>P.O. Box 1939</u>	E-Mail: <u>ashton.homes@hotmail.com</u>
City, State, Zip: <u>Eqale, ID 83616</u>	Fax #: <u>-</u>
Applicant (Developer): <u>Panda Express</u>	Phone Number: <u>(916) 205-7566</u>
Address: <u>1683 Walnut Grove Ave.</u>	E-Mail: <u>Michael.Cadell@PandaRG.com</u>
City, State, Zip: <u>Rosemead CA 91770</u>	Fax #: <u>(626) 372-8952</u>
Engineer/Representative: <u>CRM Architects & Planners</u>	Phone Number: <u>(559) 903-0336</u>
Address: <u>5800 Stanford Ranch Rd Ste 720,</u>	E-Mail: <u>LupeS@CRMArchitects.com</u>
City, State, Zip: <u>Rocklin, CA 95765</u>	Fax #: <u>(916) 451-1600</u>

Subject Property Information

Site Address: <u>1311 N. Jacksonmill Ave</u>
Site Location (Cross Streets): <u>SEC N. Meridian Rd & Deer Flat Rd</u>
Parcel Number (s): <u>R0539760100</u>
Section, Township, Range: <u>Section 19, Township 2 North, Range 1 East</u>
Property size: <u>50,616 sq. ft.</u>
Current land use: <u>Undeveloped</u> Proposed land use: <u>Commercial</u>
Current zoning district: <u>C-1</u> Proposed zoning district: <u>C-1</u>

Project Description

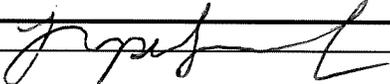
Project / subdivision name: Panda Express Restaurant in Ashton Estates
 General description of proposed project / request: New construction of a Panda Express Restaurant with Drive-thru
 Type of use proposed (check all that apply):
 Residential _____
 Commercial Restaurant with Drive-thru
 Office _____
 Industrial _____
 Other _____
 Amenities provided with this development (if applicable): _____

Residential Project Summary (if applicable)

Are there existing buildings? Yes No
 Please describe the existing buildings: _____
 Any existing buildings to remain? Yes No
 Number of residential units: _____ Number of building lots: _____
 Number of common and/or other lots: _____
 Type of dwellings proposed:
 Single-Family _____
 Townhouses _____
 Duplexes _____
 Multi-Family _____
 Other _____
 Minimum Square footage of structure (s): _____
 Gross density (DU/acre-total property): _____ Net density (DU/acre-excluding roads): _____
 Percentage of open space provided: _____ Acreage of open space: _____
 Type of open space provided (i.e. landscaping, public, common, etc.): _____

Non-Residential Project Summary (if applicable)

Number of building lots: 1 Other lots: N/A
 Gross floor area square footage: 2381 sq. ft. Existing (if applicable): N/A
 Hours of operation (days & hours): 10am-10pm all Building height: 23'-6"
 Total number of employees: 6 total Max. number of employees at one time: 3 max
 Number and ages of students/children: 0 Seating capacity: 68
 Fencing type, size & location (proposed or existing to remain): Not applicable
 Proposed Parking:
 a. Handicapped spaces: 2 Dimensions: 9'-6" x 20'
 b. Total Parking spaces: 66 Dimensions: 9'x20'
 c. Width of driveway aisle: 22'-0" + 24'-0"
 Proposed Lighting: *See sheet E-106
 Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.):
See landscape plan sheet L1.0

Applicant's Signature:  Date: 7/1/2019



City of Kuna Design Review Application

P.O. Box 13
Kuna, Idaho 83634
(208) 922.5274
Fax: (208) 922.5989
Website: www.kunacity.id.gov

FILE NO.: 19-21-DR

CROSS REF.: _____

FILES: _____

The City of Kuna has adopted a Design Review process whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in the Design Review Ordinance No. 2007-02 and the Architecture and Site Design Booklet. Both of these documents can be found online (www.cityofkuna.com) or are picked up in the City's Planning and zoning department is located at 763 W Avalon, Kuna ID. Staff is glad to assist you with your application form.

The Design Review application applies to the following land use actions:

- ▶ Multi-family dwellings (3 or more)
- ▶ Commercial
- ▶ Industrial
- ▶ Institutional
- ▶ Office
- ▶ Common Area
- ▶ Subdivision Signage
- ▶ Proposed Conversions
- ▶ Proposed changes in land use and/or building use or exterior remodeling
- ▶ Exterior restoration, and enlargement or expansion of existing buildings, signs or sites.

Application Submittal Requirements

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	Date of pre-application meeting : <u>6/11/2019</u> <i>Note: Pre-Applications are valid for a period of three (3) months.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	A complete Design Review Application form <i>Note: It is the applicant's responsibility to use a current application.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with Design Review standards.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	One (1) Vicinity Map (8 ½" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	One 8 ½" x 11" colored aerial photo depicting proposed site, street names, and surrounding area within five-hundred feet (500').	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Copy of Deed; and, if the applicant is not the owner, an original notarized statement (affidavit of legal interest) from the owner (and all interested parties) stating the applicant is authorized to submit this application.	<input type="checkbox"/>

B2



Detailed site, landscape, drainage plan, elevation and to scale. *(No smaller than 1"=30', unless otherwise approved.)*

One of each plan (site, landscape, drainage plan and elevations) is required to be submitted in the following plan sizes:

- (1) 24" X 36" TO SCALE COPIES
- (1) 11" X 17" REDUCTIONS
- (1) 8 1/2" x 11" REDUCTIONS



Provide a color rendering and material sample board specifically noting where each color and material is to be located on the structure.

Note: Provide photo of the colored rendering and material samples board to City Staff electronically in a JPG or PDF format.

The Applicant is obligated to provide a site plan that graphically portrays the site and includes the following features:

Site Plan

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	North Arrow	<input type="checkbox"/>
<input checked="" type="checkbox"/>	To scale drawings	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Property lines	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of "Plan Preparer" with contact information	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of project and date	<input type="checkbox"/>
<input type="checkbox"/>	Existing structures, identify those which are to be relocated or removed	<input type="checkbox"/>
<input checked="" type="checkbox"/>	On-site and adjoining streets, alleys, private drives and rights-of-way	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Drainage location and method of on-site retention / detention	<input type="checkbox"/>
<input type="checkbox"/>	Location of public restrooms	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Existing / proposed utility service and any above-ground utility structures and their location	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and width of easements, canals and drainage ditches	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and dimension of off-street parking	<input type="checkbox"/>
<input type="checkbox"/>	Locations and sizes of any loading area, docks, ramps and vehicle storage or service areas	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Trash storage areas and exterior mechanical equipment, with proposed method of screening	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Sign locations <i>(a separate sign application must be submitted with this application)</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	On-site transportation circulation plan for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Locations and uses of ALL open spaces	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Locations, types and sizes of sound and visual buffers <i>(Note: all buffers must be located outside the public right-of-way)</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Locations of subdivision lines <i>(if applicable)</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input type="checkbox"/>	Location of walls and fences and indication of their height and material of construction	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Roofline and foundation plan of building, location on the site	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and designations of all sidewalks	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and designation of all rights-of-way and property lines	<input type="checkbox"/>

Landscape and Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscaped and streetscape plans must be colored. The Planning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	North Arrow	<input type="checkbox"/>
<input checked="" type="checkbox"/>	To scale drawings	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Boundaries, property lines and dimensions	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of "Plan Preparer" with contact information	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of project and date	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Type and location of all plant materials and other ground covers. <i>Please review the City's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of all proposed landscape materials at the time of planting, and at maturity. A list of acceptable trees is available upon request from City Planning Staff. If there are any questions, please contact the City Forester, Natalie Reeder, at 208.880.0953</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Method of irrigation. <i>Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance.</i>	<input type="checkbox"/>
<input type="checkbox"/>	Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fences, fountains street/pathway furniture (benches, etc.), etc.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Sign locations <i>Note: A separate sign application must be submitted with this application</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Locations and uses for open spaces	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and designations of all sidewalks	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved design review application, a detailed site grading and drainage plan, prepared by a registered professional engineer (PE) shall be submitted to the City for review and approval by the City Engineer.	<input type="checkbox"/>

Building Elevations

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	Detailed elevation plans of each side of any proposed building(s) or additions(s) <i>Note: Four (4) elevations to include all sides of development and must be in color</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Identify the elevations as to north, south, east, and west orientation	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Colored copies of all proposed building materials and indication where each material and color application is to be located <i>Note: Submit as 11"x17" reductions</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Screening/treatment of mechanical equipment	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Provide a cross-section of the building showing any roof top mechanical units and their roof placement	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Detailed elevation plans showing the materials to be used in construction of trash enclosures	<input type="checkbox"/>

Lighting Plan

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	Exterior lighting including detained cut sheets and photometric plan (pedestrian, vehicle, security, decoration)	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Types and wattage of all light fixtures <i>Note: The City encourages use of "dark sky" lighting fixtures</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Placement of all light fixtures shown on elevations and landscaping plans	<input type="checkbox"/>

Roof Plans

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	Size and location of all roof top mechanical units	<input type="checkbox"/>

Design Review Application

Applicant: Panda Express Inc. Phone: (916) 205-7566

Owner Representative Fax/Email: Michael.Cadell@PandaRG.com

Applicant's Address: 1683 Walnut Grove Ave, Rosemead, CA

Zip: 91770

Owner: SDN, LLC an Idaho Limited Liability Co. by Donald Newell Phone: _____

Owner's Address: P.O. Box 1939 Email: _____

Eagle, ID Zip: 83616

Represented By: *(if different from above)* CRM Architects & Planners Phone: (559) 903-0336

Address: 5800 Stanford Ranch Rd Ste 720 Email: LupeS@CRMArchitects.com

Zip: _____

Address of Property: SEC N. Meridian Rd & Deer Flat Rd, Kuna, ID 83634

R0539760100 Zip: _____

Distance from Major Cross Street: Adjacent Street Name(s): HWY 69

Please check the box that reflects the intent of the application

- BUILDING DESIGN REVIEW DESIGN REVIEW MODIFICATION
 SUBDIVISION / COMMON AREA LANDSCAPE STAFF LEVEL APPLICATION

This Design Review application is a request to construct, add or change the following: *(Briefly explain the nature of the request.)*

A 2,381sf Panda Express Restaurant and Drive-Through will be constructed on Lot 5, BLK 1 subdivision No. 1 of the Ashton Estates Commercial Phase 1

1. Dimension of Property: 50,614sf
2. Current Land Use(s): Undeveloped
3. What are the land uses of the adjoining properties?
 - North: Future retail
 - South: Future retail
 - East: Future city park
 - West: HWY 69
4. Is the project intended to be phased, if so what is the phasing time period? Not phased
Please explain: Not applicable

5. The number and use(s) of all structures: One Panda Express Restaurant with Drive-thru for sale of express gourmet Chinese food.

6. Building heights: 23' - 6" Number of stories: 1

The height and width relationship of new structures shall be compatible and consistent with the architectural character of the area and proposed use.

Note: The maximum building height for each zoning district is as follows:

L-O: 35'	C-2: 60'	CBD: 80'	M-2: 60'	P: 60'
C-1: 35'	C-3: 60'	M-1: 60'	M-3: 60'	

7. What is the percentage of building space on the lot when compared to the total lot area? 4.7%
8. Exterior building materials & colors: *(Note: This section must be completed in compliance with the City of Kuna Ordinance No. 2007-21A (as amended); found online at www.cityofkuna.com under the City Code.*

MATERIAL

COLOR

Roof: TPO membrane - parapeted / white

Walls: *(State percentage of wall coverage for each type of building material below for each frontage wall) If there is not adequate space to identify the various building materials and applications, please list them on the attached sheet of this application. Please attach photos to support application types.*

% of Wood application: Wood composite 12% / _____

% EIFS: EIFS 52% / _____
(Exterior Insulation Finish System)

% Masonry: Cultured stone wainscot and pilaster features 12%

% Face Block: n/a / _____

% Stucco: n/a / _____

& other material(s): _____ / _____

List all other materials: _____

Windows/Doors: Dark bronze anodized aluminum storefront glazed entry and windows, hollow metal service
(Type of window frames & styles / doors & styles, material) doors paint to match adjacent 20%

Soffits and fascia material: _____ / _____

Trim, etc.: Break metal trim and wall trellises dark bronze color 4%

Other: _____ / _____

9. Please identify Mechanical Units: (3) Carrier HVAC Units & (1) Make-Up Air Unit by Caprive-Aire
Type/Height: Carrier HVAC Units o/ curbs

Proposed Screening Method: Parapet walls will screen mechanical units located at roof-well.

10. Please identify trash enclosure: *(size, location, screening & construction materials)* Trash enclosure 14'x 25' will be built with masonry CMU walls and finished with EIFS to match main building body color.

11. Are there any irrigation ditches/canals on or adjacent to the property? No

If yes, what is the name of the irrigation or drainage provider? N/A

12. Fencing: *(Please provide information about new fencing material as well as any exiting fencing material)*
No fencing to be installed for this development.

Type: N/A

Size: N/A

Location: N/A

(Please note that the City has height limitations of fencing material and requires a fence permit to be obtained prior to installation)

13. Proposed method of On-site Drainage Retention/Detention:
Underground storm drainage detention system. See civil drawings.

14. Percentage of Site Devoted to Building Coverage: 5% (2,381 Sq. Ft.)

% of Site Devoted to Landscaping: <i>(Including landscaped rights-of-way)</i>	<u>25%</u>	Square Footage:	<u>12,440 Sq. Ft.</u>
--	------------	-----------------	-----------------------

% of Site that is Hard Surface: <i>(Paving, driveways, walkways, etc.)</i>	<u>70%</u>	Square Footage:	<u>35,795 sq. Ft.</u>
---	------------	-----------------	-----------------------

% of Site Devoted to other uses:	<u>N/A</u>		
----------------------------------	------------	--	--

Describe: N/A

% of landscaping within the parking lot (landscaped islands, etc.): _____

15. For details, please provide dimensions of landscaped areas within public rights-of-way:
See Architectural Site Plan Sheet A-100 for dimensioned landscape areas and Landscape Plan LI-0

16. Are there any existing trees of 4" or greater in caliper on the property? *(Please provide the information on the site plans.)*
If yes, what type, size and the general location? *(The City's goal is to preserve existing tree with greater than a four inch (4") caliper whenever possible):*

There are no existing trees on the property

17. Dock Loading Facilities:
Number of docking facilities and their location: No docking facilities

Method of screening: N/A

18. Pedestrian Amenities: *(bike racks, receptacles, drinking fountains, benches, etc.)* Bike Rack being provided for 2-4 bikes.

19. Setbacks of the proposed building from property lines:

Front 92' -feet Rear 77' -feet Side 27' -feet Side 154' -feet

20. Parking requirements: 12

Total Number of Parking Spaces: 66 Width and Length of Spaces: 9'x20'

Total Number of Compact Spaces 8'x17': No compact spaces

21. Is any portion of the property subject to flooding conditions? Yes _____ No X

IF THE PLANNING DIRECTOR OR DESIGNEE, THE DESIGN REVIEW BOARD AND/OR THE CITY COUNCIL DETERMINE THAT ADDITIONAL AND/OR REVISED INFORMATION IS NEEDED, AND/OR IF OTHER UNFORESEEN CIRCUMSTANCES ARISE, ANY DATES OUTLINED FOR PROCESSING MAY BE RECHEDULED BY THE CITY. APPLICANT/REPRESENTATIVE MUST ATTEND THE DESIGN REVIEW BOARD MEETING/PLANNING AND ZONING MEETINGS.

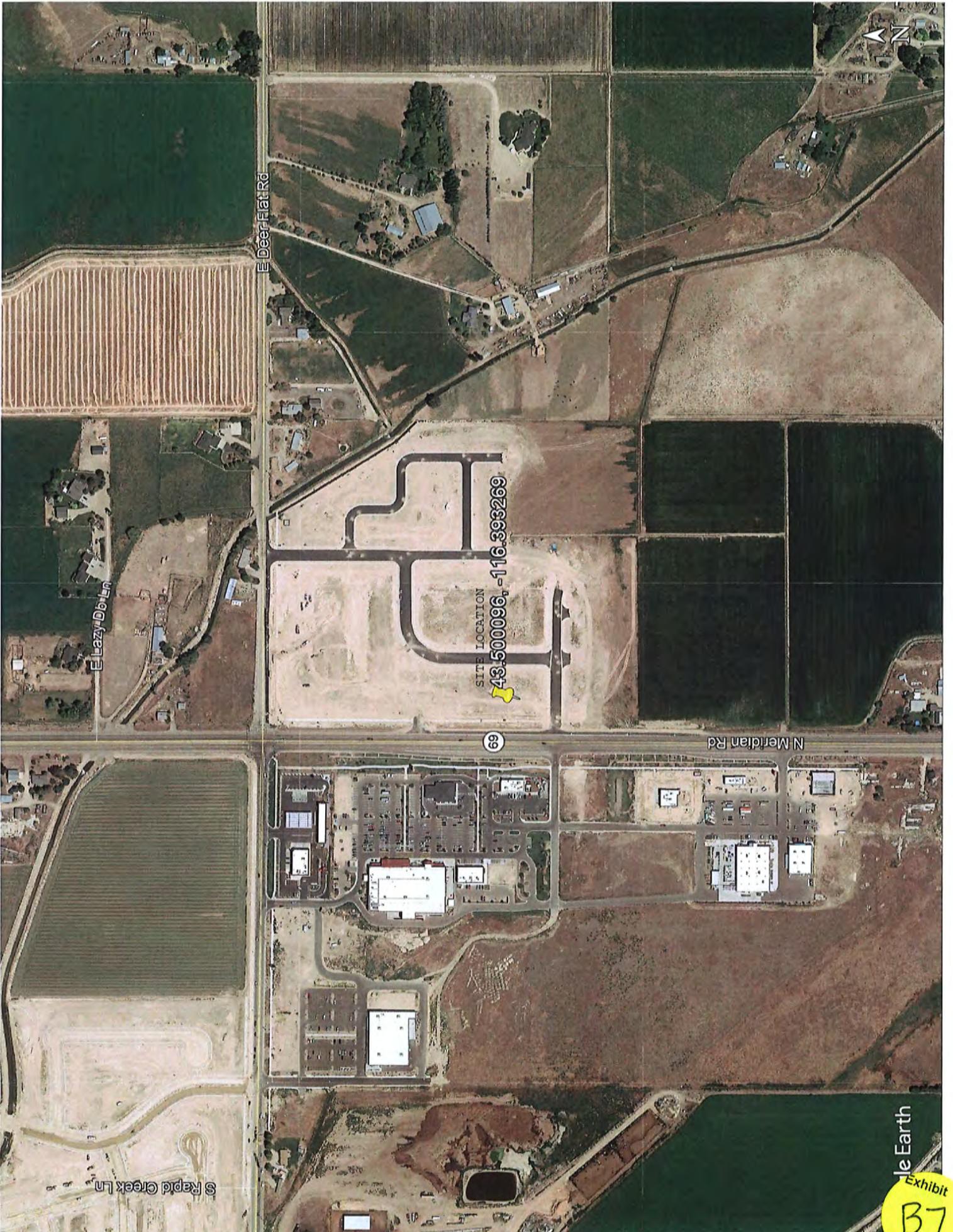
The Ada County Highway District may also conduct public meetings regarding this application. If you have questions about the meeting date or the traffic that this development may generate or the impact of that traffic on streets in the area, please contact the Ada County Highway District at 208.387.6170. In order to expedite your request, please have ready the file number indicated in this notice.

Signature of Applicant  Date 06/17/2019

City staff comments:

Signature of receipt by City Staff _____ Date _____

FOR ADDITIONAL INFORMATION:
(Please list page number and item in reference)



E Deer Flat Rd

E Lazy Doble Ln

S Rapid Creek Ln

SITE LOCATION
43.500096, -116.393269

69

N Meridian Rd

le Earth

Exhibit

B7

E Deer Flat Rd

Meadow View Rd



Proposed Primary Health

HAYDEN HOMES

D & B SUPPLY

PHASE I

FUTURE RETAIL

FUTURE RETAIL

FUTURE RETAIL

FUTURE CITY PARK

40 RESIDENTIAL UNITS UNDER CONSTRUCTION

100 RESIDENTIAL UNITS PROPOSED PHASE II

PHASE II

Parcel 1 50,091 SF

Parcel 2 51,567 SF

Parcel 3 51,567 SF

Parcel 4 +/-50,000 SF

Future Pad Replat Pending New Road Construction

EAST DEER FLAT ROAD

NORTH MERIDIAN ROAD

69

N Meridian Rd

Car Wash

26'-7" High Multi-Tenant Shopping Center Sign

Idaho Central

McDonald's

Ruby's FAMILY MARKETS

ACE Hardware

Smoky Mountain PIZZERIA GRILL

TACO BELL

TSC TRACTOR SUPPLY CO.

DOLLAR TREE

O'Reilly AUTO PARTS

New Residential Development Proposed 168 Units

Available for Ground Lease

Under Contract

NEW ROAD Leading to New Residential Development

Agent for Owner Authorization Letter

I hereby authorize the following person(s) to act as my agent(s) to apply for, sign, and file the documents necessary to obtain an Owner-Builder Permit for my project. Scope of Construction Project (description of Work):

Construction of a new Panda Express Restaurant and Drive-thru

Project Location or Address:

1311 North Jacksonmill Ave, Kuna, ID 83634

Name of Authorized Agent:

Lupe Sandoval - CRM Architects & Planners

Address of Authorized Agent:

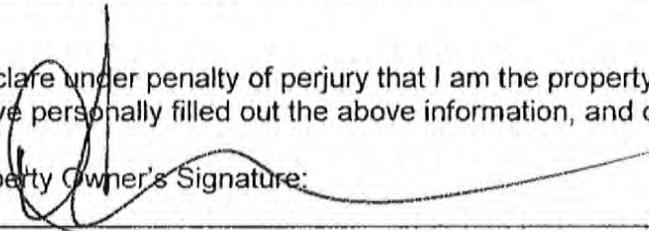
5800 Stanford Ranch Rd Ste 720, Rocklin, CA 95765

Phone of Authorized Agent:

Office: (916)451-1500 Cell: (559)903-0336

I declare under penalty of perjury that I am the property owner for the address listed above; that I have personally filled out the above information, and certify its accuracy.

Property Owner's Signature:



Signature

Date

6/13/19

Property Owner – Print Full Name:

SDN, LLC, an Idaho limited liability company

By: Donald Newell

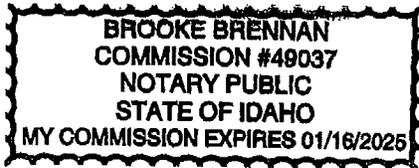
STATE OF Idaho)
County of Ada)ss:
)

On this 3rd day of June, 2019 before me, the undersigned Notary Public, personally appeared Donald Newell, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

My Commission Expires:


Notary Public





Order Number: 16271583

WARRANTY DEED

For Value Received,

Bennett Properties, L.P., an Idaho limited partnership, the Grantor, does hereby grant, bargain sell and convey unto, SDN, LLC, an Idaho limited liability company, whose current address is PO Box 1939, Eagle, ID 83616, the Grantee, the following described premises, in Ada County, Idaho, To Wit:

A part of Government Lots 1 and 2 in Section 19, Township 2 North, Range 1 East of the Boise Meridian, Ada County, Idaho, more particularly described to wit:

Commencing at the Northwest corner of Section 19, Township 2 North, Range 1 East of the Boise Meridian, the Initial Point of this description; thence
South 90° East 882.82 feet, along the North line of Government Lot 1 in said Section 19 to a point on the East bank of Kuna Canal; thence
South 31°40' East 554.37 feet, along said East bank; thence
South 45°28'30" East 74.50 feet, along the East bank, to a point on the East line of said Government Lot 1, said point being South 0°23'15" West 532.60 feet from the Northeast corner of the said Government Lot 1; thence
South 0°23'15" West 791.46 feet, along the said East line, to the Southeast corner to the said Government Lot 1; thence continue
South 0°23'15" West 676.61 feet, along the East line of Government Lot 2 in said Section 19, to a point in a fence line; thence
South 89°37'10" West along said fence line to a point in the West line of said Government Lot 2; thence
North 0°22' East 684.18 feet along the said West line to the Northwest corner of said Government Lot 2; thence continue
North 0°22' East 1324.68 feet along the West line of said Government Lot 1, to the Initial Point of this description.

Except the Westerly 33 feet thereof.

Except that portion deeded to the State of Idaho, Idaho Transportation Department as disclosed in Warranty Deed recorded September 12, 1996 as Instrument No. 96076225, records of Ada County, Idaho.



And Except that portion deeded to Ada County Highway District as disclosed in Warranty Deed recorded February 26, 2003 as Instrument No. 103031238, records of Ada County, Idaho.

TO HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee, its heirs and assigns forever. And the said Grantor does hereby covenant to and with the said Grantee, that Grantor is the owner in fee simple of said premises; that they are free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee; and subject to all existing patent reservations, easements, right(s) of way, protective covenants, zoning ordinances, and applicable building codes, laws and regulations, general taxes and assessments, including irrigation and utility assessments (if any) for the current year, which are not due and payable, and that Grantor will warrant and defend the same from all lawful claims whatsoever. Whenever the context so requires, the singular number includes the plural.

Dated: 8.12.16

Bennett Properties, L.P., an Idaho limited partnership

By: Bennett Investments, LLC, an Idaho limited liability company, its General Partner

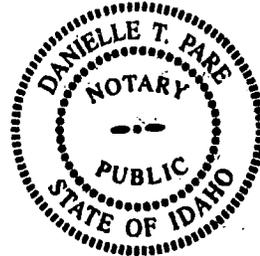
By: Aundria E. Bailey
Aundria E. Bailey, Managing Member

State of Idaho)
County of Ada) ss.

On this 12th day of August, 2016, before me, the undersigned, a Notary Public in and for said State, personally appeared Aundria E. Bailey, known or identified to me to be the Managing Member of Bennett Investments, LLC, said limited liability company known to me to be the General Partner of Bennett Properties, L.P., the partnership that executed the instrument and acknowledged to me that he executed the same for and on behalf of said Partnership and that said Partnership executed it.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Danielle T. Pare
NOTARY PUBLIC for Idaho
My Commission Expires: 8/16/2019

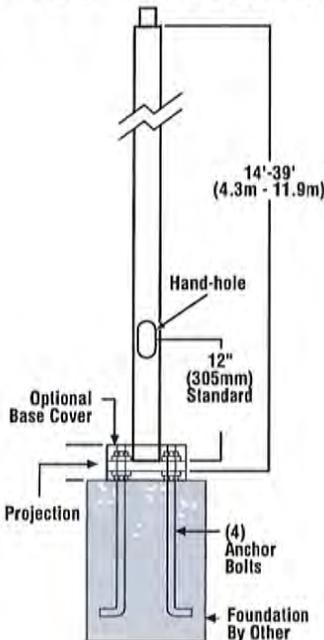


STEEL SQUARE POLES

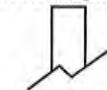
DIMENSIONS

SQN -
N = 2-3/8" (60mm) O.D. x 4-3/4" (121mm) Tenon

SQB3, SQB5 -
Bolt-On Mount
2-Bolt Pattern



SQ1 -
No Mounting Holes



SF -
Single Flood
Pole Preparation



POLE SHAFT - Pole shaft is electro-welded ASTM-A500 Grade C steel tubing with a minimum yield strength of 50,000 psi. On Tenon Mount steel poles, tenon is 2-3/8" O.D. high-strength pipe. Tenon is 4-3/4" in length. Straight poles are 4", 5", and 6" square.

HAND-HOLE - Standard hand-hole location is 12" above pole base. Poles 22' and above have a 3" x 6" reinforced hand-hole. Shorter poles have a 2" x 4" non-reinforced hand-hole.

BASE - Pole base is ASTM-A36 hot-rolled steel plate with a minimum yield strength of 36,000 psi. Two-piece square base cover is optional.

ANCHOR BOLTS - Poles are furnished with anchor bolts featuring zinc-plated double nuts and washers. Galvanized anchor bolts are optional. Anchor bolts conform to ASTM F 1554-07a Grade 55 with a minimum yield strength of 55,000 psi.

GROUND LUG - Ground lug is standard.

DUPLEX RECEPTACLE - Weatherproof duplex receptacle is optional.

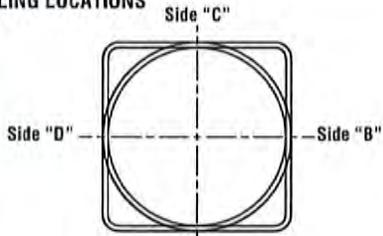
GROUND FAULT CIRCUIT INTERRUPTER - Self-testing ground fault circuit interrupter is optional.

FINISHES - Each pole is finished with DuraGrip®, LSI's baked-on polyester-powder finishing process which electrostatically applies and fuses a polyester powder to the pole. Provides an extremely smooth and uniform finish to withstand extreme weather changes without cracking or peeling, and features a five-year limited warranty. Optional DuraGrip® Plus features the added protection of a 3.0 to 5.0 mil thickness of polyester-powder finish plus an inner coating, as well as a seven-year limited warranty.

DETERMINING THE LUMINAIRE/POLE COMBINATION FOR YOUR APPLICATION:

- Select luminaire from luminaire ordering information
- Select bracket configuration if required
- Determine EPA value from luminaire/bracket EPA chart
- Select pole height
- Select MPH to match wind speed in the application area (See windspeed map).
- Confirm pole EPA equal to or exceeding value from note above
- Consult factory for special wind load requirements and banner brackets

DRILLING LOCATIONS



Sides	A	B	C	D
Hand-hole	X			
Single	X			
D180°		X		X
D90°	X			X
T90°	X	X		X
TN120**	X			
O90°	X	X	X	X
Single FBO	X			
Double FBO		X		X

**Other two locations will be 120° to the left and right of Side A.

Note: Standard SF and DF pole preparations are located 3/4 of the height of the pole from the base, unless otherwise specified.

SHIPPING WEIGHTS - Steel Square Poles

4"(102mm) sq. 11 Ga. is approximately	7.50 lbs./ft.
4"(102mm) sq. 07 Ga. is approximately	10.00 lbs./ft.
5"(127mm) sq. 11 Ga. is approximately	9.00 lbs./ft.
5"(127mm) sq. 07 Ga. is approximately	12.50 lbs./ft.
6"(152mm) sq. 07 Ga. is approximately	15.40 lbs./ft.
Anchor Bolts (3/4" x 30")(19mm x 762mm)	15 lbs. (7kg)/set
Anchor Bolts (1" x 36")(25mm x 914mm)	30 lbs. (14kg)/set

POLE SELECTION CHART: 4"(102mm), 5"(127mm) and 6"(152mm) steel square poles

Height	EPA [†]				Outside Dimensions	Material	Bolt Circle
	70 MPH	80 MPH	90 MPH	100 MPH			
14' (4.3m)	23.3	16.7	12.2	9.0	4" (102mm)	S11G	B
16' (4.9m)	18.6	13.1	9.3	6.5	4" (102mm)	S11G	B
16' (4.9m)	34.6	25.0	18.5	13.8	5" (127mm)	S11G	C
18' (5.5m)	14.4	9.7	6.5	4.2	4" (102mm)	S11G	B
18' (5.5m)	27.9	19.7	14.1	10.1	5" (127mm)	S11G	C
20' (6.1m)	11.0	7.0	4.2	2.2	4" (102mm)	S11G	B
20' (6.1m)	18.7	12.8	8.8	5.9	4" (102mm)	S07G	B
20' (6.1m)	22.5	15.4	10.5	7.0	5" (127mm)	S11G	C
20' (6.1m)	35.5	25.4	18.4	13.4	5" (127mm)	S07G	D
22' (6.7m)	10.4	6.3	3.4	1.4	4" (102mm)	S11G	B
22' (6.7m)	18.7	12.6	8.4	5.4	4" (102mm)	S07G	B
22' (6.7m)	20.8	13.8	8.9	5.5	5" (127mm)	S11G	C
22' (6.7m)	34.0	23.9	17.0	12.0	5" (127mm)	S07G	D
24' (7.3m)	7.7	4.0	1.5	—	4" (102mm)	S11G	B
24' (7.3m)	15.1	9.7	6.0	3.3	4" (102mm)	S07G	B
24' (7.3m)	16.7	10.5	6.2	3.1	5" (127mm)	S11G	C
24' (7.3m)	28.6	19.6	13.4	8.9	5" (127mm)	S07G	D
24' (7.3m)	46.2	32.6	23.2	16.6	6" (152mm)	S07G	J
26' (7.9m)	5.3	2.1	—	—	4" (102mm)	S11G	B
26' (7.9m)	12.0	7.2	3.9	1.5	4" (102mm)	S07G	B
26' (7.9m)	13.2	7.6	3.8	1.0	5" (127mm)	S11G	C
26' (7.9m)	24.0	15.8	10.3	6.3	5" (127mm)	S07G	D
26' (7.9m)	39.6	27.3	18.9	12.9	6" (152mm)	S07G	J
28' (8.5m)	19.9	12.5	7.5	3.9	5" (127mm)	S07G	D
28' (8.5m)	33.9	22.7	15.1	9.6	6" (152mm)	S07G	J
30' (9.1m)	16.3	9.6	5.0	1.7	5" (127mm)	S07G	D
30' (9.1m)	28.8	18.6	11.6	6.6	6" (152mm)	S07G	J
35' (10.7m)	18.3	10.0	4.3	—	6" (152mm)	S07G	J
39' (11.9m)	11.5	4.3	—	—	6" (152mm)	S07G	J

[†] EPA based on ANSI/ASCE 7-93. Refer to EPA information on next page. For applications in Canada and areas using code requirements other than ANSI/ASCE 7-93, consult factory. If luminaire weight exceeds 250 lbs. (113.4 kg), consult factory.

ARRA
Funding Compliant



Project Name _____ Fixture Type _____
Catalog # _____

11/17

Exhibit

© 20

LSI INDUSTRIES II

139

STEEL SQUARE POLES

POLE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: **5SQB5 S07G 24 S PLP SF DGP**

Pole Series	Material	Height ²	Mounting Configuration	Pole Finish	Options				
Bolt-on Arm Mount - See pole selection guide for patterns and fixture matches. 4SQB3 - 3" Reduced drilling pattern 5SQB3 - 3" Reduced drilling pattern 4SQB5 - 5" Traditional drilling pattern 5SQB5 - 5" Traditional drilling pattern 6SQB5 - 5" Traditional drilling pattern	S11G - 11 Ga. Steel S07G - 07 Ga. Steel	14'	S - Single/Parallel D180° - Double D90° - Double DN90° - Double T90° - Triple TN120° - Triple Q90° - Quad QN90° - Quad	BRZ - Bronze BLK - Black PLP - Platinum Plus WHT - White SVG - Satin Verde Green GPT - Graphite MSV - Metallic Silver	GA - Galvanized Anchor Bolts SF - Single Flood ³ DF - Double Flood ³ DGP - DuraGrip [®] Plus LAB - Less Anchor Bolts OSXX - Pole preparation for PMOS Occupancy Sensor ⁴				
		16'				18'	20'	22'	24'
Tenon Mount - See pole selection guide for tenon and fixture/bracket matches. 4SQN 5SQN 6SQN	Consult Pole Selection Chart on opposite page		N - Tenon Mount (Standard tenon size is 2-3/8" O.D.)	Standard SF and DF pole preparations are located 3/4 of the height of the pole from the base, unless otherwise specified.					
No Mounting Holes - Use with: • BKA 4ISF & BKA 5ISF • BKA X4ISF & BKA X5ISF									
Internal Slip-fitter¹ 4SQI 5SQI									

ACCESSORY ORDERING INFORMATION (Accessories are field installed)		
Description	Order Number	Order Number
4BC - 4" Square Base Cover	122559CLR	Vibration Damper - 4" Square Pole (bolt-on mount only)
5BC - 5" Square Base Cover	122561CLR	Vibration Damper - 5" Square Pole (bolt-on mount only)
6BC - 6" Square Base Cover	122563CLR	Vibration Damper - 6" Square Pole (bolt-on mount only)
ER2 - Weatherproof Duplex Receptacle	122566CLR	PMOS120 - 120V Occupancy Sensor
GF1 - Ground Fault Circuit Interrupter	122567CLR	PMOS208/240 - 208, 240V Occupancy Sensor
MHP - Mounting Hole Plugs (3 plugs) for use with 5" traditional drill pattern	132336	PMOS277 - 277V Occupancy Sensor
MHD - Mounting Hole Weatherproof Decal for use with 3" reduced drill pattern	340120	PMOS480 - 480V Occupancy Sensor

FOOTNOTES:

- See Area Lighting Brackets - Bolt-on and XAS3/XAM3 Area Lighting Brackets pages for Internal Slip-fitter brackets.
- Pole heights will have +/- 1/2" tolerance.
- See Flood Lighting Brackets section for choice of FBO brackets.
- Order PMOS separately. Change "XX" to indicate height and side of pole location for pole preparation. EX: OS18A indicates preparation is to be 18ft. up from pole base on side A. Optimal distance from ground to sensor is 20ft.
- OSXX option required. Not for use with Metal Halide fixtures

BOLT CIRCLE

	B	C	D	J
	4" (102mm) square 10-1/8" (257mm) sq.	5" (127mm) square 10-1/8" (257mm) sq.	5" (127mm) square 10-1/8" (257mm) sq.	6" (152mm) square 12" (305mm) sq.
				
	11" (279mm) Dia. Bolt Circle	11" (279mm) Dia. Bolt Circle	11" (279mm) Dia. Bolt Circle	12" (305mm) Dia. Bolt Circle
Bolt Circle	Slotted 8"-11" (203mm-279mm)	Slotted 9"-11" (229mm-279mm)	Slotted 9"-11" (229mm-279mm)	Slotted 12" (305mm)
Anchor Bolt Size	3/4" x 30" (19mm x 762mm)	3/4" x 30" (19mm x 762mm)	1" x 36" (25mm x 914mm)	1" x 36" (25mm x 914mm)
Anchor Bolt Projection	3-1/4" (83mm)	3-1/4" (83mm)	4" (102mm)	4" (102mm)
Base Plate Opening for Wireway Entry	3-5/8" (92mm)	4-3/4" (121mm)	4-5/8" (117mm)	5-5/8" (143mm)
Base Plate Dimensions	10-1/8" sq. x 3/4" thk. (257mm x 19mm)	10-1/8" sq. x 3/4" thk. (257mm x 19mm)	10-1/8" sq. x 1" thk. (257mm x 25mm)	12" sq. x 1-1/8" thk. (305mm x 29mm)

Note: Base plate illustrations may change without notice. Do not use for setting anchor bolts. Consult factory for the base plate templates.

EPA INFORMATION

All LSI Industries' poles are guaranteed to meet the EPA requirements listed. LSI Industries is not responsible if a pole order has a lower EPA rating than the indicated wind-loading zone where the pole will be located.

CAUTION: This guarantee does not apply if the pole/bracket/fixture combination is used to support any other items such as flags, pennants, or signs, which would add stress to the pole. LSI Industries cannot accept responsibility for harm or damage caused in these situations.

NOTE: Pole calculations include a 1.3 gust factor over steady wind velocity. Example: poles designed to withstand 80 MPH steady wind will withstand gusts to 104 MPH. EPAs are for locations 100 miles away from hurricane ocean lines. Consult LSI for other areas. Note: Hurricane ocean lines are the Atlantic and Gulf of Mexico coastal areas. For applications in Florida or Canada, consult factory.



Project Name _____ Fixture Type _____
 Catalog # _____

10/22/15

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 LSI INDUSTRIES INC.



CITY OF KUNA
P.O. BOX 13
KUNA, ID 83634
www.kunacity.id.gov

Paul A. Stevens, P.E.
Kuna City Engineer

DESIGN REVIEW MEMORANDUM

Date: 9 July 2019
From: Paul A. Stevens, P.E.
To: Wendy Howell, Planning and Zoning Director
RE: PANDA EXPRESS 19-21-DR

The Panda Express design review request dated June 17, 2019 has been reviewed. The following narrative is limited to the design review application and does not provide construction drawing approval.

1. General

- a. The design review application shows a new Panda Express building sited in Ashton 1 Subdivision.
- b. Lot lines have been adjusted to accommodate Panda Express requirements.
- c. Trash enclosure is on adjacent lot – presumably not owned by Panda Express. Provide a formal agreement for this function.

2. Road

- a. The driveway access to the north is not on the Panda Express lot. A formal easement is needed to provide uninterrupted vehicle access to the lot.

3. Pressurized Irrigation

- a. 10" diameter pressurized irrigation is located along the west side of the lot.

4. Sewer

- a. 8" diameter sewer is available in Jacksonmill Avenue on the east side of the lot.
- b. 8" diameter sewer is available in East Profile Drive on the south side of the lot.

5. Water

- a. Water service is available in the Northeast corner of the lot.
- b. A fire hydrant has been located on East Profile Drive and North Jacksonmill Avenue.
- c. A 12" diameter water main is available along the west side of the lot. An 8" diameter water main line is available along the east side of the lot on N. Jacksonmill Avenue.
- d. This project will add approximately 3.45 EDUs to the water system.
- e. The Kuna Fire Department (KFD) must approve fire suppression system.
- f. Additional fire hydrants may be required by KFD.

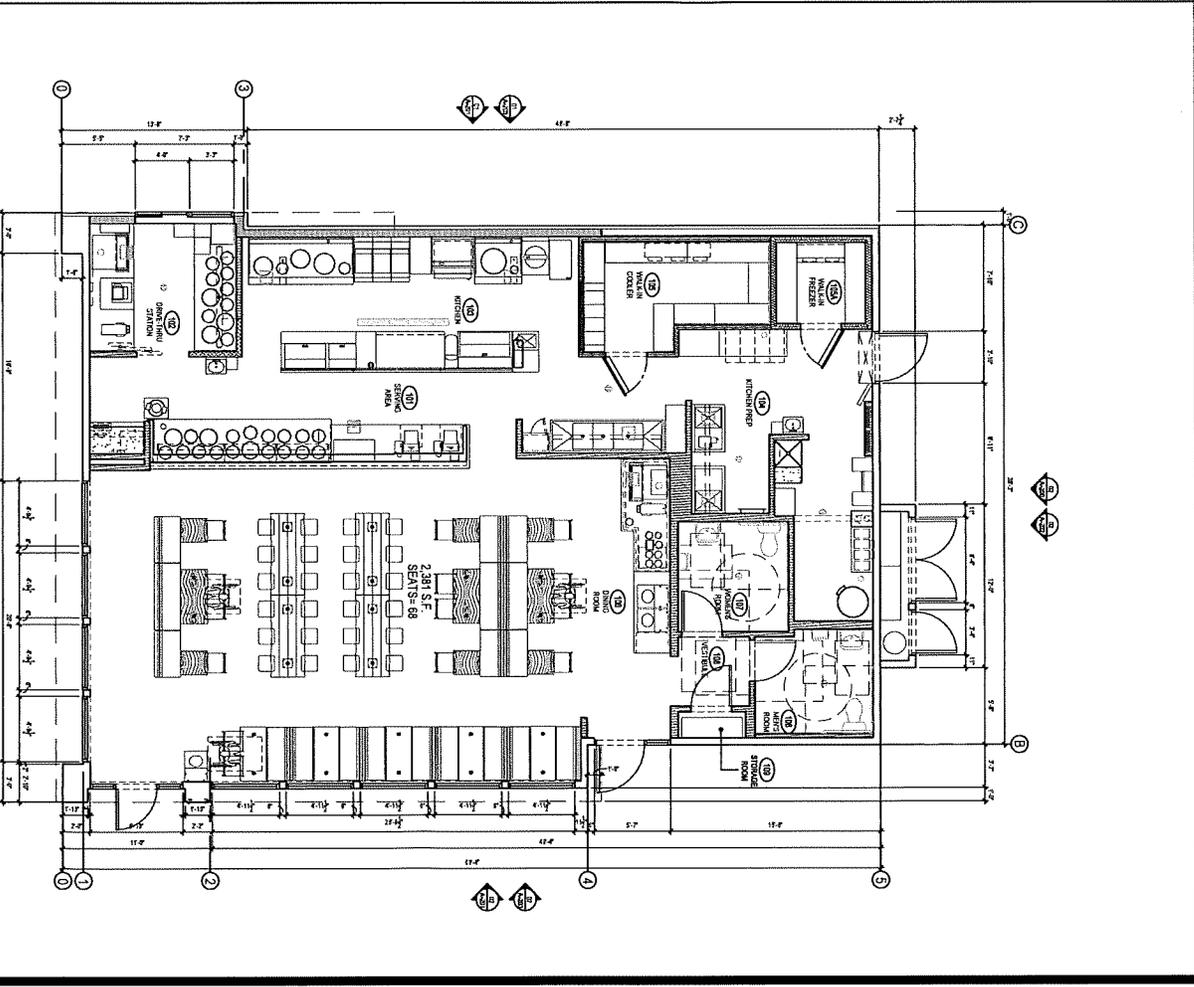
6. Storm Water Retention:

- a. The storm water retention system and calculations have been reviewed and found adequate for the projected storm water volumes associated with this building.
- b. The storm water retention system must be constructed and maintained by Panda Express and shall not become part of the City's storm water system.

FINISH SCHEDULE	FLOOR	BASE	WALL	CEILING	DOOR
(10) DINING ROOM	100 7' x 7' TILE				
(11) SERVING AREA	100 7' x 7' TILE				
(12) DRINKING STATION	100 7' x 7' TILE				
(13) KITCHEN	100 7' x 7' TILE				
(14) KITCHEN	100 7' x 7' TILE				
(15) COOKER	100 7' x 7' TILE				
(16) WALKER	100 7' x 7' TILE				
(17) HENS ROOM	100 7' x 7' TILE				
(18) STORAGE ROOM	100 7' x 7' TILE				
(19) STORAGE ROOM	100 7' x 7' TILE				
(20) ENTRY	100 7' x 7' TILE				
(21) VESTIBULE	100 7' x 7' TILE				

WALL LEGEND

1. 1/2" GYP BOARD ON 2x4 STUDS
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 99. 1/2" GYP BOARD ON 2x4 STUDS
 100. 1/2" GYP BOARD ON 2x4 STUDS



PANDA EXPRESS CHINESE KITCHEN

PANDA EXPRESS, INC.
 1688 Whittier Street Ave.
 Rosemead, California
 91770
 Telephone: 627-2722
 Facsimile: 627-2733

ASHTON RESTAURANT
 131 JACKSONVILLE AVENUE
 KNOX, TN 37903

2002 Pando, Tom, Wynn & Williams

A-103P

PRELIMINARY FLOOR PLAN

PLAN CHECK SIGNATURE DMS

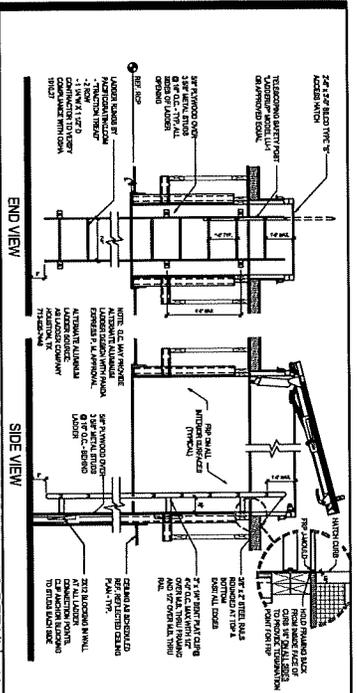
CRM Architects & Planners
 5800 Shepherdstone Road, Suite 229
 Nashville, TN 37218
 Phone: (615) 951-1809 Fax: (615) 951-1809

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 ARCH PROJECT #: CRM 1811

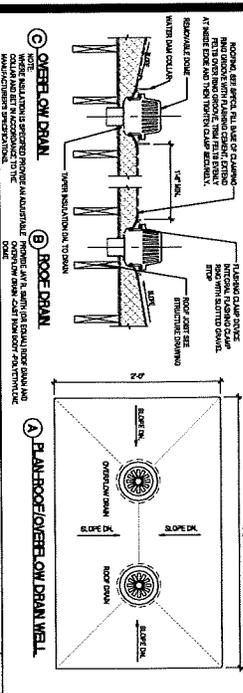
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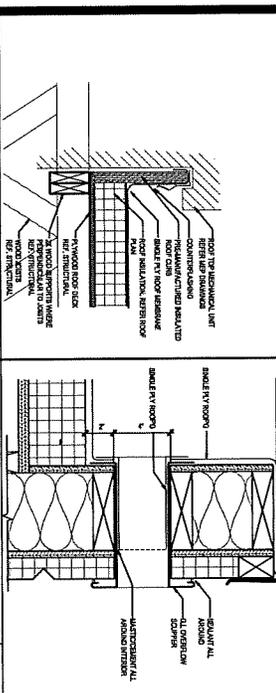
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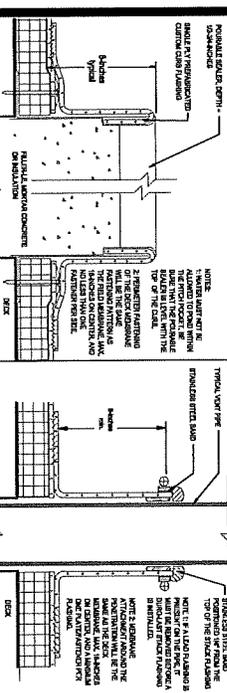
ROOF ACCESS LADDER DETAIL 16
Scale: 1/4" = 1'-0" A-107



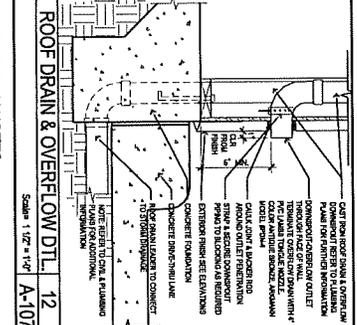
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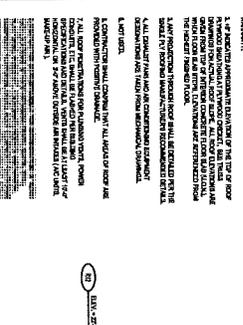
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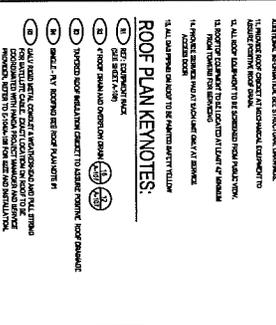
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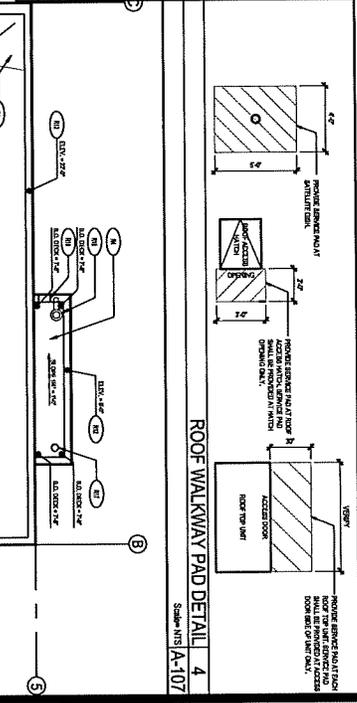
ROOF DRAIN & OVERFLOW DTL 12
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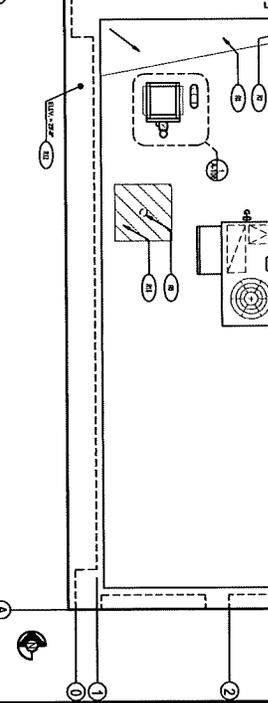
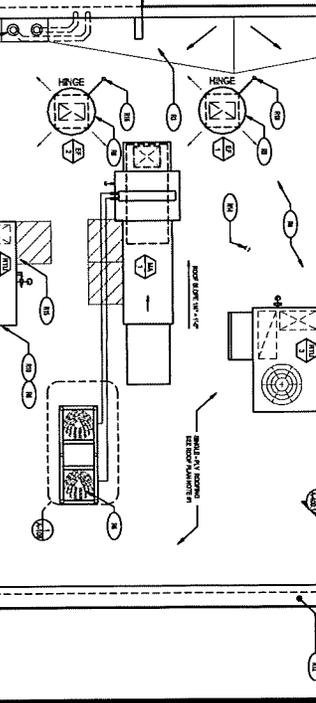
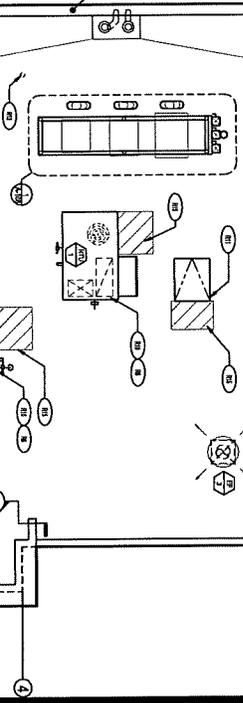
SCUPPER DETAIL 14
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PLUMBING VENT DETAIL 13
Scale: NTS A-107



ROOF WALKWAY PAD DETAIL 4
Scale: NTS A-107



ROOF PLAN 1
Scale: 1/4" = 1'-0" A-107



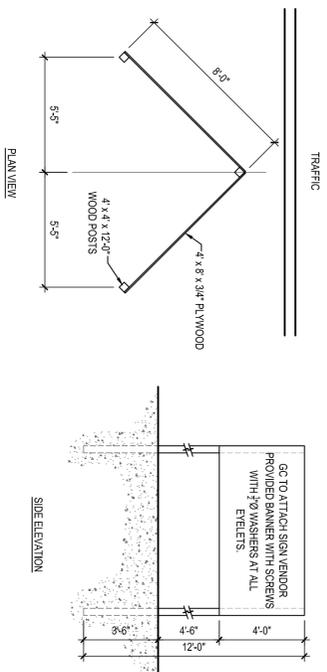
PAULDA EXPRESS, INC.
1825 Walnut Grove Ave.
Rockwood, MO 64085
Telephone: 636-726-2888
Facsimile: 636-726-2888

DRAWN BY: CRM Architects & Planners, Inc.
PAULDA PROJECT # 55-20-0888
ARCHITECT PROJECT # CRM 1881

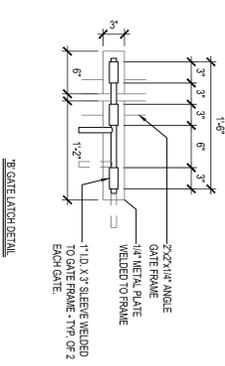
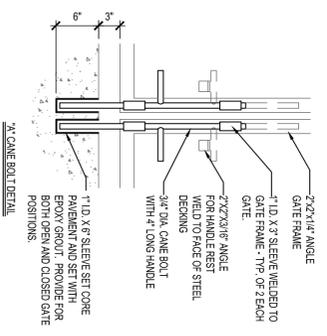
CRM Architects & Planners
3000 Sunset Plaza Road, Suite 700
Berkeley, CA 94702
Phone: (916) 431-1500 Fax: (916) 431-1688

ASHTON ESTATES
SUBDIVISION NO. 1
1311 JACOBSON HILL AVENUE
KLING, DEWITT ASSOCIATES
2200 Franklin Park Drive & Highway
A-107
ROOF PLAN
PLAN CHECKS: SUBMITTAL DWGS

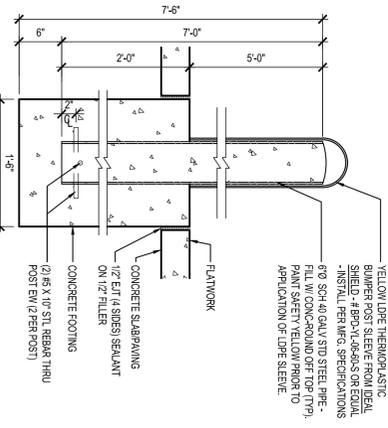
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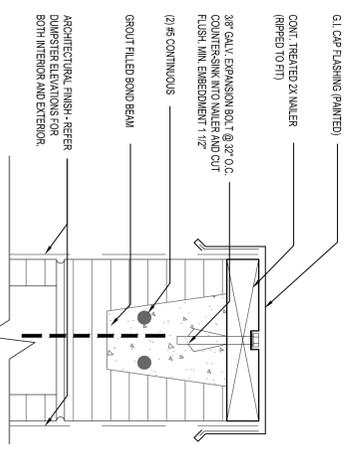
"COMING SOON" SIGN DETAIL 16
Scale= 1/4" = 1'-0"



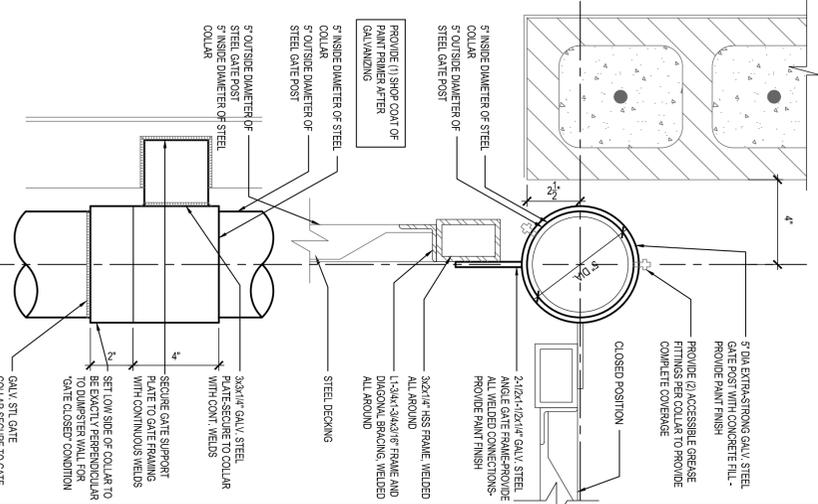
DUMPSTER GATE LATCH DETAILS 15
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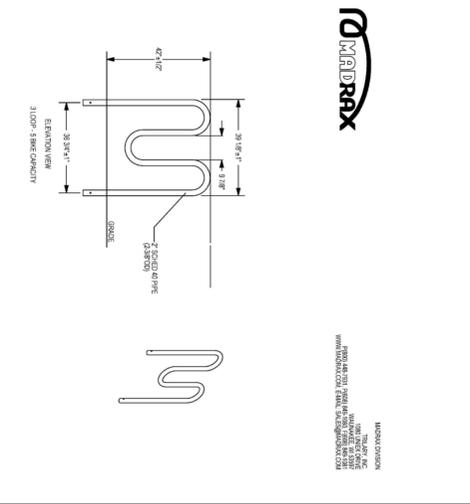
BOLLARD / POST BASE 18
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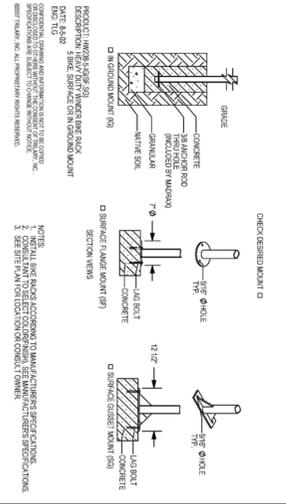
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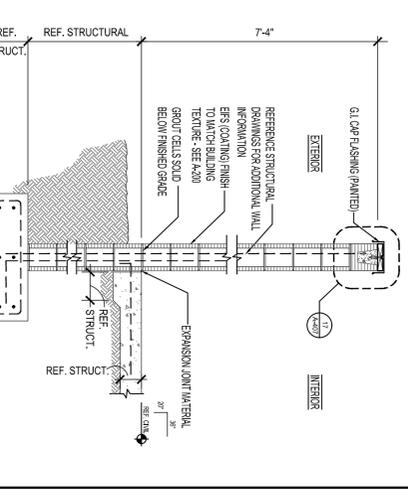
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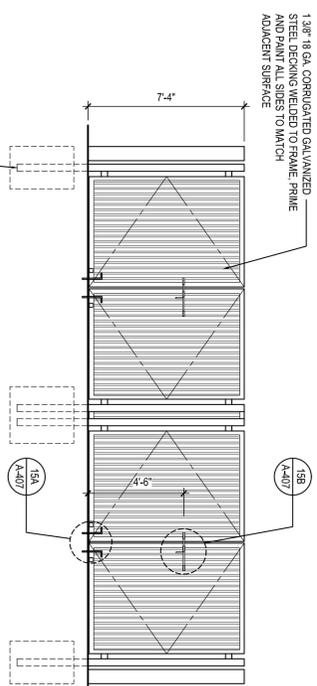
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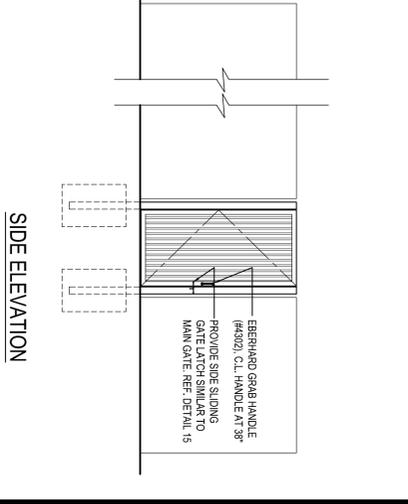
BIKE RACK 9
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TRASH ENCLOSURE WALL SECTION 8
Scale= 1/2" = 1'-0" A-407



FRONT ELEVATION 2
Scale= 1/4" = 1'-0" A-407

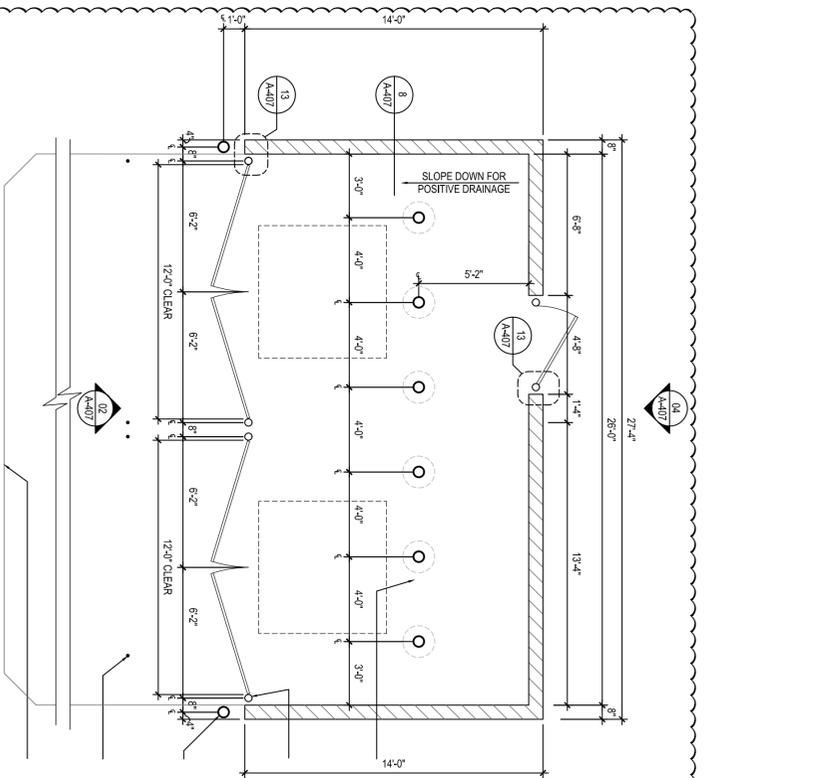


REAR ELEVATION 4
Scale= 1/4" = 1'-0" A-407

NOTE: CONTRACTOR TO SUPPLY & INSTALL THE TRASH ENCLOSURE EXTERIOR GATE AND PAINT ALL SIDES TO MATCH ADJACENT SURFACE.

NOTE: ANY DIAGONAL SUPPORT FOR GATES SHALL BE INSTALLED ON THE INSIDE OF ENCLOSURE. THIS SHALL NOT BE VISIBLE ON THE OUTSIDE OF THE GATE.

NOTE: FLOOR OF DUMPSTER AREA MUST BE BROOM FINISH AND SEALED WITH AQUA MAX SEALERS (CHOOSE BOLD/CEMENT SEALER).



TRASH ENCLOSURE 1
Scale= 1/4" = 1'-0" A-407



PANDA EXPRESS, INC.
1883 Walnut Grove Ave.
Rossmore, California
91770
Telephone: 626.789.8988
Facsimile: 626.572.8288

Address, design, arrangement and plans shall not be used for any other project without the specific written permission of Panda Express Inc.

REVISIONS:

1	Samman Dey PC #1	07/09/19	1S
---	------------------	----------	----

ISSUE DATE:

DRAWN BY: CRM Architects & Planners, Inc.
PANDA PROJECT #: SS-20-D0885
ARCH PROJECT #: CRM 1851

CRM Architects & Planners

5800 Sunport Ranch Road, Suite 220
Rocklin, CA 95765
Phone: (916) 451-1500 - Fax: (916) 451-1600



ASHTON ESTATES
SUBDIVISION NO. 1
1311 JACKSONVILLE AVENUE
KINDA, IDAHO 83854

2200 Plantme Warm & Welcome

A-407

TRASH ENCLOSURE DETAILS

PLAN CHECK SUBMITTAL DWGS



PANDA EXPRESS, INC.
180 YIMMILL CIRCLE NW
TACOMA, WA 98409
Telephone: (252) 799-8888
Facsimile: (252) 732-8888

Atlanta, Chicago, Dallas, Houston, Los Angeles, Miami, New York, Phoenix, San Diego, San Francisco, Seattle, Tampa, Washington, DC
Panda Express is a registered trademark of Panda Express Inc.
Panda Express is a registered trademark of Panda Express Inc.

REVISIONS:

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DRAWN BY: JLP

PANDA PROJECT # 05-20-0885

ENGINEER PROJECT # 19-006

CRM Architects & Planners
Inc.

3033 Sandhill Road, Suite 200
Redding, CA 96003
Phone: (916) 491-1800 Fax: (916) 491-6999

STAMP:



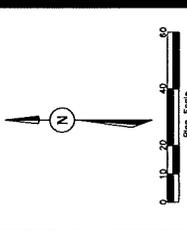
ASHTON ESTATES
SUBDIVISION NO. 1
1311 JACKSONMILL AVENUE
KUNA, IDAHO 83841

2300 Pin Tree Way & Wilkesona

SITE PLAN

C1.0

FOR AGENCY APPROVAL



KEYNOTES

1. THICKENED EDGE SIDEWALK WITH 6" REVEAL PER DETAIL THIS SHEET.
2. VERTICAL CURB AND GUTTER PER SPC 50-791.
3. SLOPE 2% DOWN (TYP.) TO CURB AND GUTTER PER SPC 50-791.
4. 6" REVERSE-FLOW VERTICAL CURB AND GUTTER PER DETAIL THIS SHEET.
5. 6" REVERSE-FLOW VERTICAL CURB AND GUTTER PER DETAIL THIS SHEET.
6. REBAR (TYP.) - SEE ARCHITECTURAL.
7. REBAR (TYP.) - SEE ARCHITECTURAL.
8. REBAR (TYP.) - SEE ARCHITECTURAL.
9. REBAR (TYP.) - SEE ARCHITECTURAL.
10. CONCRETE PER SPC 50-791.
11. METAL ACCESSIBLE PARKING SIGN PER DETAIL THIS SHEET.
12. FINISH FLOOR - SEE ARCHITECTURAL.
13. SEE PLAN - SEE ARCHITECTURAL.
14. SEE PLAN - SEE ARCHITECTURAL.
15. REBAR (TYP.) - SEE ARCHITECTURAL.
16. REBAR (TYP.) - SEE ARCHITECTURAL.
17. CURB STOP (TYP.) - SEE ARCHITECTURAL.
18. REBAR (TYP.) - SEE ARCHITECTURAL.
19. REBAR (TYP.) - SEE ARCHITECTURAL.
20. REBAR (TYP.) - SEE ARCHITECTURAL.
21. REBAR (TYP.) - SEE ARCHITECTURAL.
22. REBAR (TYP.) - SEE ARCHITECTURAL.
23. REBAR (TYP.) - SEE ARCHITECTURAL.
24. REBAR (TYP.) - SEE ARCHITECTURAL.

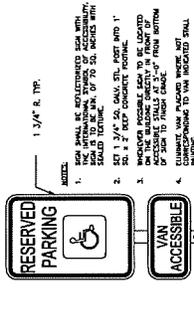
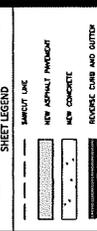
SHEET NOTES

1. ALL CONCRETE SHALL BE 4000 PSI.
2. ALL STRIPS TO BE "WHITE" 4" WIDE STRIPES AND PER SPC SECTION 1104.
3. ALL STRIPES TO BE "WHITE" 4" WIDE STRIPES AND PER SPC SECTION 1104.
4. ALL STRIPES TO BE "WHITE" 4" WIDE STRIPES AND PER SPC SECTION 1104.
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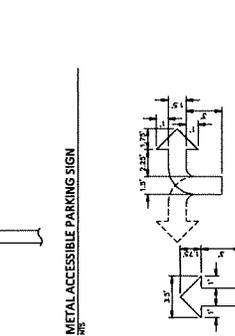
GENERAL NOTES

1. SEE SHEET 603 FOR PROJECT NOTES

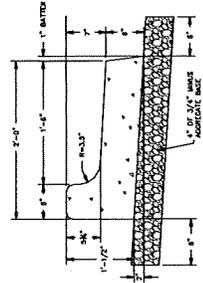
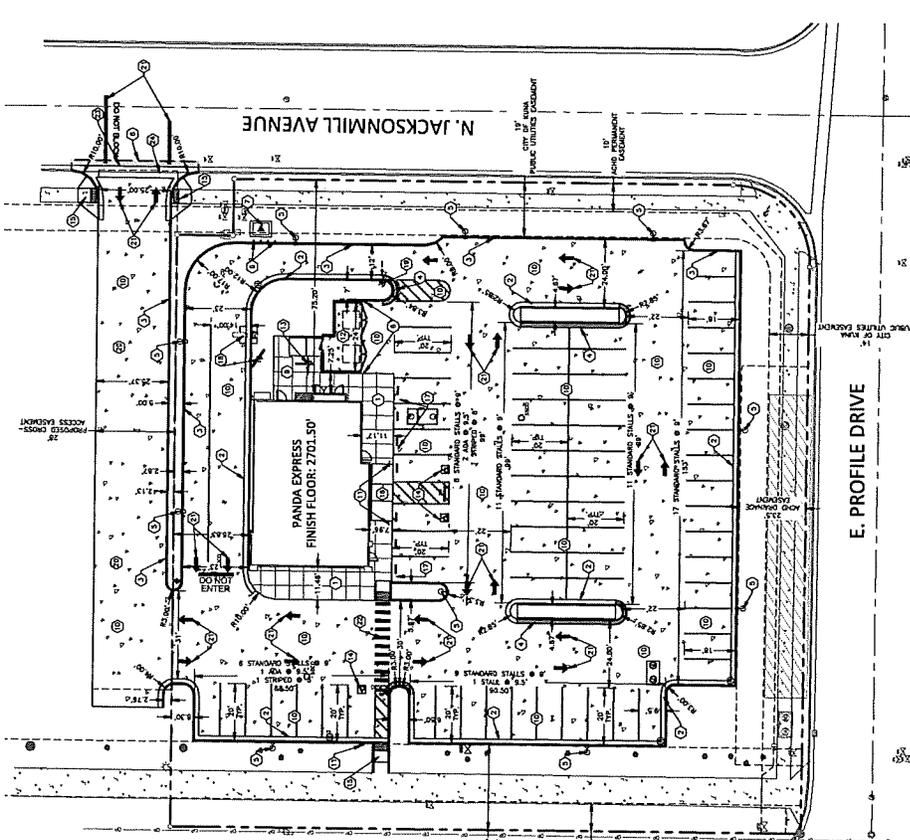
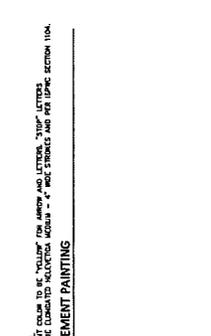
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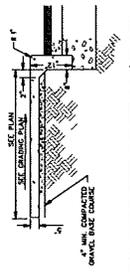
METAL ACCESSIBLE PARKING SIGN



PAVEMENT PAINTING



TYPICAL 6" VERTICAL REVERSE-FLOW CURB & GUTTER



THICKENED EDGE SIDEWALK WITH 6" REVEAL

- CONCRETE PAVEMENT SECTION
1. PAVEMENT SECTION IS NOT FINAL AND MUST BE CONFIRMED WITH THE ARCHITECT.
 2. REFER TO GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED APRIL 19, 2019 FOR FURTHER INFORMATION.
 3. CONCRETE SHALL BE REINFORCED WITH #4 BARS SPACED AT 18" ON CENTER PER CITY REQUIREMENTS.

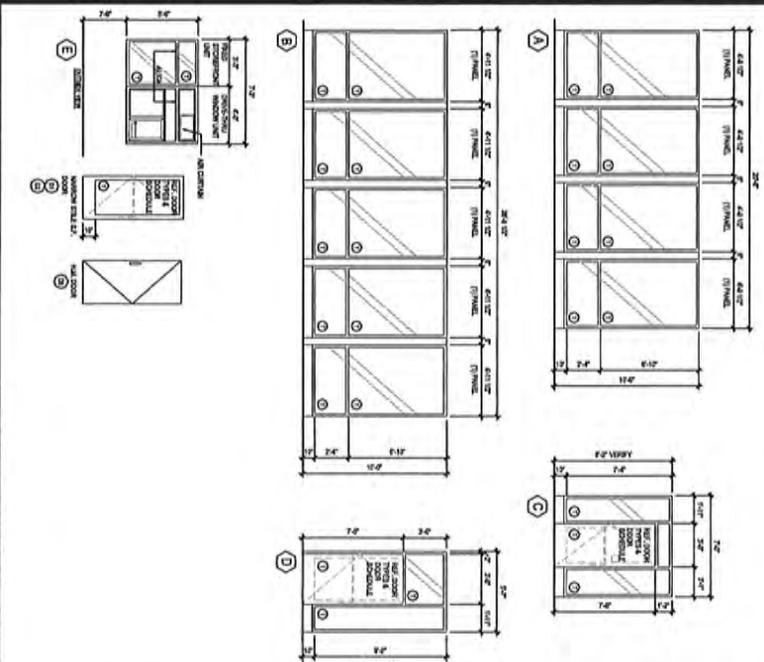
CONCRETE PAVEMENT SECTION

EXTERIOR FINISH SCHEDULE

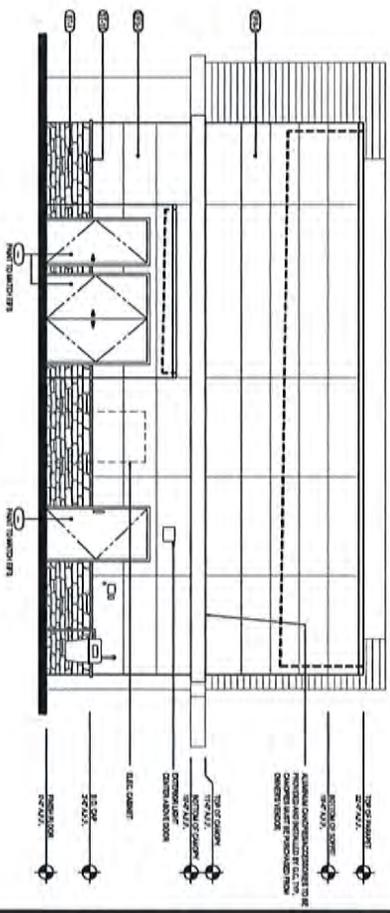
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020	PAINT	PAINT	PAINT	
030	GLASS	GLASS	GLASS	
040	ALUMINUM	ALUMINUM	ALUMINUM	
050	WOOD	WOOD	WOOD	
060	ROOFING	ROOFING	ROOFING	
070	MECHANICAL	MECHANICAL	MECHANICAL	
080	ELECTRICAL	ELECTRICAL	ELECTRICAL	
090	PLUMBING	PLUMBING	PLUMBING	
100	FINISH	FINISH	FINISH	

WINDOW SCHEDULE

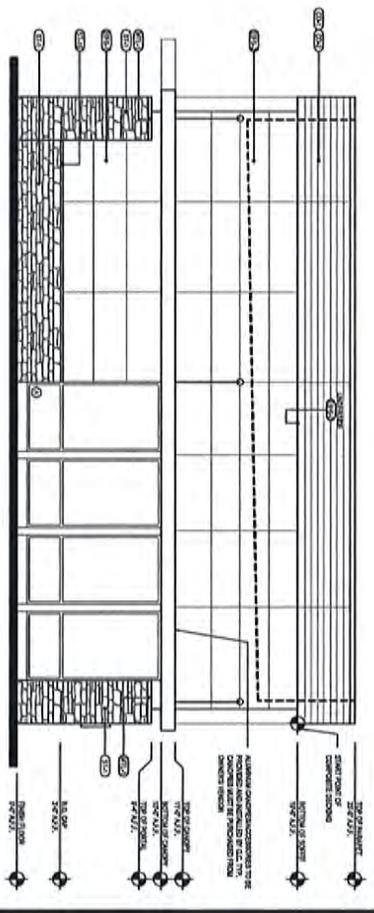
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020	PAINT	PAINT	PAINT	
030	GLASS	GLASS	GLASS	
040	ALUMINUM	ALUMINUM	ALUMINUM	
050	WOOD	WOOD	WOOD	
060	ROOFING	ROOFING	ROOFING	
070	MECHANICAL	MECHANICAL	MECHANICAL	
080	ELECTRICAL	ELECTRICAL	ELECTRICAL	
090	PLUMBING	PLUMBING	PLUMBING	
100	FINISH	FINISH	FINISH	



WINDOW AND DOOR ELEVATIONS 3
Scale: 1/8" = 1'-0" A-200



EAST ELEVATION 2
Scale: 1/8" = 1'-0" A-200



WEST ELEVATION 1
Scale: 1/8" = 1'-0" A-200



PANDA EXPRESS INC.
1683 Walnut Grove Ave.
Redwood City, California
Tel: (650) 962-2888
Fax: (650) 962-2888

REVISIONS

NO.	DATE	DESCRIPTION

DESIGNED BY: CRM Architects & Planners, Inc.
PROJECT # 334000888
ARCHITECT PROJECT # CRM 1651

CRM Architects & Planners
11111 JACONTE BLVD., SUITE 100
SAN DIEGO, CA 92130
TEL: (619) 451-1200 FAX: (619) 451-1800
WWW.CRMARCHITECTS.COM

ASHTON ESTATES
SUBDIVISION NO. 1
11111 JACONTE BLVD., SUITE 100
SAN DIEGO, CA 92130

A-200
EXTERIOR ELEVATIONS
PLAN CROSS SECTIONS, DETAILS



Prepared For:

CRM Architects & Planners
Inc. and The City of Kuna

Panda Express
Kuna, Idaho

Storm Drainage Report



Michael Bultman

06/14/19

Mike Bultman, P.E.
Project Manager
KM Engineering, LLP
9233 West State Street
Boise, ID 83714
208.639.6939
mbultman@kmengllp.com

June 14, 2019

Project No: 19-086



Engineers . Surveyors . Planners

Exhibit

05

Table of Contents

Introduction and Summary	1
Project Description.....	1
Seepage Beds	1
Appendix A.....	2
Drainage Map.....	3
Drainage Calculations.....	4
Geotechnical Report.....	5

Introduction and Summary

The purpose of this report is to show that the storm drainage facilities are designed to meet City of Kuna design standards. All drainage from 1" of runoff over the site's impervious surface shall be infiltrated and retained on-site. Based on the attached spreadsheet calculations, the proposed seepage bed is adequately sized to meet the City of Kuna's stormwater requirements.

Project Description

The site is bordered to the west by Meridian Road and to the south by East Profile Drive. All storm water for the proposed site is being retained and disposed of with 1 centrally located seepage bed.

Seepage Beds

Based on the attached calculations, the seepage bed is adequately sized to meet this requirement and is sized sufficiently to meet the volume and drawdown requirements set forth by the City.

The attached geotechnical engineering report prepared by Terracon Consultants, Inc. dated April 19, 2019 was prepared for the site. Basalt is expected to remain at a depth greater than 20 feet. The report is attached for reference.

Our infiltration facilities will be extended down into free draining soils approximately 6 feet below existing grade surface. The original geotechnical report indicated that a field infiltration rate of 10 inches per hour was recommended. Based on field observations of seepage beds installed as part of the Ashton subdivision site and the D&B Supply site, a design infiltration rate of 0.5 inches per hour was used for design purposes. Drawdown times for the seepage bed will be less than 48 hours, which is a standard requirement by DEQ and is allowed by ACHD as part of their stormwater guidelines, which Kuna will be adopting. Each seepage bed will have an 18" minimum section of C-33 sand for infiltration. The sand volume is not included with the calculations for the seepage bed.

The required and provided volumes along with the drawdown times are included within the Appendix of this report.

Appendix A

Drainage Map

Drainage Calculations

STORM DRAINAGE CALCULATIONS

Project No.: 19-086
Project Description: Panda Express

Date: 6/14/2019
Seepage Bed: SB-1

STORM RUNOFF CALCULATIONS FOR BASIN 1 (SB-1)

Runoff Event Frequency: 100 year

METHOD: 1" STORM OVER IMPERVIOUS AREA

Per City of Kuna BMP standards: design storm event for the 100-year storm is for 1" of storm water over the entire tributary area

Triburaty Area	<u>32887.0</u> ft ²
Intensity	<u>1.0</u> in
Volume to Retained=	<u><u>2740.6</u></u> ft ³

SEEPAGE BED VOLUMES:

Depth:	<u>5.0</u> ft
Width:	<u>20.0</u> ft
Length:	<u>75.0</u> ft
Void:	<u>40.0</u> %

Volume Provided by Bed:	<u><u>3000.0</u></u> ft ³
-------------------------	--------------------------------------

INFILTRATION:

100% Infiltration is 48 hours

Volume to be infiltrated:	2740.6	ft ³	
Infiltration Rate	0.5	in/hr	
Infiltration Area	1500	ft ²	
Time to infiltrate:	43.8	hr	OK, < 48 hours

TOTAL VOLUME PROVIDED:

Volume from Seepage Bed	3000.0	ft ³	
Total Volume Provided (VP)	3000.0	ft³	OK, VP > VR

Geotechnical Report



Geotechnical Engineering Report

Proposed Panda Express Restaurant S8-20-D6885

Kuna, Ada County, Idaho

April 19, 2019

Terracon Project No. 62195040

Prepared for:

Panda Restaurant Group, Inc.

Rosemead, CA

Prepared by:

Terracon Consultants, Inc.

Boise, State



April 19, 2019

Panda Restaurant Group, Inc.
1683 Walnut Grove Avenue
Rosemead, CA 91770



Attn: Mr. Michael Cadell – Senior Project Manager
P: (916) 205 7566
E: Michael.Cadell@PandaRG.com

Re: Geotechnical Engineering Report
Proposed Panda Express Restaurant S8-20-D6885
Meridian Road & Profile Drive
Kuna, Ada County, Idaho
Terracon Project No. 62195040

Dear Mr. Cadell:

We have completed the Geotechnical Engineering services for the above referenced project. This study was performed in general accordance with Terracon National Client Program Master Services Program Task Order No. P62195040 dated March 22, 2019. This report presents the findings of the subsurface exploration and provides geotechnical recommendations concerning earthwork and the design and construction of foundations, floor slabs, and pavements for the proposed project.

We appreciate the opportunity to be of service to you on this project. If you have any questions concerning this report or if we may be of further service, please contact us.

Sincerely,
Terracon Consultants, Inc.

A circular professional engineer seal for Meagan Joyce Duneman, State of Idaho, License No. 17191. The seal is stamped over a handwritten signature of Meagan J. Duneman and the date 4/19/2019.

Meagan J. Duneman, P.E.
Project Engineer

A handwritten signature in black ink, appearing to read "RJO".

Ryan J. Olsen, P.E.
Department Manager

Terracon Consultants, Inc. 11849 West Executive Drive, Suite G Boise, Idaho 83713
P (208) 323 9520 F (208) 323 9592 terracon.com

Environmental Facilities Geotechnical Materials

REPORT TOPICS

INTRODUCTION.....	1
SITE CONDITIONS.....	1
PROJECT DESCRIPTION.....	2
GEOTECHNICAL CHARACTERIZATION.....	3
GEOTECHNICAL OVERVIEW	3
EARTHWORK.....	4
SHALLOW FOUNDATIONS.....	8
SEISMIC CONSIDERATIONS	9
FLOOR SLABS.....	10
PAVEMENTS.....	11
STORMWATER MANAGEMENT	14
GENERAL COMMENTS.....	15
FIGURES	17

Note: This report was originally delivered in a web-based format. Orange Bold text in the report indicates a referenced section heading. The PDF version also includes hyperlinks which direct the reader to that section and clicking on the *GeoReport* logo will bring you back to this page. For more interactive features, please view your project online at client.terracon.com.

ATTACHMENTS

EXPLORATION AND TESTING PROCEDURES
SITE LOCATION AND EXPLORATION PLANS
EXPLORATION RESULTS
SUPPORTING INFORMATION

Note: Refer to each individual Attachment for a listing of contents.

Geotechnical Engineering Report

Proposed Panda Express Restaurant S8-20-D6885 ■ Kuna, Ada County, Idaho

April 19, 2019 ■ Terracon Project No. 62195040



REPORT SUMMARY

Topic ¹	Overview Statement ²
Project Description	<p>The project includes a single-story building with a footprint of about 2,300 square feet. The building will be slab-on-grade (non-basement).</p> <p>Assumed max. column loads: 50 kips</p> <p>Assumed max. wall loads: 3 kips per lineal foot</p> <p>Site grading is expected to be relatively minor with maximum permanent cuts and fills of 3 feet or less.</p> <p>Expected traffic for pavement areas:</p> <ul style="list-style-type: none">■ Assumed max. 20,000 ESALs for flexible pavements
Geotechnical Characterization	<p>Fill encountered in five borings to depths ranging from about ½ foot to 3 feet.</p> <p>Native soils generally consisted of stiff to hard silt with varying amounts of sand and medium dense to very dense sand with varying amounts of silt.</p> <p>Groundwater not encountered</p>
Earthwork	<p>Remove existing fill where encountered.</p> <p>Structural Fill must meet requirements in Earthwork</p> <p>Existing site soils can be used as Site Grading Materials outside of structure areas</p>
Shallow Foundations	<p>Bearing stratum: Undisturbed native soils or Structural Fill extending down to undisturbed native soils.</p> <p>Allowable bearing pressure = 2,000 psf</p> <p>Expected settlements: Approximately 1 inch total, ½ to ¾ inch differential</p> <p>Detect and remove zones of fill as noted in Earthwork.</p>
Below-Grade Structures	None
Pavements	<p>With subgrade prepared as noted in Earthwork</p> <p>Asphalt:</p> <ul style="list-style-type: none">■ 3" AC over 9" Aggregate Base over Subgrade Separation Geotextile <p>Concrete:</p> <ul style="list-style-type: none">■ 7" PCC over 6" Aggregate Base in ingress/egress areas and/or dumpster pad areas
General Comments	<p>This section contains important information about the limitations of this geotechnical engineering report.</p>

1. If the reader is reviewing this report as a pdf, the topics above can be used to access the appropriate section of the report by simply clicking on the topic itself.
2. This summary is for convenience only. It should be used in conjunction with the entire report for design purposes.

Geotechnical Engineering Report
Proposed Panda Express Restaurant S8-20-D6885
Meridian Road & Profile Drive
Kuna, Ada County, Idaho
Terracon Project No. 62195040
April 19, 2019

INTRODUCTION

This report presents the results of our subsurface exploration and geotechnical engineering services performed for the proposed Panda Express Restaurant to be located at Meridian Road & Profile Drive in Kuna, Ada County, Idaho. The purpose of these services is to provide information and geotechnical engineering recommendations relative to:

- Subsurface soil conditions
- Groundwater conditions
- Site preparation and earthwork
- Pavement design and construction
- Foundation design and construction
- Floor slab design and construction
- Seismic site classification per IBC

The geotechnical engineering Scope of Services for this project included the advancement of seven (7) test borings to depths ranging from approximately 6 to 21 feet below existing site grades.

Maps showing the site and boring locations are shown in the Site Location and Exploration Plan sections, respectively. The results of the laboratory testing performed on soil samples obtained from the site during the field exploration are included on the boring logs and as a separate graph in the Exploration Results section.

SITE CONDITIONS

The following description of site conditions is derived from our site visit in association with the field exploration and our review of publicly available topographic maps.

Item	Description
Parcel Information	The site is located at the northeast corner of Meridian Road and Profile Drive in Kuna, Idaho. See Site Location

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Item	Description
Existing Improvements	The site appears to have been rough graded previously. Profile Drive and Jacksonmill Avenue to the south and east, and sidewalks to the east, west, and south of the project site have been constructed as part of the larger development.
Current Ground Cover	The site is generally covered with soil surface, weeds, and grass.
Existing Topography	The site appears to be sloping gently down to the west.

PROJECT DESCRIPTION

Our initial understanding of the project was provided in our proposal and was discussed during project planning. A period of collaboration has transpired since the project was initiated, and our final understanding of the project conditions is as follows:

Item	Description
Information Provided	Emailed site plans and survey information received on March 21, 2019.
Project Description	The proposed building will be located on the north side of the site. The building will have a paved drive-thru around the north, east and west sides of the building and a paved parking area to the south of the building.
Building Construction	We understand the proposed building will be a single-story wood-frame building with a slab-on-grade floor system. The building will be approximately 2,300 square feet in plan area.
Finished Floor Elevation	The finish floor elevation is not known at this time; however, we assume it will be near existing site grades.
Assumed Maximum Loads	<u>Columns:</u> 50 kips <u>Walls:</u> 3 kips per linear foot <u>Floor Slab:</u> 100 psf
Grading/Slopes	We assume site grading will be relatively minor with maximum permanent cuts and fills of about 3 feet or less.
Below-Grade Structures	None (assumed)
Free-Standing Retaining Walls	None (assumed)
Pavements	We assume that the traffic loads associated with parking areas will be relatively light, consisting of cars and pickups with occasional delivery and garbage trucks. A traffic volume of 20,000 18-kip equivalent Single Axle Loads (ESALs) was assumed for the design of flexible pavement for this project.
Stormwater disposal	We understand the project will include stormwater management areas. Specific stormwater management types and are not known by Terracon at this time. At the request of Panda Restaurant Group, Inc., one on-site percolation test was performed near the center of the proposed parking lot.

We request the design team verify this information. If there are any changes to this information we should be notified so that we might modify our recommendations, as appropriate.

GEOTECHNICAL CHARACTERIZATION

We have developed a general characterization of the subsurface conditions based upon our review of the subsurface exploration, laboratory data, geologic setting and our understanding of the project. This characterization, termed GeoModel, forms the basis of our geotechnical calculations and evaluation of site preparation and foundation options. Conditions encountered at each exploration point are indicated on the individual logs. The individual logs can be found in the Exploration Results section and the GeoModel can be found in the Figures section of this report.

As part of our analyses, we identified the following model layers within the subsurface profile. For a more detailed view of the model layer depths at each boring location, refer to the GeoModel.

Model Layer	Layer Name	General Description
1	Fill	Fill comprised of mixtures of silty clay, silt, and sand.
2	Silt and Sand	Interbedded silt and sand deposits.

Within boring B-1, basalt rock was encountered at the bottom of the boring at a depth of approximately 21 feet below the existing ground surface.

The borings were monitored during drilling for the presence and depth of groundwater. At the time of drilling, groundwater was not encountered within the borings. Groundwater fluctuations may occur due to seasonal variations in the amount of rainfall, runoff, irrigation and other factors not evident at the time the borings were performed. Based on a review of logs available from the Idaho Department of Water Resources of wells in the project vicinity, we anticipate the seasonal high groundwater level will be greater than 15 feet below the existing ground surface elevation. Isolated perched water conditions may develop above basalt rock or cemented soil layers.

GEOTECHNICAL OVERVIEW

Based on the materials encountered in the borings, it is our opinion that the site is suitable to support the proposed structure on conventional shallow spread footings, provided the recommendations included in this report are incorporated into project design and construction. Primary geotechnical considerations identified are discussed below.

- Undocumented fill soils were encountered in five borings drilled at the site to depths of about ½ to 3 feet below the existing ground surface. Additional fill that was not encountered as part of this geotechnical exploration may exist at the site, including fill to

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greater depths. Any fill and other deleterious materials should be removed from the site prior to construction as required in the **Site Preparation** subsection.

- If the owner is willing to accept risk of future pavement distress caused by settlement of the existing fill soils, flexible (asphalt) pavements may be supported on the existing fill soils, provided the recommendations presented in this report are incorporated into project construction. However, even with the recommendations contained in this report, including the recommended construction testing services, there is an inherent risk for the owner that compressible fill or unsuitable materials will exist within the fill that may lead to future pavement distress, which could result in increased pavement maintenance costs, shortened pavement life, or alteration of site and pavement drainage patterns. If this risk is not acceptable to the owner, fill soils should be completely removed from the proposed flexible pavement areas.
- The risk associated with placing rigid concrete pavements over existing undocumented fill is generally greater than for flexible pavements, because concrete is typically more expensive to repair. As a result, we recommend that fill soils be completely removed from beneath proposed rigid concrete pavements.

Specific conclusions and recommendations regarding these geotechnical considerations, as well as other geotechnical aspects of design and construction are presented in the following sections. The recommendations contained in this report are based upon the results of field and laboratory testing, engineering analyses, and our current understanding of the proposed project.

The General Comments section provides an understanding of the report limitations.

EARTHWORK

Earthwork is anticipated to include clearing and grubbing, excavations, and fill placement. The following sections provide recommendations for use in the preparation of specifications for the work. Recommendations include critical quality criteria, as necessary, to render the site in the state considered in our geotechnical engineering evaluation for foundations, floor slabs, and pavements.

Site Preparation

As noted in Geotechnical Characterization, existing fill was encountered in some of the borings to depths up to about 3 feet below existing ground surface. Fill depth should be expected to vary. Subgrade soils exposed during construction will be susceptible to rutting or pumping under construction traffic when wet. See **Earthwork Construction Considerations**.

Building Areas

Prior to construction, deleterious materials such as vegetation, root systems, topsoil, and soft, frozen, disturbed, or otherwise unsuitable materials should be completely removed from the proposed building area. Existing fill soils are not suitable for support of the proposed building, and the fill materials should be completely removed from beneath the proposed structure. This complete removal of existing fill should extend at least 5 feet beyond the extents of the building and appurtenances, such as the entry sidewalks and other items attached to the building proper. Exposed surfaces after excavation should be free of mounds and depressions that could prevent uniform compaction.

After removal of the materials described above is complete, the top 8 inches of the exposed native soils these areas should be scarified, moisture conditioned to near optimum moisture content, and compacted to the requirements outlined in **Fill Compaction Requirements**.

Rigid Concrete Pavement Areas

As described in the Geotechnical Considerations Section of this report, we recommend that fill soils be completely removed from beneath proposed rigid concrete pavements. After removal of fill, all remaining deleterious materials such as those described above should also be completely removed from the proposed rigid pavement areas. Exposed surfaces should be free of mounds and depressions that could prevent uniform compaction. After removal of the materials described above, the top 8 inches of the exposed native soils within these areas should be scarified, moisture conditioned to near optimum moisture content, and compacted to the requirements outlined in **Fill Compaction Requirements**.

Flexible (Asphalt) Pavement Areas

Flexible (asphalt) pavements may be supported on the existing fill soils if the owner is willing to accept risk of future pavement distress, as discussed in the *Geotechnical Overview*. If the risk of future pavement distress due to constructing pavements on the existing fill is not acceptable to the project owner, the existing fill soils should be completely removed from the proposed pavement areas, and the exposed native soils should be scarified, moisture conditioned, and compacted as described above.

If the project owner elects to construct flexible pavements on the existing fill; vegetation, topsoil and soft or loose, disturbed, or otherwise unsuitable deleterious materials should be removed from the proposed pavement areas. The top 8 inches of the exposed existing fill soils should be scarified, moisture conditioned to near the optimum moisture content, and compacted to the requirements outlined in **Fill Compaction Requirements**. Terracon should be retained to observe and document the removal of deleterious materials and scarification and compaction of the exposed fill soils.

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Fill Material Types

Fill material requirements vary depending on the intended use of the material. The following table summarizes the fill material designations and the zones where they may be placed.

Fill Designation ¹	Materials	Acceptable Location for Placement
Site Grading Materials	On-site soils may be used as Site Grading Materials provided they are free of topsoil, vegetation, construction debris, and other deleterious materials.	Pavement and other non-building areas
Structural Fill	Structural Fill should consist of 3-inch or 6-inch minus uncrushed aggregates meeting the requirements of Idaho Standards for Public Works Construction (ISPWC) Section 801.	Building and pavement areas with the exception of those areas where Aggregate Base is specified.
Aggregate Base	Aggregate Base should meet the requirements for ¾-inch (Type I) crushed aggregate in accordance with ISPWC Section 802.	Base course material for pavements and floor slabs and all other locations within building and pavement areas.

1. Frozen material should not be used, and fill should not be placed on a frozen subgrade.

Fill Compaction Requirements

Fill materials should be placed in horizontal, loose lifts not exceeding 8 inches in thickness when heavy, self-propelled compaction equipment is used and 4 to 6 inches in thickness when hand-guided equipment (i.e. jumping jack or plate compactor) is used. Fill should be adjusted to within ±2 percent of the optimum moisture content, and compacted to the minimum percentages of either maximum dry density or relative density shown in the following table, whichever is appropriate for the material being used. Fill should meet the density requirements presented in the following table.

Location	Percent of Maximum Dry Density, ASTM D1557	Percent Relative Density, ASTM D4253/D4254
Beneath buildings, slabs, walkways, and paved areas	95	80
Other areas of fill and backfill	90	75

Grading and Drainage

All grades must provide effective drainage away from the building during and after construction and should be maintained throughout the life of the structure. Water retained next to the building can result in soil movements greater than those discussed in this report. Greater movements can result in unacceptable differential floor slab and/or foundation movements, cracked slabs and walls, and roof leaks. The roof should have gutters/drains with downspouts that discharge onto splash blocks at a distance of at least 10 feet from the building.

Exposed ground should be sloped and maintained at a minimum 5% away from the building for at least 10 feet beyond the perimeter of the building. Locally, flatter grades may be necessary to transition ADA access requirements for flatwork. After building construction and landscaping have been completed, final grades should be verified to document effective drainage has been achieved. Grades around the structure should also be periodically inspected and adjusted, as necessary, as part of the structure's maintenance program. Where paving or flatwork abuts the structure, a maintenance program should be established to effectively seal and maintain joints and prevent surface water infiltration.

Earthwork Construction Considerations

Shallow excavations, for the proposed structure, are anticipated to be accomplished with conventional construction equipment. Construction traffic over the completed subgrades should be avoided. The site should also be graded to prevent ponding of surface water on the prepared subgrades or in excavations. Water collecting over, or adjacent to, construction areas should be removed.

Exposed soils will be susceptible to rutting or pumping under construction traffic when wet. Soils that rut, pump, or are otherwise disturbed are not suitable for building pad and pavement areas, and should be removed and replaced with Structural Fill. Measures that may help reduce disturbance of exposed soils include performing earthwork during warm, dry weather, the use of light track-mounted equipment, and avoidance of heavy repeated traffic over a given area.

As a minimum, excavations should be performed in accordance with OSHA 29 CFR, Part 1926, Subpart P, "Excavations" and its appendices, and in accordance with any applicable local, and/or state regulations. The Contractor is responsible for designing and constructing stable, temporary excavations as required to maintain stability of the excavation sides and bottom, and for protecting existing facilities/utilities.

Construction site safety is the sole responsibility of the contractor who controls the means, methods, and sequencing of construction operations. Under no circumstances shall the information provided herein be interpreted to mean Terracon is assuming responsibility for construction site safety, or the contractor's activities; such responsibility shall neither be implied nor inferred.

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Construction Observation and Testing

Earthwork on the project should be observed and evaluated by the Geotechnical Engineer. Monitoring of earthwork should include observation and testing of site clearing and subgrade preparation, placement of Structural Fill, foundation construction, and other geotechnical conditions exposed during the construction of the project.

Each lift of compacted fill should be tested, evaluated, and reworked, as necessary, until approved by the Geotechnical Engineer prior to placement of additional lifts. Each lift of fill should be tested for density and water content at a frequency of at least one test for every 2,500 square feet of compacted fill in the building areas and 5,000 square feet in pavement areas. One density and water content test should be performed for every 50 to 100 linear feet of compacted utility trench backfill.

In areas of foundation excavations, the bearing subgrade should be evaluated under the direction of the Geotechnical Engineer. If unanticipated conditions are encountered, the Geotechnical Engineer should prescribe mitigation options.

In addition to the documentation of the essential parameters necessary for construction, the continuation of the Geotechnical Engineer into the construction phase of the project provides the continuity to maintain the Geotechnical Engineer's evaluation of subsurface conditions, including assessing variations and associated design changes.

SHALLOW FOUNDATIONS

If the site has been prepared in accordance with the requirements noted in Earthwork, the following design parameters are applicable for shallow foundations.

Design Parameters

Item	Description
Foundation Type	Conventional shallow spread footings
Required Bearing Stratum ³	Undisturbed native soils or compacted Structural Fill meeting the requirements of Earthwork. The compacted Structural Fill should be supported on undisturbed native soils.
Maximum Net Allowable Bearing pressure ^{1, 2}	2,000 psf
Minimum Foundation Dimensions	Columns: 30 inches Continuous: 18 inches
Ultimate Coefficient of Sliding Friction ⁴	0.40 (An appropriate factor of safety should be applied to this value for use in design.)

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Item	Description
Minimum Embedment below Finished Grade ⁵	Exterior footings: 24 inches (for frost protection) Interior footings not subject to frost: 18 inches
Estimated Total Settlement from Structural Loads ²	Approximately 1 inch or less
Estimated Differential Settlement ²	Typically ½ to ¾ of the total settlement

1. The maximum net allowable bearing pressure is the pressure in excess of the minimum surrounding overburden pressure at the footing base elevation. An appropriate factor of safety has been applied. Values assume that exterior grades are no steeper than 20% within 10 feet of structure.
2. Values provided are for maximum loads noted in Project Description.
3. Unsuitable or soft soils should be over-excavated and replaced per the recommendations presented in the Earthwork.
4. Can be used to compute sliding resistance where foundations are placed on suitable soil/materials. Should be neglected for foundations subject to net uplift conditions.
5. Embedment necessary to minimize the effects of frost and/or seasonal water content variations. For sloping ground, maintain depth below the lowest adjacent exterior grade within 5 horizontal feet of the structure.

Foundation Construction Considerations

As noted in Earthwork, the footing excavations should be evaluated under the direction of the Geotechnical Engineer. The base of all foundation excavations should be free of water and loose soil, prior to placing concrete. Concrete should be placed soon after excavating to reduce bearing soil disturbance. Care should be taken to prevent wetting or drying of the bearing materials during construction. Excessively wet or dry material or any loose/disturbed material in the bottom of the footing excavations should be removed/reconditioned before foundation concrete is placed.

If foundations are supported by Structural Fill, the fill should extend laterally at least a distance equal to 2/3 the depth of the Structural Fill below the footing.

SEISMIC CONSIDERATIONS

The seismic design requirements for buildings and other structures are based on Seismic Design Category. Site Classification is required to determine the Seismic Design Category for a structure. The Site Classification is based on the upper 100 feet of the site profile defined by a weighted average value of either shear wave velocity, standard penetration resistance, or undrained shear strength in accordance with Section 20.4 of ASCE 7 and the International Building Code (IBC). Based on the soil properties encountered at the site and as described on the exploration logs and results, it is our professional opinion that the **Seismic Site Classification is D**. Subsurface explorations at this site were extended to a maximum depth of 21 feet. The site properties below the boring depth to 100 feet were estimated based on our experience and knowledge of geologic

conditions of the general area. Additional deeper borings or geophysical testing may be performed to confirm the conditions below the current boring depth.

FLOOR SLABS

Floor Slab Design Parameters

Item	Description
Interior floor system	Slab-on-grade concrete
Floor Slab Support ¹	Minimum 4 inches of ¾-inch-minus crushed aggregate base compacted in accordance with Earthwork. ²

1. Floor slabs should be structurally independent of building footings or walls to reduce the possibility of floor slab cracking caused by differential movements between the slab and foundation.
2. Aggregate base should meet the requirements of ¾-Inch (Type 1) crushed aggregate in the ISPWC, Section 802.

The use of a vapor retarder should be considered beneath concrete slabs on grade covered with wood, tile, carpet, or other moisture sensitive or impervious coverings, or when the slab will support equipment sensitive to moisture. When conditions warrant the use of a vapor retarder, the slab designer should refer to ACI 302 and/or ACI 360 for procedures and cautions regarding the use and placement of a vapor retarder.

Floor Slab Construction Considerations

Finished subgrade, within and for at least 10 feet beyond the floor slab, should be protected from traffic, rutting, or other disturbance and maintained in a relatively moist condition until floor slabs are constructed. If the subgrade should become damaged or desiccated prior to construction of floor slabs, the affected material should be removed and Structural Fill should be added to replace the resulting excavation. Final conditioning of the finished subgrade should be performed immediately prior to placement of the floor slab support course.

The Geotechnical Engineer should observe and document that floor slab subgrade has been prepared in accordance with Earthwork. This observation should occur immediately prior to placement of the floor slab support course, reinforcing steel and concrete. Attention should be paid to high traffic areas that were rutted and disturbed earlier, and to areas where backfilled trenches are located.

PAVEMENTS

General Pavement Comments

Pavement designs are provided for the traffic conditions and pavement life conditions as noted in Project Description and in the following sections of this report. A critical aspect of pavement performance is site preparation. Pavement designs noted in this section must be applied to the site which has been prepared as recommended in the Earthwork section.

Pavement Design Parameters

The subgrade support characteristics were derived based on soil types encountered and our understanding of the quality of the subgrade as prescribed by the Site Preparation conditions as outlined in Earthwork.

We have assumed a maximum traffic loading of 20,000 ESALs. If higher traffic volumes or loads are anticipated, Terracon should be notified to provide revised pavement sections. Design, construction, and maintenance considerations are presented below.

Pavement Section Thicknesses

The following table provides an AC pavement section:

Asphaltic Concrete Design	
Layer	Thickness (inches)
	Parking and Driveway Areas
Asphalt Concrete ^{1, 2}	3.0
Aggregate Base ¹	9.0
Total Thickness	12.0

1. All materials should conform to the requirements of the ISPWC.
 2. Asphalt cement should be PG 64-28 Performance Graded Asphalt.

A Type III Subgrade Separation Geotextile meeting the requirements of Section 2050 of the ISPWC should be placed between the prepared subgrade and the pavement section aggregate layer to reduce migration of the clay/silt into the aggregate layer, which would reduce the effective layer thickness of the aggregate.

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For areas subject to concentrated, repetitive loading conditions such as dumpster pads and ingress/egress aprons we recommend using a Portland cement concrete pavement. For dumpster pads, the concrete pavement area should be large enough to support the container and tipping axle of the refuse truck.

Portland Cement Concrete Design	
Layer	Thickness (inches)
	Dumpster Pad and Ingress/Egress Aprons
Portland Cement Concrete ^{1, 2}	7.0
Aggregate Base ¹	6.0
Total Thickness	13.0

1. All materials should conform to the requirements of the ISPWC. The concrete should be air entrained and have a minimum compressive strength of 4,000 psi after 28 days of laboratory curing per ASTM C 31.
2. Reinforcing steel should consist of No. 4 bars spaced at 18 inches on center in both directions.

Pavement sections should be placed on subgrade prepared in accordance with Earthwork.

Pavement Design Considerations

Long-term pavement performance will depend on several factors, including reducing or preventing increases in subgrade moisture content and providing preventive maintenance. Pavement performance may also depend on if pavements are placed over the existing fill soils. In general, increases in the moisture content of subsurface soils can result in adverse effects to the pavement section, including frost susceptibility or loss of subgrade strength. Water allowed to pond on or adjacent to the pavements could saturate the subgrade and contribute to premature pavement deterioration.

Openings in the pavement surface, such as landscape islands, are sources for water infiltration into the surrounding pavement section and subgrade. Water can collect in the islands and migrate into the underlying subgrade soils, thereby degrading support of the pavement. This is especially applicable for islands with raised concrete curbs, irrigated vegetation, and near-surface soils with low permeability. The civil design for pavements with these conditions should include features to restrict or collect and discharge excess water from the islands. Examples of these features are impermeable barriers that reduce lateral migration of water such as a cutoff barrier installed to a depth below the pavement section and edge drains connected to the storm-water collection

system or other suitable outlet. The following should be considered as minimum recommendations in the design and construction of pavements:

- Provide a minimum 2% grade in the ground surface away from the edge of pavements.
- Provide a minimum 2% cross slope for the subgrade and pavement surface to promote proper surface drainage.
- Install pavement drainage at the perimeter of areas where frequent wetting, such as from irrigation or other sources of water, is anticipated.
- Install joint sealant and seal cracks promptly.
- Seal all landscaped areas adjacent to pavements to reduce moisture migration to subgrade soils.
- Place compacted low-permeability backfill against the exterior side of curb and gutter.

If, due to requirements to match adjacent grades and ADA requirements, a 2% slope in the parking areas is not achievable in all areas, the grade should be designed using as close to a 2% minimum slope as project constraints will allow, and the final slopes should provide positive drainage from all paved surfaces. Care must be taken during construction so the constructed grades are not less than designed.

Pavement Construction Considerations

Pavement sections should be placed on properly prepared subgrade, as described in *Earthwork*. As construction proceeds, the subgrade may be disturbed or altered due to utility excavations, construction traffic, desiccation, or rainfall. As a result, the pavement subgrade may become unsuitable for pavement support. The long-term effects of localized areas of inadequately prepared subgrade may result in cracks or potholes in the pavement. Therefore, the subgrade should be carefully evaluated at the time of paving for signs of disturbance or rutting. If disturbance or rutting has occurred, subgrade areas should be reworked, moisture conditioned, and properly compacted to the recommendations in this report immediately prior to placing the pavement section materials.

In areas of prepared subgrade or partial thickness pavement, the contractor should limit traffic to equipment necessary to construct the pavement section. Heavily loaded vehicles operating on these surfaces may cause significant damage, resulting in deterioration and reduction in pavement life.

Pavement Maintenance

Preventive maintenance should be planned and provided through an on-going pavement management program. These maintenance activities are intended to slow the rate of pavement deterioration, and to preserve the pavement investment. Preventive maintenance consists of both localized maintenance (e.g., crack and joint sealing and patching) and global maintenance (e.g., surface sealing). Preventative maintenance is usually the first priority when implementing a planned

pavement maintenance program and provides a relatively high return on investment for pavements. Even with periodic maintenance, some movements and related cracking may still occur and repairs may be required.

STORMWATER MANAGEMENT

Percolation Testing

Terracon performed a field percolation rate test in boring B-4. The test was performed in general accordance with procedures outlined in the Boise Stormwater Design Manual. The test was performed in boring B-4 at a depth of about 4½ feet below the ground surface and resulted in a field percolation rate of 40 inches per hour. Based on our observations of the site soils and our previous experience with similar soils, it is our opinion that this test result is not representative of the majority of the soils encountered on the site and should not be used in developing the design percolation rate.

Based on values published in the Technical Guidance Manual for Individual and Subsurface Sewage Disposal Systems prepared by the Idaho Department of Environmental Quality we recommend a field percolation rate of 10 inches per hour for the native, non-cemented silty sand soils encountered in the borings.

A design rate should be determined by the designer by applying an appropriate factor of safety to the typical field percolation rate presented above. With time, the bottoms of infiltration systems tend to clog with organics, sediments, and other debris. Long-term maintenance will be required to help reduce decreases in the actual percolation rate. In addition, percolation rates may be affected by the following factors, which should be considered when selecting the factor of safety:

Test Procedures: The percolation test was performed through a 5-inch diameter pipe. Percolation rates in large storm water infiltration systems may be different than measured in the relatively small test area.

Water Quality: Percolation tests are typically performed using clear water, whereas the storm water will likely not be clear, but may contain organics, fines, and grease/oil. The presence of these deleterious materials will tend to decrease the rate that water percolates from the infiltration systems. Design of the stormwater infiltration systems should account for the presence of these materials and should incorporate structures/devices to remove these deleterious materials.

Soil Variability: Based on the soils encountered during our exploration, we expect the percolation rates of the soils could vary over short distances due to variations in fines content, cementation, and soil type. Percolation into soils with a higher percentage of silt or clay or with cementation would be expected to have lower percolation rates. The design elevations and sizes

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of the proposed infiltration systems should account for this expected variability in the percolation rate.

The bottom of excavations for subsurface drainage features should be carefully examined for naturally cemented soils. If cemented soils are exposed they should be overexcavated. The bottom of the drainage feature may be lowered to the bottom of the overexcavation, or the overexcavation may be backfilled to the desired elevation with suitable sand.

GENERAL COMMENTS

Our analysis and opinions are based upon our understanding of the project, the geotechnical conditions in the area, and the data obtained from our site exploration. Natural variations will occur between exploration point locations or due to the modifying effects of construction or weather. The nature and extent of such variations may not become evident until during or after construction. Terracon should be retained as the Geotechnical Engineer, where noted in this report, to provide observation and testing services during pertinent construction phases. If variations appear, we can provide further evaluation and supplemental recommendations. If variations are noted in the absence of our observation and testing services on-site, we should be immediately notified so that we can provide evaluation and supplemental recommendations.

Our Scope of Services does not include either specifically or by implication any environmental or biological (e.g., mold, fungi, bacteria) assessment of the site or identification or prevention of pollutants, hazardous materials or conditions. If the owner is concerned about the potential for such contamination or pollution, other studies should be undertaken.

Our services and any correspondence or collaboration through this system are intended for the sole benefit and exclusive use of our client for specific application to the project discussed and are accomplished in accordance with generally accepted geotechnical engineering practices with no third-party beneficiaries intended. Any third-party access to services or correspondence is solely for information purposes to support the services provided by Terracon to our client. Reliance upon the services and any work product is limited to our client, and is not intended for third parties. Any use or reliance of the provided information by third parties is done solely at their own risk. No warranties, either express or implied, are intended or made.

Site characteristics as provided are for design purposes and not to estimate excavation cost. Any use of our report in that regard is done at the sole risk of the excavating cost estimator as there may be variations on the site that are not apparent in the data that could significantly impact excavation cost. Any parties charged with estimating excavation costs should seek their own site characterization for specific purposes to obtain the specific level of detail necessary for costing. Site safety, and cost estimating including, excavation support, and dewatering requirements/design are the responsibility of others. If changes in the nature, design, or location

Geotechnical Engineering Report

Proposed Panda Express Restaurant S8-20-D6885 ■ Kuna, Ada County, Idaho
April 19, 2019 ■ Terracon Project No. 62195040



of the project are planned, our conclusions and recommendations shall not be considered valid unless we review the changes and either verify or modify our conclusions in writing.

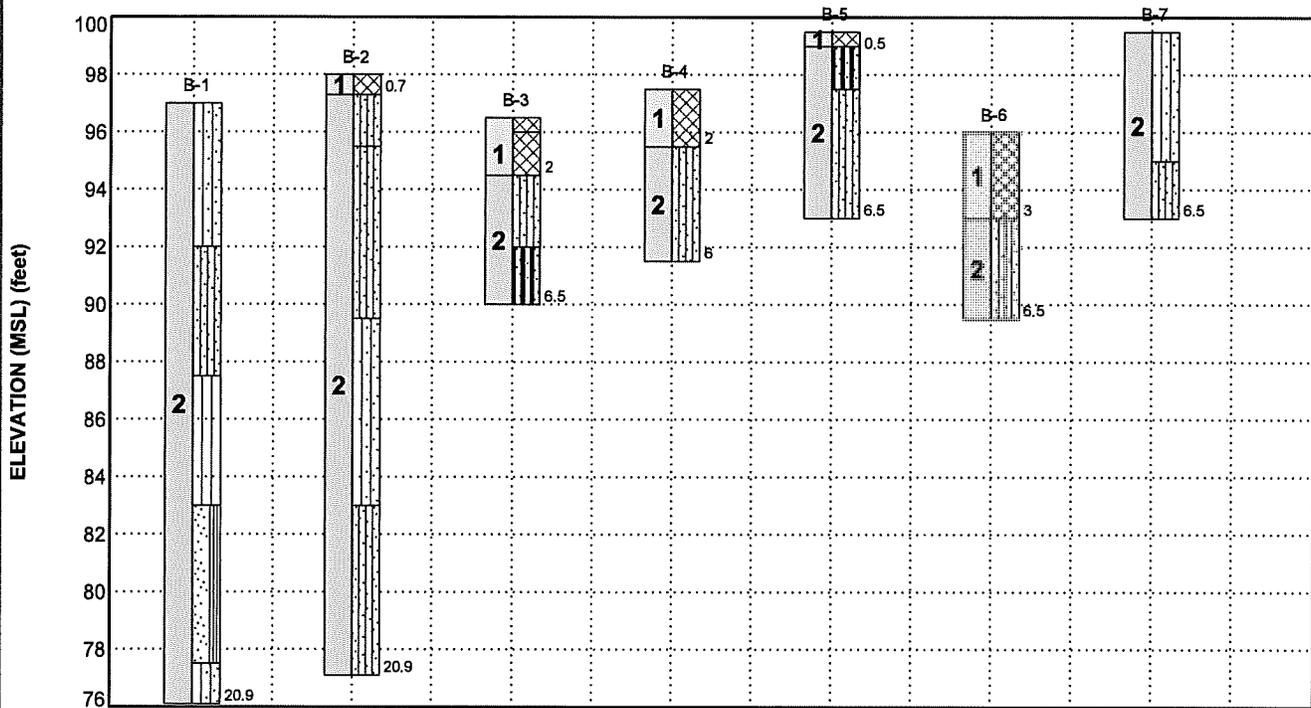
FIGURES

Contents:

GeoModel

GEOMODEL

Proposed Panda Express Restaurant S8-20-D6885 ■ Kuna, ID
4/19/2019 ■ Terracon Project No. 62195040



This is not a cross section. This is intended to display the Geotechnical Model only. See individual logs for more detailed conditions.

Model Layer	Layer Name	General Description
1	Fill	Fill comprised of mixtures of silty clay, silt, and sand.
2	Silt and Sand	Interbedded silt and sand deposits.

LEGEND

- Silt with Sand
- Poorly-graded Sand with Silt
- Silty Sand
- Fill
- Silt
- Sandy Silt

- First Water Observation
- Second Water Observation
- Third Water Observation

Groundwater levels are temporal. The levels shown are representative of the date and time of our exploration. Significant changes are possible over time. Water levels shown are as measured during and/or after drilling. In some cases, boring advancement methods mask the presence/absence of groundwater. See individual logs for details.

NOTES:

Layering shown on this figure has been developed by the geotechnical engineer for purposes of modeling the subsurface conditions as required for the subsequent geotechnical engineering for this project. Numbers adjacent to soil column indicate depth below ground surface.

ATTACHMENTS

EXPLORATION AND TESTING PROCEDURES

Field Exploration

Number of Borings	Approximate Boring Depth (feet)	Planned Location
2	21	Building area
5	6 to 6½	Pavement areas

Boring Layout and Elevations: Terracon personnel provided the boring layout. Coordinates were obtained with a handheld GPS unit (estimated horizontal accuracy of about ±10 feet). Relative boring elevations were recorded using an engineer's level and rod utilizing a temporary benchmark established at the site with an assumed elevation. Approximate elevations reported on the boring logs are rounded to the nearest ½ foot. The top nut of the fire hydrant located at the southeast corner of the project site was used as a temporary benchmark (TBM). The elevation of the TBM was assumed to be 100 feet. The approximate location of the TBM is shown on the Exploration Plan. If elevations and a more precise boring layout are desired, we recommend borings be surveyed.

Subsurface Exploration Procedures: We advanced the borings with a truck-mounted, rotary drill rig using continuous flight hollow-stem augers. Four samples were obtained in the upper 10 feet of each boring and at intervals of 5 feet thereafter. In the split-barrel sampling procedure, a standard 2-inch outer diameter split-barrel sampling spoon was driven into the ground by a 140-pound automatic hammer falling a distance of 30 inches. The number of blows required to advance the sampling spoon the last 12 inches of a normal 18-inch penetration is recorded as the Standard Penetration Test (SPT) resistance value. The SPT resistance values, also referred to as N-values, are indicated on the boring logs at the test depths. We observed the borings for the presence of groundwater during drilling and sampling. Borings were backfilled in accordance with Idaho Department of Water Resources requirements upon completion.

The N-value provides a reasonable estimate of the relative in-place density of non-cemented sandy type materials. However, the N-value only provides an indication of the relative stiffness of cohesive materials, since the penetration resistance of these soils may be affected by the moisture content. Considerable care must be exercised in interpreting the N-value in gravelly soils, particularly where the size of the gravel particles exceeds the inside diameter of the sampling spoon.

An automatic SPT hammer was used to advance the split-spoon sampler in the borings performed on this site. A greater efficiency is typically achieved with the automatic hammer compared to the conventional safety hammer operated with a cathead and rope. Published correlations between the SPT values and soil properties are based on the cathead and rope method. The higher

Geotechnical Engineering Report

Proposed Panda Express Restaurant S8-20-D6885 ■ Kuna, Ada County, Idaho
April 19, 2019 ■ Terracon Project No. 62195040



efficiency of the automatic hammer affects the standard penetration resistance blow count (N-value) by increasing the penetration per hammer blow over what would be obtained using the cathead and rope method. The effect of the automatic hammer's efficiency has been considered in the interpretation and analysis of the subsurface information for this report.

The sampling depths, penetration distances, and other sampling information was recorded on the field boring logs. The samples were placed in appropriate containers and taken to our soil laboratory for testing and classification by a Geotechnical Engineer. Our exploration team prepared field boring logs as part of the drilling operations. These field logs included visual classifications of the materials encountered during drilling and our interpretation of the subsurface conditions between samples. Final boring logs were prepared from the field logs. The final boring logs represent the Geotechnical Engineer's interpretation of the field logs and include modifications based on observations and tests of the samples in our laboratory.

Percolation Testing: We performed one percolation test within the proposed parking area. A write-up regarding the test procedure and result is provided in *Stormwater Management*.

Laboratory Testing

The project engineer reviewed the field data and assigned laboratory tests to evaluate the engineering properties of the various soil strata. Procedural standards noted below are for reference to methodology in general. In some cases, variations to methods were applied because of local practice or professional judgment. Standards noted below include reference to other, related standards. Such references are not necessarily applicable to describe the specific test performed.

- ASTM D2216 Standard Test Methods for Laboratory Determination of Water (Moisture) Content of Soil and Rock by Mass
- ASTM D4318 Standard Test Methods for Liquid Limit, Plastic Limit, and Plasticity Index of Soils
- ASTM D422 Standard Test Method for Particle-Size Analysis of Soils
- ASTM D1140: Standard Test Methods for Determining the Amount of Material Finer than 75- μ m (No. 200) Sieve in Soils by Washing

Based on laboratory test results and visual observation, we described and classified the soil samples in accordance with the Unified Soil Classification System, see *Supporting Information*. Results of laboratory testing are generally summarized on the boring log. Graphical results of the gradation test are included in *Exploration Results*.

SITE LOCATION AND EXPLORATION PLANS

Contents:

Site Location Plan
Exploration Plan

Note: All attachments are one page unless noted above.

SITE LOCATION
Panda Express ■ Kuna, ID
April 19, 2019 ■ Terracon Project No. 62195040

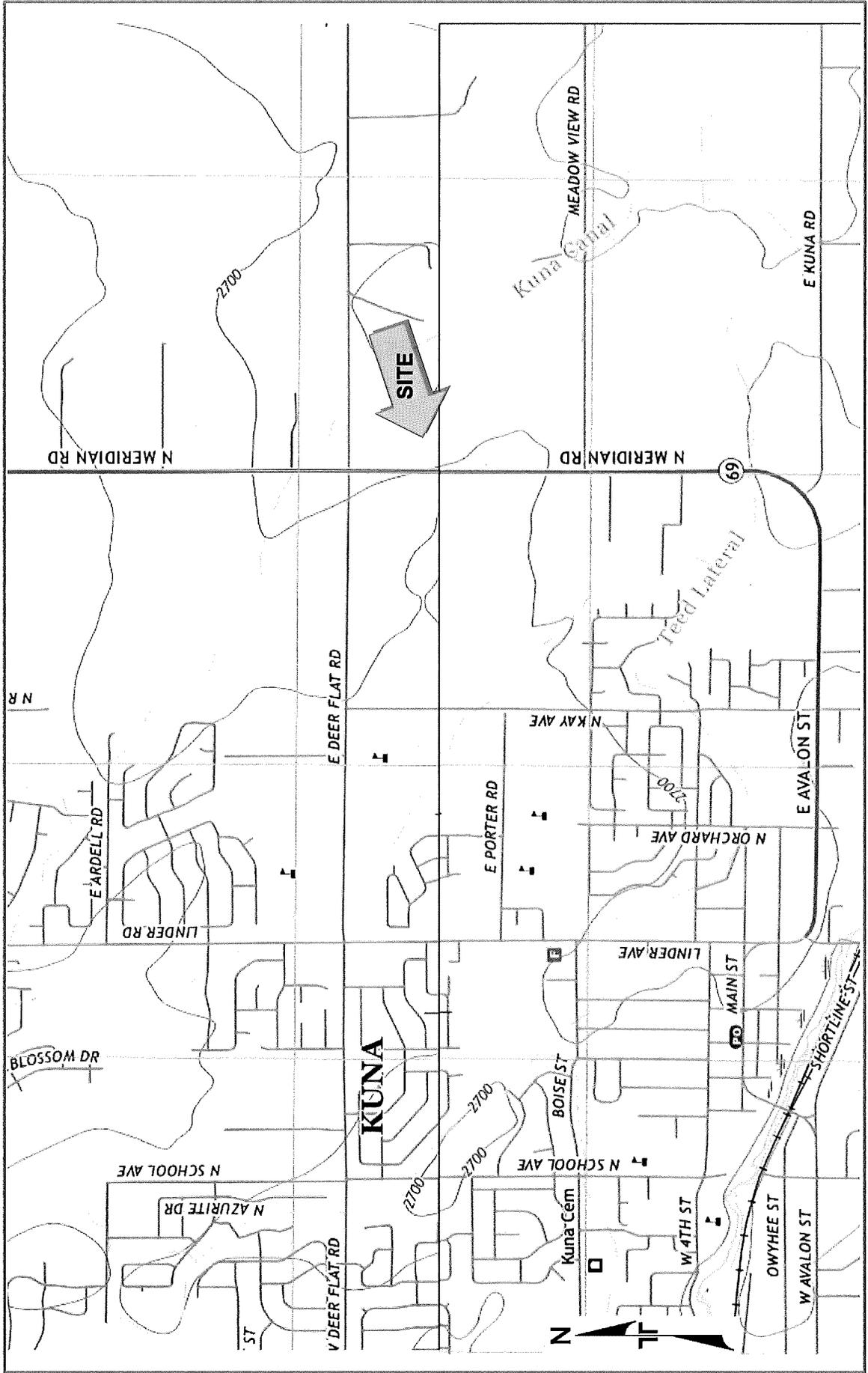


DIAGRAM IS FOR GENERAL LOCATION ONLY, AND IS NOT INTENDED FOR CONSTRUCTION PURPOSES

TOPOGRAPHIC MAP IMAGE COURTESY OF THE U.S. GEOLOGICAL SURVEY. QUADRANGLES INCLUDE: MERIDIAN, ID (1/17/1971), CLOVERDALE, ID (1/17/1996), KUNA, ID (1/17/1992) and MORA, ID (1/17/1992).

EXPLORATION PLAN
 Panda Express ■ Kuna, ID
 April 19, 2019 ■ Terracon Project No. 62195040

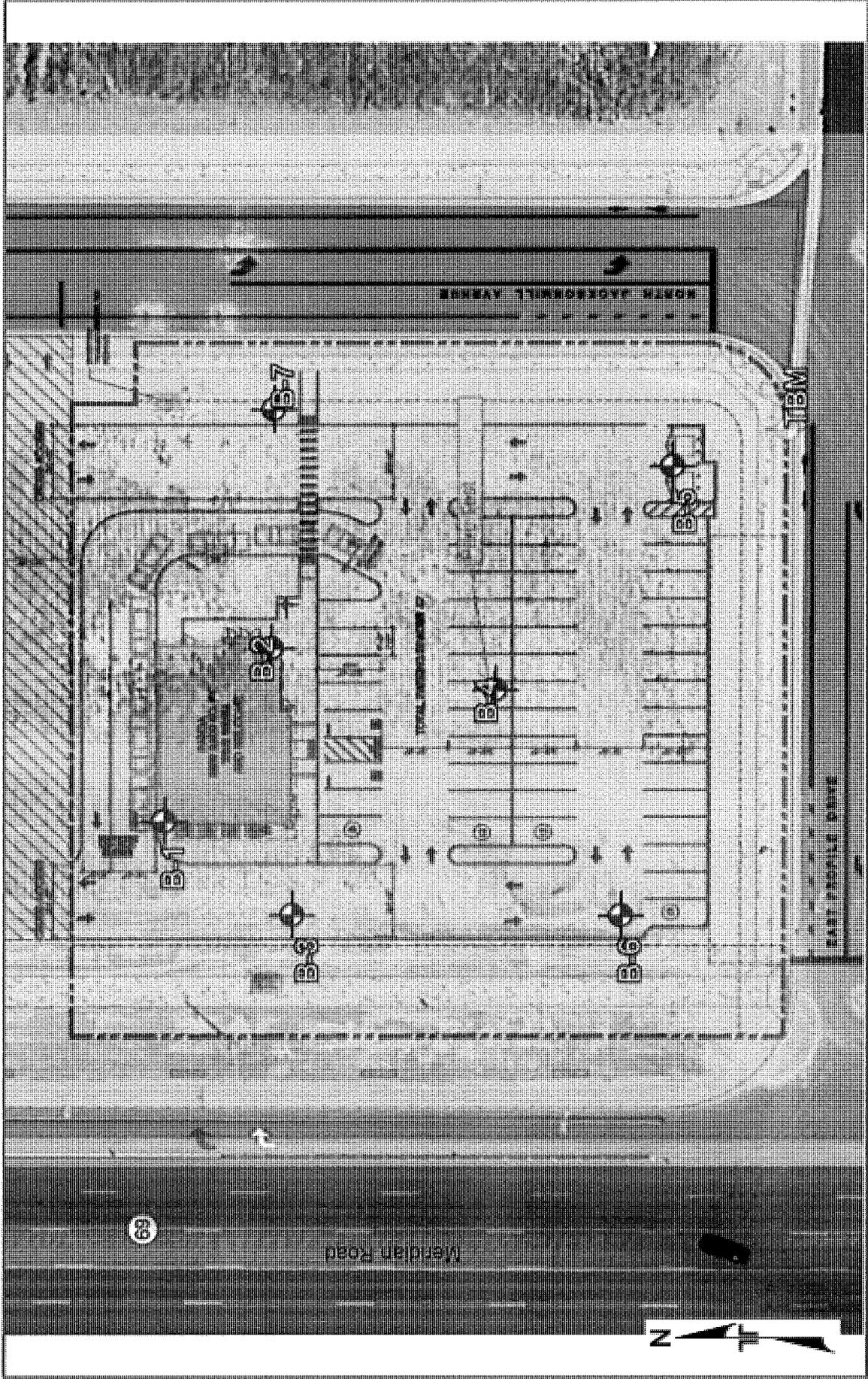


DIAGRAM IS FOR GENERAL LOCATION ONLY, AND IS NOT
 INTENDED FOR CONSTRUCTION PURPOSES

AERIAL PHOTOGRAPHY PROVIDED BY
 MICROSOFT BING MAPS

EXPLORATION RESULTS

Contents:

Boring Logs (B-1 through B-7)
Grain Size Distribution

Note: All attachments are one page unless noted above.

BORING LOG NO. B-1

**PROJECT: Proposed Panda Express Restaurant
S8-20-D6885**

**CLIENT: Panda Restaurant Group, Inc.
Rosemead, CA**

**SITE: Meridian Road and Profile Drive
Kuna, ID**

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 43.5003° Longitude: -116.3934° Approximate Surface Elev.: 97.0 (Ft.) +/- ELEVATION (Ft.)	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	RECOVERY (Ft.)	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS		PERCENT FINES
									LL-PL-PI		
		SILT WITH SAND , trace gravel, light brown, hard cemented particles	5.0		X	1.1	8-13-17 N=30	22			
		SILTY SAND (SM) , brown, medium dense to dense	9.5		X	1	8-15-29 N=44				
		SILT (ML) , dark brown, very stiff	14.0		X	1.2	11-14-15 N=29				
		POORLY GRADED SAND WITH SILT (SP-SM) , light brown, medium dense	19.5		X	1.4	5-14-29 N=43				
		SILT (ML) , dark brown, very stiff	20.9		X	1.1	10-10-15 N=25				
		SILT WITH SAND (ML) , brown, hard	20.9		X	1.2	6-14-15 N=29				
		basalt at bottom of boring Boring Terminated at 20.9 Feet	76+/-		X	0.9	6-50/5"				

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
Hollow stem auger

See Exploration and Testing Procedures for a description of field and laboratory procedures used and additional data (if any).

Notes:

Abandonment Method:
Boring backfilled with bentonite upon completion.

See Supporting Information for explanation of symbols and abbreviations.

Elevations were measured in the field using an engineer's level and grade rod.

WATER LEVEL OBSERVATIONS

No free water observed



Boring Started: 04-03-2019

Boring Completed: 04-03-2019

Drill Rig: CME 75

Driller: Haz-Tech, Inc

Project No.: 62195040

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL 62195040 PNADA EXPRESS IN.GPJ MODEL LAYER.GPJ 4/19/19

BORING LOG NO. B-2

PROJECT: Proposed Panda Express Restaurant
S8-20-D6885

CLIENT: Panda Restaurant Group, Inc.
Rosemead, CA

SITE: Meridian Road and Profile Drive
Kuna, ID

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 43.5002° Longitude: -116.3932° Approximate Surface Elev.: 98.0 (Ft.) +/- ELEVATION (Ft.)	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	RECOVERY (Ft.)	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS		PERCENT FINES
									LL-PL-PI		
1	0.5	FILL - SILT WITH SAND , dark brown	97.5+/-			1	2-6-11 N=17				
		SILTY SAND (SM) , light brown, medium dense									
	2.5	SILTY SAND (SM) , light brown, medium dense to dense, weak cementation	95.5+/-			1	19-24-18 N=42	10			
						1.2	11-13-13 N=26				36
						1.2	16-29-32 N=61				
	8.5	SILT WITH SAND (ML) , brown, hard	89.5+/-								
2						1.5	18-33-43 N=76				
	15.0	SILTY SAND (SM) , brown, dense to very dense, weak cementation	83+/-			1.4	19-23-24 N=47				
	20.9	Boring Terminated at 20.9 Feet	77+/-			0.9	19-50/5"				

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
Hollow stem auger

See Exploration and Testing Procedures for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with bentonite upon completion.

See Supporting Information for explanation of symbols and abbreviations.

Elevations were measured in the field using an engineer's level and grade rod.

WATER LEVEL OBSERVATIONS

No free water observed

Terracon
11849 W Executive Dr, Ste G
Boise, ID

Boring Started: 04-03-2019

Boring Completed: 04-03-2019

Drill Rig: CME 75

Driller: Haz-Tech, Inc

Project No.: 62195040

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL 62195040 PNADA EXPRESS IN .GPJ MODEL LAYER.GPJ 4/19/19

BORING LOG NO. B-3

PROJECT: Proposed Panda Express Restaurant
S8-20-D6885

CLIENT: Panda Restaurant Group, Inc.
Rosemead, CA

SITE: Meridian Road and Profile Drive
Kuna, ID

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 43.5002° Longitude: -116.3935° Approximate Surface Elev.: 96.5 (Ft.) +/- ELEVATION (Ft.)	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	RECOVERY (Ft.)	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS		PERCENT FINES
									LL-PL-PI		
1	[Cross-hatch pattern]	0.5 FILL - SILTY SAND , trace gravel, brown	96+/-		X	1	2-7-12 N=19				
		2.0 FILL - SILTY CLAY WITH SAND , brown	94.5+/-								
2	[Dotted pattern]	4.5 SILTY SAND (SM) , brown, medium dense	92+/-		X	1.4	14-11-10 N=21				
	[Vertical lines pattern]	6.5 SANDY SILT (ML) , trace gravel, brown and light brown, stiff	90+/-	5	X	1.2	5-5-4 N=9	23			
	Boring Terminated at 6.5 Feet										

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
Hollow stem auger

See Exploration and Testing Procedures for a description of field and laboratory procedures used and additional data (if any).

Notes:

Abandonment Method:
Boring backfilled with bentonite upon completion.

See Supporting Information for explanation of symbols and abbreviations.

Elevations were measured in the field using an engineer's level and grade rod.

WATER LEVEL OBSERVATIONS

No free water observed



Boring Started: 04-03-2019

Boring Completed: 04-03-2019

Drill Rig: CME 75

Driller: Haz-Tech, Inc

Project No.: 62195040

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL 62195040 PNADA EXPRESS IN.GPJ MODEL LAYER.GPJ 4/19/19

BORING LOG NO. B-4

**PROJECT: Proposed Panda Express Restaurant
S8-20-D6885**

**CLIENT: Panda Restaurant Group, Inc.
Rosemead, CA**

**SITE: Meridian Road and Profile Drive
Kuna, ID**

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 43.5° Longitude: -116.3932° Approximate Surface Elev.: 97.5 (Ft.) +/- ELEVATION (Ft.)	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	RECOVERY (Ft.)	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS	PERCENT FINES
									LL-PL-PI	
1		FILL - SILTY CLAY WITH SAND , light brown and brown	2.0		X	1	6-6-15 N=21			
2		WELL GRADED SAND WITH SILT (SW-SM) to SILTY SAND (SM) , brown to light brown, medium dense, weak cementation from 2 to 4.5 feet	6.0		X	1.2	10-12-12 N=24			
		Boring Terminated at 6 Feet	91.5+/-		X	1.3	12-11-11 N=22			12

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
Hollow stem auger

See Exploration and Testing Procedures for a description of field and laboratory procedures used and additional data (if any).

Notes:

Abandonment Method:

Boring completed as temporary infiltration test, then backfilled with bentonite after the test was completed.

See Supporting Information for explanation of symbols and abbreviations.

Elevations were measured in the field using an engineer's level and grade rod.

WATER LEVEL OBSERVATIONS

No free water observed



Boring Started: 04-03-2019

Boring Completed: 04-03-2019

Drill Rig: CME 75

Driller: Haz-Tech, Inc

Project No.: 62195040

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL 62195040 PNADA EXPRESS IN .GPJ MODEL LAYER.GPJ 4/19/19

BORING LOG NO. B-5

PROJECT: Proposed Panda Express Restaurant
S8-20-D6885

CLIENT: Panda Restaurant Group, Inc.
Rosemead, CA

SITE: Meridian Road and Profile Drive
Kuna, ID

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 43.4999° Longitude: -116.3929° Approximate Surface Elev.: 99.5 (Ft.) +/- ELEVATION (Ft.)	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	RECOVERY (Ft.)	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS		PERCENT FINES
									LL-PL-PI		
1		0.5 FILL - SILTY CLAY WITH SAND , brown	99+/-		X	0.9	2-4-17 N=21				
		SANDY SILT (ML) , light brown, very stiff	2.0		X	1	2-3-2 N=5	9			
2		SILTY SAND (SM) , tan, loose to medium dense	6.5		X	1	12-13-15 N=28				
Boring Terminated at 6.5 Feet											

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
Hollow stem auger

See Exploration and Testing Procedures for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with bentonite upon completion.

See Supporting Information for explanation of symbols and abbreviations.

Elevations were measured in the field using an engineer's level and grade rod.

WATER LEVEL OBSERVATIONS

No free water observed



Boring Started: 04-03-2019

Boring Completed: 04-03-2019

Drill Rig: CME 75

Driller: Haz-Tech, Inc

Project No.: 62195040

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL 62195040 PNADA EXPRESS IN .GPJ MODEL LAYER.GPJ 4/19/19

BORING LOG NO. B-6

**PROJECT: Proposed Panda Express Restaurant
S8-20-D6885**

**CLIENT: Panda Restaurant Group, Inc.
Rosemead, CA**

**SITE: Meridian Road and Profile Drive
Kuna, ID**

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 43.4999° Longitude: -116.3935° Approximate Surface Elev.: 96.0 (Ft.) +/- ELEVATION (Ft.)	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	RECOVERY (Ft.)	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS	PERCENT FINES
									LL-PL-PI	
1		FILL - SILTY CLAY WITH SAND , dark brown				0.9	2-7-9 N=16			
		3.0 93+/-								
2		SILTY SAND (SM) , trace gravel, brown, medium dense to dense, weak cementation				1.2	11-18-21 N=39			
		6.5 89.5+/-	5			1.4	9-11-11 N=22			35
		Boring Terminated at 6.5 Feet								

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
Hollow stem auger

See Exploration and Testing Procedures for a description of field and laboratory procedures used and additional data (if any).

Notes:

Abandonment Method:
Boring backfilled with bentonite upon completion.

See Supporting Information for explanation of symbols and abbreviations.

Elevations were measured in the field using an engineer's level and grade rod.

WATER LEVEL OBSERVATIONS

No free water observed

Terracon
11849 W Executive Dr, Ste G
Boise, ID

Boring Started: 04-03-2019

Boring Completed: 04-03-2019

Drill Rig: CME 75

Driller: Haz-Tech, Inc

Project No.: 62195040

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL_62195040 PNADA EXPRESS IN .GPJ MODEL LAYER.GPJ 4/19/19

BORING LOG NO. B-7

PROJECT: Proposed Panda Express Restaurant
S8-20-D6885

CLIENT: Panda Restaurant Group, Inc.
Rosemead, CA

SITE: Meridian Road and Profile Drive
Kuna, ID

MODEL LAYER	GRAPHIC LOG	LOCATION See Exploration Plan Latitude: 43.5002° Longitude: -116.3929° Approximate Surface Elev.: 99.5 (Ft.) +/- ELEVATION (Ft.)	DEPTH (Ft.)	WATER LEVEL OBSERVATIONS	SAMPLE TYPE	RECOVERY (Ft.)	FIELD TEST RESULTS	WATER CONTENT (%)	ATTERBERG LIMITS	
									LL-PL-PI	PERCENT FINES
2	[Symbol]	SILT WITH SAND (ML) , brown, stiff to hard	4.5		X	1.1	1-5-6 N=11			
			5		X	1.2	12-20-18 N=38		NP	
	[Symbol]	SILTY SAND (SM) , light brown, dense, weak cementation	6.5		X	1.5	15-21-15 N=36			
		Boring Terminated at 6.5 Feet								

Stratification lines are approximate. In-situ, the transition may be gradual.

Hammer Type: Automatic

Advancement Method:
Hollow stem auger

See Exploration and Testing Procedures for a description of field and laboratory procedures used and additional data (If any).

Notes:

Abandonment Method:
Boring backfilled with bentonite upon completion.

See Supporting Information for explanation of symbols and abbreviations.

Elevations were measured in the field using an engineer's level and grade rod.

WATER LEVEL OBSERVATIONS

No free water observed



Boring Started: 04-03-2019

Boring Completed: 04-03-2019

Drill Rig: CME 75

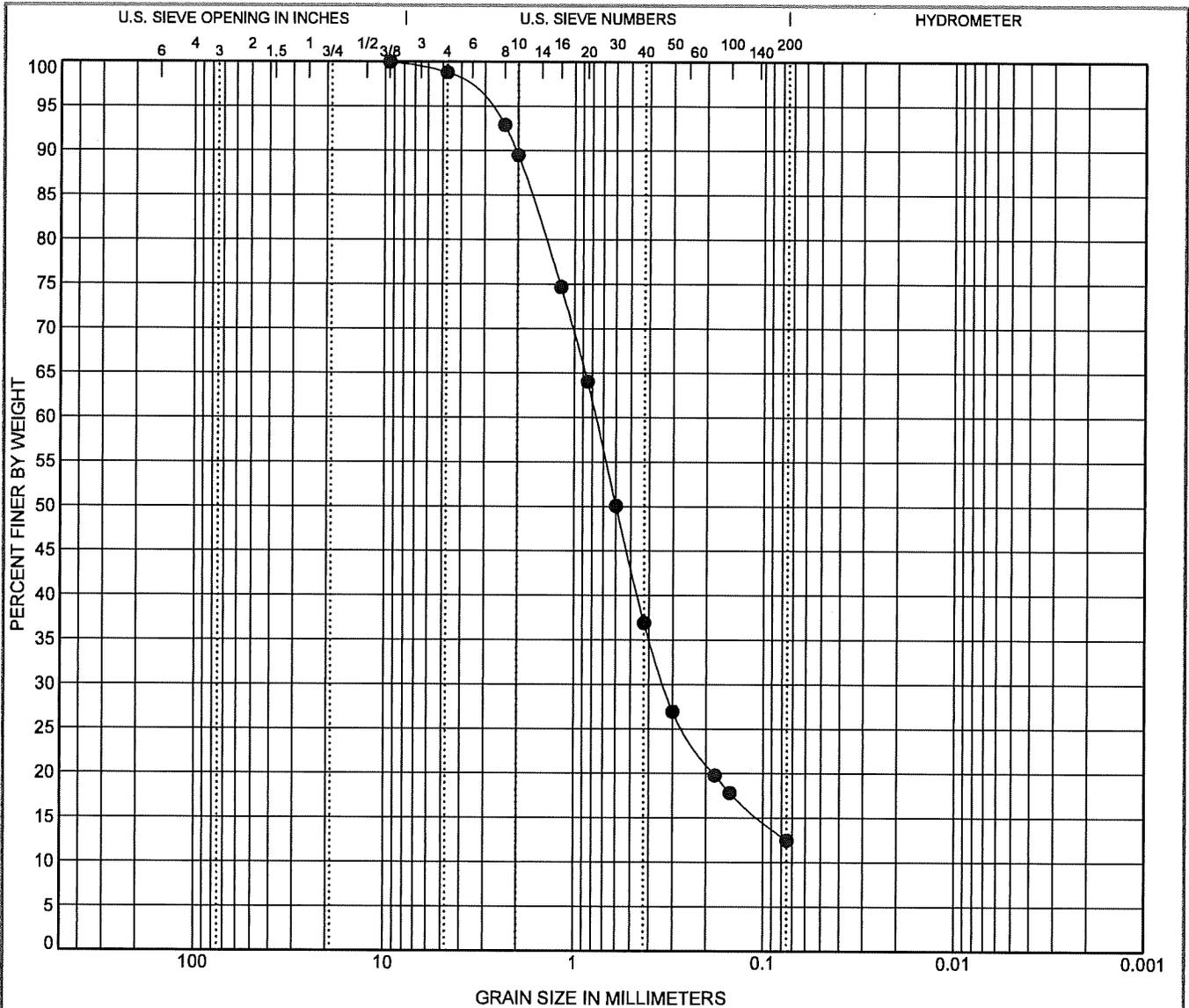
Driller: Haz-Tech, Inc

Project No.: 62195040

THIS BORING LOG IS NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GEO SMART LOG-NO WELL. 62195040 PNAADA EXPRESS IN.GPJ MODEL LAYER.GPJ 4/19/19

GRAIN SIZE DISTRIBUTION

ASTM D422 / ASTM C136



COBBLES	GRAVEL		SAND			SILT OR CLAY
	coarse	fine	coarse	medium	fine	

Boring ID	Depth	USCS Classification	WC (%)	LL	PL	PI	Cc	Cu
● B-4	4.5 - 6	SILTY SAND (SM)					2.67	14.14

Boring ID	Depth	D ₁₀₀	D ₆₀	D ₃₀	D ₁₀	%Cobbles	%Gravel	%Sand	%Silt	%Fines	%Clay
● B-4	4.5 - 6	9.5	0.768	0.334		0.0	1.2	86.3		12.5	

LABORATORY TESTS ARE NOT VALID IF SEPARATED FROM ORIGINAL REPORT. GRAIN SIZE: USCS-2 62195040 PNADA EXPRESS IN .GPI TERRACON_DATATEMPLATE.GDT 4/19/19

PROJECT: Proposed Panda Express Restaurant S8-20-D6885 SITE: Meridian Road and Profile Drive Kuna, ID	11849 W Executive Dr, Ste G Boise, ID	PROJECT NUMBER: 62195040 CLIENT: Panda Restaurant Group, Inc. Rosemead, CA
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SUPPORTING INFORMATION

Contents:

General Notes

Unified Soil Classification System

Note: All attachments are one page unless noted above.

GENERAL NOTES

DESCRIPTION OF SYMBOLS AND ABBREVIATIONS

Panda Express ■ Kuna, ID

April 19, 2019 ■ Terracon Project No. 62195040



SAMPLING	WATER LEVEL	FIELD TESTS
 Standard Penetration Test	 Water Initially Encountered  Water Level After a Specified Period of Time  Water Level After a Specified Period of Time	N Standard Penetration Test Resistance (Blows/Ft.) (HP) Hand Penetrometer (T) Torvane (DCP) Dynamic Cone Penetrometer UC Unconfined Compressive Strength (PID) Photo-Ionization Detector (OVA) Organic Vapor Analyzer
	Water levels indicated on the soil boring logs are the levels measured in the borehole at the times indicated. Groundwater level variations will occur over time. In low permeability soils, accurate determination of groundwater levels is not possible with short term water level observations.	

DESCRIPTIVE SOIL CLASSIFICATION

Soil classification is based on the Unified Soil Classification System. Coarse Grained Soils have more than 50% of their dry weight retained on a #200 sieve; their principal descriptors are: boulders, cobbles, gravel or sand. Fine Grained Soils have less than 50% of their dry weight retained on a #200 sieve; they are principally described as clays if they are plastic, and silts if they are slightly plastic or non-plastic. Major constituents may be added as modifiers and minor constituents may be added according to the relative proportions based on grain size. In addition to gradation, coarse-grained soils are defined on the basis of their in-place relative density and fine-grained soils on the basis of their consistency.

LOCATION AND ELEVATION NOTES

Unless otherwise noted, Latitude and Longitude are approximately determined using a hand-held GPS device. The accuracy of such devices is variable. Surface elevation data annotated with +/- indicates that no actual topographical survey was conducted to confirm the surface elevation. Instead, the surface elevation was approximately determined from topographic maps of the area.

STRENGTH TERMS

RELATIVE DENSITY OF COARSE-GRAINED SOILS (More than 50% retained on No. 200 sieve.) Density determined by Standard Penetration Resistance		CONSISTENCY OF FINE-GRAINED SOILS (50% or more passing the No. 200 sieve.) Consistency determined by laboratory shear strength testing, field visual-manual procedures or standard penetration resistance		
Descriptive Term (Density)	Standard Penetration or N-Value Blows/Ft.	Descriptive Term (Consistency)	Unconfined Compressive Strength Qu, (tsf)	Standard Penetration or N-Value Blows/Ft.
Very Loose	0 - 3	Very Soft	less than 0.25	0 - 1
Loose	4 - 9	Soft	0.25 to 0.50	2 - 4
Medium Dense	10 - 29	Medium Stiff	0.50 to 1.00	4 - 8
Dense	30 - 50	Stiff	1.00 to 2.00	8 - 15
Very Dense	> 50	Very Stiff	2.00 to 4.00	15 - 30
		Hard	> 4.00	> 30

RELATIVE PROPORTIONS OF SAND AND GRAVEL		RELATIVE PROPORTIONS OF FINES	
Descriptive Term(s) of other constituents	Percent of Dry Weight	Descriptive Term(s) of other constituents	Percent of Dry Weight
Trace	<15	Trace	<5
With	15-29	With	5-12
Modifier	>30	Modifier	>12

GRAIN SIZE TERMINOLOGY		PLASTICITY DESCRIPTION	
Major Component of Sample	Particle Size	Term	Plasticity Index
Boulders	Over 12 in. (300 mm)	Non-plastic	0
Cobbles	12 in. to 3 in. (300mm to 75mm)	Low	1 - 10
Gravel	3 in. to #4 sieve (75mm to 4.75 mm)	Medium	11 - 30
Sand	#4 to #200 sieve (4.75mm to 0.075mm)	High	> 30
Silt or Clay	Passing #200 sieve (0.075mm)		

Criteria for Assigning Group Symbols and Group Names Using Laboratory Tests ^A				Soil Classification		
				Group Symbol	Group Name ^B	
Coarse-Grained Soils: More than 50% retained on No. 200 sieve	Gravels: More than 50% of coarse fraction retained on No. 4 sieve	Clean Gravels: Less than 5% fines ^C	$Cu \geq 4$ and $1 \leq Cc \leq 3$ ^E	GW	Well-graded gravel ^F	
		Gravels with Fines: More than 12% fines ^C	$Cu < 4$ and/or $[Cc < 1$ or $Cc > 3.0]$ ^E	GP	Poorly graded gravel ^F	
			Fines classify as ML or MH	GM	Silty gravel ^{F, G, H}	
		Sands: 50% or more of coarse fraction passes No. 4 sieve	Clean Sands: Less than 5% fines ^D	$Cu \geq 6$ and $1 \leq Cc \leq 3$ ^E	SW	Well-graded sand ^I
	$Cu < 6$ and/or $[Cc < 1$ or $Cc > 3.0]$ ^E			SP	Poorly graded sand ^I	
	Sands with Fines: More than 12% fines ^D		Fines classify as ML or MH	SM	Silty sand ^{G, H, I}	
			Fines classify as CL or CH	SC	Clayey sand ^{G, H, I}	
	Fine-Grained Soils: 50% or more passes the No. 200 sieve	Silts and Clays: Liquid limit less than 50	Inorganic:	$PI > 7$ and plots on or above "A" line	CL	Lean clay ^{K, L, M}
$PI < 4$ or plots below "A" line ^J				ML	Silt ^{K, L, M}	
Organic:			Liquid limit - oven dried	< 0.75	OL	Organic clay ^{K, L, M, N}
			Liquid limit - not dried			Organic silt ^{K, L, M, O}
Silts and Clays: Liquid limit 50 or more		Inorganic:	PI plots on or above "A" line	CH	Fat clay ^{K, L, M}	
			PI plots below "A" line	MH	Elastic Silt ^{K, L, M}	
		Organic:	Liquid limit - oven dried	< 0.75	OH	Organic clay ^{K, L, M, P}
			Liquid limit - not dried			Organic silt ^{K, L, M, Q}
Highly organic soils:	Primarily organic matter, dark in color, and organic odor			PT	Peat	

^A Based on the material passing the 3-inch (75-mm) sieve.

^B If field sample contained cobbles or boulders, or both, add "with cobbles or boulders, or both" to group name.

^C Gravels with 5 to 12% fines require dual symbols: GW-GM well-graded gravel with silt, GW-GC well-graded gravel with clay, GP-GM poorly graded gravel with silt, GP-GC poorly graded gravel with clay.

^D Sands with 5 to 12% fines require dual symbols: SW-SM well-graded sand with silt, SW-SC well-graded sand with clay, SP-SM poorly graded sand with silt, SP-SC poorly graded sand with clay.

$$^E Cu = D_{60}/D_{10} \quad Cc = \frac{(D_{30})^2}{D_{10} \times D_{60}}$$

^F If soil contains $\geq 15\%$ sand, add "with sand" to group name.

^G If fines classify as CL-ML, use dual symbol GC-GM, or SC-SM.

^H If fines are organic, add "with organic fines" to group name.

^I If soil contains $\geq 15\%$ gravel, add "with gravel" to group name.

^J If Atterberg limits plot in shaded area, soil is a CL-ML, silty clay.

^K If soil contains 15 to 29% plus No. 200, add "with sand" or "with gravel," whichever is predominant.

^L If soil contains $\geq 30\%$ plus No. 200 predominantly sand, add "sandy" to group name.

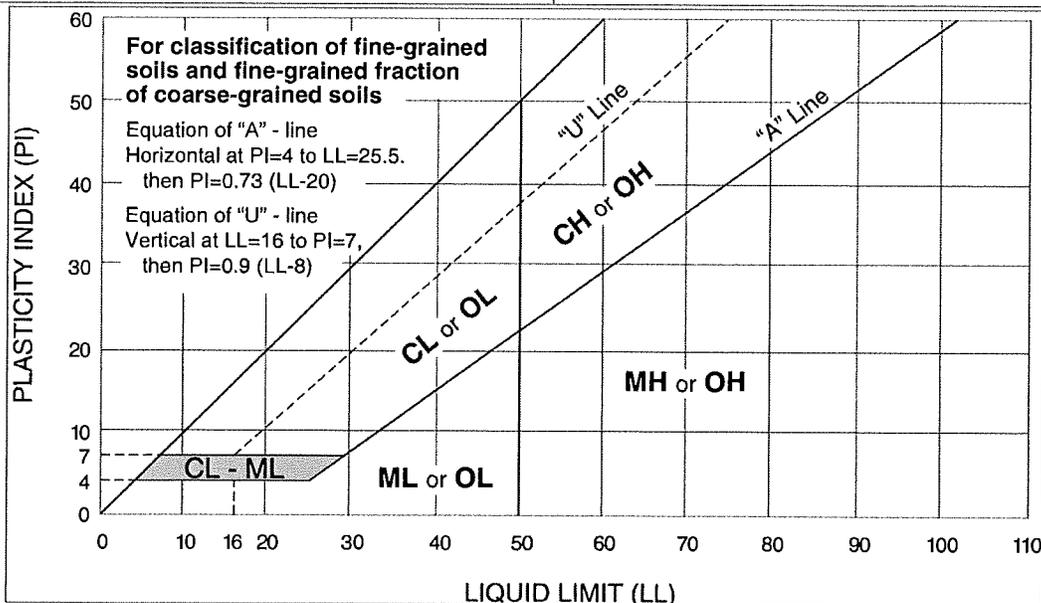
^M If soil contains $\geq 30\%$ plus No. 200, predominantly gravel, add "gravelly" to group name.

^N $PI \geq 4$ and plots on or above "A" line.

^O $PI < 4$ or plots below "A" line.

^P PI plots on or above "A" line.

^Q PI plots below "A" line.



Catalog # :

Project : PANDA EXPRESS

Prepared By :

Date :



Slice Medium - SLM Outdoor LED Area Light



The Slice's sleek design makes it perfectly-suited for Commercial & Industrial applications, while its cost-effective die-cast aluminum housing makes its acquisition cost very competitive. The Slice offers high performance silicone optics, die cast aluminum housing, 42,000+ lumens and is available with integral Airlink Synapse controls.

Features & Specifications

Optical System

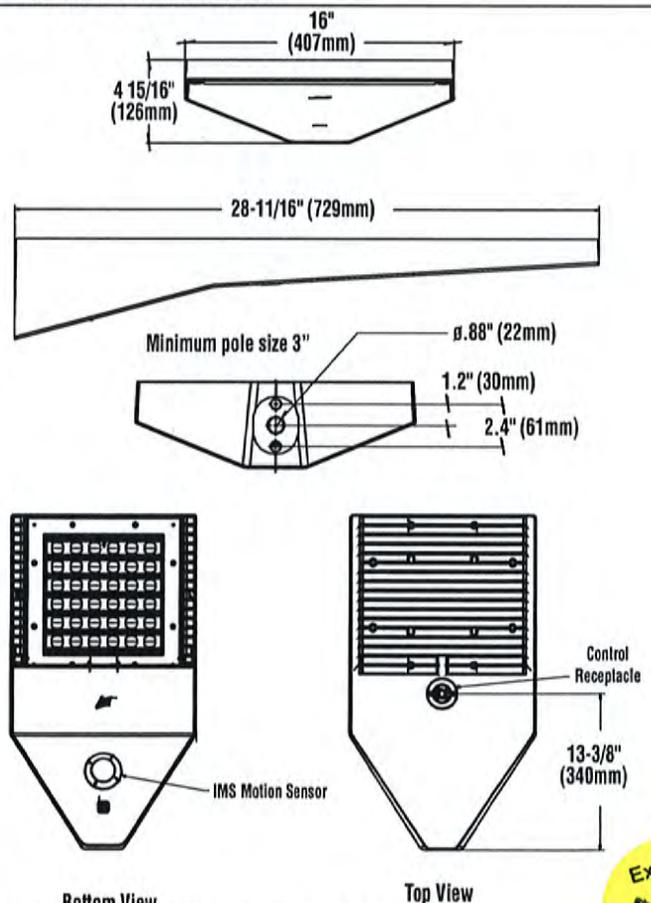
- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT and FTA.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, 3000K, and 2700K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral Louver (IL) option available for improved back-light control without sacrificing street side performance. See page 5 for more details.

Electrical

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
- L80 Calculated Life: >100k Hours (See Lumen Maintenance on Page 3)
- Total harmonic distortion: <20%
- Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L lumen package rated to +40°C.
- Power factor: >.90
- Input power stays constant over life.
- Field replaceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Terminal block provided accepts up to 10ga wire.
- Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.



Product Dimensions





Slice Medium - SLM Outdoor LED Area Light

Features & Specifications (Cont.)

Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square poles.
- Luminaire is proudly manufactured in the U.S. of U.S. and imported parts.
- IP66 rated luminaire protects integral components from harsh environments.
- 3G rated for ANSI C136.31 high vibration applications
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 30 lbs in carton.

Controls

Wireless Controls System

To make this fixture AirLink ready, simply order one of the following options:

- The integrated [Wireless Lighting Controller](#): ALSC or ALSCH (see ordering guide) as the controls option, or
- Integrated Wireless Controller option (above) with integrated motion sensor: ALSCS (ordering guide for mounting heights) or
- The 7-Pin Photoelectric Control Receptacle: CR7P as the controls option; and either the [5-Pin](#) or [7-Pin Twist Lock Controller](#): ALSC UNV TL5 or ALSC UNV TL7 as an accessory

To see how the components of AirLink system work together, reference the diagram in the controls section of this specsheet. For more information on our AirLink products, visit our website: www.lsi-airlink.com/airlink-synapse/

Stand-Alone Controls

- The integral passive infrared motion sensor (IMS) activates switching of luminaire light levels (see the controls section for more details).
- The 7-pin ANSI C136.41-2013 photocontrol receptacle option (CR7P) is available for twist lock photocontrols or wireless control modules.
- The Button Type Photocells (PCI) are capable of switching luminaires ON/OFF in response to the amount of available daylight.

Installation

- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment for installing/servicing.
- Included terminal block provides quick and easy on-site wiring.
- Utilizes LSI's traditional 3" drill pattern for easy fastening of LSI products. (See drawing on page 1)

Warranty

- LSI LED Fixtures carry a 5-year warranty.

Listings

- Listed to UL 1598 and UL 8750.
- RoHS Compliant.
- American Recovery and Reinvestment Act Funding Compliant.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable For wet Locations.
- IP66 rated Luminaire. IP66 rated optical chamber.
- 3G rated for ANSI C136.31 high vibration applications

Performance

ELECTRICAL DATA (AMPS)*							
Lumens	Watts	120V	208V	240V	277V	347V	480V
9L	68.2	0.6A	0.3A	0.3A	0.2A	0.2A	0.1A
12L	93.1	0.8A	0.4A	0.4A	0.3A	0.3A	0.2A
18L	148.5	1.2A	0.7A	0.6A	0.5A	0.4A	0.3A
24L	188.8	1.6A	0.9A	0.8A	0.7A	0.5A	0.4A
30L	248.6	2.1A	1.2A	1.0A	0.9A	0.7A	0.5A
36L	317.8	2.6A	1.5A	1.3A	1.1A	0.9A	0.7A
42L	393.4	3.3A	1.9A	1.6A	1.4A	1.1A	0.8A

*Electrical data at 25C (77F). Actual wattage may differ by +/-10%

ELECTRICAL DATA - PHOSPHOR CONVERTED AMBER (AMPS)*							
Lumens	Watts	120V	208V	240V	277V	347V	480V
9L	74.3	0.6A	0.4A	0.3A	0.3A	0.2A	0.2A
12L	102.9	0.9A	0.5A	0.4A	0.4A	0.3A	0.2A

*Electrical data at 25C (77F). Actual wattage may differ by +/-10%

RECOMMENDED LUMEN MAINTENANCE ¹ (24-42L)					
Ambient	Initial ²	25 hr ²	50 hr ²	75 hr ²	100 hr ²
0-40 C	100%	100%	97%	94%	92%

RECOMMENDED LUMEN MAINTENANCE ¹ (9-18L)					
Ambient	Initial ²	25 hr ²	50 hr ²	75 hr ²	100 hr ²
0-50 C	100%	96%	91%	87%	83%

- 1- Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.
- 2- In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.
- 3- In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing

DELIVERED LUMENS*					
Lumen Package	Distribution	Phosphor Converted Amber (Peak 610nm)			Wattage
		Delivered Lumens	Efficacy	BUG Rating	
9L	2	5958	80	B2-U0-G1	74
	2 IL	3735	50	B0-U0-G1	
	3	6196	83	B1-U0-G1	
	3 IL	4205	56	B0-U0-G1	
	5W	5528	74	B3-U0-G1	
	FT	5922	79	B1-U0-G2	
	FT IL	3712	50	B0-U0-G1	
	FTA	5997	80	B2-U0-G2	
12L	2	7559	73	B2-U0-G2	103
	2 IL	4738	46	B0-U0-G1	
	3	7860	76	B2-U0-G2	
	3 IL	5335	52	B0-U0-G1	
	5W	7013	68	B3-U0-G2	
	FT	7513	73	B2-U0-G2	
	FT IL	4709	46	B0-U0-G2	
	FTA	7608	74	B2-U0-G2	
FTA IL	5397	52	B0-U0-G1		

*LED Chips are frequently updated therefore values are nominal

LUMINAIRE EPA CHART - SLM											
Tilt Degree			0°			30°			45°		
Single	0.5	2.1	2.6	T90°	1.2	2.9	3.6				
D180°	1.1	2.1	2.6	TN120°	1.3	4.4	5.4				
D90°	0.9	2.5	3.1	Q90°	1.2	2.9	3.6				

Specifications and dimensions subject to change without notice.



Slice Medium - SLM Outdoor LED Area Light

DELIVERED LUMENS*															
Lumen Package	Distribution	CRI	2700K CCT			3000K CCT			4000K CCT			5000K CCT			Wattage
			Delivered Lumens	Efficacy	BUG Rating										
9L	2	70	8349	122	B2-U0-G2	8576	125	B2-U0-G2	9396	137	B2-U0-G2	9784	143	B2-U0-G2	69
	2 IL	70	5185	76	B0-U0-G1	5326	78	B0-U0-G1	5835	85	B0-U0-G1	6076	89	B0-U0-G1	
	3	70	8571	125	B1-U0-G2	8804	129	B1-U0-G2	9646	141	B2-U0-G2	10044	147	B2-U0-G2	
	3 IL	70	6283	92	B0-U0-G2	6454	94	B0-U0-G2	7071	103	B0-U0-G2	7363	107	B0-U0-G2	
	5W	70	8158	119	B3-U0-G2	8380	122	B3-U0-G2	9181	134	B3-U0-G2	9560	140	B4-U0-G2	
	FT	70	8337	122	B2-U0-G2	8563	125	B2-U0-G2	9382	137	B2-U0-G2	9769	143	B2-U0-G2	
	FT IL	70	5393	79	B0-U0-G2	5540	81	B0-U0-G2	6069	89	B0-U0-G2	6320	92	B0-U0-G2	
	FTA	70	8459	123	B2-U0-G2	8689	127	B2-U0-G2	9520	139	B2-U0-G2	9913	145	B2-U0-G2	
FTA IL	70	6200	91	B1-U0-G1	6369	93	B1-U0-G1	6978	102	B1-U0-G1	7266	106	B1-U0-G1		
12L	2	70	11157	119	B2-U0-G2	11461	122	B2-U0-G2	12556	134	B3-U0-G2	13075	139	B3-U0-G2	94
	2 IL	70	6929	74	B1-U0-G1	7117	76	B1-U0-G2	7798	83	B1-U0-G2	8119	86	B1-U0-G2	
	3	70	11454	122	B2-U0-G2	11766	125	B2-U0-G2	12890	137	B2-U0-G2	13423	143	B2-U0-G2	
	3 IL	70	8396	89	B0-U0-G2	8625	92	B0-U0-G2	9449	101	B0-U0-G2	9839	105	B0-U0-G2	
	5W	70	10902	116	B4-U0-G2	11199	119	B4-U0-G2	12269	131	B4-U0-G2	12775	136	B4-U0-G2	
	FT	70	11141	119	B2-U0-G2	11444	122	B2-U0-G2	12538	133	B2-U0-G3	13055	139	B2-U0-G3	
	FT IL	70	7207	77	B0-U0-G2	7403	79	B0-U0-G2	8110	86	B0-U0-G2	8445	90	B0-U0-G2	
	FTA	70	11304	120	B2-U0-G2	11612	124	B2-U0-G2	12722	135	B2-U0-G2	13247	141	B2-U0-G2	
FTA IL	70	8286	88	B1-U0-G1	8511	91	B1-U0-G1	9325	99	B1-U0-G1	9710	103	B1-U0-G1		
18L	2	70	16714	112	B3-U0-G3	17168	115	B3-U0-G3	18809	126	B3-U0-G3	19586	131	B3-U0-G3	150
	2 IL	70	10379	69	B1-U0-G2	10662	71	B1-U0-G2	11681	78	B1-U0-G2	12163	81	B1-U0-G2	
	3	70	17158	115	B2-U0-G3	17625	118	B2-U0-G3	19310	129	B3-U0-G3	20107	134	B3-U0-G3	
	3 IL	70	12578	84	B1-U0-G3	12920	86	B1-U0-G3	14155	95	B1-U0-G3	14739	99	B1-U0-G3	
	5W	70	16331	109	B4-U0-G2	16776	112	B4-U0-G2	18379	123	B4-U0-G2	19138	128	B5-U0-G3	
	FT	70	16689	112	B3-U0-G3	17143	115	B3-U0-G3	18781	126	B3-U0-G4	19557	131	B3-U0-G4	
	FT IL	70	10795	72	B1-U0-G2	11089	74	B1-U0-G2	12149	81	B1-U0-G3	12651	85	B1-U0-G3	
	FTA	70	16934	113	B3-U0-G3	17395	116	B3-U0-G3	19058	127	B3-U0-G3	19844	133	B3-U0-G3	
FTA IL	70	12412	83	B1-U0-G1	12750	85	B1-U0-G2	13969	93	B1-U0-G2	14546	97	B1-U0-G2		
24L	2	70	20880	112	B3-U0-G3	22701	121	B4-U0-G3	24276	130	B4-U0-G3	24784	133	B4-U0-G3	187
	2 IL	70	13100	70	B1-U0-G2	14243	76	B1-U0-G2	15231	81	B1-U0-G2	15550	83	B1-U0-G2	
	3	70	21739	116	B3-U0-G3	23636	126	B3-U0-G4	25275	135	B3-U0-G4	25804	138	B3-U0-G4	
	3 IL	70	15828	85	B1-U0-G3	17209	92	B1-U0-G3	18403	98	B1-U0-G4	18788	100	B1-U0-G4	
	5W	70	20632	110	B5-U0-G3	22432	120	B5-U0-G3	23988	128	B5-U0-G3	24490	131	B5-U0-G3	
	FT	70	21611	116	B3-U0-G4	23496	126	B3-U0-G4	25126	134	B3-U0-G4	25652	137	B3-U0-G4	
	FT IL	70	13692	73	B1-U0-G3	14886	80	B1-U0-G3	15919	85	B1-U0-G3	16252	87	B1-U0-G3	
	FTA	70	21496	115	B3-U0-G3	23371	125	B3-U0-G3	24992	134	B3-U0-G3	25515	136	B3-U0-G3	
FTA IL	70	15226	81	B1-U0-G2	16555	89	B1-U0-G2	17703	95	B2-U0-G2	18073	97	B2-U0-G2		
30L	2	70	26581	108	B4-U0-G3	28900	117	B4-U0-G3	30905	125	B4-U0-G3	31551	128	B4-U0-G3	247
	2 IL	70	16677	68	B1-U0-G2	18132	73	B1-U0-G2	19390	79	B1-U0-G2	19796	80	B1-U0-G2	
	3	70	27675	112	B3-U0-G4	30089	122	B3-U0-G4	32176	130	B3-U0-G4	32850	133	B3-U0-G4	
	3 IL	70	20150	82	B1-U0-G4	21908	89	B1-U0-G4	23428	95	B1-U0-G4	23918	97	B1-U0-G4	
	5W	70	26266	106	B5-U0-G3	28557	116	B5-U0-G3	30538	124	B5-U0-G4	31177	126	B5-U0-G4	
	FT	70	27512	111	B3-U0-G4	29912	121	B3-U0-G4	31987	130	B3-U0-G4	32656	132	B3-U0-G5	
	FT IL	70	17430	71	B1-U0-G3	18951	77	B1-U0-G4	20266	82	B1-U0-G4	20690	84	B1-U0-G4	
	FTA	70	27365	111	B3-U0-G3	29752	120	B4-U0-G3	31816	129	B4-U0-G3	32482	132	B4-U0-G3	
FTA IL	70	19384	78	B2-U0-G2	21075	85	B2-U0-G2	22537	91	B2-U0-G2	23008	93	B2-U0-G2		
36L	2	70	32214	102	B4-U0-G3	35025	111	B4-U0-G3	37454	118	B4-U0-G3	38238	121	B4-U0-G4	317
	2 IL	70	20212	64	B1-U0-G2	21975	69	B1-U0-G3	23499	74	B2-U0-G3	23991	76	B2-U0-G3	
	3	70	33540	106	B3-U0-G4	36466	115	B3-U0-G5	38996	123	B3-U0-G5	39812	126	B3-U0-G5	
	3 IL	70	24421	77	B1-U0-G4	26551	84	B1-U0-G4	28393	90	B1-U0-G4	28987	92	B1-U0-G5	
	5W	70	31832	101	B5-U0-G4	34609	109	B5-U0-G4	37010	117	B5-U0-G4	37785	119	B5-U0-G4	
	FT	70	33342	105	B3-U0-G5	36251	114	B3-U0-G5	38766	122	B4-U0-G5	39577	125	B4-U0-G5	
	FT IL	70	21125	67	B1-U0-G4	22968	73	B1-U0-G4	24561	78	B1-U0-G4	25075	79	B1-U0-G4	
	FTA	70	33164	105	B4-U0-G3	36058	114	B4-U0-G4	38559	122	B4-U0-G4	39366	124	B4-U0-G3	
FTA IL	70	23492	74	B2-U0-G2	25541	81	B2-U0-G2	27313	86	B2-U0-G2	27885	88	B2-U0-G2		
42L	2	70	36785	94	B4-U0-G3	39994	103	B5-U0-G4	42768	110	B5-U0-G4	43663	112	B5-U0-G4	390
	2 IL	70	23079	59	B1-U0-G3	25093	64	B2-U0-G3	26833	69	B2-U0-G3	27395	70	B2-U0-G3	
	3	70	38299	98	B3-U0-G5	41640	107	B4-U0-G5	44528	114	B4-U0-G5	45460	117	B4-U0-G5	
	3 IL	70	27886	72	B1-U0-G4	30319	78	B1-U0-G5	32422	83	B1-U0-G5	33100	85	B1-U0-G5	
	5W	70	36349	93	B5-U0-G4	39520	101	B5-U0-G4	42261	108	B5-U0-G4	43145	111	B5-U0-G4	
	FT	70	38073	98	B4-U0-G5	41395	106	B4-U0-G5	44266	114	B4-U0-G5	45192	116	B4-U0-G5	
	FT IL	70	24122	62	B1-U0-G4	26226	67	B1-U0-G4	28045	72	B1-U0-G4	28632	73	B1-U0-G4	
	FTA	70	37870	97	B4-U0-G4	41174	106	B4-U0-G4	44030	113	B4-U0-G4	44951	115	B4-U0-G4	
FTA IL	70	26825	69	B2-U0-G2	29165	75	B2-U0-G2	31188	80	B2-U0-G2	31841	82	B2-U0-G2		

*LED Chips are frequently updated therefore values are nominal

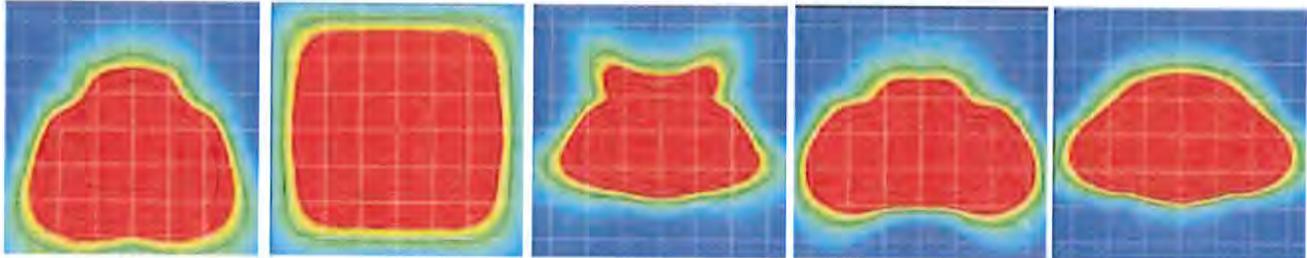
Specifications and dimensions subject to change without notice.



Slice Medium - SLM Outdoor LED Area Light

Performance (Cont.)

All published luminaire photometric testing performed to IESNA LM-79 standards. ISO footcandle plots below demonstrate the Slice (SLM) light patterns only. Not for total fixture output. For complete specifications and IES files, see website.



FT

5W

FTA

Type 3

Type 2

Ordering Guide

TYPICAL ORDER EXAMPLE: **SLM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL**

Luminaire Prefix	Light Source	Lumen Package*	Light Output	Distribution	Orientation ¹	Voltage	Driver
SLM Slice Medium	LED	9L - 9,000 lms 12L - 12,000 lms 18L - 18,000 lms 24L - 24,000 lms 30L - 30,000 lms 36L - 36,000 lms 42L - 42,000 lms *Consult factory for programmable wattages and lumen packages	SIL - Silicone	2 - Type 2 3 - Type 3 5W - Type 5 Wide FT - Forward Throw FTA - Forward Throw Automotive	(blank) - standard L - Optics rotated left 90 R - Optics rotated right 90	UNV - Universal Voltage (120-277V) HV - High Voltage (347-480V)	DIM - 0-10V Dimming (0-10%)

Color Temp	Color Rendering	Controls (Choose One)	Finish	Options
50 - 5,000 CCT 40 - 4,000 CCT 30 - 3,000 CCT ² 27 - 2,700 CCT ² AMB - Phosphor Converted Amber ^{2,3}	70CRI - 70 CRI	(Blank) - None <u>Wireless Controls System</u> ALSC - AirLink Synapse Control System ⁴ ALSCH - AirLink Synapse Control System Host / Satellite ^{4,5} ALSCHS01 - AirLink Synapse Control System with 8-12' Motion Sensor ⁴ ALSCHS01 - AirLink Synapse Control System Host / Satellite with 8-12' Motion Sensor ^{4,5} ALSCHS02 - AirLink Synapse Control System with 12-20' Motion Sensor ⁴ ALSCHS02 - AirLink Synapse Control System Host / Satellite with 12-20' Motion Sensor ^{4,5} ALSCHS04 - AirLink Synapse Control System with 20-40' Motion Sensor ⁴ ALSCHS04 - AirLink Synapse Control System Host / Satellite with 20-40' Motion Sensor ^{4,5} <u>Stand-Alone Controls</u> EXT - 0-10v Dimming (from external signal) IMSDM1 - Integral Motion Sensor 8-12' 120-277V ^{4,6} IMSDM2 - Integral Motion Sensor 12-20' 120-277V ^{4,6} IMSDM4 - Integral Motion Sensor 20-40' 120-277V ^{4,6} IMSDM1HV - Integral Motion Sensor 8-12' 347-480V ⁶ IMSDM2HV - Integral Motion Sensor 12-20' 347-480V ⁶ IMSDM4HV - Integral Motion Sensor 20-40' 347-480V ⁶ CR7P - 7 Pin Control Receptacle ANSI C136.41 ⁷ <u>Button Type Photocells</u> PCI120 - 120V PCI208-277 - 208-277V PCI347 - 347V	BRZ - Bronze BLK - Black GPT - Graphite MSV - Metallic Silver WHT - White PLP - Platinum Plus SVG - Satin Verde Green	(Blank) - None IL - Integral Louver HSS ¹



Slice Medium - SLM Outdoor LED Area Light

Accessory Ordering Information⁸

Description	Order Number	Description	Order Number
PC120 Photocell for use with CR7P option (120V) ⁹	122514	DFK208, 240 Double Fusing (208V, 240V)	DFK240
PC208-277 Photocell for use with CR7P option (208V, 240V, 277V) ⁹	122515	DFK480 Double Fusing (480V)	DFK480
PC347 Photocell for use with CR7P option (347V) ⁹	122516	DFK347 Double Fusing (347V)	DFK347
PC480 Photocell for use with CR7P option (480V) ⁹	1225180	X5RPP - Round Pole Adapter for 5" Poles ¹⁰	379968CLR
ALSC UNV TL5 - Airlink 5Pin Twist Lock Controller ^{1,9}	661409	IL - Integral Louver HSS	684812
ALSC UNV TL7 - Airlink 7Pin Twist Lock Controller ^{1,9}	661410	Universal Mounting Bracket (UMB) ¹⁰	684616CLR
PMOS24 - 24V Pole-Mount Occupancy Sensor (ALSC/H Compatible) ¹⁰	663284CLR	Adjustable Slip Fitter (ASF) ¹⁰	688138CLR
IMS/PC Remote Configurator Tool	584929	Pole Quick Mount Bracket - Square Pole ¹⁰	687073CLR
X3RPP - Round Pole Adapter for 3" Round Tapered Poles ¹⁰	408273CLR	Pole Quick Mount Bracket - 4-5" Round Pole ¹⁰	689903CLR
X4RPP - Round Pole Adapter for 4" Poles ¹⁰	379967CLR	15° Tilt Pole Quick Mount Bracket - Square Pole ¹⁰	688003CLR
FK120 Single Fusing (120V)	FK120	15° Tilt Pole Quick Mount Bracket - 4-5" Round Pole ¹⁰	689905CLR
FK277 Single Fusing (277V)	FK277	BKS X80 WM * CLR Wall Mount Bracket ¹⁰	382132CLR

FOOTNOTES:

- 1 - Not available on "Type 5W" distribution.
- 2 - Consult Factory for availability.
- 3 - Only available in 9L and 12L Lumen Packages
- 4 - Not available in HV.
- 5 - Consult Factory for Site Layout
- 6 - IMS is field adjustable, via a hand held Remote Configurator Tool, which must be ordered separately. See Accessory Ordering Information.

- 7 - Control device must be ordered separately. 7 pin standard. See Accessory Ordering Information.
- 8 - Accessories are shipped separately and field installed.
- 9 - Factory installed CR7P option required. See Options.
- 10 - "CLR" denotes finish. See Finish options.

Accessories/Options

Integral Louver (IL)

Accessory Integral Louver available for improved back-light control without sacrificing street side performance. LSI's Integral Louver (IL) option delivers backlight control that significantly reduces light spill behind the pole for applications with pole locations close to adjacent properties. The integrated louvers' design maximizes forward-reflected light while - reducing glare, maintaining the optical distribution selected, and most importantly, eliminating light trespass. The Integral louver rotates with the optical distribution.

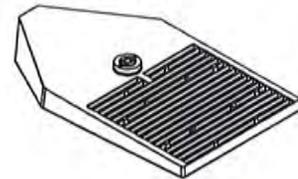
Luminaire Shown with Integral Louver (IL)



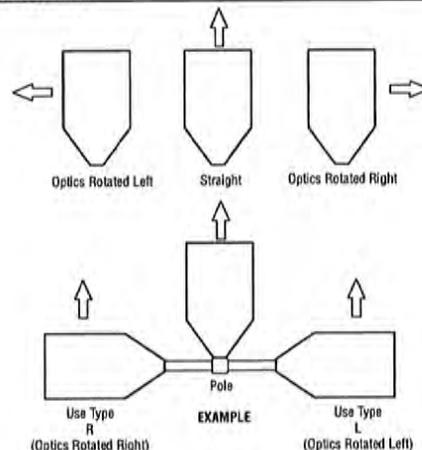
7 Pin Photoelectric Control

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

Fixture Shown with CR7P



Optics Rotation





Slice Medium - SLM Outdoor LED Area Light

Stand-alone Controls: Occupancy Sensor (IMS)

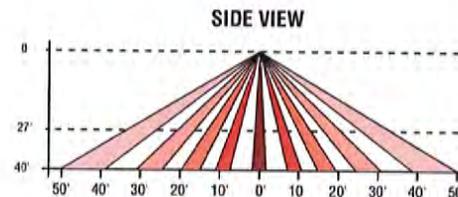
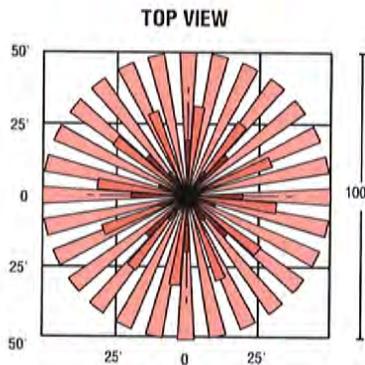
The integral passive infrared motion sensor activates switching of luminaire light levels. Standard Factory settings: High level light is activated and increased to full bright upon detection of motion. Lowlight level (10% maximum drive current) is activated when target zone is absent of motion activity for ~5 minutes. See coverage diagram for detection cone.

The Remote Configurator Tool allows for easy and safe programming of each luminaire from ground level. See the [Remote Configurator User Guide](#) for programming instructions.

When ordering the Stand-alone Occupancy Sensor on the fixture, you must include IMS (see ordering guide for mounting height options) as the controls option in the fixture nomenclature.

To order as a motion sensor with the AirLink Wireless Control System, see ordering guide under "Wireless Controls System" and select the ALSCS controls option with the desired mounting height.

IMS Coverage Diagrams



Remote Configurator Tool



Luminaire Shown with IMS





Slice Medium - SLM Outdoor LED Area Light



AirLink™
enabled by Synapse®

The AirLink enabled by Synapse Wireless Lighting Control System is the perfect solution for commercial, industrial and municipal applications, such as: auto dealerships, parking lots, garages, shopping complexes and warehouses.

AirLink utilizes robust wireless communication via 2.4 GHz Self-Healing Mesh Network which not only increases reliability and accuracy of system, but also eliminates single point of failure.

The flexibility of the system make it perfect for new construction and retrofit projects. The user-friendly AirLink web application is accessible through any device with an internet connection and allows for complete customization of the system's features.

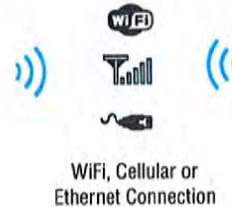
Some capabilities of the system include: occupancy/vacancy sensing, daylight harvesting, scheduling, high-end trim, dimming, zone control, BMS integration and energy monitoring.

The AirLink System

Wireless controls & sensors



Centralized control & integration



Simple-to-use software



AirLink Site Manger: Lighting control web app

Contact LSI Controls



Sales
controls.sales@lsi-industries.com



Support
controls.support@lsi-industries.com
1 (800) 436-7800 (support, option 8)



More information
For more information on AirLink, visit our website at www.lsi-airlink.com



Slice Medium - SLM Outdoor LED Area Light

poles & Brackets

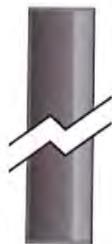


LSI offers a full line of poles and brackets to complete your lighting assembly. Our USA manufacturing facility has the same high quality standards for our poles and brackets as we do our lighting fixtures.

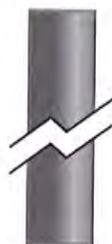


BKA UMB CLR

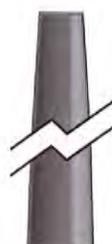
The 3G rated Universal Mounting Bracket (UMB) allows for seamless integration of LSI Luminaires onto existing or new construction poles. The UMB bracket was designed specifically for square or round (tapered/straight) poles with (2) mounting hole spaces between 3.5"-5".



Square Pole
14'-39'



Round Pole
10'-30'



Tapered Pole
20'-39'



BKA ASF CLR

The adjustable Slip Fitter is a 3G rated rugged die cast aluminum adapter to mount LSI luminaires onto a 2" (51mm) IP, 2.375" (60mm) O.D. tenon. The Adjustable Slip Fitter can be rotated 180° allowing for tilting LSI luminaires up to 45° and 90° when using a vertical tenon.



BKS PQMH CLR

The Pole Quick Mount Bracket allows for lightning fast installation of LSI luminaires onto existing and new construction poles with LSI's 3" or 5" standard bolt patterns.



BKS PQM15 CLR

The Pole Quick Mount Bracket allows for preset 15° uptilt of LSI luminaires for greater throw of light and increased vertical illumination as well as fast installation onto poles with LSI's 3" or 5" bolt pattern.



City of Kuna

Planning and Zoning Commission

Staff Report

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

To: Planning and Zoning Commission

Case Numbers: 19-15-DR (Design Review) -
Downtown Tabby

Site Location: 239 W. 4th St., Kuna, ID 83634

Planner: Sam Weiger, Planner I

Meeting Date: July 23, 2019

Owner: Sharon Halpern
239 W. 4th St.
Meridian, ID 83642
619.890.3303

Applicant: Stephen Miller
1706 S. Kansas Place
Nampa, ID 83686
208.602.2363
steveM1952@yahoo.com

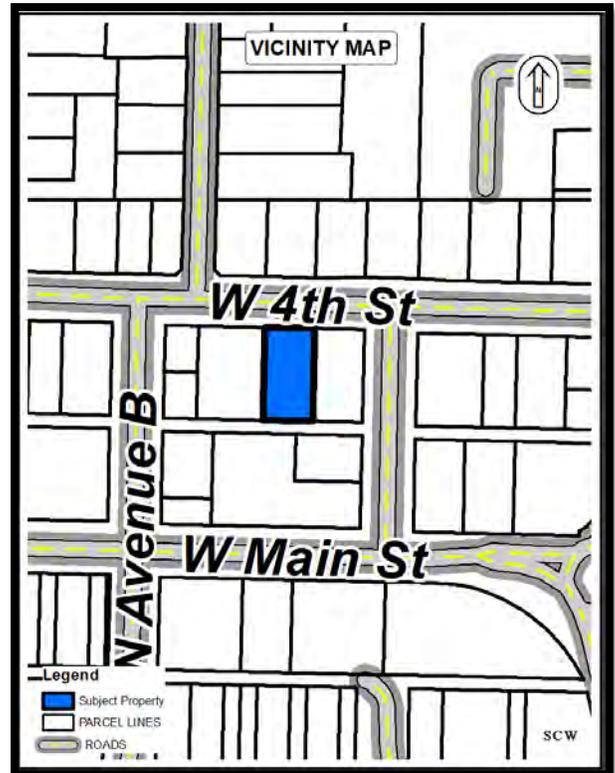


Table of Contents:

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|--------------------------|--|
| A. Process and Noticing | D. Staff Analysis |
| B. Applicant's Request | E. Applicable Standards |
| C. General Project Facts | F. Proposed Decision by the Commission |

A. Process and Noticing:

Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states that design reviews are designated as *public meetings*, with the Planning and Zoning Commission (acting as the Design Review Board) as the decision-making body. As a public meeting item, this action requires no formal public noticing actions.

B. Applicant's Request:

The applicant, Stephen Miller, requests design review approval for proposed additions and modifications to the *Downtown Tabby* commercial building. The subject site is located at 239 W. 4th St., Kuna, ID 83634 (APN# R5070000375).

C. General Projects Facts:

1. Comprehensive Plan Map:

The Future Land Use Map (Comp Plan Map) is intended to serve as a *guide* for the decision-making body for the City. The Comp Plan map indicates land use designations generally speaking, it is not the actual zone. The Future Land Use Map identifies the subject site as Commercial.

2. **Surrounding Land Uses:**

North	R-6	Medium Density Residential – Kuna City
South	CBD	Central Business District – Kuna City
East	CBD	Central Business District – Kuna City
West	CBD	Central Business District – Kuna City

3. **Parcel Sizes, Current Zoning, Parcel Numbers:**

Property Owner	Parcel Size	Current Zone:	Parcel Number
Sharon Halpern	0.24 acres	CBD (Central Business District)	R5070000375

4. **Services:**

- Sanitary Sewer– City of Kuna
- Potable Water – City of Kuna
- Irrigation – City of Kuna (KMIS)
- Fire Protection – Kuna Rural Fire District
- Police Protection – Kuna Police (Ada County Sheriff’s office)
- Sanitation Services – J & M Sanitation

5. **Existing Structures, Vegetation and Natural Features:**

The proposed project site currently features a building used for cat grooming and boarding with a gravel parking lot. The site also features a shed, wood fencing and low vegetation.

6. **Transportation / Connectivity:**

Current access to site exists via West Fourth Street.

7. **Environmental Issues:**

Staff is not aware of any environmental issues, health or safety conflicts beyond the designation of being in the nitrate priority area.

D. Staff Analysis:

The applicant proposes to add a porch cover, replace existing fencing and modify the building color swatches for the *Downtown Tabby* commercial building at 239 W. 4th St. This site was previously used as a dog grooming facility named *Doggieworks*.

Staff has determined the design review application complies with Kuna City Code, Title 5; Idaho Statute § 67-6511; and the Kuna Comprehensive Plan; Staff recommends if the proposed project is approved, the applicant be subject to the conditions of approval listed in section “F” of this report and any additional conditions requested by the Planning and Zoning Commission.

E. Applicable Standards:

1. City of Kuna Zoning Ordinance Title 5.
2. City of Kuna Comprehensive Plan.
3. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

F. Proposed Decision by the Commission:

Note: This motion is for the approval, conditional approval or denial of the design review application. However, if the Planning and Zoning Commission wishes to change specific parts of this request as detailed in the report, those changes must be specified.

Based on the facts outlined in staff’s report as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby (approves/conditionally approves/denies) Case No. 19-15-DR (Design Review), a request from Stephen

Miller for design review approval for proposed additions and modifications to the *Downtown Tabby* commercial building subject to the following conditions:

1. The proposed patio cover shall obtain a building permit from the City of Kuna. All work shall be inspected by Kuna City inspectors.
2. Fencing within and around the site shall obtain a building permit from the City of Kuna and comply with KCC 5-5-5.
3. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the Planning and Zoning Commission, or seek amending them through public hearing processes.
4. Developer/owner/applicant shall follow staff, City engineers and other agency recommended requirements.
5. Developer/owner/applicant shall comply with all local, state and federal laws.

DATED this 23rd day of July, 2019.



City of Kuna
 Planning & Zoning
 Department
 P.O. Box 13
 Kuna, Idaho 83634
 208.922.5274
 Fax: 208.922.5989
 Website: www.cityofkuna.com

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	19-15-DR
Project name	Downtown Tabby
Date Received	6.5.19
Date Accepted/ Complete	
Cross Reference Files	
Commission Hearing Date	
City Council Hearing Date	

Contact/Applicant Information

X Owners of Record: <u>Sharon Halpern</u>	Phone Number: _____
Address: <u>239 E. 4th St</u>	E-Mail: _____
City, State, Zip: <u>Kuna, ID 83634</u>	Fax #: _____
X Applicant (Developer): <u>Same</u>	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____
Engineer/Representative: _____	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____

Subject Property Information

Site Address: _____
Site Location (Cross Streets): _____
Parcel Number (s): _____
Section, Township, Range: _____
Property size : _____
Current land use: _____ Proposed land use: _____
Current zoning district: _____ Proposed zoning district: _____

received
6.5.19

Project Description

Project / subdivision name: Downtown Tabby Inc.
General description of proposed project / request: _____
Type of use proposed (check all that apply):
 Residential _____
 Commercial _____
 Office _____
 Industrial _____
 Other _____
Amenities provided with this development (if applicable): _____

Residential Project Summary (if applicable)

Are there existing buildings? Yes No
Please describe the existing buildings: _____
Any existing buildings to remain? Yes No
Number of residential units: _____ Number of building lots: _____
Number of common and/or other lots: _____
Type of dwellings proposed:
 Single-Family _____
 Townhouses _____
 Duplexes _____
 Multi-Family _____
 Other _____
Minimum Square footage of structure (s): _____
Gross density (DU/acre-total property): _____ Net density (DU/acre-excluding roads): _____
Percentage of open space provided: _____ Acreage of open space: _____
Type of open space provided (i.e. landscaping, public, common, etc.): _____

Non-Residential Project Summary (if applicable)

Number of building lots: 1 Other lots: _____
Gross floor area square footage: 1,000 Existing (if applicable): _____
Hours of operation (days & hours): by appt Building height: _____
Total number of employees: 2 Max. number of employees at one time: _____
Number and ages of students/children: NONE Seating capacity: _____
Fencing type, size & location (proposed or existing to remain): cedar
Proposed Parking: a. Handicapped spaces: _____ Dimensions: _____
b. Total Parking spaces: _____ Dimensions: _____
c. Width of driveway aisle: _____
Proposed Lighting: _____
Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): _____

Applicant's Signature: Arnon Halpern Date: 6/5/19



STEPHEN MILLER
Lic.# RCT-41899



City of Kuna Design Review Application

P.O. Box 13
Kuna, Idaho 83634
(208) 922.5274
Fax: (208) 922.5989
Website: www.kunacity.id.gov

FILE NO.: 19-15-DR

CROSS REF.: _____

FILES: _____

The City of Kuna has adopted a Design Review process whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in the Design Review Ordinance No. 2007-02 and the Architecture and Site Design Booklet. Both documents can be found online (www.cityofkuna.com) or are picked up in the City's Planning and zoning department is located at 751 W 4th Street, Kuna ID.

The Design Review application applies to the following land use actions:

- ▶ Multi- family dwellings (3 or more)
- ▶ Commercial
- ▶ Industrial
- ▶ Institutional
- ▶ Office
- ▶ Common Area
- ▶ Subdivision Signage
- ▶ Proposed Conversions
- ▶ Proposed changes in land use and/or building use or exterior remodeling
- ▶ Exterior restoration, and enlargement or expansion of existing buildings, signs or sites.

Application Submittal Requirements

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	Date of pre- application meeting : <u>06/05/19</u> <i>Note: Pre-Applications are valid for a period of three (3) months.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	A complete Design Review Application form <i>Note: It is the applicant's responsibility to use a current application.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with Design Review standards.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	One (1) Vicinity Map (8 ½" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	One 8 ½" x 11" colored aerial photo depicting proposed site, street names, and surrounding area within five-hundred feet (500').	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Copy of Deed; and, if the applicant is not the owner, an original notarized statement (affidavit of legal interest) from the owner (and all interested parties) stating the applicant is authorized to submit this application.	<input type="checkbox"/>

received
6-5-19

Landscape and Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscaped and streetscape plans must be colored. The Planning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Applicant Use		Staff Use
<input type="checkbox"/>	North Arrow	<input type="checkbox"/>
<input type="checkbox"/>	To scale drawings	<input type="checkbox"/>
<input type="checkbox"/>	Boundaries, property lines and dimensions	<input type="checkbox"/>
<input type="checkbox"/>	Name of "Plan Preparer" with contact information	<input type="checkbox"/>
<input type="checkbox"/>	Name of project and date	<input type="checkbox"/>
<input type="checkbox"/>	Type and location of all plant materials and other ground covers. <i>Please review the City's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of all proposed landscape materials at the time of planting, and at maturity. A list of acceptable trees is available upon request from City Planning Staff.</i>	<input type="checkbox"/>
<input type="checkbox"/>	Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed	<input type="checkbox"/>
<input type="checkbox"/>	Method of irrigation <i>Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance.</i>	<input type="checkbox"/>
<input type="checkbox"/>	Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fences, fountains street/pathway furniture (benches, etc.), etc.	<input type="checkbox"/>
<input type="checkbox"/>	Sign locations <i>Note: A separate sign application must be submitted with this application</i>	<input type="checkbox"/>
<input type="checkbox"/>	Locations and uses for open spaces	<input type="checkbox"/>
<input type="checkbox"/>	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	<input type="checkbox"/>
<input type="checkbox"/>	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input type="checkbox"/>	Location and designations of all sidewalks	<input type="checkbox"/>
<input type="checkbox"/>	Clearly identify pressurized irrigation lines and underground water storage	<input type="checkbox"/>
<input type="checkbox"/>	Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved design review application, a detailed site grading and drainage plan, prepared by a registered professional engineer (PE) shall be submitted to the City for review and approval by the City Engineer.	<input type="checkbox"/>

Building Elevations

Applicant
Use

- Detailed elevation plans of each side of any proposed building(s) or additions(s)
Note: Four (4) elevations to include all sides of development and must be in color
- Identify the elevations as to north, south, east, and west orientation
- Colored copies of all proposed building materials and indication where each material and color application is to be located
Note: Submit as 11"x17" reductions
- Screening/treatment of mechanical equipment
- Provide a cross-section of the building showing any roof top mechanical units and their roof placement
- Detailed elevation plans showing the materials to be used in construction of trash enclosures

Staff
Use

Lighting Plan

Applicant
Use

- Exterior lighting including detailed cut sheets and photometric plan (pedestrian, vehicle, security, decoration)
- Types and wattage of all light fixtures
Note: The City encourages use of "dark sky" lighting fixtures
- Placement of all light fixtures shown on elevations and landscaping plans

Staff
Use

Roof Plans

Applicant
Use

- Size and location of all roof top mechanical units

Staff
Use

Design Review Application

Applicant: STEPHEN MILLER Phone: 208-602-2363
 Owner Representative Fax/Email: STEVE.M.1952@yahoo.com

Applicant's Address: 1706 S. Kansas Place
Nampa, ID 83686 Zip: 83686

Owner: Sharon Halpern Phone: 619.890.3303

Owner's Address: 104 E. Fairview Ave #292 Email: _____
Meridian, ID Zip: 83642

Represented By: (if different from above) N/A Phone: _____

Address: _____ Email: _____
Zip: _____

Address of Property: 239 W. 4th Street
Kuna ID Zip: 83634

Distance from Major Cross Street: _____ Street Name(s): Linder of 4th

Please check the box that reflects the intent of the application

BUILDING DESIGN REVIEW
 SUBDIVISION / COMMON AREA LANDSCAPE

DESIGN REVIEW MODIFICATION
 STAFF LEVEL APPLICATION

This Design Review application is a request to construct, add or change the following: *(Briefly explain the nature of the request.)*

Paint colors for existing building
ALREADY SUBMITTED

1. Dimension of Property: _____
2. Current Land Use(s): _____
3. What are the land uses of the adjoining properties?
North: _____
South: _____
East: _____
West: _____

4. Is the project intended to be phased, if so what is the phasing time period? _____
Please explain: _____

5. The number and use(s) of all structures: _____

6. Building heights: _____ Number of stories: _____
The height and width relationship of new structures shall be compatible and consistent with the architectural character of the area and proposed use.

Note: The maximum building height for each zoning district is as follows:

L-O: 35'	C-2: 60'	CBD: 80'	M-2: 60'	P: 60'
C-1: 35'	C-3: 60'	M-1: 60'	M-3: 60'	

7. What is the percentage of building space on the lot when compared to the total lot area? _____
8. Exterior building materials & colors: *(Note: This section must be completed in compliance with the City of Kuna Ordinance No. 2007-21A (as amended); found online at www.cityofkuna.com) under the City Code.*

MATERIAL

COLOR

Roof: _____ / _____

Walls: *(State percentage of wall coverage for each type of building material below for each frontage wall) If there is not adequate space to identify the various building materials and applications, please list them on the attached sheet of this application. Please attach photos to support application types.*

% of Wood application: _____ / _____

% EIFS: _____ / _____
(Exterior Insulation Finish System)

% Masonry: _____ / _____

% Face Block: _____ / _____

% Stucco: _____ / _____

& other material(s): _____ / _____

List all other materials: _____

Windows/Doors: _____ / _____
(Type of window frames & styles / doors & styles, material)

Soffits and fascia material: _____ / _____

Trim, etc.: _____ / _____

Other: _____ / _____

9. Please identify Mechanical Units: _____
Type/Height: _____
Proposed Screening Method: _____

10. Please identify trash enclosure: *(size, location, screening & construction materials)* _____

11. Are there any irrigation ditches/canals on or adjacent to the property? _____
If yes, what is the name of the irrigation or drainage provider? _____

12. Fencing: *(Please provide information about new fencing material as well as any existing fencing material)*

Type: _____

Size: _____

Location: _____

(Please note that the City has height limitations of fencing material and requires a fence permit to be obtained prior to installation)

13. Proposed method of On-site Drainage Retention/Detention: _____

14. Percentage of Site Devoted to Building Coverage: _____

% of Site Devoted to Landscaping: _____ Square Footage: _____
(Including landscaped rights-of-way)

% of Site that is Hard Surface: _____ Square Footage: _____
(Paving, driveways, walkways, etc.)

% of Site Devoted to other uses: _____

Describe: _____

% of landscaping within the parking lot (landscaped islands, etc.): _____

15. For details, please provide dimensions of landscaped areas within public rights-of-way: _____

16. Are there any existing trees of 4" or greater in caliper on the property? *(Please provide the information on the site plans.)*

If yes, what type, size and the general location? *(The City's goal is to preserve existing trees with a four inch (4") or greater caliper whenever possible):*

17. Dock Loading Facilities:

Number of docking facilities and their location: _____

Method of screening: _____

18. Pedestrian Amenities: *(bike racks, receptacles, drinking fountains, benches, etc.)* _____

19. Setbacks of the proposed building from property lines:

Front _____ -feet Rear _____ -feet Side _____ -feet Side _____ -feet

20. Parking requirements: _____

Total Number of Parking Spaces: _____ Width and Length of Spaces: _____

Total Number of Compact Spaces 8'x17': _____

21. Is any portion of the property subject to flooding conditions? Yes _____ No _____

IF THE PLANNING DIRECTOR OR DESIGNEE, THE DESIGN REVIEW BOARD AND/OR THE CITY COUNCIL DETERMINE THAT ADDITIONAL AND/OR REVISED INFORMATION IS NEEDED, AND/OR IF OTHER UNFORESEEN CIRCUMSTANCES ARISE, ANY DATES OUTLINED FOR PROCESSING MAY BE RE-SCHEDULED BY THE CITY. APPLICANT/REPRESENTATIVE MUST ATTEND THE DESIGN REVIEW BOARD MEETING/PLANNING AND ZONING MEETINGS.

The Ada County Highway District may also conduct public meetings regarding this application. If you have questions about the meeting date or the traffic that this development may generate or the impact of that traffic on streets in the area, please contact the Ada County Highway District at 208.387.6170. In order to expedite your request, please have ready the file number indicated in this notice.

Signature of Applicant *Jessica Halpern (owner)* Date 6/5/19

City staff comments:

Signature of receipt by City Staff _____ Date _____

FOR ADDITIONAL INFORMATION:
(Please list page number and item in reference)



N Franklin Ave

N Avenue A

N Avenue B



TitleOne
a title & escrow co.

This map/plat is being furnished as an aid in locating the herein described land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

Mapping tool applied for approximate lot dimensions

received
6.5.19

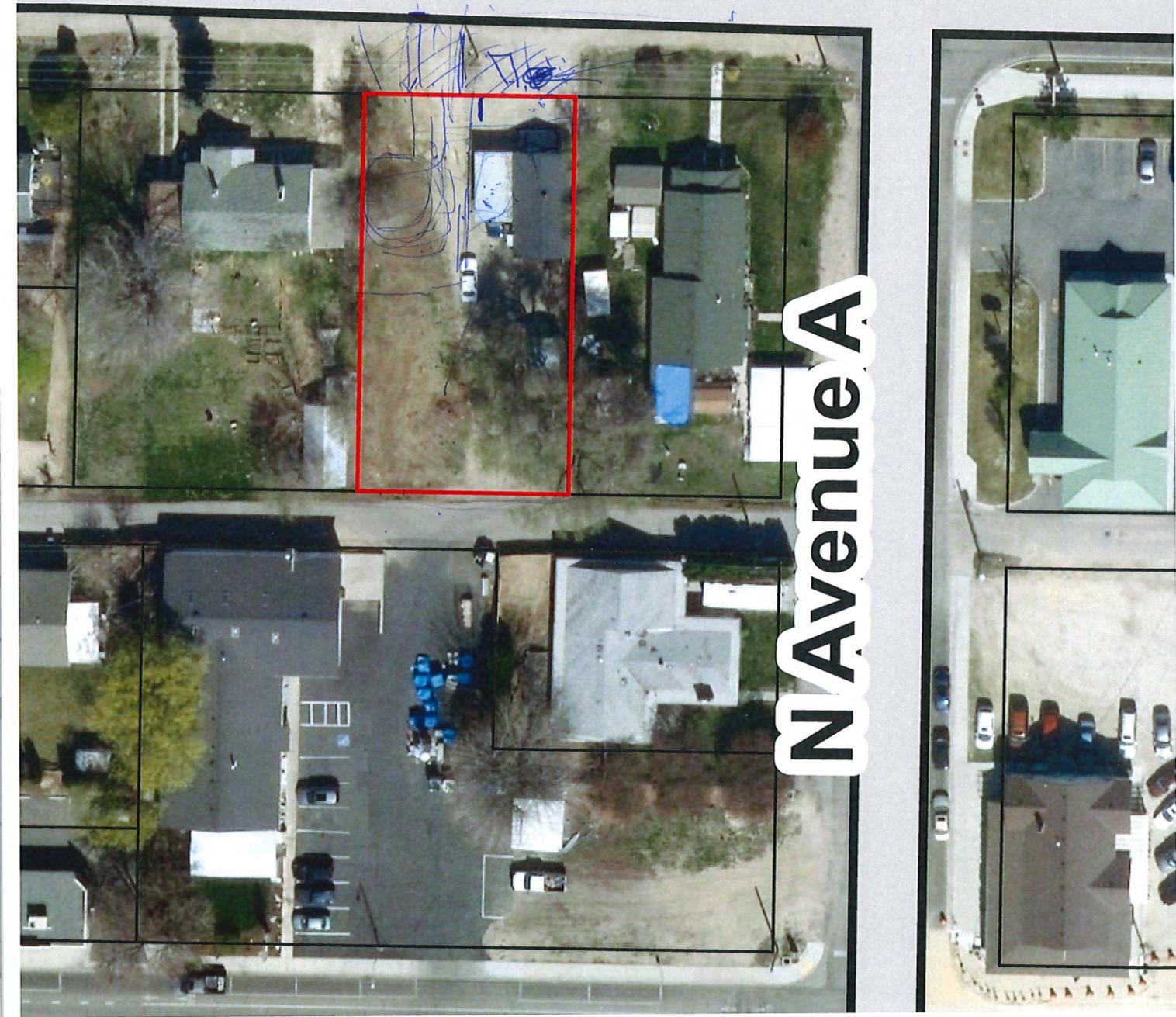


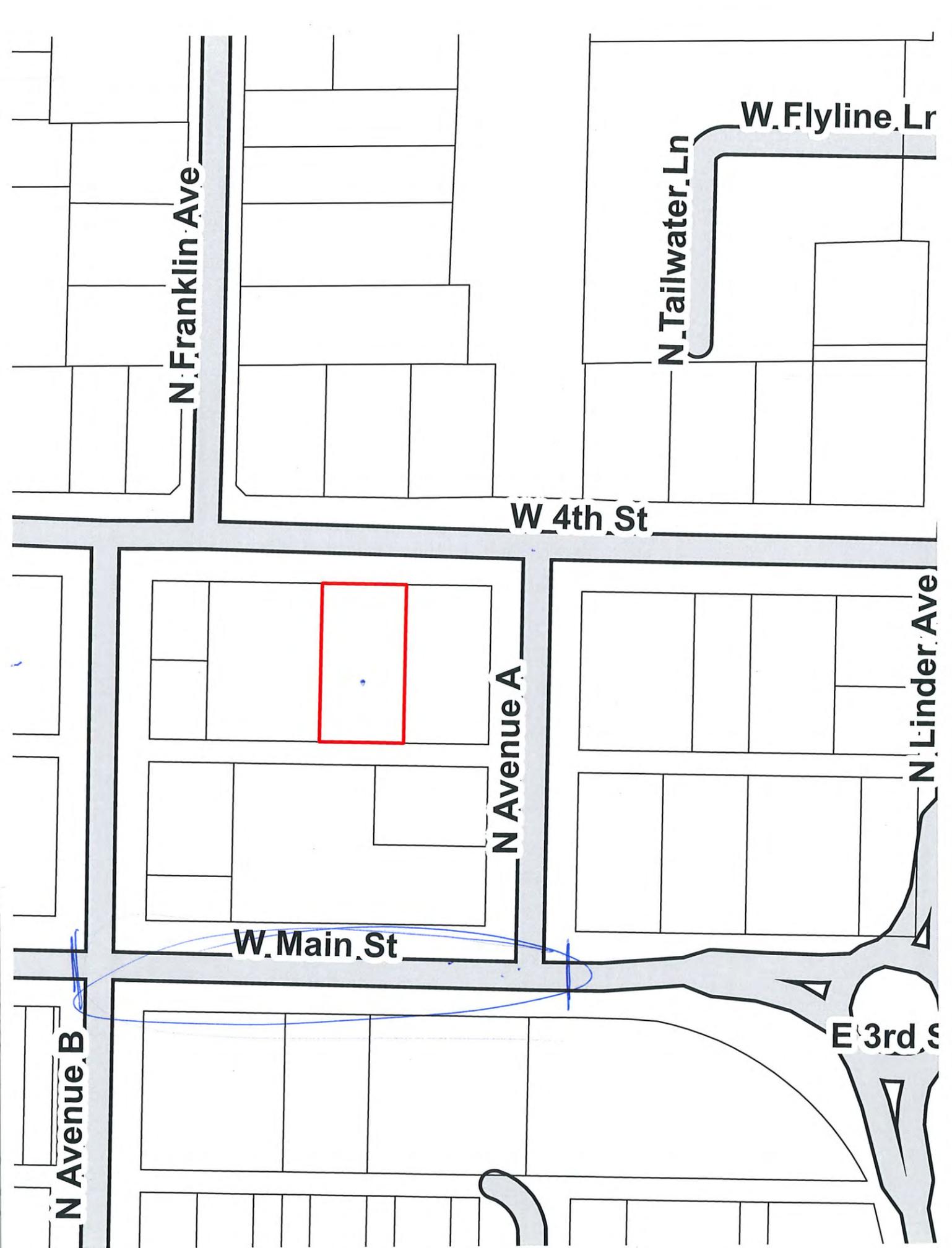
TitleOne
a title & escrow co.

This map/plat is being furnished as an aid in locating the herein described land in relation to adjoining streets, natural boundaries and other land, and is not a survey of the land depicted. Except to the extent a policy of title insurance is expressly modified by endorsement, if any, the company does not insure dimensions, distances, location of easements, acreage or other matters shown thereon.

Mapping tool applied for approximate lot dimensions

received
02.15.19





N Franklin Ave

W Flyline Ln

N Tailwater Ln

W 4th St

N Avenue A

N Linder Ave

W Main St

E 3rd St

N Avenue B

Sam Weiger

From: Paul Stevens
Sent: Monday, June 24, 2019 9:09 AM
To: Sam Weiger
Subject: RE: Downtown Tabby Parking Lot

Sam:

She also asked about parking layout and space size. I think good customer service dictates an on site visit.

So to answer your question, gravel is ok and we can assume no additional drainage is needed but this isn't the whole picture.

Paul A. Stevens, PE
CITY OF KUNA - ENGINEER
PHONE 208-287-1727



751 W 4TH ST
PO Box 13
KUNA, ID 83634

From: Sam Weiger <sweiger@kunaid.gov>
Sent: Monday, June 24, 2019 8:28 AM
To: Paul Stevens <PStevens@kunaid.gov>
Subject: RE: Downtown Tabby Parking Lot

Paul,

She emailed me as well confirming that she wants to move forward with the gravel parking lot as is and no drainage plan. Can you verify that you're ok with this?

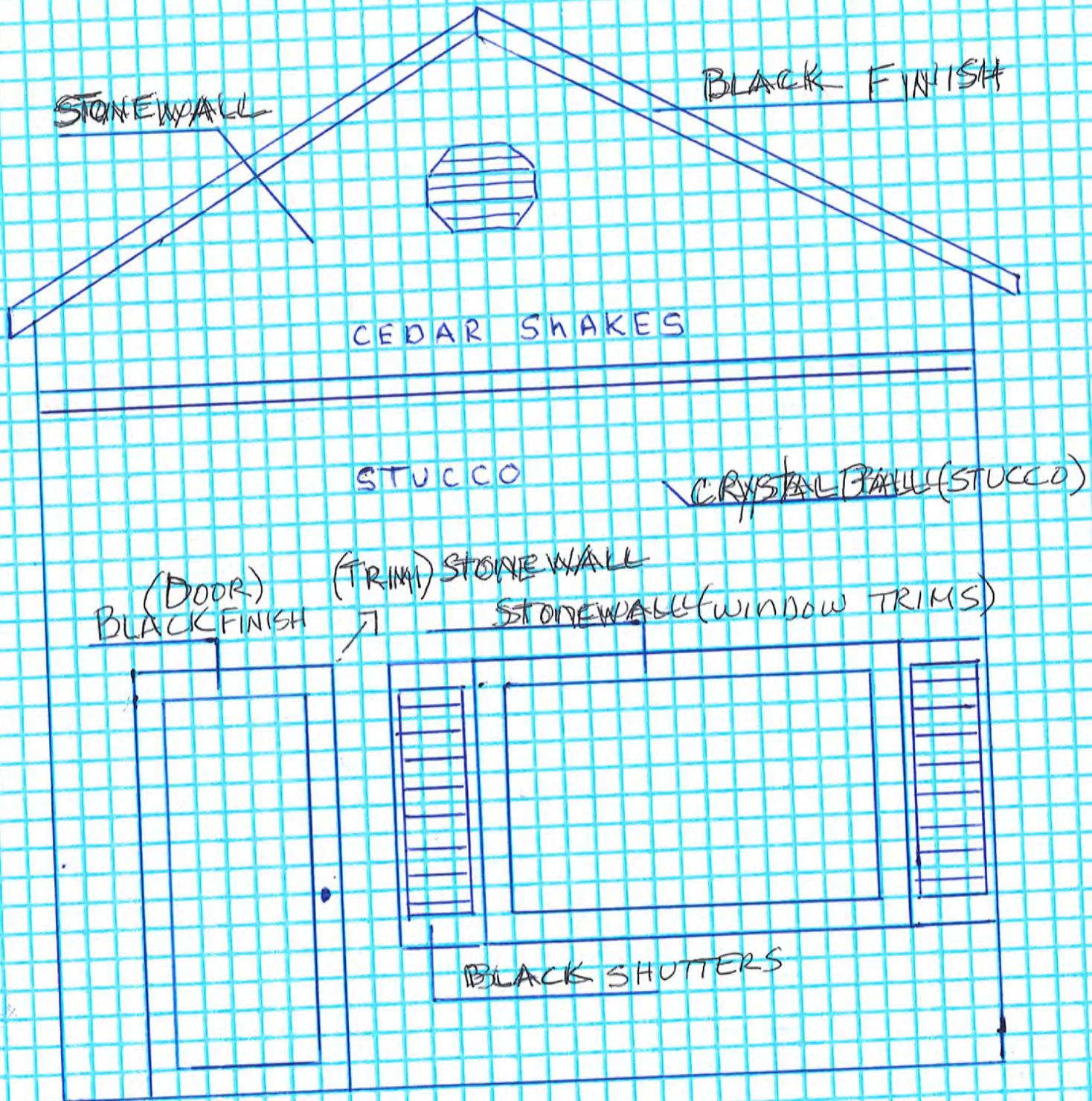
Thanks,

Sam

From: Paul Stevens <PStevens@kunaid.gov>
Sent: Monday, June 24, 2019 8:24 AM
To: Sam Weiger <sweiger@kunaid.gov>
Subject: RE: Downtown Tabby Parking Lot

Good morning, Sam:

Sharon emailed her concerns to me. I offered to meet her on site. Waiting for her to respond.

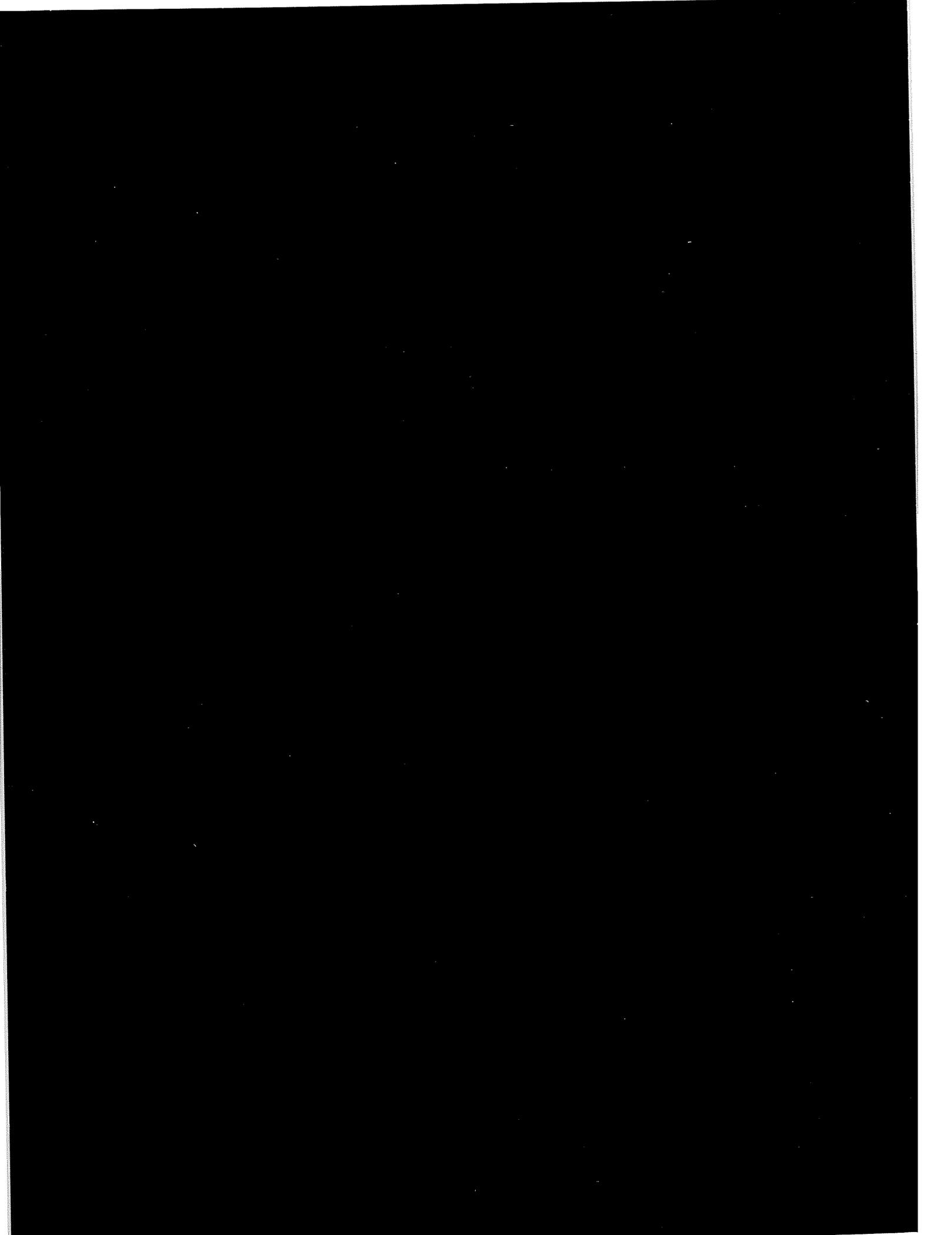


COLOR CHART FOR CITY
OF KUNA

received
12.15.19

received
6.5.19

received
10.5.19



150 FT

6 feet

100'

GATE

EXISTING BUILDING

CHAIN FENCE DOG EAR

Fence 40'

New Patio Roof

10'

40' Fence

2'4"

APPROVED PLANS & PERMIT TO BE ON SITE FOR INSPECTIONS

212

APPROVED

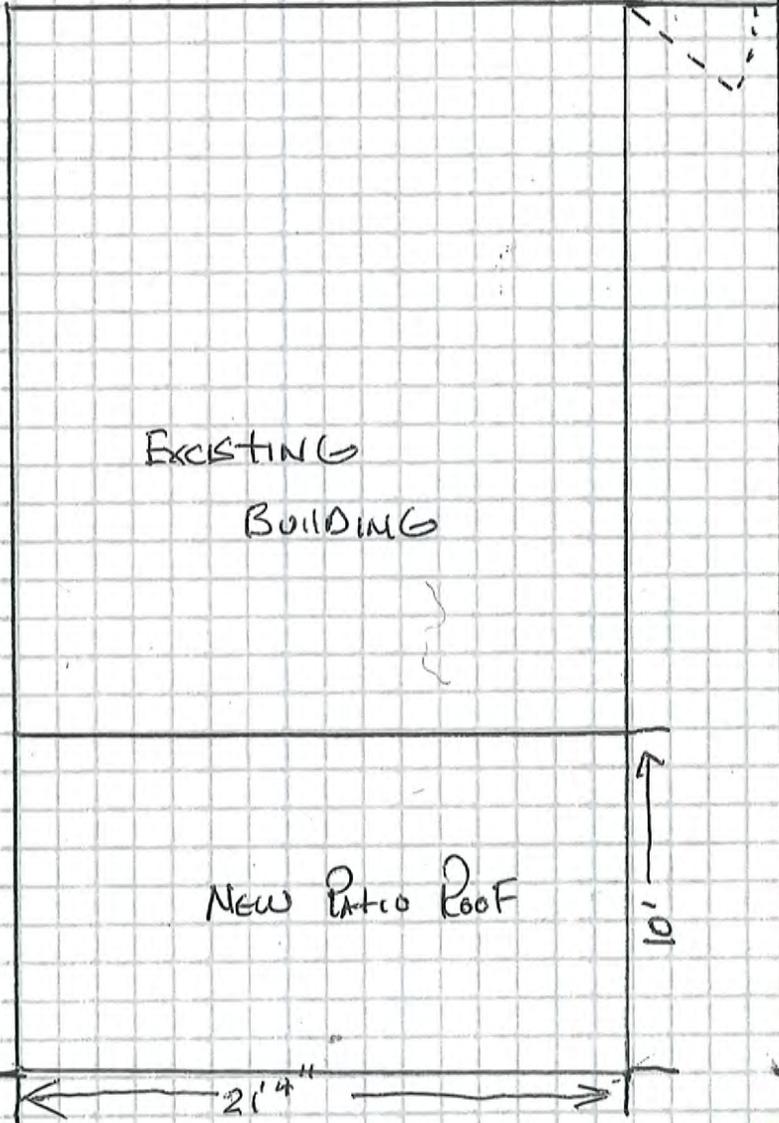
DATE 6.10.19

BY [Signature] CITY OF KUNA - BUILDING INSPECTOR

20' SET BACK 3' FEET

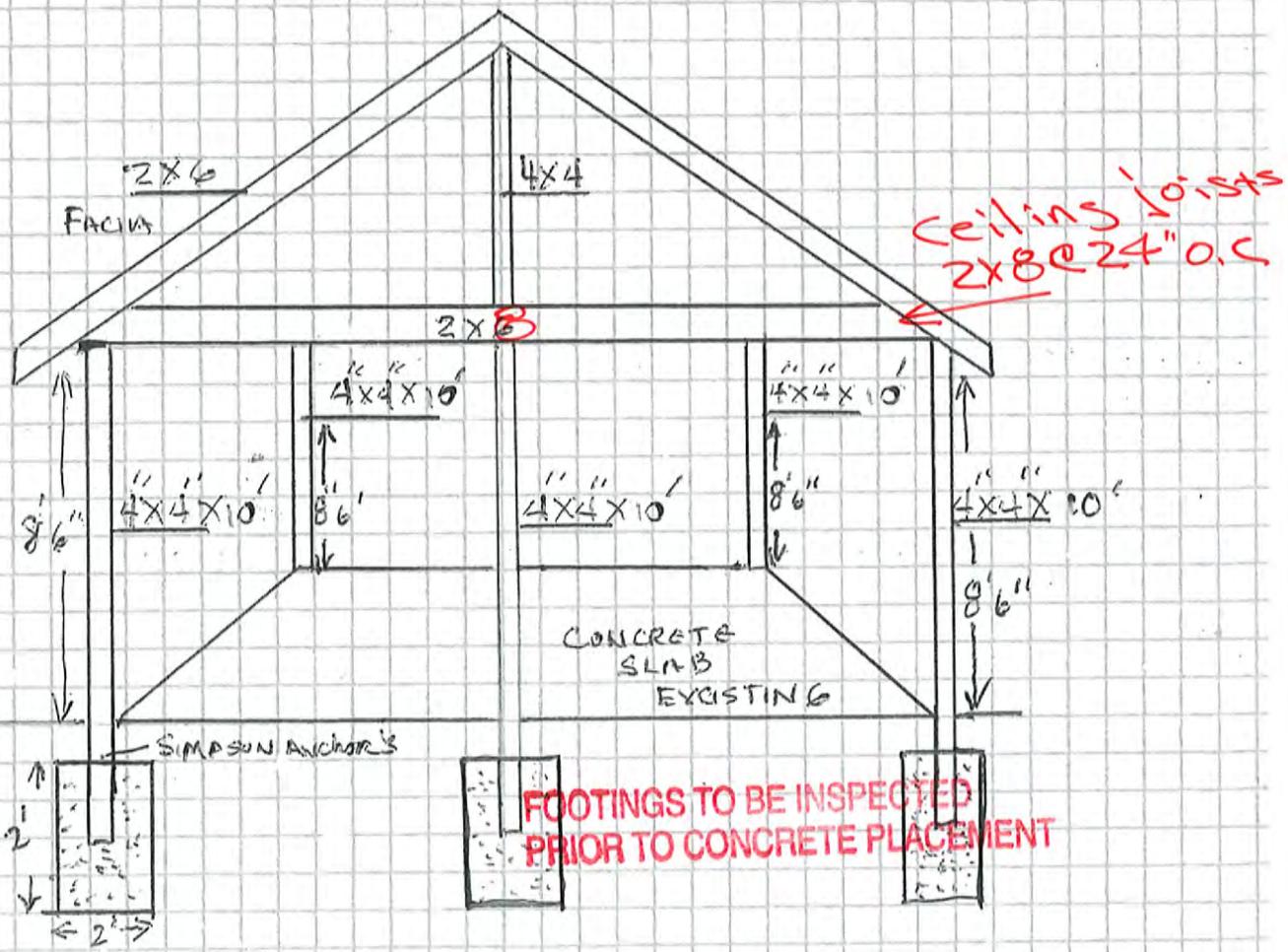
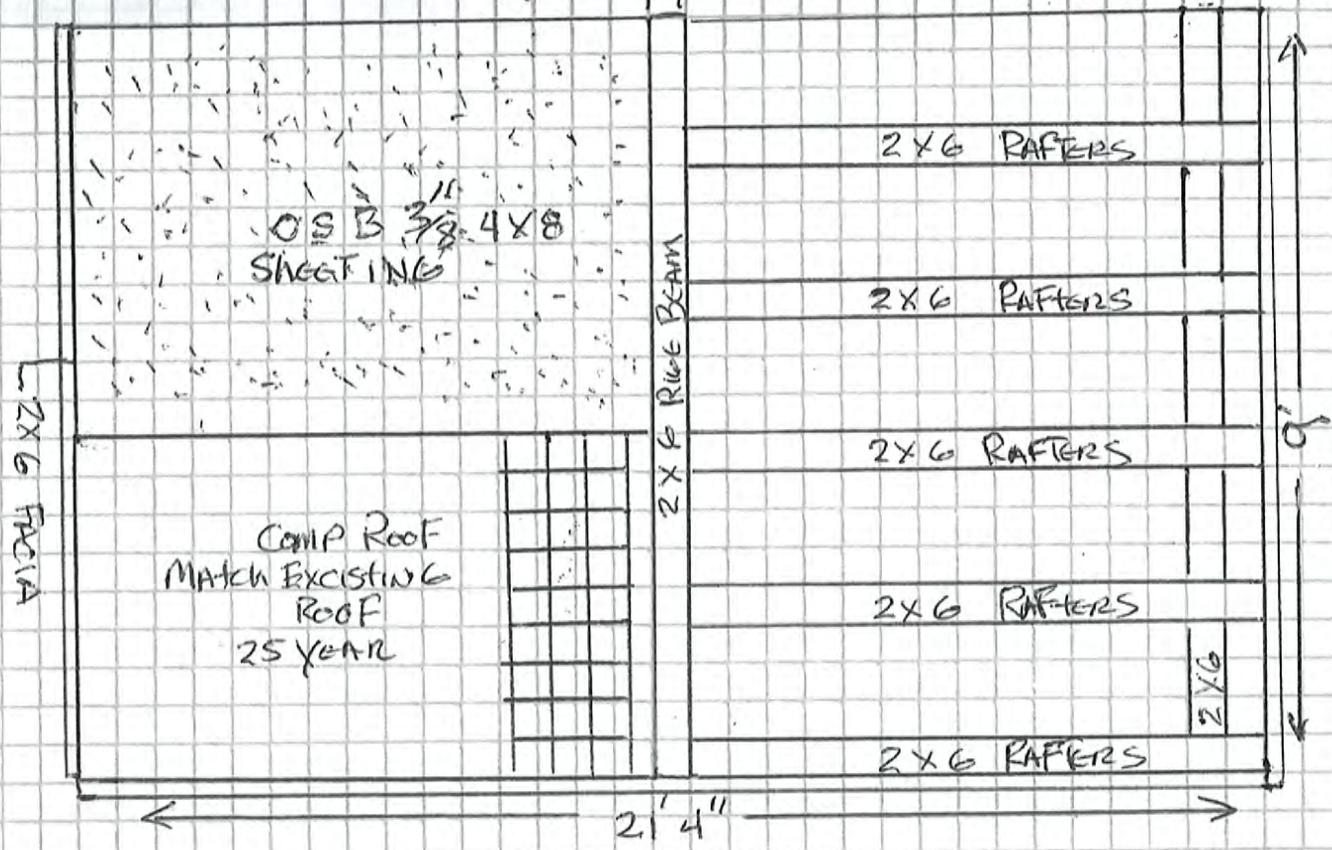
6 feet

Fence



ROOF EXISTING COMP

BUILDING



FOOTINGS TO BE INSPECTED PRIOR TO CONCRETE PLACEMENT

Our Philosophy

Downtown Tabby, Inc. is honored to be of service to one of the most beautiful and mysterious creatures on earth, the Cat. We strive to build a successful feline exclusive grooming business by becoming experts in cat behavior, temperaments, breeds, coat types and in detecting health issues which may need veterinary care.

In understanding the nature of cats, we focus all of our attention on grooming only one cat in our salon at a time. This promotes a calming environment and a quiet awareness. With compassion, patience and skill we dedicate ourselves to the grooming needs and well-being of your cat.

**Please call us for an appointment.
We look forward to speaking with you.**

**760-65-TABBY (mobile)
208-957-2229 (main)**

We invite you to visit our website at:
www.downtowntabbyinc.com

*Cash, Checks, Visa, MasterCard
and Discover are accepted.*



How Does Regular Grooming Promote Good Health For Your Cat?

Less Shedding and Hairballs - Regular baths help eliminate dead hair and lessen the problem. A cat that gets groomed on a regular basis sheds much less.

No Matting - Matting is a painful condition, especially for older cats that excrete more toxins through their skin. A regular bath removes dirt and oil that causes this and other skin disorders.

Less Dander - A good bath removes dander from a cats skin, which helps kitty and people with allergies.

Early Detection - Groomers are privy to health issues before they become urgent. This will mean a healthier, longer life for kitty. Keeping your cat clean is much healthier for everyone.

Less Stress - Cats who are groomed more often handle the process much better, allowing the groomer to do a better job.

The well-being of the majestic feline should be amplified. He is a valuable friend and gifted spiritual companion.



A Grooming Salon Exclusively for Felines

CFMG

Certified Feline Master Groomer

CMCG

Certified Master Cat Groomer

Member of:

National Cat Groomers Institute of America (NCGIA)

Professional Cat Groomers Association of America (PCGAA)

**760.65.TABBY (mobile)
208.957.2229 (main)**

www.downtowntabbyinc.com
info@downtowntabbyinc.com



City of Kuna

Planning and Zoning Commission

Staff Report

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

To: Planning and Zoning Commission

File Numbers: 19-03-SUP (Special Use Permit);
Anchor Academy Daycare

Location: 1143 East Yankee Basin Drive
Kuna, ID 83634

Planner: Sam Weiger, Planner I

Hearing date: July 23, 2019

Owner/Applicants: Will and Ali Johns
1143 East Yankee Basin Drive
Kuna, ID 83634
208-515-6018
wjohnssccm@gmail.com

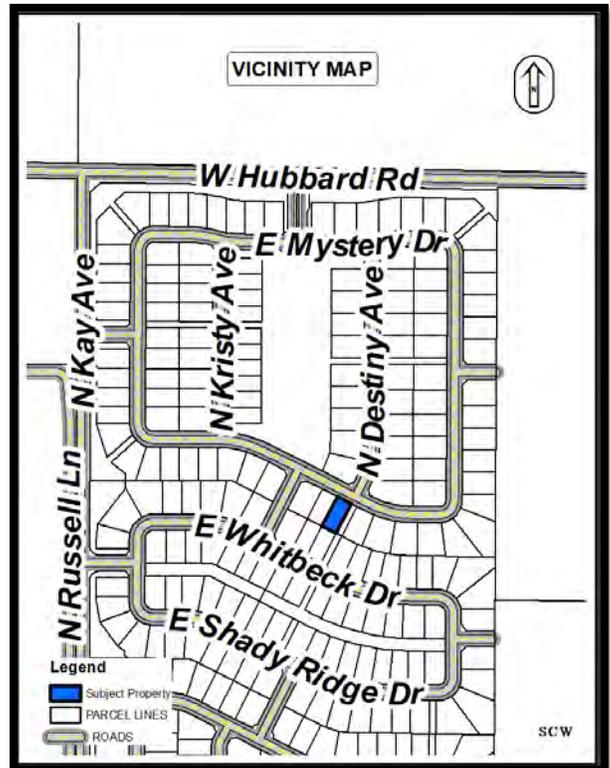


Table of Contents:

- A. Course Proceedings
- B. Applicants' Request
- C. General Project Facts
- D. Staff Analysis
- E. Applicable Standards
- F. Comprehensive Plan Analysis
- G. Proposed Decision by the Commission

1) Course of Proceedings:

1. As described in 5-3-2 and 5-1-6-2, Kuna City Code (KCC) requires obtaining a Special Use Permit (SUP) to operate an in-home beauty salon.

a. Notifications

- | | |
|-------------------------------------|-------------------------------|
| i. Neighborhood Meeting | June 4, 2019 (nine attendees) |
| ii. Agencies | June 18, 2019 |
| iii. 400' Notice to Property Owners | July 3, 2019 |
| iv. Kuna Melba Newspaper | July 3, 2019 |
| v. Site Posted | July 15, 2019 |

2) Applicants' Request:

The applicants, Will and Ali Johns, seek approval for a Special Use Permit in order to operate an in-home salon at 1143 East Yankee Basin Road, Kuna, ID 83634 (APN: R3280931190).

3) General Project Facts:

a) Surrounding Land Uses:

North	R-6	Medium Density Residential – Kuna City
South	R-6	Medium Density Residential – Kuna City
East	R-6	Medium Density Residential – Kuna City
West	R-6	Medium Density Residential – Kuna City

b) Parcel Sizes, Current Zoning, Parcel Numbers:

- Parcel Size: Approximately .121 acres
- Zoning: R-6 (Medium Density Residential)
- Parcel Number: R3280931190

c) Services:

Sanitary Sewer– City of Kuna
Potable Water – City of Kuna
Irrigation District – Kuna Municipal District (KMIS)
Fire Protection – Kuna Rural Fire District
Police Protection – Kuna Police (Ada County Sheriff)
Sanitation Services – J&M Sanitation

d) Existing Structures, Vegetation and Natural Features:

There is currently a single-family home on the subject site. The existing vegetation on site is associated with that of a single-family home.

e) Transportation / Connectivity:

Current access to the site exists from East Yankee Basin Road via an existing driveway.

f) Environmental Issues:

Apart from being in the nitrate priority area, staff is not aware of any additional environmental issues, health or safety conflicts at this time.

g) Comprehensive Future Land Use Map: The Future Land Use Map identifies this site as Medium Density Residential.

h) Agency Responses:

The following agencies returned comments which are included as exhibits with this case file:

- Central District Health Department - Exhibit B2

4) Staff Analysis:

The applicants are proposing to open an in-home beauty salon business within the existing garage of their home (Lot 14 Block 8 of Greyhawk No. 1 Subdivision). According to Exhibit A2b, the applicants plan to section off half of the garage by installing a 21-foot wall across the middle of the garage. The cosmetologist, Ali Johns, will only provide services to one client at any one time. The business will provide haircuts, hair coloring, and hair products. The applicants have indicated that the business will operate between 9:00 am and 8:00 pm on weekdays, and clients will be utilizing driveway parking spaces for parking.

Staff has determined that this application complies with Title 5 of KCC; Idaho Code; the Comprehensive Plan and the Future Land Use Map; and forwards a recommendation of approval for Case No. 19-03-SUP, subject to the recommended conditions of approval.

5) Applicable Standards:

- a) Kuna City Code, Title 5, Zoning Regulations.
- b) City of Kuna Comprehensive Plan.
- c) Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act.

6) Comprehensive Plan Analysis:

The Kuna Planning and Zoning Commission may accept or reject the Comprehensive Plan components as described below:

The proposed special use permit application for the site (*is/is not*) consistent with the following comprehensive plan components:

2.0 – Property Rights

Goal 1: *Ensure that the City of Kuna land use policies, restrictions, conditions and fees do not violate private property rights. Establish an orderly, consistent review process for the City of Kuna to evaluate whether proposed actions may result in private property “takings”.*

Policy: As part of a land use action review, the staff shall evaluate with guidance from the City’s attorney; The Idaho Attorney General’s six criteria established to determine the potential for property taking.

5.0 – Economic Development

Goal 1: *Promote and support a diverse and sustainable economy that will allow more Kuna residents to work in their community.*

Policy: Promote the expansion of home-based businesses in appropriately zoned areas.

6.0 – Land Use

Goal 2: *Encourage a balance of land uses to ensure that Kuna remains a desirable, stable and self-sufficient community*

Objective 2.2:

Plan for areas designed to accommodate a diverse range of businesses and commercial activity – within both the community-scale and neighborhood-scale centers – to strengthen the local economy and to provide more opportunities for social interaction.

Policy: Retail and residential land uses should be appropriately mixed and balanced with professional offices and service facilities to provide residents with a broader mix of services within walking distance from their homes.

7) Proposed Decision and Order by the Commission:

Note: This motion is for approval, conditional approval or denial of this request. If the Planning and Zoning Commission wishes to change specific parts of these conditions as detailed below, those changes must be specified.

Based on the facts outlined in staff’s report as presented and public testimony, the Planning and Zoning Commission of Kuna, Idaho, hereby (approves, conditionally approves or denies) Case No. 19-03-SUP, a request for a Special Use Permit by Will and Ali Johns with the following conditions of approval:

1. The applicant shall obtain a building permit for required building modifications, remodeling, or additions to the existing structure, prior to construction (mechanical, plumbing or electrical modifications to the garage are considered modifications under this condition; and is required).
2. The Kuna Fire District shall approve all fire requirements.

3. The Kuna Building Official shall approve all building plans.
4. The applicant shall maintain a Kuna City Business License through Kuna City Clerk's office once the Special Use Permit is acquired.
5. Signs, banners, flags or other means to advertise, attract attention, or identify the site as a business are not allowed, in accordance with Kuna City Code 5-5-4 (K).
6. Parking on site shall comply with Kuna City Code 5-5-4-K-3-g (Except as specifically approved otherwise).
7. The Special Use Permit is not transferrable between parcels.
8. This Special Use Permit is valid if the conditions of approval are adhered to continuously. In the event the conditions are not continuously followed; the Special Use Permit approval may be revoked.
9. The applicants shall follow all staff and agency recommendations.
10. The applicants shall comply with all local, state and federal laws.

DATED this 23rd day of July, 2019.



City of Kuna
Kuna Planning and Zoning Commission
Proposed Findings of Fact and Conclusions of Law

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.kunacity.id.gov

Based upon the record contained in Case No. 19-03-SUP including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, the exhibits, and the testimony during the public hearing, the Kuna Planning and Zoning Commission hereby (approves/conditionally approves/denies) Case No. 19-03-SUP, a request from Will and Ali Johns to operate an in-home salon. The site is located at 1143 East Yankee Basin Road, Kuna, ID 83634.

If the Planning and Zoning Commission wishes to approve, deny or modify specific parts of the Findings of Facts and Conclusions of Law as detailed below, those changes must be specified.

1. Based on the evidence contained in Case Nos. 19-03-SUP, this proposal *does* generally comply with the City Code.

Staff Finding: *The applicants have submitted a complete application, and following staff review for technical compliance the application appears to be in general compliance with the special use standards, supplementary conditions and safeguards in Kuna City Code Title 5.*

2. Based on the evidence contained in Case Nos. 19-03-SUP, this proposal *does* generally comply with the Comprehensive Plan.

Staff Finding: *The current zoning district is R-6 (Medium Density Residential). The Comp Plan Map designates this property as Medium Density Residential.*

3. The in-home salon *does* constitute a special use as established on the official schedule of district regulations for the zoning district involved.

Staff Finding: *According to the official schedule of district regulations, an in-home salon does constitute a special use for an R-6 zoning district.*

4. The applicant *does* plan to keep the residence harmonious within the subdivision.

Staff Finding: *The in-home salon will take one client at a time, the residence driveway features two parking spots, and the hours of operation will not interfere with quiet hours.*

5. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

Staff Finding: *As noted in the process and noticing sections, notice requirements were met to hold a public hearing on July 23, 2019.*

DATED this 23rd day of July, 2019.

received
6.12.19



City of Kuna
Planning & Zoning
Department
P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website: www.kunacity.id.gov

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	19-03-SUP
Project name	Johns In-Home Salon
Date Received	6/12/19
Date Accepted/Complete	
Cross Reference Files	
Commission Hearing Date	
City Council Hearing Date	

Contact/Applicant Information

Owners of Record: <u>Will/Al Johns</u>	Phone Number: <u>208 515 6018</u>
Address: <u>1143 E YANKEE BASIN DR</u>	E-Mail: <u>WJOHNS55CCM@GMAIL.COM</u>
City, State, Zip: <u>KUNA ID 83634</u>	Fax #: _____
Applicant (Developer): <u>SAME AS OWNER</u>	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____
Engineer/Representative: _____	Phone Number: _____
Address: _____	F-Mail: _____
City, State, Zip: _____	Fax #: _____

Subject Property Information

Site Address: <u>1143 E YANKEE BASIN DR</u>	<u>KUNA ID 83634</u>
Site Location (Cross Streets): <u># GREYHAWK</u>	<u>SUB NO. 1</u>
Parcel Number (s): <u>R3280931190</u>	
Section, Township, Range: _____	
Property size: <u>.121 ACRES</u>	
Current land use: <u>Residential</u>	Proposed land use: <u>Home occupation</u>
Current zoning district: <u>R-6</u>	Proposed zoning district: <u>R-6</u>

Project Description

Project / subdivision name: HOME HAIR SALON

General description of proposed project / request: CREATING A SMALL HOME HAIR SALON IN EXISTING GARAGE

Type of use proposed (check all that apply):

Residential _____

Commercial _____

Office _____

Industrial _____

Other HOME OCCUPATION

Amenities provided with this development (if applicable): _____

Residential Project Summary (if applicable)

Are there existing buildings? Yes No

Please describe the existing buildings: _____

Any existing buildings to remain? Yes No

Number of residential units: _____ Number of building lots: _____

Number of common and/or other lots: _____

Type of dwellings proposed:

Single-Family _____

Townhouses _____

Duplexes _____

Multi-Family _____

Other _____

Minimum Square footage of structure (s): _____

Gross density (DU/acre-total property): _____ Net density (DU/acre-excluding roads): _____

Percentage of open space provided: _____ Acreage of open space: _____

Type of open space provided (i.e. landscaping, public, common, etc.): _____

Non-Residential Project Summary (if applicable)

Number of building lots: _____ Other lots: _____

Gross floor area square footage: 210 sq ft Existing (if applicable): _____

Hours of operation (days & hours): 9:00 a.m - 8pm Building height: _____

Total number of employees: 1 Max. number of employees at one time: 1

Number and ages of students/children: _____ Seating capacity: _____

Fencing type, size & location (proposed or existing to remain): _____

Proposed Parking:

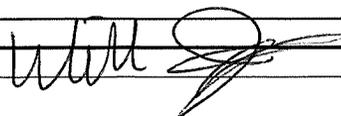
a. Handicapped spaces: _____ Dimensions: _____

b. Total Parking spaces: 1-2 Dimensions: 21' X 21'

c. Width of driveway aisle: _____

Proposed Lighting: _____

Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): _____

Applicant's Signature:  Date: 6/12/2014



City of Kuna
 Planning & Zoning
 Department
 P.O. Box 13
 Kuna, Idaho 83634
 208.922.5274
 Fax: 208.922.5989
 Website: www.kunacity.id.gov

Special Use Checklist

Special Use requires a public hearing with the Planning & Zoning Commission. A public hearing sign will be required to be posted by the applicant for the meeting. Sign posting regulations are available online.

Project name: HOME HAIR SALON 1147 E YANKEE BASIN DR	Applicant: William Johns
--	---------------------------------

All applications are required to contain one copy of the following:

Applicant (✓)	Description	Staff (✓)
✓	Completed and signed Commission & Council Review Application.	✓
✓	Detailed submittal letter explaining how the project enhances and beautifies the community and types of services the project will provide.	✓
✓	Legal description of the property: Include a metes & bounds description to the section line of all adjacent roadways stamped & signed by a registered professional land surveyor with a calculated closure sheet & a map showing the boundaries of the legal description.	✓
✓	Proof of ownership—A copy of your deed and Affidavit of Legal Interest (for all interested parties).	✓
✓	8 1/2 x 11 vicinity map showing streets, driveways, property lines, etc.	✓
N/A	Landscape plan drawn to scale as the same size as the site development plan with the following details: ◇ Type, size and location of all existing & proposed plant materials and other ground covers. The size of plants at planting and maturity should be included. ◇ Existing vegetation labeled to remain or to be removed with landscaping on adjacent properties by area (s) to be considered. ◇ Method of irrigation. ◇ Cross-sections through areas of special features, berms, retaining walls, etc. ◇ Footprints of all structures to be constructed.	N/A
✓	Site development plan on 24x36 to scale (not smaller than 1=30 unless otherwise approved) with the following information: ◇ Building locations—existing and proposed with spare-footages. ◇ Fences—existing, surrounding and proposed. ◇ Off-street parking, circulation and driveway locations and types. ◇ Location and size of adjacent streets and driveways. ◇ North arrow and property lines. ◇ Drawings of major exterior elevations. ◇ Building materials and color scheme. ◇ Existing grades and proposed new grades. ◇ Existing lighting and proposed lighting.	✓
✓	Commitment of Property Posting form signed by the applicant/agent.	✓
✓	Neighborhood meeting certification (certification & neighborhood meeting list forms shall accompany this application).	✓

Note: Only one copy of the above items need to be submitted when applying for multiple applications.

This application shall not be considered complete (nor will a Public Hearing be set) until staff has received all required information. Once the application is deemed complete, staff will notify the applicant of the scheduled hearing date, fees due, additional copies needed, etc.

William Johns
1143 E Yankee Basin Dr.
Kuna ID, 83634
208-515-6018
wjohnssccm@gmail.com

received
6.12.19

Submittal Letter

To Whom It May Concern:

I, William Johns, am submitting a proposal to create a small in-home hair salon for my wife Ali Johns at 1143 E Yankee Basin Drive. My wife Ali is a licensed cosmetologist and is trying to fulfill and abide by the guidelines laid out by the state of Idaho and the city of Kuna in regard to home hair salons. Thus, we propose the following:

We plan to section off half of our garage. We will build a 21-foot wall across the middle of our garage. The proposed salon would then be 21 feet by 10 feet. Within this salon there will be a regular use sink and a washout sink. There will be cabinets to meet the requirements for the board of cosmetology used for proper storage. There will be one hair station that will be used by Ali. There will be shelves and drawers for storage and for accommodation of hair product. Within the salon a gas water heater will be enclosed with high-low vents. Electrical outlets will be sufficiently installed and will meet code requirements for this type of business. There will also be an exhaust fan installed to accommodate any chemicals that may be used for hair coloration. Proper heating, cooling, and lighting will be implemented within and without the salon. There will be a separate entrance to the salon so that customers will not enter the main living entrance.

Aside from these details it is important to know that this business will not be visible from the road. There will never be more than one vehicle (in driveway) or individual at a time (unless in the case of an appointment taking longer than anticipated). My wife accommodates close family and friends on a very limited basis. This salon is not open to the public nor will it be advertised as such.

The services provided are strictly related to hair. Ali will be doing haircuts and will be coloring hair. She will also offer hair products to clients based on their hair needs. These will be the only services provided.

We are a small family trying to provide a small supplemental income. We are trying our very best to abide the laws of the land and the requirements from the city of Kuna. We appreciate your willingness to review our application and look forward to further correspondence.

Sincerely,

William Johns



NXID-0291529 AL
 ITA-0291790

WARRANTY DEED

FOR VALUE RECEIVED

Ezra Gwilliam and Lindsey Gwilliam, husband and wife GRANTOR(s) does(do) hereby GRANT, BARGAIN, SELL and CONVEY unto:

William Patrick Johns and Ali Christina Johns, husband and wife GRANTEE(s), whose current address is: 1143 E Yankee Basin Dr, Kuna, ID 83634 the following described real property in Ada County, State of Idaho more particularly described as follows, to wit:

Lot 14 in Block 8 of Greyhawk Subdivision No. 1, according to the official plat thereof, filed in Book 99 of Plats at Page(s) 12854 through 12858, official records of Ada County, Idaho.

TO HAVE AND TO HOLD the said premises, with their appurtenances unto said Grantee(s), and Grantee(s) heirs and assigns forever. And Grantor(s) does(do) hereby covenant to and with said Grantee(s) that Grantor(s) is/are the owner(s) in fee simple of said premises, that said premises are free from all encumbrances, EXCEPT those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee(s); and subject to reservations, restrictions, dedications, easements, rights of way and agreements, if any, of record, and general taxes and assessments, (including irrigation and utility assessments, if any) for the current year which are not yet due and payable and the Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

Dated: 23rd day of May, 2018

Ezra Gwilliam
 Ezra Gwilliam
Lindsey Gwilliam
 Lindsey Gwilliam

STATE OF: Idaho) Ada
 COUNTY OF Ada

On this 25th day of May, in the year of 2018, before me the undersigned Notary Public in and for said State, personally appeared Ezra Gwilliam and Lindsey Gwilliam known or identified to me (or proved to me on the oath of ...), to be the person whose name(s) is/are subscribed to the within instrument, and acknowledged to me that he/she/they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Angela K. Albert
 Notary Public for Idaho
 Residing at: _____
 My commission expires: _____

Residing in: Boise, ID
 Commission Expires: 4-15-2019



I, Phil McGrane, Ada County Recorder, do hereby certify that the annexed is a full, true and correct copy or Instrument Number 2018-048354 as it appears in the recorded documents system of the Ada County Recorder, State of Idaho. IN WITNESS WHEREOF, I have set my hand and affixed my official Seal this 6th day of June, 2019
 Phil McGrane, Recorder
 By Kyle Leigh
 Kyle Leigh, Deputy Recorder

Property Master

May 28, 2019



2019 - R3280931190

Property Information

Status: **Active** Code Area: **04**
Property Type: **Real**

Owner Information

Name: **JOHNS WILLIAM PATRICK**
Mailing Address: **1143 E YANKEE BASIN DR
KUNA ID 83634-0000**
Addtl Owner(s): **JOHNS ALI CHRISTINA**

Property Location

Address: **1143 E YANKEE BASIN DR
KUNA ID 83634-0000**
Group Type: **SUB**
Group #: **328093**
Group Description: **GREYHAWK SUB NO 01**
Zoning: **R-6**
Township/Range/Section: **2N 1W 13**
Property Description: **LOT 14 BLK 08
GREYHAWK SUB NO 01**

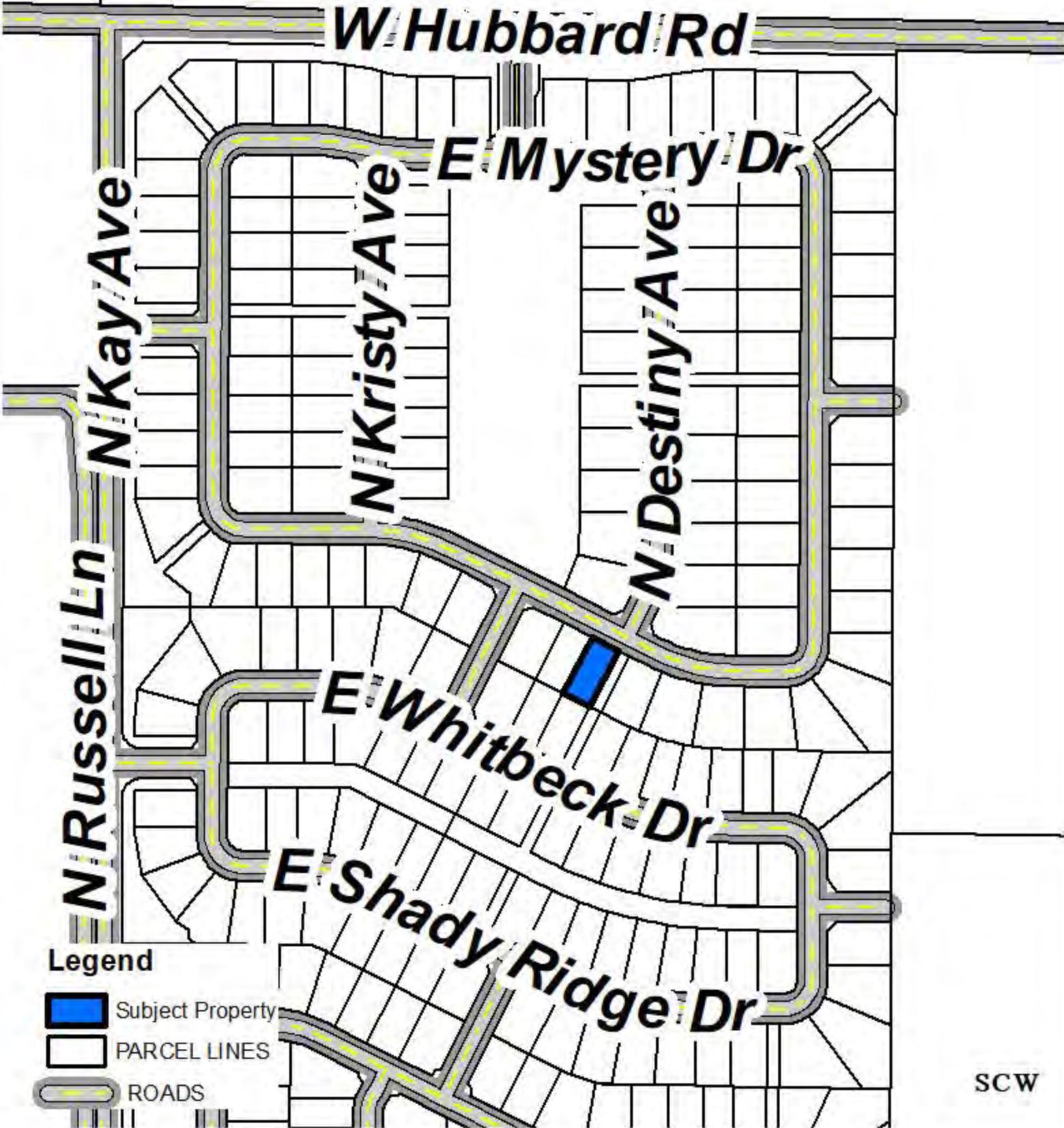
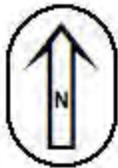
Appraiser Information

Name: **Ed R Humphries** Phone: **(208) 287-7215**
Email: **ehumphries@adacounty.id.gov**

Property Values

Status	State Category Code	Acres	Assessed Value	Assessment Roll	Property Occupancy	Valuation Method
Active	200	0.121	50,400	Property Roll	Non-Occupancy	MARKET
Active	410		157,800	Property Roll	Non-Occupancy	COST
			208,200			
			(100,000)	Less Homeowners Exemption		
			<hr/> 108,200			

VICINITY MAP



Legend

-  Subject Property
-  PARCEL LINES
-  ROADS

SCW



Neighborhood Meeting Certification

Received
6.12.19

CITY OF KUNA PLANNING & ZONING * 763 W. Avalon, Kuna, Idaho, 83634 * www.kuna.city.id.gov * (208) 922-5274 * Fax: (208) 922-5989

GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 5-1A-2 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.

Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.

Description of proposed project: Home Hair Salon

Date and time of neighborhood meeting: June 4th 2019 6-7 p.m.

Location of neighborhood meeting: 1143 E Yankee Basin Dr. KUNA ID

SITE INFORMATION:

Location: Quarter: _____ Section: _____ Township: _____ Range: _____ Total Acres: _____

Subdivision Name: Grey Hawk Lot: _____ Block: _____

Site Address: 1143 E Yankee Basin Dr. Tax Parcel Number(s): _____
KUNA ID 83634

Please make sure to include all parcels & addresses included in your proposed use.

CURRENT PROPERTY OWNER:

Name: WILLIAM JOHNS / ALI JOHNS

Address: 1143 E Yankee Basin Dr City: KUNA State: ID Zip: 83634

CONTACT PERSON (Mail recipient and person to call with questions):

Name: WILLIAM JOHNS Business (if applicable): _____

Address: 1143 E YANKEE BASIN DR City: KUNA State: ID Zip: 83634

PROPOSED USE:

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

Application Type

Brief Description

Annexation

Home Hair Salon

Re-zone

Subdivision (Sketch Plat and/or Prelim. Plat)

Special Use

Variance

Expansion of Extension of a Nonconforming Use

Zoning Ordinance Map Amendment

APPLICANT:

Name: William Johns

Address: 1143 E Yankee Basin dr.

City: KUNA State: ID Zip: 83634

Telephone: 208 515 6018 Fax: _____

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 5-1A-2 of the Kuna City Code

Signature: (Applicant)  Date _____

SIGN IN SHEET

PROJECT NAME: Hair Salon - Yankee Basin

Date: 6/4/2019

	<u>Name</u>	<u>Address</u>	<u>Zip</u>	<u>Phone</u>
1	<u>Jimmie Lewis</u>	<u>2490 N DESTINY ave</u>	<u>83634</u>	<u>760-953-3701</u>
2	<u>KEVEN THOMPSON</u>	<u>1167 YANKEE BASIN</u>	<u>83634</u>	<u>208-789-2312</u>
3	<u>Brandy Kropp</u>	<u>1121 E Yankee Basin</u>	<u>83634</u>	<u>208-409-4276</u>
4	<u>Kevin Kropp</u>			<u>208-409-3383</u>
5	<u>MICHAEL GOODWIN</u>	<u>1189 E. YANKEE DR</u>	<u>83634</u>	<u>208-599-2201</u>
6	<u>Alies Richardson</u>	<u>1077 E. Yankee Basin Dr.</u>	<u>83634</u>	<u>702-800-1133</u>
7	<u>Rebecca Hurley</u>	<u>2587 N. Greenville Ave</u>	<u>83634</u>	<u>208-867-1002</u>
8	<u>Jest Richardson</u>	<u>1077 E. Yankee Basin Dr.</u>	<u>83634</u>	<u>702-800-9055</u>
9	<u>RYAN HUNTER</u>	<u>2551 N. HOBE GULESS</u>	<u>83634</u>	<u>208-685-9131</u>
10				
11				
12				
13				
14				
15				
16				
17				
18				
19				
20				
21				
22				
23				
24				
25				
26				
27				
28				
29				
30				

NEIGHBORHOOD MEETING MINUTES

Meeting Date: JUNE 4 2019 Number of Attendees: _____

Meeting Location: 1143 E Yankee Basin Dr
KONA IO 83634

Description of Project Presented:

WE ARE CREATING A SMALL HOME HAIR SALON
IN OUR GARAGE. PRIMARILY THIS WILL BE USED
FOR FRIENDS AND FAMILY. THERE IS NO
ADVERTISING, SIGHTS, OR SMELLS VISIBLE TO
THE PUBLIC.

Attendee's comments:

We held the meeting on June 4th 2019 from 6-7 p.m.
THE individuals who attended the meeting were
very positive about the salon. All of them stated
that they have no problem with it. One man
asked if we would have "24 cars" lined
up. I replied and stated there would be one
car in the driveway most of the time. This
man overall was very supportive of our salon.
The names on the list are all those that
attended.

I hereby certify that the above information is complete and correct to the best of my knowledge.

William Johns

Printed Name

William Johns

Signature

6/4/2019

Date

(May 21st, 2019)

Will & Ali Johns
1143 E Yankee Basin Dr.
Kuna, ID 83634

Dear Neighbor:

Please be advised that a formal application has been submitted to the City of Kuna seeking approval of a special use permit for the following described property:

Description: A home hair salon at 1143 E Yankee Basin Dr.

We are formally reaching out to let you know of our intent to have a space in our home so that Ali may perform hair services for close friends and family. This will not be open to the public, nor is it a high traffic business. My wife does this on a very part time basis as we have little children to tend to. There will be no advertisements, nor will there be any sights or smells of any kind coming from the premises.

In compliance with the City of Kuna requirements, a Neighborhood Information Meeting will be held to provide you an opportunity to become fully aware of our development intentions and to give you an opportunity to influence the form of development. The Neighborhood Information Meeting will be held on Tuesday June 4th, 2019 from 6-7 p.m. at 1143 E Yankee Basin Dr.

At this meeting we will make every effort to illustrate how the property will be developed and to answer any questions. While we recognize that there are many sources of communication including social media, we ask that if you have any concerns or questions to directly contact us either by phone or at the meeting.

Thank you for your consideration.

Sincerely,

Will & Ali Johns
208-515-6018

received
6.12.19



P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website:
www.cityofkuna.com

City of Kuna COMMITMENT TO PROPERTY POSTING

Per City Code 5-1A-8, the applicant for all applications requiring a public hearing shall post the subject property not less than ten (10) days prior to the hearing. The applicant shall post a copy of the public hearing notice or the application (s) on the property under consideration.

The applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the City no later than seven (7) days prior to the public hearing attesting to where and when the sign (s) were posted. Unless such Certificate is received by the required date, the hearing will be continued.

The sign (s) shall be removed no later than three (3) days after the end of the public hearing for which the sign (s) had been posted.

I am aware of the above requirements and will comply with the posting requirements as stated in Kuna City Code 5-1A-8



Applicant/agent signature

6/11/2019

Date



City of Kuna PROOF OF PROPERTY POSTING

City of Kuna
P.O. Box 13
Kuna, Idaho 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

This notice shall confirm that the Public Hearing Notice for 1143 E Yankee Basin dr.
(**NAME OF SUBDIVISION OR ADDRESS**) was posted as required per Kuna City Ordinance
5-1A-8. Sign posted Saturday July 13th 2019 (**DAY OF THE WEEK, MONTH,
DATE AND YEAR**). This form is required to be returned three (3) calendar days
subsequent to posting and signs are to be removed from the site three (3) calendar
days after the hearing.

DATED this July 15th day of July, 2019.

Signature,

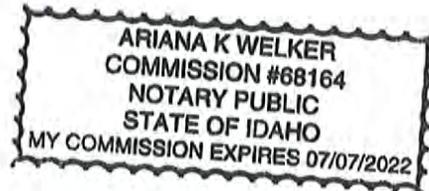
[Signature]
Owner/Developer

STATE OF IDAHO)
County of Ada) : ss

On this 15th day of July, 2019, before me the
undersigned, a Notary Public in and for said State, personally appeared before me
(Owner, Developer).

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal
the day and year in this certificate first above written.

Ariana K Welker
Notary Public
Residing at Ada County
Commission Expires 7/7/2022





CITY OF KENNA
PUBLIC HEARING NOTICE
The City of Kenna is holding a public hearing on August 11, 2015, at 7:00 PM, at the City of Kenna Administration Center, 1000 1st St. N, Kenai, AK 99541. The purpose of the hearing is to hear from the public regarding the proposed rezoning of the property located at 1143 1st St. N, Kenai, AK 99541. The property is currently zoned R-1 and is being proposed for rezoning to R-2. The rezoning is necessary to allow for the development of a residential care facility. The City of Kenna is a public body and is subject to the provisions of the Alaska Public Access Law. The public is invited to attend the hearing and provide input on the proposed rezoning. For more information, please contact the City of Kenna at (907) 336-1234 or visit the City website at www.cityofkenna.com.

1143

CITY OF KUNA

PUBLIC HEARING NOTICE

**Before the Kuna Planning
and Zoning Commission**

WHEN: July 23, 2019 at the Kuna City Hall

751 W. 4th St. at 6:00 P.M.

**PURPOSE: Special Use Permit- Home
Hair Salon- Greyhawk Subdivision NO. 1**

Zoning R-6, LOT 14 BLK 08

LOCATION: 1143 E Yankee Basin Dr.

APPLICATION BY: William Johns, Home Owner

**CONTACT: City of Kuna Planning and
Zoning Department**

Sam Weiger, Planner 1, 208-922-5274

SCALE: 3/8" = 1'

received
6.12.19

EXISTING FENCE

SIDE YARD

DOOR
STEP

41' PATHWAY
DECORATIVE
STONE
STEPS
(EXISTING)

UTILITIES (GAS LINE/POWER)

EXISTING FENCE

36" DOOR
ADDITION

2x6 WALLS

WAITING
AREA

4' closet opening
(ADDITION)

EXISTING
CASH
DRAW

HIGH-LOW
VENT

X = OUTLETS

- A: EXHAUST VENTILATION will be added
- B: R 30 INSULATION IN CEILING
- C: HEATING/COOLING UNIT will be added

2x6 WALL ADDITION R19 INSULATION

SALEN
STATION

STYLING
CHAIR

EXISTING FIREWALL

6'x2" COUNTER (ADDITION)

15'x15" SINK

21.5" 30'x20" SALEN SINK

WASH
CHAIR

22" DOOR
ENTRY INTO
(EXISTING)

RADON GEN-
VAPOR SEAL
APPLIED
FLOOR

(SMOKE DETECTOR
CDL DETECTOR
WILL BE ADDED
IN SALEN)

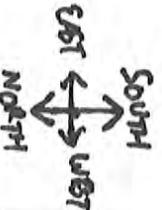
32" DOOR
ADDITION

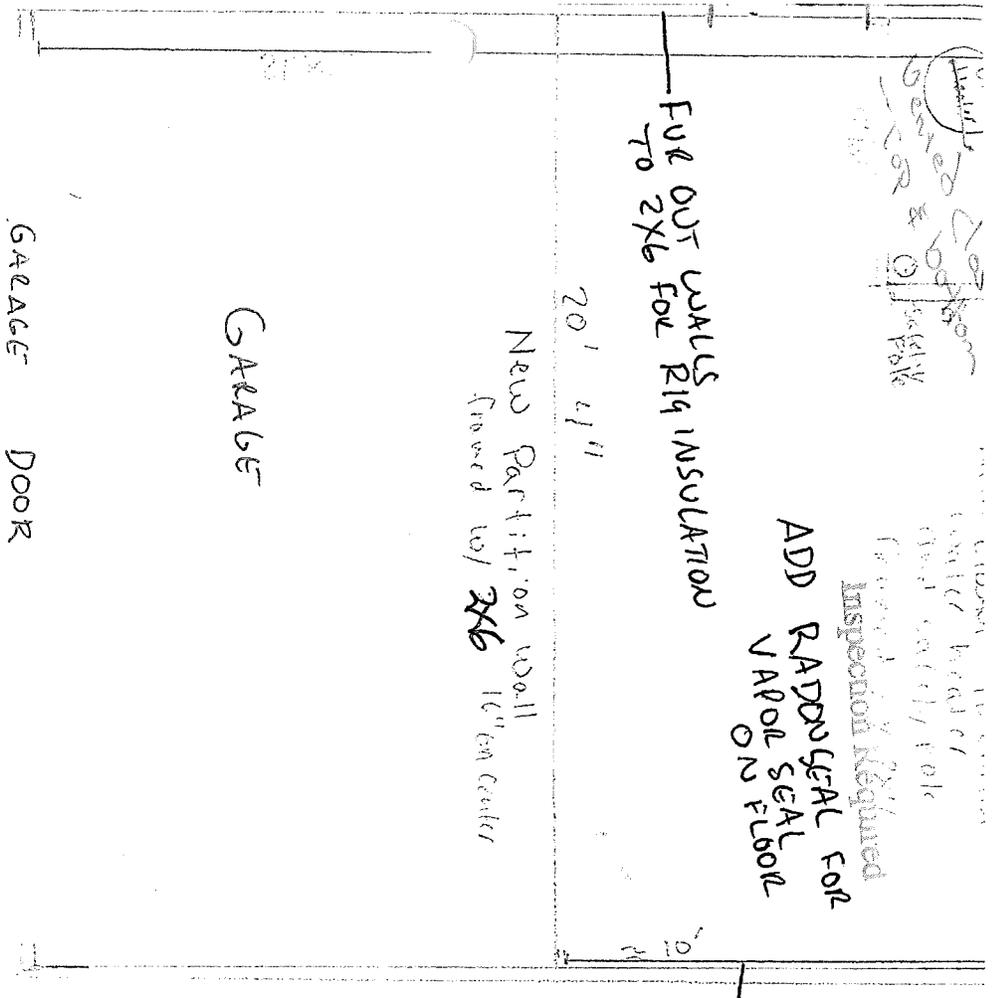
SHELVING

2x6 WALLS R19 INSULATION

DRIVEWAY/PARKING FOR CLIENT

EXISTING GARAGE DOOR





(initials)
 10/11/19
 10/11/19
 10/11/19

ADD RADDU SEAL FOR
 VAPOR SEAL
 ON FLOOR
 Inspection Required

FUR OUT WALL
 TO 2X6
 ADD R19 INSULATION

Some inspection prior to insulation
 insulation inspection required

Plans for 1143 E Yankee Basin Dr.
 Kuna ID 83634

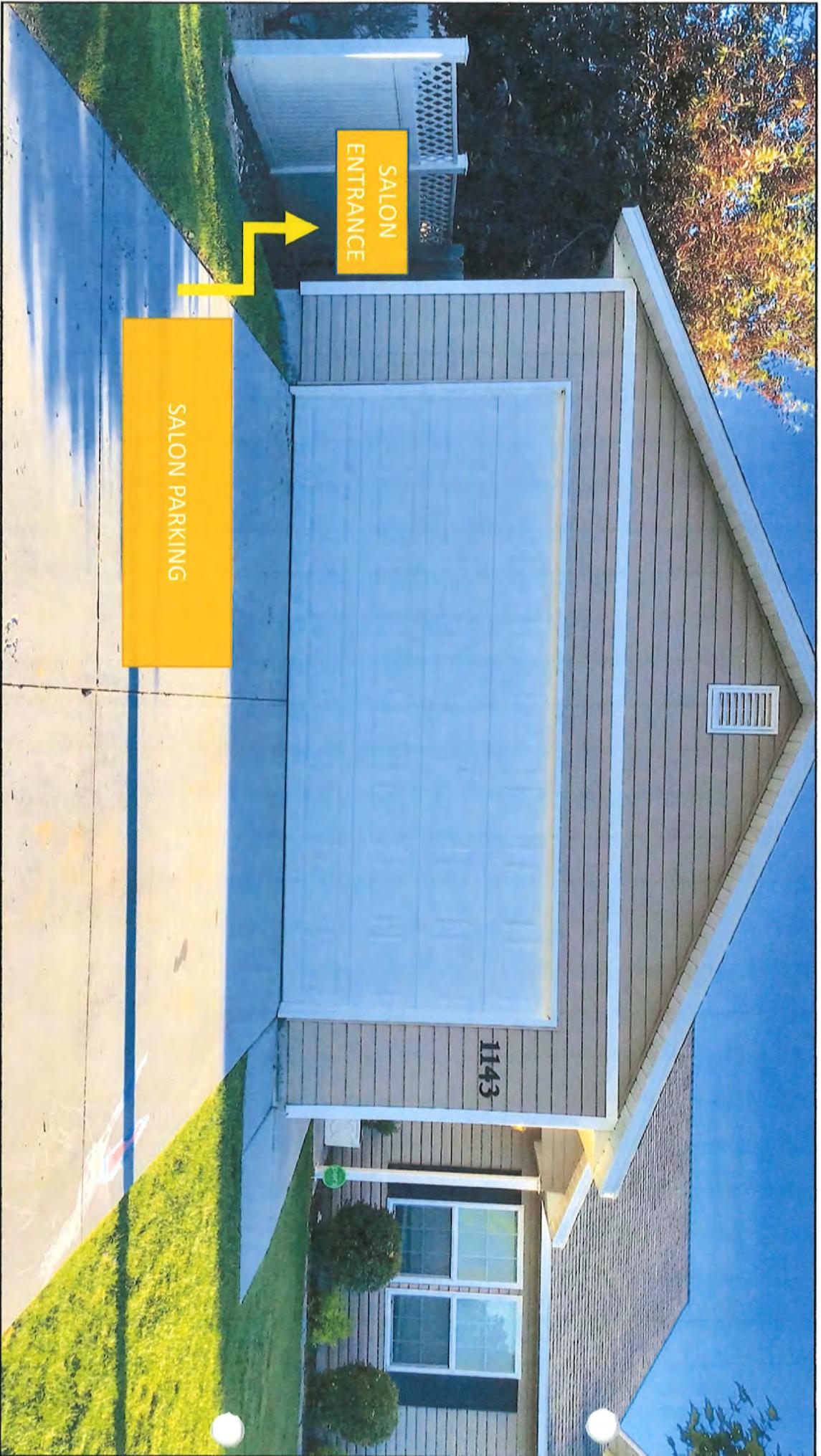
1. Add a partition wall running East → West
 2. Add a 36" x 80' exterior door (East side)
 3. Add a closet to enclosure w/ heater/safety pole (ADD VENTILATION)
 4. ADD R19 INSULATION IN WALLS AND R30 IN CEILING
- Will Johns
 208 515 6018

APPROVED

DATE 10.11.19

BY [Signature]
 CITY OF KUNA - BUILDING INSPECTOR

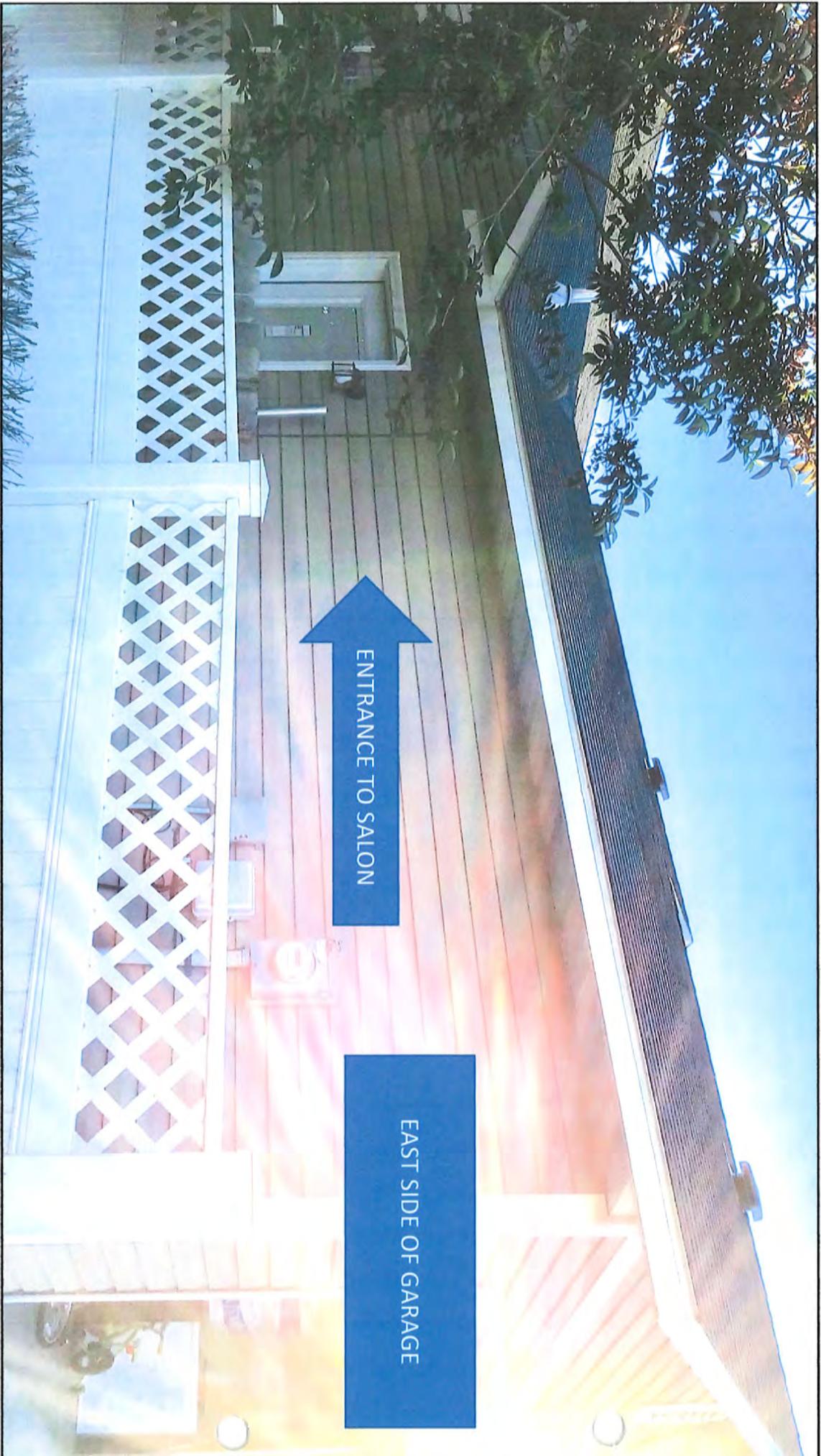
APPROVED PLANS & PERMIT
 TO BE ON SITE FOR INSPECTIONS



SALON
ENTRANCE

SALON PARKING

1143



ENTRANCE TO SALON

EAST SIDE OF GARAGE

IDAHO PRESS LLC
EMMETT MERIDIAN KUNA BOISE WKLY
C/O ISJ PAYMENT PROCESSING CENTER
PO BOX 1570
POCATELLO ID 83204
(208)467-9251
Fax (208)475-2321

ORDER CONFIRMATION

Salesperson: LEGALS

Printed at 06/19/19 10:20 by sjel4

Acct #: 345222

Ad #: 1913983

Status: New HOLD

1 KUNA, CITY OF
P.O. BOX 13
KUNA ID 83634

Start: 07/03/2019 Stop: 07/03/2019
Times Ord: 1 Times Run: ***
LEG 1.00 X 58.00 Words: 237
Total LEG 58.00
Class: 0006 GOVERNMENT NOTICES
Rate: LG Cost: 47.92
Affidavits: 1

Contact: CHRIS ENGLES
Phone: (208)387-7727
Fax#:
Email: awelker@kunaid.gov; gsmith@k
Agency:

Ad Descrpt: 19-03-SUP
Given by: SAM WEIGER
P.O. #: 8666
Created: sjel4 06/19/19 10:14
Last Changed: sjel4 06/19/19 10:18

PUB ZONE EDT TP RUN DATES
KMN A 96 S 07/03

AUTHORIZATION

Under this agreement rates are subject to change with 30 days notice. In the event of a cancellation before schedule completion, I understand that the rate charged will be based upon the rate for the number of insertions used.

Name (print or type)

Name (signature)

(CONTINUED ON NEXT PAGE)

IDAHO PRESS LLC
EMMETT MERIDIAN KUNA BOISE WKLY
C/O ISJ PAYMENT PROCESSING CENTER
PO BOX 1570
POCATELLO ID 83204
(208)467-9251
Fax (208)475-2321

ORDER CONFIRMATION (CONTINUED)

Salesperson: LEGALS

Printed at 06/19/19 10:20 by sjel4

Acct #: 345222

Ad #: 1913983

Status: New CHOLD CHOI

LEGAL NOTICE

**File # 19-03-SUP
Johns In-Home Salon**

NOTICE IS HEREBY GIVEN, that the Kuna Planning & Zoning Commission will hold a public hearing, Tuesday, July 23, 2019 at 6:00 pm, or as soon as can be heard at Kuna City Hall, 751 W. 4th St, Kuna, ID; in connection with a Special Use Permit request from William and Ali Johns to operate an In-Home Salon in an existing residence located at 1143 East Yankee Basin Drive, Kuna, ID 83634 (APN#: R3280931190).

The public is invited to present written or oral comments. Written testimony received by the close of business on July 17, 2019 will be included in the packets distributed to the governing body. Late submissions (must include six (6) copies) will be presented to the governing body at the time of the hearing. Please mail written comments to PO Box 13, Kuna, ID 83634, or drop them off at City Hall: 751 West 4th Street, Kuna, ID.

Please do not contact anyone who would be involved in this decision-making process, which would include the Planning & Zoning Commissioners, City Council Members, or the Mayor; as such private conversations would be considered ex parte (one sided) and could jeopardize the public hearing process.

If you have any questions or require special accommodations, please contact the Kuna Planning & Zoning Department prior to the meeting at (208) 922-5274.

Kuna Planning & Zoning
Department

July 3, 2019 1913983

Greyhawk Homeowners Association

PO Box 1246, Meridian, ID 83642

208-846-9189

mgm@gomgm.com

July 16, 2019

City of Kuna
Planning and Zoning Department
PO Box 13
Kuna, ID 83634

Received

07.16.19

DJA

Re: 19-03-SUP (Special Use Permit) — Johns In-Home Salon

Dear City of Kuna Planning and Zoning,

The Greyhawk Homeowners Association has received notice of William & Ali Johns' intent to open an in-home salon at 1143 East Yankee Basin Drive, Kuna, ID 83634.

Pursuant to the Greyhawk Covenants, Conditions, and Restrictions ("CC&Rs") (article IV, section 5, subsection c) no homeowner in this subdivision is allowed to conduct a trade or business that would result in any person (i.e. customer) coming onto the building lot other than the homeowners or current occupants.

4.5 Trade or Business. Trade or business may be conducted in or from any Building Lot by an Owner or Occupant so long as: (a) the existence or operation of the business activity is not apparent or detectable by sight, sound or smell from the exterior of the dwelling on the Building Lot; (b) the business activity conforms to all zoning requirements; (c) the business activity does not involve persons coming onto the Building Lot who do not own or occupy the Building Lot; (d) the business activity does not increase the liability or casualty insurance obligation or premium of the Association; and (e) the business activity does not constitute a nuisance or hazardous or offensive use, as may be determined in the sole discretion of the Board.

As such, allowing a Special Use Permit for the Johns in-home salon would violate the community CC&Rs that the Johns agreed to when they purchased their property. Therefore, we are asking you to take the Greyhawk CC&Rs into consideration when reviewing their request and deny the Special Use Permit.

If you have any questions or would like any additional information please feel free to contact our management company, MGM, at 208-846-9189.

Sincerely,
The Greyhawk HOA Board of Directors

Exhibit
13

Sam Weiger

From: William F. Gigray <wfg@WHITEPETERSON.com>
Sent: Friday, July 19, 2019 11:28 AM
To: Sam Weiger
Cc: Joan Howell
Subject: RE: Johns In-home Salon

Hi Sam:

In response to your question I offer the following:

The attached letter dated July 16th from the Greyhawk HOA Board of Directors as the following status in this application:

- It is part of the record of the proceedings.
- A CCR is not enforceable by the City this is an issue of enforcement for the Homeowner's Association and probably the other property owners whose real property is governed by the CCR's and the Applicant. In the event the City's approval of the Greyhawk Subdivision included a condition issued by the City that included the CCR's were a condition of approval then there may be some application of the CCR to this Special use Permit. The history of that approval of the Greyhawk Subdivision development should be reviewed.
- Barring any prior order of approval by the City that included the CCR's as part of the Greyhawk Subdivision Development Approvals and orders , the letter may be reviewed by staff regarding any weight and relevancy it has to the standards for granting or denying a conditions use permit which are contained in the City Ordinance and State Code quoted below.
- I have yellow highlighted what I see are the most relevant to this application for your consideration.

Kuna City Code:

5-6-3: - GENERAL STANDARDS APPLICABLE TO ALL SPECIAL USES:

The planning and zoning commission shall review the particular facts and circumstances of each proposed special use in terms of the following standards and shall find adequate evidence showing that such use at the proposed location:

- A.
Will, in fact, constitute a special use as established on the official schedule of district regulations for the zoning district involved.
- B.
Will be harmonious with and in accordance with the general objectives, or with any specific objective of the comprehensive plan and/or these zoning regulations.

C.



Will be designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not change the essential character of the same area.

D.

Will not be hazardous or disturbing to existing or future neighboring uses.

E.

Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.

F.

Will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community.

G.

Will not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

H.

Will have vehicular approaches to the property which shall be so designed as not to create an interference with traffic on surrounding public thoroughfares.

I.

Will not result in the destruction, loss or damage of a natural, scenic or historic feature of major importance.

(Ord. 230, 12-7-1977)

Idaho Code 67-6512. SPECIAL USE PERMITS, CONDITIONS, AND PROCEDURES.

- (d) Upon the granting of a special use permit, conditions may be attached to a special use permit including, but not limited to, those:
 - (1) Minimizing adverse impact on other development;
 - (2) Controlling the sequence and timing of development;
 - (3) Controlling the duration of development;
 - (4) Assuring that development is maintained properly;
 - (5) Designating the exact location and nature of development;
 - (6) Requiring the provision for on-site or off-site public facilities or services;
 - (7) Requiring more restrictive standards than those generally required in an ordinance;
 - (8) Requiring mitigation of effects of the proposed development upon service delivery by any political subdivision, including school districts, providing services within the planning jurisdiction.
- (e) Prior to granting a special use permit, studies may be required of the social, economic, fiscal, and environmental effects and any aviation hazard as defined in section 21-501(2), Idaho Code, of the proposed special use. A special use permit shall not be considered as establishing a binding

precedent to grant other special use permits. A special use permit is not transferable from one (1) parcel of land to another.

- (f) In addition to other processes permitted by this chapter, exceptions or waivers of standards, other than use, inclusive of the subject matter addressed by section 67-6516, Idaho Code, in a zoning ordinance may be permitted through issuance of a special use permit or by administrative process specified by ordinance, subject to such conditions as may be imposed pursuant to a local ordinance drafted to implement subsection (d) of this section.

Best Regards

Wm. F. Gigray, III
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From: Sam Weiger [mailto:sweiger@kunaid.gov]
Sent: Wednesday, July 17, 2019 9:28 AM
To: William F. Gigray <wfg@WHITEPETERSON.com>
Cc: Wendy Howell <whowell@kunaid.gov>
Subject: Johns In-home Salon

Bill,

Staff received an application for an in-home salon. We received the attached letter from the applicant's HOA. Historically, if a civil issue occurs, it is not something dealt with by the City of Kuna, and we would run the project as is. Staff wanted to run this by you before the project goes to Commission on July 23.

Thanks,

SAM WEIGER
Planner I
City of Kuna
751 W 4th Street
Kuna, ID 83634
Sweiger@kunaID.gov



CENTRAL DISTRICT HEALTH DEPARTMENT

Environmental Health Division

Return to:

- ACZ
- Boise
- Eagle
- Garden City
- Kuna
- Meridian
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RECEIVED
JUN 24 2019
CITY OF KUNA

Rezone # 19-03-SUP

Conditional Use # _____

Preliminary / Final / Short Plat _____

City of Kuna

- 1. We have No Objections to this Proposal. - if property is connected to city sewer
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
 - high seasonal ground water
 - bedrock from original grade
 - waste flow characteristics
 - other _____
- 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- 8. After written approval from appropriate entities are submitted, we can approve this proposal for:
 - central sewage
 - interim sewage
 - individual sewage
 - community sewage system
 - central water
 - individual water
 - community water well
- 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
 - central sewage
 - sewage dry lines
 - community sewage system
 - central water
 - community water
- 10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- 11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 12. We will require plans be submitted for a plan review for any:
 - food establishment
 - beverage establishment
 - swimming pools or spas
 - grocery store
 - child care center
- 13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDHD.

14. _____ Reviewed By: _____
_____ Date: 6/19/19

Rowan
6/19/19