



KUNA PLANNING AND ZONING COMMISSION
Agenda for November 12, 2014

Kuna City Hall ▪ Council Chambers ▪ 763 W. Avalon ▪ Kuna, Idaho

REGULAR MEETING
6:00 pm

1. CALL TO ORDER AND ROLL CALL:

Chairman Lee Young
Vice Chair Stephanie Wierschem
Commissioner Dana Hennis
Commissioner Cathy Gealy
Commissioner Joan Gay

2. CONSENT AGENDA:

- a. Approval of Planning & Zoning Commission Meeting Minutes for October 28, 2014
- b. **14-02-SUP** (Special Use Permit); Sara Kinghorn; Sara's Salon – In-Home Beauty Salon- Findings of Fact and Conclusions of Law
- c. **14-05-AN** (Annexation), **14-04-DA** (Development Agreement), **14-03-S** (Subdivision) and **14-06-DR** (Design Review); Patagonia Subdivision – Westpark Company, Inc. - Findings of Fact and Conclusions of Law

3. NEW BUSINESS:

- a. **14-11-DR** (Design Review): Super 'C' Sinclair Station Illuminated Sign; Lytle Signs, Inc.: Applicant's representative seeks Design Review approval for a newly proposed internally illuminated fueling service area canopy. The applicant also intends to re-face the fuel island signs and replace the existing pole sign.
- b. **14-09-DRC** (Design Review): Ridley's Pads 1 & 2; Lundin Cole Architects: Applicant requests approval from the DRC for two (2) new commercial building shells in an existing C-1 zone. Each building will be approximately 6,000 square feet.

4. PUBLIC HEARING:

- a. **14-01-ZOA** (Text Amendment): City of Kuna, Idaho; Applicant seeks approval Amending Title 5, Chapter 1, Section 6-1 "Meanings Of Terms Or Words", update formatting and verbiage, and add definitions; Amending Title 5, Chapter 2, Section 2-B entitled, "Residential", making R-8 Consistent With Kuna Comprehensive Plan; Amending Title 5, Chapter 3, Section 2, "Land Use Table"; amending Title 5, Chapter 9, Section 2-D, "Off-Street Parking And Loading Facilities" with an exception for M-1 And M-2 zones storage areas.

5. DEPARTMENT REPORTS:

- a. To Be Determined

6. CHAIRMAN / COMMISSIONER DISCUSSION.

7. ADJOURNMENT.

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PZ COMMISSION MEMBER	PRESENT	CITY STAFF PRESENT:	PRESENT
Chairman Lee Young	X	Wendy Howell, Planning Director	X
Vice-Chairman Stephanie Wierschem	X	Troy Behunin, Planner II	X
Commissioner Dana Hennis	X	Trevor Kesner, Planner Technician	X
Commissioner Cathy Gealy	Absent		
Commissioner Joan Gay	X		

6:00 pm – COMMISSION MEETING & PUBLIC HEARING

Call to Order and Roll Call

Chairman Young called the meeting to order at **6:06 p.m.**

1. CONSENT AGENDA

- a. Approval of Planning & Zoning Commission Meeting Minutes for October 14, 2014
- b. Approval of Planning & Zoning Commission Meeting Minutes for October 21, 2014
- c. **14-01-SUP** (Special Use Permit): Jayme Huckins Daycare/Group Child Care, In-Home
-Findings of Fact and Conclusions of Law

*Commissioner Hennis motioned to approve the consent agenda;
Commissioner Wierschem seconds, all aye and motioned carried 4-0.*

2. NEW BUSINESS:

- a. **14-08-DR** (Design Review); Robert & Lisa Grigg (Owner) and Signs, Etc (Representative): Applicant requests design review approval of a 'Master Sign Plan' for a single building containing more than one (1) business entity . The existing structure is located at 762 E. Wythe Creek Ct. in Kuna, Idaho.

Trevor Kesner: Good evening Commissioners, for the record, my name is Trevor Kesner, planner with the City of Kuna. 763 W. Avalon, Kuna. The application before you tonight is for a design review of a master sign agreement, or rather a master sign plan, for proposed signage to be placed on the northern and eastern facing walls for the existing building located at 762 E. Wythe Creek Court in the Cement Falls commercial subdivision, this is also known as Lava Falls. The owner's, Robert and Lisa Grigg of Clarifey Eye Care Center and their representative applicant, Signs, Etcetera have chosen to submit the application for design review as defined in Kuna city code. A master sign plan may be submitted for a single business if the owner so chooses. It's designed to show the relationship of signs for any cluster of buildings intended for business occupancy, or in this case, any single building containing more than one (1) business.

An automated sign is defined as a sign with a fixed or changing display capable of displaying words, symbols, figures or images composed of a series of light emitting elements or moving panels or parts; including but not

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limited to tri-paneled, digital, electronic message boards, light emitting diodes -which is what this is... or any other way move or create the illusion of movement.

A master sign plan requires a design review approval for the purposes of coordinating the signs, and to create a plan that establishes the building's overall sign design. The plan may be approved by the city with elements that require suspension or relaxation of the height, area, number of signs, or locations of the signs if the committee finds that extraordinary conditions exist which allow for such relaxation or suspension. This building, as you all probably know, was used to house the former uptown coffee and Leffler's salon. The owners have procured the necessary permits to improve the commercial space in order to move their eye care center business into the primary suite making an additional commercial space available for lease to some future business. As you can see in the staff report, there is really no room provided on the existing monument board sign which is there, and the applicant didn't want to crowd out any other businesses that had existing signage there.

They have already received administrative approval to place the lettering, logo and butterfly icon on the northern and eastern facing walls and they now wish to add a 2,673 square inch LED message center to the eastern facing wall just below the approved sign lettering and logo as referenced in the staff report. Staff determined that the addition of the LED sign would exceed the allowable 20% of the face of any sign as stated in code for a single business entity; however, the reason the applicant has chosen this route is because the LED portion of the wall sign will be shared advertising space to be used in rotation with the forth coming tenants within the building.

The future land use map designates this area as neighborhood and community commercial which is consistent with the applicant's proposed use. Since this is not a public hearing, the site was not required to be posted and public noticing was not needed. The applicant has followed city code and Idaho code for the application requirements. The applicant is here tonight, as well, and with that, staff will stand for any questions you may have.

C/Young: I guess, percentage wise, can you estimate how much over the applicant is on the building, roughly?

Trevor Kesner: Um, the allowable sign face of the total sign area would be 1,417.8 square inches, so this LED sign would actually exceed that allowable square inches by about 1,256 square inches, so not quite double the 20% -but its area is not necessarily 40%.

C/Young: Ok. Does anyone have any other questions for staff?

C/Hennis: When you were figuring that total sign area that you just described, was that just in relation to the LED sign and the clarifeye sign and the butterfly? Or the future tenant that's indicated below that on the elevations?

Trevor Kesner: That's just what was submitted on the elevation from the applicant. I'm unaware of any intent or future tenants to put their signage there. Maybe they will, maybe they won't. Obviously, the owners and the applicant visualize that space as being available for future tenants, but as far as size wise, the code would allow for future tenants to add their sign to that, as long as it wasn't an automated wall sign. So it would not exceed any code requirements if they were to add to that.

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C/Hennis: Ok.

C/Young: Any other questions for staff?

C/Wierschem: I have nothing.

C/Young: Ok, thank you; and if the applicant wants to come forward or has anything to add? Just please state your name and address for the record.

Robert Grigg: Yes, Robert Grigg, 762 E. Wythe Creek Court, which is formerly the uptown coffee building. I have with me John Mark from Signs, Etc. I've brought him along because I thought that if there were any details, he would know a lot about it and could answer any questions you had. My wife and I are eye doctors here in Kuna. I'll just say, I grew up here; 1st grade through high school. We have another practice here over in the Falcon View Plaza. Over there's a dentist and a physical therapist. So we've been there for about 13 years and it's been a great place, but Kuna is growing and our practice is growing and we need some extra room for our patients to flow through and so when that uptown coffee building became available, we got it and we're really excited to expand into that building and provide services to the community; And that message board, we intend to have very appropriate, discreet advertising about events and things going on with the office. But we need a certain size so it can be seen as people come down Avalon headed west into town. Per code, if it was the current allowable size, it would be like a postage stamp and you wouldn't be able to read it so we're just asking for a little bit of leniency so people can see it coming down street.

C/Young: With the approved sign with the lettering and the logo, has that been ordered or is it under construction yet?

Robert Grigg: Yes, sign, lettering, logo ... that has been ordered; And apparently approved at this point. The message board, we're awaiting your approval.

C/Young: Ok.

C/Hennis: Just a quick question; you've read the staff report and that particular LED sign would conform to the illumination requirements?

John Mark: Yeah, when it's gets dark, there's actually a dimmer in the sign so it's a little more muted at night so it's not so bright as you're driving down the road.

C/Hennis: Right, ok. That's all I had.

C/Young: Anything else? Ok, thank you very much.

Well... to me... one and a half times over the allowable area is quite a bit over. And that's kind of why I was hoping they hadn't ordered the sign yet, then I'd have liked for them consider other sign sizes, but...

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C/Hennis: Well, that's why I was asking what the future tenant indicated would reduce that... because, I mean, if you're looking at the information that was provided, you know you are right in the ball park of about 30%; and at that point, you're not too much over.

C/Young: It's just that... it's just going to compound itself over. I think that, at least in my opinion, it's too big for the space. I don't know... anybody else? How do they feel about that?

C/Wierschem: I think ... you know, if there was another tenant planning on moving in soon, there would be something to look at. We would know if they were willing to abide by that or use that sign, but you know, since we don't have that, any... *(Inaudible)*... I don't have anything else.

C/Young: Ok.

inaudible commentary from someone in audience

C/Young: Well, this is not a public hearing so I can... if you have anything you'd like to add?

Robert Grigg: Just to add, as Commissioner Wierschem was saying is, we are planning on having that future tenant with us in the building share that message board for advertising and hopefully, that gives enough reason for that size as well, not just to be seen from the street as you drive by but because we're sharing it with the other tenants who will be utilizing that sign as well. So if that helps...

C/Wierschem: So, could I just ask, in reference to issue at hand for the crowded signage that we have already in existence, then the new tenant would not put their sign on that and they would be faced with the same; so you're looking at addressing it currently? By confining it?

Robert Grigg: No, no. I would hope that the new tenant, as well, would want to put their personal signage on the space, but then we share that message board for messaging.

C/Wierschem: So then, what about the free-standing? ... that? You're opting out of that? Crowding the others out?

Robert Grigg: I guess... I'm not sure where that wording came from; um I purchased the building from Mike Young, the builder. I guess apparently, I'm paying the association dues as a business in that complex to own that sign. And I said, 'look, I don't a space left for me to go on there' and 'where's my space'? And he said 'well, you can put your sign on the building'. Well, I'm paying for the sign and I don't get to go on it? And he says 'well, no but you can put your sign on the building' so that's kind of how that ended up. I certainly wouldn't want to crowd out, or I don't think I'd have the ability to crowd out other businesses on that other marquee sign because it's all filled up.

John Mark: Also, that building blocks the sign as well and it's in front of somebody else's building.

C/Wierschem: Right, right. Ok, well thank you.

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C/Hennis: I don't think it would be all that obtrusive anyways, I mean, given the position where it's at on the building. And it's only on the one side.

C/Wierschem: Looks like it's above the door. Is that correct?

C/Hennis: Well, yeah it's kind of on that side facing Walgreens. But that Walgreens sign should overpower anything on this one anyways. I don't mean to be too direct, I mean; I don't know...I don't... it's above what we're allowing them, but I think as long as we have the dimming at night.

C/Young: Well, my biggest fear is that it's not just over by twice, but we're at one and a half times the size, and if they start getting that big over what is allowable, then that is really stepping out of what the code says and it sets a bad precedence to me.

C/Hennis: Hm. Yeah.

C/Wierschem: So, let's say we had someone that he was planning on sharing that space with him. Then, would that signage be appropriate too?

C/Hennis: That's what I was saying, is...

C/Young: Well, I guess we can ask them really quick, but I think it was over for the entire elevation.

C/Hennis: No, he said it was just for the face. Just for the one.

C/Wierschem: One?

Troy Behunin (city staff): No, it's just for the one sign. Any additional signs would be subject to design review for the overall overage.

C/Hennis: That's why I was asking, if it was considering the future tenant indicated on here.

inaudible commentary from someone in audience

C/Young: If you would please step up to the podium.

John Mark: If they put another tenant up on that wall, that 20%, they'd probably be about 5% under what's allowable size of the dimensions for the message center.

C/Hennis: It would be close. Depending on the size.

C/Wierschem: Right.

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John Mark: Yeah.

Troy Behunin: Depending on the size of the future tenant's sign, yeah. Any sign that a future tenant puts up there would actually reduce the percentage of the LED sign portion, from what it is...

C/Young: From that portion of the other signage.

Troy Behunin: Yes, from that signage's overall appearance. So, what may be near 40% now, will be reduced substantially, well... it will be reduced comparatively, depending upon whatever the future tenant's sign is.

C/Young: Contingent on their tenant's sign size?

Troy Behunin: Yeah, correct.

C/Wierschem: Was there signage from the old business that was there previously?

C/Hennis: Yup. I don't remember how much, but I know that they both had signs on there.

C/Wierschem: Ok.

C/Young: Ok, well...any other thoughts or...?

C/Hennis: I think we base it on figuring that there is going to be another tenant's sign there. I mean, that's how it had been with the previously. And we know that they're going to have somebody else come in.

C/Wierschem: Um hmm, it's just a matter of time.

C/Young: Ok. Did you..?

C/Hennis: Maybe with what...

C/Gay: I'm just... I can't think of anything else other than what you guys have already brought up or said. Because I'm so new, I mean if we approve this, then it doesn't change the code, it just changes what we're... and someone else would have to talk to us if they wanted to do the same thing.

C/Hennis: Um Hmm.

C/Gay: And someday that whole street's going to be signage, you know?

C/Young: Exactly.

C/Gay: Yeah. Ok.

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C/Young: Ok. If there's no other discussion, I would stand for a motion.

Commissioner Wierschem motioned to approve 14-08-DR given the conditions of approval as stated in the Staff Report; Commissioner Hennis seconds, 3 in favor, 1 opposed and motioned carried 3-0.

3. PUBLIC HEARING

- a. **14-02-SUP** (Special Use Permit); Sara's Salon – Sara Kinghorn: Applicant requests approval to place a Beauty Salon in her home which will allow up to 2 clients in her home at any one time. The site is located at 2705 W. Gainsboro Drive; Lot 31/Block 10 in the 4th phase of Crimson Point Subdivision.

Trevor Kesner: Commissioners, again for the record, Trevor Kesner, Planner with the City of Kuna, 763 W. Avalon, Kuna. Tonight's application before you is a Special Use Permit (SUP) request from Sara Kinghorn to operate a Salon in her home at 2705 W. Gainsboro Drive. I think we may be going overboard with the location of this.

This is an in-home salon described in Kuna City Code 5-3-2 and 5-1-6-2 under beauty parlor which is defined as a facility, which offers personal service and hygienic treatment including massage, manicure, hair styling, facials and other day spa activities. The applicant, Sara Kinghorn is proposing to open the salon and provide a variety of services including cuts, colors and shampoos. I am unaware of any kind of spa services or manicure services that she would provide, but she is here tonight so she could answer to the extent of services which she'll be providing. Business operations for the salon will be Monday through Saturday from 10:00 a.m. until 7 p.m. The site is currently zoned Medium-Low Residential (R-3).

An in-home salon use requires a Special Use Permit to establish this type of business in this zone. The parcel currently has a residence on site with three (3) possible parking spaces and a six (6) foot vinyl fence around the backyard perimeter.

The salon includes one chair, one shampoo bowl, and will only service one client at a time with the potential for two clients at the salon in rare instances. The business is intended to be full-time in nature and all potential clients will be utilizing the existing driveway parking spots. The comp plan and future land use map identifies this site as medium density residential and staff views this proposed land use request as consistent with the surrounding and approved future land use map designations.

All required procedural items have been completed as shown in the staff report. This land use was given proper public notice in the Kuna Melba News. A public meeting was held on the property itself and the applicant followed the requirements set forth in Kuna code and Idaho code. We've determined that the application complies with the comprehensive plan and future land use map and forward a recommendation of approval subject to the Commission, subject to the recommended conditions of approval set forth in the staff report. With that, I will stand for your questions.

C/Hennis: I just have one real quick one. On page 2 of 6 of your staff report under history, the last sentence, you had stated this was zoned medium-density residential R-6? But you'd stated in your...

Trevor Kesner: Yeah, that's actually R-3, so that is a typo. It should be medium-low residential R-3. That will be corrected in the findings of fact.

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C/Hennis: Ok. Thank you.

C/Young: Anyone have any questions for Trevor?

C/Wierschem: I have nothing.

C/Gay: I have nothing.

C/Young: Ok. Thank you.

Trevor Kesner: Thank you.

C/Young: And if the applicant would like to come forward and please state your name and address for the record.

Sara Kinghorn: My name is Sara Kinghorn. I live at 2705 W. Gainsboro Drive in Kuna, Idaho 83634. Thank you for hearing my application tonight. My request is pretty straight-forward. I'm just proposing to convert my residence into an in-home salon in the third bay of my garage. We've talked to the neighbors and the homeowner's associations, and they were ok with it as long as we had no signage which is fine, I'm not proposing any signage. I have read through the staff report and I am OK with the conditions, and with that said, do you have any questions for me?

C/Young: Ok. Does anyone have any questions for the applicant?

C/Wierschem: I have none.

C/Hennis: During the neighborhood meeting, that was the only thing that came up; was just the opposition to any signage?

Sara Kinghorn: Yes, just no signage.

C/Hennis: Ok. Thank you.

C/Young: Thank you.

Sara Kinghorn: Thanks

C/Young: I'll go ahead and open up the public hearing at 6:30. And we have listed to testify in opposition, Charles Hyatt? Please step forward and state your name and address for the record.

Charles Hiatt: I am Charles Hiatt, I live at 1301 E. Hubbard, which is directly across from the proposed subdivision. Approximately 90...

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C/Young: Uh, sir, I'm sorry to interrupt, this is the public hearing right now for the special use permit for the salon.

Charles Hiatt: Oh, well you asked me to come up to testify.

C/Young: Oh, well I have you signed up in opposition; I bet I looked at the wrong sign-in sheet. I did. I apologize. I looked at the wrong sign-in sheet.

Charles Hiatt: We're all human.

C/Young: True. Thank you and hold your thought there, just for one minute. Oh, that's embarrassing.

C/Hennis: You probably scared her too.

C/Young: Ok, then seeing as nobody has signed up, is there anybody here that would like to testify that is not signed up? Ok, seeing as no one is opposed in the public hearing, we'll close it at 6:32 p.m. and as far as our discussion, I haven't seen anything in the application that gives me pause.

C/Wierschem: Nor did I.

C/Hennis: Me either.

C/Gay: I don't see anything in here that looks like a there's any issue.

C/Young: Ok, then I will stand for a motion.

*Commissioner Wierschem motioned to approve the 14-02-SUP (Special Use Permit) for an In-Home Salon with the conditions as stated in the staff report;
Commissioner Hennis seconds, all aye and motioned carried 4-0.*

C/Young: Thank you.

C/Hennis: Thank you.

C/Wierschem: Yes, and good luck.

- b. **14-05-AN** (Annexation), **14-04-DA** (Development Agreement), **14-03-S** (Subdivision) and **14-06- DR** (Design Review); Patagonia Subdivision – Westpark Company, Inc. : Applicant requests annexation, subdivision and design review approval for a new residential subdivision with 470 residential lots and 18 common lots over 150 +/- acres near the northwest corner of Meridian and Hubbard Roads.

Troy Behunin: Evening Commissioners, for the record, Troy Behunin, Kuna staff, Senior Planner, 763 W. Avalon. ****coughing**** I'm going to ask for your forgiveness in advance. As you know, we come in contact

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with a lot of people throughout any given day and sometime about two weeks ago, somebody delivered a little bit more than an application, so I've got some of their germs. So I apologize for needing to take a drink every once in a while.

The application before you tonight; 14-05-AN Annexation, 14-04-DA Development Agreement, 14-03-S Preliminary plat and 14-06- DR which is a Design Review. These applications have been submitted for the proposed Patagonia subdivision which is on the northeast corner of Meridian Road and Hubbard Road.

As Chairman Young described, this is one hundred fifty (150) acres which is out in the county and is currently zoned R-R which is rural residential. They're seeking this annexation into the city to bring the vital utilities and infrastructure across Meridian Road, actually under Meridian Road to provide services for a subdivision which will house approximately four hundred and seventy (470) homes and it will consist of almost eighteen (18) acres of open space which is roughly 11.95% approximately, of open space for the project. As an Annexation, Development Agreement and a Preliminary Plat, these actions require that a certain protocol is upheld and maintained in order to notify the public. Some of which is the neighborhood meeting was held, agencies are involved and are notified. Letters are sent to property owners within three hundred (300) feet. I believe this project was actually noticed even further out than 300 feet, I believe it was noticed out about 350 feet. It also requires a notice go out in the Kuna Melba News and that the site gets posted.

I'm here to tell you tonight that all of the noticing procedures for Patagonia have been fulfilled, the public meeting was held; albeit, it was held six (6) months to the day prior to the application. But it does follow all the requirements necessary for that. The applicant is here tonight and I'm sure he will have a presentation for you folks. The proposed subdivision... what they're proposing is an R-6 medium-density designation for their subdivision.

The comp plan actually calls out a 'mixed-use general', which means they are able to mix commercial and residential components within a given application; however, it does not require that there is a mix of commercial and residential. This application is just for residential units. An H.O.A. will be established to maintain the 11.95% of open space or the almost eighteen 18 acres of open space. The applicant is also proposing some amenities to go along with the open space: two (2) tot-lots, a swimming pool, and a very sizable open space for the use of baseball or soccer or whatever the H.O.A. wanted to put there.

The applicant is also aware that the development agreement is attached to this application as a condition of the annexation process and hopefully you folks have had a chance to review all of the material in your packets for this sizable endeavor. It's a very important project for Kuna because this is the first time that a subdivision is being proposed on the east side of Meridian Road. Just to highlight some of the big things about the procedures, in section 'E' and number 8, actually on page 3 of 7, you'll find a list of all the agencies that were both notified and those who responded to that request for comment. All of the procedural items for this project have been followed and staff would stand by with a recommendation for approval, with the caveat that the discrepancy between what the applicant is proposing on Hubbard Road in terms of right-of-way, be reconciled with that of what the Ada County Highway District (ACHD) has recommended. There is a slight difference, but it's only two or three, maybe four feet for the overall width.

Another small difference would be, at least on the applicant's proposed preliminary concept plan, there are no sidewalks that are shown on the Hubbard Road frontage. As an arterial, or a classified arterial roadway, Kuna code does require that eight foot sidewalks are placed there and Taylor Merrill who is the applicant, and is here tonight could probably comment on. Other than that, it follows all of the subdivision procedures and there's nothing that staff would say that needs to be changed really, other than just a few minor things that

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typically happen with large-scale developments that can be reconciled throughout the process. I will stand for any questions that you might have.

C/Young: I do have a quick... well several questions anyway. ACHD would also require sidewalks along that frontage on Hubbard Road? Is that correct? As part of their conditions?

Troy Behunin: Yes, that is correct, they would also require them; however, their required width is substantially smaller. They only require five (5) foot but Kuna code requires eight (8) feet.

C/Young: Ok, then maybe you could answer this question. I'm not sure, but in the traffic study, it listed that a signal was in ACHD's five year work plan for the intersection of Hubbard and Meridian Roads and I'm seeing somewhere in ACHD's report, that it was in their plan between 2027 and 2031?

Troy Behunin: It's actually further out than that. It's something that they'll have to tie up with ACHD. Not many people realize, and I will try to keep this brief, but the overview of how streetlights work here in the Treasure Valley with ACHD. ACHD is in charge of all of the street lights across the valley. Even though this will be a street light, or rather an intersection light for a state highway so ACHD will still be the governing body for that and if something is not listed in their (Capital Improvements Plan) CIP, then something would need to warrant its placement on that list in order for something to be designed, programmed and funded. And right now it's not. That doesn't mean that it won't be. And it doesn't mean that the projected time line which you stated earlier, that it won't move up, but it's just not on their radar right now. Or at least not for the next five years.

C/Young: I guess I was surprised at the traffic study's time frame. I just wanted to make sure we didn't have any... that there was at least something going on there.

Troy Behunin: And maybe there is something else going on there that we're not aware of, by Taylor Merrill can address that. Any other questions?

C/Wierschem: I just would like some clarification. It states that there were several agencies that did not send in comments and concerns. No concerns. And normally, we do get a response. So I'm wondering ...when were they sent out? Who sent them out? And why did we not hear back from any of the local agencies?

Troy Behunin: The agencies were all sent a packet; and by packet, I mean the same thing that you folks were sent tonight. They were sent the letter of intent by the applicant, the landscape plan and the preliminary site plan. ACHD, they also were sent the traffic impact study. The others were not, because they don't have to worry about the transportation, but they were sent a site plan, they were sent a vicinity map and all of those things. Essentially, they were all sent the same things you have, and they were sent out on August 19th of this year, so just over two months ago. And everybody... I say everybody meaning all agencies, were given a deadline of fifteen (15) business days. So that is essentially three (3) full weeks including weekends, to provide comment.

As you can see there were a number of them that did send in comments and there were some that did not. I don't know why the agencies that did not provide comment... I don't know why they did not. But everyone

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was given the same opportunity to provide comment. We have a list of agencies that we send to and those that feel that they need to comment will send them in, and they are included in your packet.

C/Wierschem: I guess the one agency that I am really concerned about is we've had projects that have been... it's been several years ago, but they will come before us with several homes that would bring students to our school district. The numbers would increase, and we've always had a response from the Kuna School District. Since that is my profession and my love is for kids and the school, I'm extremely concerned that with this number of homes coming into our community, that this agency did not respond.

So, I'm just stating that I am hugely concerned that this is directly going to directly impact our classrooms with that many homes. So I'm just puzzled as to why they did not comment. But thank you.

Troy Behunin: Right. Correct. I don't have an answer as to why a certain agency or anyone from a said agency didn't provide any comment. As you can tell, even the comment from the Boise-Kuna Irrigation District was a simple, one sentence letter saying 'look, did you contact the Boise Project Board of Control'? –Something as simple as that would even be included here, because it's a comment. So, I don't have an answer for that. I wish I did, but I don't.

I do know that last week, I was requested to send the packet to the school district again. And I did that. I sent a package to Layne Saxon, the facilities manager I believe. I hope I got his title right.

C/Wierschem: Ok. Thank you. I have no further questions.

C/Young: Ok, thank you Troy. And now we'll ask the applicant to come forward and please state your name and address for the record.

Taylor Merrill: My name is Taylor Merrill. I'm with the Westpark Company. My address is P.O. Box 344, Meridian, Idaho 83680. Thanks Troy for your introduction to this project. We appreciate the opportunity with the city Planning and Zoning staff have been very cooperative in working through some of these issues and supporting what we're trying to bring, an exciting project to the city.

A little history here, Patagonia as Troy said is a 150 acre development. It's planned for approximately 470 homes. The average lot size is about 8500 square feet in here. It's got interior parks, tot-lots, a 4 acre park which would accommodate youth sports. The parks are all interconnected with a pathway system. That pathway system will also run along the Mason Creek. A swimming pool is planned within the first phase of the development. The phasing will be done in approximately 40-50 lot phases making Patagonia, probably about a ten (10) year project. Patagonia is a project that we have identified to satisfy a market demand for a price-point as the economy creeps up on us, Ada County is ever-pressed for affordable lots, lot sizes and homes that are attainable at a certain price-point. We're looking to attract people that are presently in the community and also buyers that will stay in Ada County with those price-points. We have had conversations with the school district. We met with them quite a while ago.

We've had some conversations with Layne Saxton as well. A little history: Patagonia is a residual of a development which was planned and known as the Orchards, or the Vineyards in about 2007-2008. It was over 500 acres and I think about a thousand homes and at that time, a school was allocated for the school district. We since, don't control that property anymore. Depending on how that shakes out or whatever, that site may still be available. Patagonia does not allow the economics of a school site unfortunately.

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Commissioner Wierschem, I have a daughter that teaches school and we know one of the greatest draws of a community is its schools, church, shopping and medical. And we hope to add to that but ... we hope to participate in the need for a school site, by virtue of the value of these homes which will be in the 250k-325-350k range which will allow a little increase, as you know, that first 50,000 is exempted on the tax roll so we hope to participate in that and provide population that can vote and participate in bonding and support the school any way we can; namely with the economics that this project will bring to the community to allow that affordability, so to speak. Again, we're seeking to attract a demographic here of kind of growing families or families which are stepping up in the community and we're also finding that a demographic that, it's a real secret but Boise and the Treasure Valley attracts retired or semi-retired people. I think a big part of why we're seeing success in our communities are that: those step-up families as well as families or older folks or couples that don't really have that school demand or that educational demand. On the ACHD issue, we support the comments and we agree with their Capital Improvement Plan (CIP). Access to Meridian Road will warrant a signal, you know its five (5) year, fifteen (15) years; our build-out is a ten (10) year plan.

Again, back with those impact fees and whatnot, we'll certainly participate in the community with you know, the Ridleys, the shopping, and the other subdivisions around and whatnot. I believe Deer Flat has a light; Columbia has a light, so we're missing one right there. At some point, that will be required, as Troy articulated, it's a state highway controlled by a local district, that's being demanded with high traffic so to speak. I really think that one of the greatest, or the smartest road in town is Meridian Road and I think what ACHD is doing with not allowing it to become another Eagle Road with all the turn-ins and turn-offs so to speak to maintain its integrity and its safety and continue that flow with having the mid-mile turn-ins and turn-offs, but we do support the traffic study that we provided as well as the comments that ACHD, although chairman there are some contradictions with that time frame, and I think what we'll state is that we support when that is warranted, and by virtue of the impact and those fee, that these homes and our development will provide and assist with supporting that. Two points that we agree with, um... on the right-of-way, we don't have any problem conforming. There's a little bit of a difference, it's like Troy said, only a couple of feet; and we're willing to go with the city ordinance on that width and also include not the five (5), but an eight (8) foot sidewalk that will actually meander a little bit through our landscape area, so it won't be parallel there but kind of meander through that landscaping on the frontage there; that part there on Hubbard. We feel that we've complied with all the ordinances. We're excited about our application. We're very excited about Patagonia and bringing you know, knocking some of the dust and the moth balls off of the plat by what we do and we feel fortunate to actually be able to stand before you and to bring a project into Kuna. Kuna's a great place to live. You guys live here. It's a neat place and again, we appreciate the city's support and the staff's support, and any questions I can answer, I'd be glad to do so.

C/Young: It was probably listed in the landscape plans but the fencing around the pool area; does that intend to be wrought iron?

Taylor Merrill: I think we're... you know some of those plans are a little bit off, but yeah we like the wrought iron fence around probably the pathways. We'll have to fence the Mason Creek pathway, so probably the backs of those will hopefully, you know there's some economics with those fences and probably some additional costs associated with that but you can argue the visual effects of it. I think the perimeter of the project will be a visual barrier whether its vinyl or something else but on the interior, we'd like to stick with that wrought iron, ornamental design on that stuff.

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C/Young: Yeah, well my concern with the pool was just the visibility for everybody. And also, I haven't seen any elevations for the pool facility itself and some of the materials that you are intending?

Taylor Merrill: That pool will be, probably... we've built several, and they typically are a rock foundation and a rock, well I call it a wainscot but I don't know if that's the proper term, but bring it up with a rock and then kind of a hardy board type you know, but typically with a metal roof material and a tile roof material. This pool will basically be a, to describe it a little bit would be an entrance where you have the restrooms on one side and then the pool facilities, the filters and all that on the other side going to it and then it will be fenced around that kind of entrance area; we'll kind of dress that up a little bit.

C/Young: Ok. Do you have something that?

C/Wierschem: I just wanted to touch base on the school; you said that you had spoken to Layne Saxton in regards to the school district? Did he bring any concerns or anything to your attention?

Taylor Merrill: Oh, absolutely. You know, he's in the business of educating our kids. And in the past, I think we've tried to... again, it's the economics. We've tried to provide a site in there and you know if we could participate in something, and that might be an option down the line. Again, we're talking about a multi-year program here. If we can do 40, 50 sales a year in here, we'll be successful. You know, 2, 3 or 4 a month so to speak... just on the side, we've got what's like a group of home builders, probably half a dozen that are well qualified to build in here, but yes, Layne did formally request a school site. We have had success with him in the past, we did, prior to when we controlled the site, there was the site to the west of Meridian Road, there was a school site that was volunteered, but that plat never really made it to this point, if you will. But no, I think they are looking at school sites. I know you're concerned about the growth of the community and my comment was that the format of where we are is that the economics, as the mayor said in his newsletter, will raise the level; will provide a tax base and allow those schools to draw from a few other coffers, if you will. Kuna, in particular, has struggled but by virtue of that, they're doing a real good job out here. These schools are good schools out here. The problem with that is they're very expensive, you know, as most sites are. But this plat does not include that, but we did have that conversation.

C/Wierschem: Ok, thank you. What about bus pick-up or drop-off, or any concerns about that? Would they do it outside the subdivision? Would they go through your subdivision?

Taylor Merrill: You know, real quickly, we've had... this again is a residual and the traffic report, or the ACHD report talks about Apple and Peachtree streets and stuff like that. We'll re-approach that or re-submit that with the different names to fit that Patagonia or Argentinean type theme. You know we'll re-submit that to Ada County but with the main spine that kind of goes through there, I think it certainly has to have some stops or something like that, but we would certainly accommodate the pick-up and drop-off in any point we could. Maybe it's beside the park or maybe it's the pool house but I think the project, like water drainage, you know that can come through there. You know it's a nice walkable community so those kids and their mothers can deliver them to that street but the buses would certainly be welcome.

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C/Wierschem: Ok, thank you. I know that's reaching, but I'm just, I wanted to clarify.

Taylor Merrill: Hey, we've got to think about the kids.

C/Hennis: One question I had was, we didn't see anything indicated on the landscaping plans or the plat regarding street lighting or such, what it being provided throughout here.

Taylor Merrill: Street lighting is a requirement. I believe both ACHD and the city require lights through the community.

C/Hennis: So you're just conforming to the...? Ok.

Taylor Merrill: And we'll probably have to place some additional, you know with Idaho Power, and there'll be some power issues going along Hubbard there and I wouldn't doubt there will be some lights required there.

C/Hennis: Ok. That's all I had.

C/Young: Do you have any other questions for the applicant?

C/Wierschem: No, thank you.

Taylor Merrill: Thanks again for your time and your interest. We're excited about this project, and again it's a real pleasure working with your staff.

C/Young: Thank you.

Troy Behunin: Lee, if I may add something really quick in reference to Commissioner Hennis' question; under the proposed conditions of approval, it's going to be on page 6 of 7, and its actually number 5, it just talks about street lighting shall be LED lights and meet the approval of the city. The city is underneath the monumental task of converting from conventional to 21st century technology which is LED. Any street lights that come into the city, especially in a subdivision, those plans will get reviewed at the time of construction. They'll get reviewed by me or another member of staff and they will receive approval and be installed based on that. And on top of that, they pay for an inspection fee and a staff member will go out and verify that that the right light, at the right wattage, at the right height, and the right type was put in the correct location itself.

C/Hennis: Ok. Thank you for that.

C/Young: Thanks Troy. Alright, then we'll go ahead and open up the public testimony at 7:04 p.m. And in doing that, we'll just say how that works; if we've got you signed up to testify, then you'll have three (3) minutes to present anything you want in reference to the projects and then after everybody's had a chance to speak, then the applicant can come forward if he so chooses and will have a chance to address and concerns or comments brought up in testimony, but we just can't bring up and new information. We're just addressing what's already been stated so with that being said, is there anybody that hasn't been signed up to testify that would like to?

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Ok. Then, Troy if you could have Layne go ahead and sign in on the sheet then while he is doing that then I will go ahead and call up Charles Hyatt. Please state your name and address for the record one more time.

Charles Hiatt: I'm Charles Hyatt. H-I-A-T-T, I live at 1501 Hubbard, which would be just directly across from the subdivision. Approximately 1998 or along in there, we had an extremely heavy snow, in fact it was a 50 year snow that we have about every 8 years, but it accumulated anywhere from 24 – 36 inches of snow, and the following day, we had like a Chinook wind came and it was warm and it melted very rapidly. The water came across my east pasture about an inch to an inch and a half deep. It looked like a river just running across that pasture. It went out into Hubbard Road and the ditches were full. It overflowed the road and went across the road and went into the field across from me which is a subdivision. It flooded the whole subdivision approximately 6-8 inches deep in water; the whole thing.

This is a flood plain. There is no question about it, I know now what a floodplain is because I saw what a floodplain can be. Without having proper flood control in that subdivision, you're going to have a big problem. I, as a homeowner across the street from there, I do not want to see any type of a damming or fences of any type that would restrain the natural flow of that water, in case of a heavy run-off. We don't get a lot of water here, but when we do, it's got to go somewhere and I saw what it could do. That whole field was under water. I just want you to know that. Also, you've got an irrigation ditch that goes down through that whole subdivision. Are going to have to fence that in to keep the kids from going in there? That's very dangerous and you could have a big problem. I know that you've got to protect us across the way, as well as them. By them just putting a dam across Hubbard Road, because my property would be flooded and their property too and this is very dangerous.

Also, we get 20-30 mile an hour winds and if you catch one of these houses on fire, you've got 470 houses in there; the response time from Kuna Fire Department would be 15-20 minutes before they could get there. That whole subdivision. As a tax payer, are we going to have to put in another fire department? These are questions we need to know. As a tax payer, every year our schools cost us more and more money. I mean you're talking four to six hundred more students. You can't tell me that the schools don't have to get bigger. What about sewage system? These are just a few of the problems you're going to have. I know my time is at 3 minutes, but they had half an hour so then, thank you very much.

Commissioners: Thank you.

C/Young: And next we have listed under neutral to testify is Layne Saxton. Please state your name and address for the record.

Layne Saxton: My name is Layne Saxton. I'm here tonight representing Kuna school district. Mr. Chair and P and Z Commissioners, my address is 271 W. 4th Street here in Kuna. That is my office site. I do live here in Kuna as well. I heard some of the presentation that Troy had mentioned. And I called last week because we had a concerned patron call about this subdivision and asked some of the same questions that the Commission has before them tonight. Why the school district didn't respond? I generally get these. I'm a project manager for Kuna school district and I generally get these from all sorts of agencies and cities put in different things across the county and I get them from Canyon County, Kuna city to Ada County, and we look at them to see if they affect the school district. Generally they have a say so and come and present at public hearings.

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Tonight, I simply don't want to oppose the subdivision, but I do want to share with you some concerns that we have with the school district with putting 470 homes in. As you know, the last school that we built was Silver Trail Elementary. Fortunately, all three of the last schools that we built were on donated sites. I did have a talk with Mr. Merrill. I have also talked with Wendy from Planning and Zoning and of course Troy on different issues and I don't know why I missed this one. I was going to look and see that I got it; Troy did send it to me for review, I talked with the assistant superintendent about this particular subdivision. It does raise concern, not only with the light not being at Hubbard and Highway 69, but it is the only subdivision on this side that we serve of this size that we would service. It is on the other side of highway 69 which is a concern. Green space, it looks like they've got a lot of green space and they did talk to us, they approached the school district about several other sites and they did donate land. It was a verbal donation that they had but when the economy went into a downfall, those subdivisions were turned back; mostly to the banks. So, I even approached one of the banks that took one of the subdivisions back and asked if they would still honor the site for a school site and we were told no. Transportation is an issue as you know, right now we are fighting to try and keep the transportation department afloat because we simply don't have enough funds to buy any busses. We continue to run out of busses for field trips let alone that the funding system is broke and we're working on that as well with the state to try to get some of that funding corrected.

As you know, we are operating on a supplemental levy and I'll try to wrap it up very quickly. Part of the age group that Mr. Merrill mentioned was the secondary level. As you know we'll have all sorts of age groups in this subdivision. At one time, as they mention and I apologize for bouncing around on this; when they were donating property for a site on Columbia, when we built our last school, we even extended Fiver clear to Columbia so we could go down Columbia for a future site that we were told we were going to get there. The school district does have concerns about this site and part of what I wanted to mention as well was that we thought that development agreements that were put in place for subdivisions, where building subs as part of being a developer, that there were sites set aside for this size of a subdivision for school sites. And this one didn't make it so, that being said, I would stand for questions.

C/Young: Any questions for Mr. Saxton?

C/Hennis: Do you currently have a bus that comes that direction? Across Meridian Road?

Layne Saxton: We do. I could bring up a lot of other sites that we have issues at but that doesn't pertain to this particular subdivision.

C/Hennis: Alright. Thank you.

Layne Saxton: Thank you.

C/Young: Well, that's all I had listed so...

Taylor Merrill: Taylor Merrill, Westpark Company again. Just a quick rebuttal on this stuff; we do understand the first gentleman's, Mr. Hiatt's concerns. The Mason Creek is a floodway. We're aware of that and we've addressed that with the Boise Project Board and in part, some of that will be raised and brought out, but it will remain open. We will be installing fencing for the protection of whomever, but that drainage will be protected

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and improved basically. That's one point that may or may not have been brought up, but the drainage off grade will go to and through. As the project evolves, there may be some piping that will have to be installed to ensure those drainages, particularly to the east going through there. Again, we appreciate the school districts and what they do and look forward to having some conversations further on this and I appreciate Layne and his working with us and his comments here as well, and again, just express our enthusiasm for the project and working with the city and staff in particular. You guys have a good staff. Thank you very much, any questions?

C/Hennis: Thank you, no.

C/Young: And with that, I will close the public testimony at 7:17. Next is our discussion.

C/Hennis: HmMMM

C/Young: Well, I guess I can start with aesthetically, I find the site works pretty good. They've done a good job as far as I can tell with the landscaping and the boulders and making things flow very well so I don't have any issues that way.

C/Hennis: Mr. Chairman, what was the difference with what Troy had handed out? Did he say at the beginning of the presentation?

C/Young: I'm sorry?

C/Hennis: Was there anything different with what he handed out and what was in the packet?

Troy Behunin: No. That was actually something that Taylor brought and it's the same exhibit that's already in your packets.

C/Hennis: There is no difference on it? Ok. I just wanted to make sure.

Troy Behunin: No. I didn't make any changes and they appear to be the same.

C/Hennis: I went through it and the landscaping plan and everything seems to be addressed and the sidewalk issue that we previously talked about; that frontage or that sidewalk that fronts Hubbard. Otherwise it looks good; I mean the flood plane is addressed in their plats so it's talked about and shown and the open spaces along the canal there, it's in amongst that flood plane so I think they've looked at it pretty well.

C/Young: I agree and in reference to the sewer, they are putting in two lift stations to connect to the sewer location and accommodating for that as well. And again, that Mason Creek will continue to flow and will not be dammed up.

C/Hennis: Yeah, I think the main thing is the impact that it might have on the school district, but again, I think it does raise a good tax base too that provides to the city. It's kind of a double-edged sword of sorts. I can't think of much else that I would bring up; I mean it seems to be pretty well laid out.

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C/Wierschem: I've been looking through this packet and I did not see the comments from the fire department to address Mr. Hiatt's concern.

Troy Behunin: They were actually listed as an agency that did not respond. Typically the police department and the fire department will get another chance to take a look at it.

C/Hennis: No, you had it listed in here that they had responded.

C/Wierschem: Yeah.

Troy Behunin: Oh. Well that is a mistake on my part. I'm a little human myself. I don't recall getting anything from the fire department. But they will get another crack at this during the review of the final plat.

C/Wierschem: So then for the record...

Troy Behunin: The fire department doesn't typically comment or the police won't comment on response time. That's not a typical comment from them. I'd heard Mr. Hiatt's concern and I was just responding to that.

C/Hennis: Because typically they'll respond with a need for a connection or something like that.

Troy Behunin: Yeah, if there's a hydrant missing or something like that, an over-length of the street, or a cul-de-sac or something, then secondary access needs to be implemented; yeah they would comment on that. They will also get a crack at the construction plans for the subdivision when it moves forward towards construction so the fire department and police department will get another look at this because they have to sign off on the improvement plans and so does ACHD. So my eyes will look at the fire hydrants, they'll look at the street lights and Kuna fire will also look at the bond.

C/Young: Ok, thank you Troy. Does anyone have anything else?

C/Hennis: Nothing I can think of right now.

C/Young: Do you have something Stephanie?

C/Wierschem: No, I just wanted to comment that I was relieved when he said that the project would be over a ten year span with, in mind, the traffic light control on Meridian Road because one of the concerns I had was the safety and high school children coming from that subdivision trying to get back to high school. And I know we don't have any jurisdiction over any agency, but I just feel as a citizen here in Kuna that I want to look out for the safety of those young drivers so...I was just relieved of that. I have no concerns otherwise.

C/Hennis: They've got a fairly good alternate path down Lake Hazel and roads like Deer Flat too.

C/Wierschem: They do.

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C/Young: Ok, then if there's nothing else, I would stand for a motion.

C/Wierschem: Would you like to...?

C/Young: I guess before I do that, I'd like to... there's one other item, I'd like to bring up. I don't know if the proper place is in the development agreement or just making it a condition of approval if that's where that goes; would be the landscaping and as each phase gets built out, all of the landscaping and the common area improvements are in place for each phase prior to a new phase coming forward to alleviate any issues that we've had in the past.

C/Hennis: Yeah, that's true.

Troy Behunin: If it puts your minds at ease, each phase that comes before the city for final plat signature request, there is a final plat inspection check off list. One of those line items is the landscaping, and that it meets or exceeds the approval of this body through design review. And any common areas that are proposed to be platted in any given phase must be completed before the city will sign off on the final plat. You're certainly welcome to make that a condition. It would be a safeguard or at least a secondary net but there is that requirement already in place. I don't know if that helps or confuses but..

C/Young: Well, we're just dotting and crossing. Ok, and if there is nothing else, then we can formulate a motion.

C/Hennis: Mr. Chairman

Charles Hiatt: Um, can I just ...on the landscape along Hubbard Road, again, I don't want to see anything that can restrict the flow of water; in other words, putting up a fence or something that could stop the flow of water. I'm looking out to protect my own property.

C/Young: We understand that. Thank you.

C/Hennis: It's not really even bermed, so I think that the concern...

C/Wierschem: Could the applicant, or ...Troy, could you address this please?

Troy Behunin: Actually, it's part of that final platting requirement. A drainage run-off plan for both off-site and on-site must be submitted and approved, and will be commented on by the city engineer as well as ACHD so any historic flows now will be maintained. But they are also not allowed to barricade against off-site flows. They have to design for them.

C/Young: They must be engineered for historical flows and flood year planes and so on...

Troy Behunin: Yes. Historical water rights and drainage must be maintained. At least at the two and the exit.

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C/Wierschem: So Troy, just for clarification, you are stating that there will be not objects that will obstruct water?

Troy Behunin: No, because state law prohibits that and the city engineer maintains that.

C/Wierschem: Thank you.

C/Hennis: I think quite frankly that the roads might actually help maintain the drainage. Thank you Troy. Ok.

Commissioner Hennis motions to approve 14-05-AN (Annexation), 14-04-DA (Development Agreement), 14-03-S (Subdivision preliminary plat) and 14-06-DRC (Design Review) of the Patagonia Subdivision given the proposed decisions and conditions that are outlined in the staff report as well as the condition that the applicant address any fire hydrant or fire department needs as the project progress, that the sidewalks be addressed per ACHD's conditions for roadway widths and the City's code for sidewalk widths, and the landscaping for common areas be addressed within that phase prior to beginning another phase, and that the applicant work with the school district to provide the proper bus routes and drop-off point; Commissioner Gay Seconds, all aye and motion- carried 4-0.

C/Young: Thank you very much. We look forward to you growing with the city and I appreciate all the comments tonight.

4. DEPARTMENT REPORTS:

- a. None

5. CHAIRMAN / COMMISSIONER DISCUSSION:

- a. C/Wierschem asked city staff if there was a pending or previously approved sign permit for the Mexican bakery located on Main Street downtown. Staff is unaware of any sign permit approvals, but would look into the issue to see if it met code.

6. ADJOURNMENT:

Commissioner Hennis motions to adjourn at 7:38 p.m.; Commissioner Wierschem Seconds, all aye and motion carried 4-0.

Lee Young, Chairman
Kuna Planning and Zoning Commission

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ATTEST:

Wendy I. Howell, Planning and Zoning Director
Kuna Planning and Zoning Department



City of Kuna

Staff Report

P.O. Box 13
Phone: (208) 922-5274
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Findings of Fact and Conclusions of Law

To: Kuna Planning and Zoning Commission

File Numbers: 14-02-SUP (Special Use Permit) for an In-Home Salon.

Location: 2705 W. Gainsboro Drive
Kuna, Idaho 83634

Planner: Trevor Kesner, Planner Technician

Hearing date: October 28, 2014

Applicant: Sara Kinghorn
2705 W. Gainsboro Dr.
Kuna, ID 83634
(208) 401-6966
sarakidaho@yahoo.com

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A. Course of Proceedings:

1. Proposing an in-home salon business as described in 5-3-2 and 5-1-6-2 (Beauty Parlor; Definitions) Kuna City Code (KCC) requires obtaining a Special Use Permit (SUP) within the city of Kuna. Beauty Parlor is defined as: A facility, which offers personal service and hygienic treatment including massage, manicure, hair styling, facials and other day spa activities.
2. In accordance with KCC Title 5, Chapters 1 and 3, this application seeks SUP approval for an In-Home Beauty Salon.

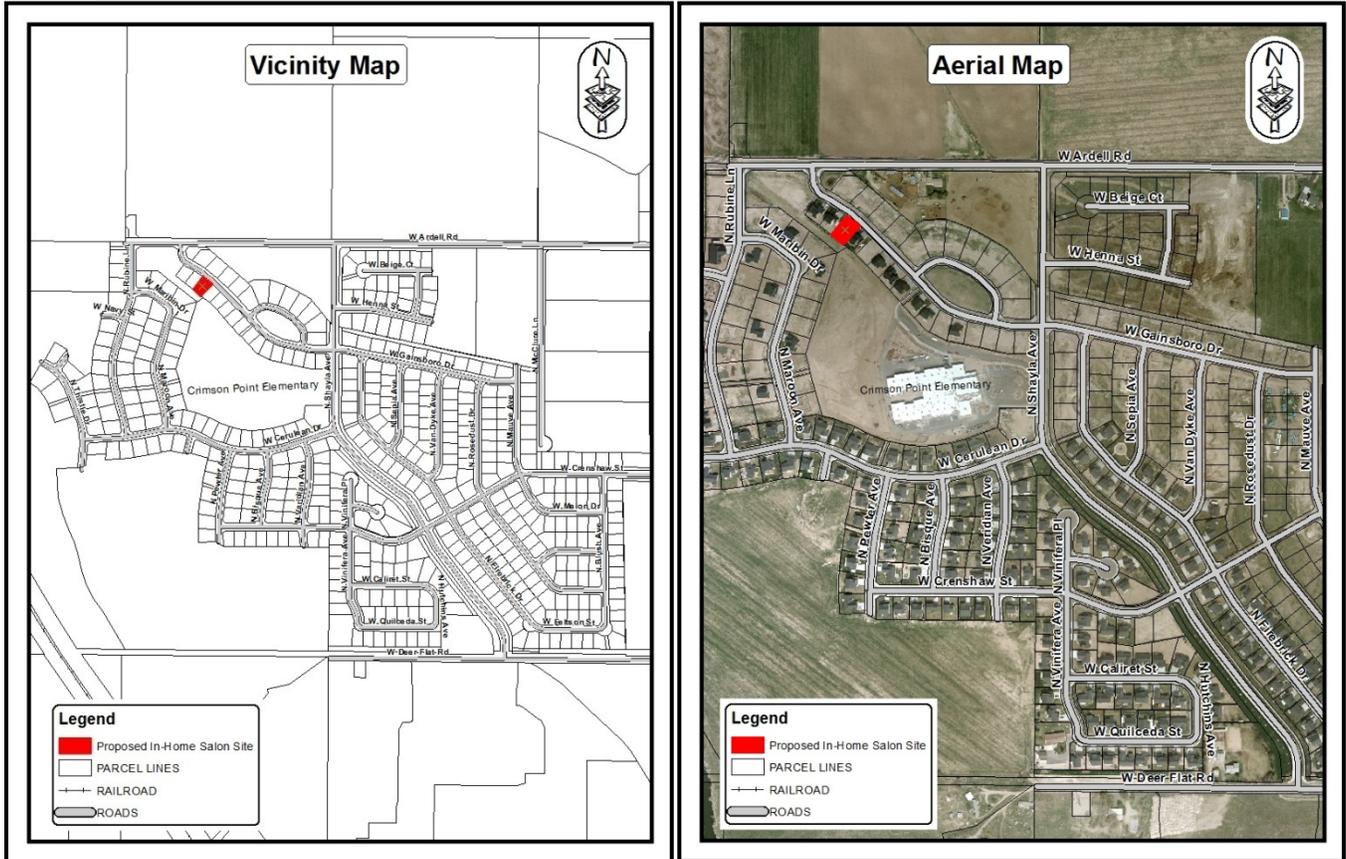
a. Notifications

- | | |
|-------------------------------------|-----------------------------------|
| i. Neighborhood Meeting | September 3, 2014 (Six Attendees) |
| ii. Agencies | September 18, 2014 |
| iii. 300' Notice to Property Owners | September 25, 2014 |
| iv. Kuna, Melba Newspaper | October 8, 2014 |

B. Applicants Request:

Request from Sara Kinghorn, for a Special Use Permit (SUP) to have an in-home salon located at 2705 West Gainsboro Drive (APN#: R1610600170).

C. Vicinity and Aerial Maps:



D. History:

The applicant is proposing to open 'Sara's Salon', an in-home salon business, which provides a variety of services including cuts, colors and shampoo-sets. The salon will include one chair, one shampoo bowl and will service one client at a time, and in rare instances two (2) clients could be in the salon at any one time. The applicant anticipates up to seven (7) clients visiting daily. The business is intended to be full-time and clients will be utilizing driveway parking spaces for parking. The applicant is proposing to open the business Monday-Saturday (10-7 pm). The site is currently zoned Low-Medium Residential (R-3) and an in-home salon land use requires a SUP to establish this type of business in this zone.

E. General Project Facts:

1. **Legal Description:** A legal description was provided with the submitted request (Lot 31, Block 10; Crimson Point Subdivision, Phase 4).

2. **Surrounding Land Uses:**

North	R-3	Low-Medium Density Residential District – Kuna City
South	R-3	Low-Medium Density Residential District (Elementary School: Crimson Point Elementary) – Kuna City

East	R-3	Low-Medium Density Residential District – Kuna City
West	R-3	Low-Medium Density Residential District – Kuna City

3. **Parcel Sizes, Current Zoning, Parcel Numbers:**

- Parcel Size: 0.162 acres
- Zoning: Low-Medium Density Residential District (R-3)
- Parcel #: R1610600170

4. **Services:**

Sanitary Sewer– City of Kuna
 Potable Water – City of Kuna
 Irrigation District – Boise-Kuna Irrigation District
 Pressurized Irrigation – City of Kuna (KMID)
 Fire Protection – Kuna Rural Fire District
 Police Protection – Kuna Police (Ada County Sheriff)
 Sanitation Services – J&M Sanitation

5. **Existing Structures, Vegetation and Natural Features:**

There is currently a residence on site with three (3) parking spaces and a six (6) foot vinyl fence around the backyard perimeter.

6. **Transportation / Connectivity:**

The site has frontage along West Gainsboro Drive to the northeast side of the parcel.

7. **Environmental Issues:**

Staff is not aware of any environmental issues, health or safety conflicts. This site’s topography is generally flat.

8. **Comprehensive Future Land Use Map:**

The Future Land Use Map (FLU) identifies this site as Low-Medium Density Residential. Staff views this proposed land use request to be consistent with the surrounding and approved FLU map designations.

9. **Agency Responses:**

The following agencies returned comments: Central District Health Department, Boise Project Board of Control, and City Engineer (Gordon Law, P.E.). The responding agencies’ comments are included with this case file.

Kuna City Engineer (Gordon Law, P.E.): September 22, 2014	Exhibit B-1
Boise Project Board of Control : September 27, 2014	Exhibit B-4
Central District Health Department (CDHD): September 26, 2014	Exhibit B-5

The following agencies were notified, but did not comment: Ada County Development Services (Records and Street Naming), Ada County Assessor, Boise-Kuna Irrigation District, Idaho Department of Environmental Quality (DEQ), Idaho Power, Intermountain Gas, J&M Sanitation, Kuna Rural Fire & Ambulance, Kuna School District, U.S. Post Office, City Forrester (Natalie Purkey), and City Attorney (Richard Roats).

F. Staff Analysis:

Staff has determined that this application complies with Title 5 of Kuna City Code; Idaho Statute §50-222; and the Kuna Comprehensive Plan; and forwards a recommendation of approval for Case # 14-02-SUP, subject to the recommended conditions of approval.

G. Applicable Standards:

1. Kuna City Code, Title 5, Zoning Regulations
2. City of Kuna Comprehensive Plan
3. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act

H. Comprehensive Plan Analysis:

The Kuna Planning and Zoning Commission may accept the Comprehensive Plan components as described below:

1. The proposed use for the site is consistent with the following Comprehensive Plan components:

2.0 – Property Rights

Goal 1: *Ensure that the City of Kuna land use policies, restrictions, conditions and fees do not violate private property rights. Establish an orderly, consistent review process for the City of Kuna to evaluate whether proposed actions may result in private property “takings”.*

Policy: As part of a land use action review, the staff shall evaluate with guidance from the City’s attorney; The Idaho Attorney General’s six criteria established to determine the potential for property taking.

5.0 – Economic Development

Goal 1: *Promote and support a diverse and sustainable economy that will allow more Kuna residents to work in their community.*

Policy: The City will develop a policy to provide incentives and/or assistance in order to competitively attract firms.

Policy: Promote the expansion of home-based businesses in appropriately zoned areas.

6.0 – Land Use

Goal 2: *Encourage a balance of land uses to ensure that Kuna remains a desirable, stable, and self-sufficient community.*

Objective 2.2:

Plan for areas designed to accommodate a diverse range of businesses and commercial activity – within both the community-scale and neighborhood-scale centers – to strengthen the local economy and to provide more opportunities for social interaction.

Policy: Retail and residential land uses should be appropriately mixed and balanced with professional offices and service facilities to provide residents with a broader mix of services within walking distance from their homes.

I. Findings of Fact:

1. All required procedural items were completed as shown in the staff report.
2. The in-home salon complies with Section 6.0 of Kuna’s Comprehensive Plan.

3. Public services are available and are adequate to accommodate this site's intended use.
4. The site is zoned R-3 and is appropriate for use as an in-home salon by obtaining a Special Use Permit.
5. The site is physically suitable for the proposed use.
6. The use appears to be in compliance with all ordinances and laws of the City.
7. The use appears to not be detrimental to the present and potential surrounding uses; to the health, safety, and general welfare of the public, taking into account the physical features of the site, facilities and existing adjacent uses.
8. The existing and proposed street and utility services in proximity to the site are suitable and adequate for commercial purposes.
9. The Kuna planning commission accepts the facts as outlined in the staff report, public testimony and the supporting evidence list as presented.
10. The Planning and Zoning Commission of Kuna, Idaho, has the authority to approved or deny this case.
11. The neighborhood meeting was held on September 3, 2014 and the notification requirements were met.
12. All notifications and the public hearing were conducted within the guidelines of applicable Idaho Code and City Ordinances.

J. Conclusions of Law:

1. The in-home salon is consistent with Kuna City Code.
2. The in-home salon meets the general objectives of Kuna's Comprehensive Plan.
3. The site is physically suitable for an in-home salon use.
4. The in-home salon is not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.
5. The in-home salon is not likely to cause adverse public health problems.
6. The in-home salon is in compliance with all other ordinances and laws of the City.
7. The in-home salon is not detrimental to the present and potential surrounding uses; or, to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.
8. The existing and proposed street and utility services in proximity to the site are suitable and adequate for in-home salon purposes.
9. Based on the evidence contained in Case #14-02-SUP, this proposal appears to comply with Sections 5-3-2 and 5-1- 6-2 of Kuna City Code.
10. Based on the evidence contained in Case #14-02-SUP, this proposal appears to comply with the Kuna Comprehensive Plan and the Future Land Use Map.
11. The Planning and Zoning Commission of Kuna, Idaho, has the authority to approve or deny this SUP application.
12. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

K. Decision by the Commission:

Note: This motion is for approval of this request. However, if the Planning and Zoning Commission wishes to approve or deny specific parts of the requests as detailed in the report, those changes must be specified.

Based on the facts outlined in staff's report and public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby approves Case No. 14-02-SUP, a Special Use Permit request by Sara Kinghorn for an In-Home Salon, with the following conditions of approval:

Conditions of Approval:

1. The applicant shall obtain a building permit for any modifications/remodels/additions of the existing home prior to construction.

2. The applicant and/or owner shall obtain written approval of the construction plans from the agencies noted below. The approval may be either on agency letterhead referring to the approval use or may be written or stamped upon a copy of the approved plan. All site improvements are prohibited prior to approval of these agencies.
 - a.) The Kuna Fire District shall approve all fire flow requirements and/or building plans.
3. Parking within the site shall comply with Kuna City Code 5-5-4-K-3-g.
4. The applicant shall follow all of the requirements for sanitary sewer, potable water, pressure irrigation system connections, and all other requirements of the City engineer.
5. As requested by the applicant, the salon will be open on a full-time basis Monday thru Saturday, 10 am to 7 pm weekly.
6. Signs, banners, flags or other means to attract attention, or identify the parcel as a business for the site are not allowed, in accordance with KCC 5-5-4-K-3-e.
7. In the event the use on this parcel is enlarged, expanded or altered in anyway, the applicant shall seek an amendment to the approvals of this SUP through the public hearing process.
8. This SUP is valid as long as the conditions of approval are adhered to continuously. In the event the conditions are not continuously followed, the SUP may be revoked by the Planning and Zoning Commission.
9. All local, state and federal laws shall be complied with.

DATED this ____ day of _____, 2014

Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST

Trevor Kesner, Planner Technician
Kuna Planning and Zoning Department



City of Kuna
 Planning & Zoning
 Department
 P.O. Box 13
 Kuna, Idaho 83634
 208.922.5274
 Fax: 208.922.5989
 Website: www.kunacity.id.gov

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

For Office Use Only	
File Number (s)	
Project name	
Date Received	
Date Accepted/ Complete	
Cross Reference Files	
Commission Hearing Date	
City Council Hearing Date	

Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

Contact/Applicant Information

Owners of Record: <u>RB Gainsboro Trust</u>	Phone Number: _____
Address: <u>2705 W. Gainsboro Drive</u>	E-Mail: _____
City, State, Zip: <u>Kuna, ID 83634</u>	Fax #: _____
Applicant (Developer): <u>Sara Kinghorn</u>	Phone Number: <u>208-401-6966</u>
Address: <u>2705 W. Gainsboro Drive</u>	E-Mail: <u>SaraKIdaho@yahoo.com</u>
City, State, Zip: <u>Kuna, ID 83634</u>	Fax #: <u>N/A</u>
Engineer/Representative: <u>N/A</u>	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____

Subject Property Information

Site Address: <u>2705 W. Gainsboro Drive, Kuna, ID 83634</u>
Site Location (Cross Streets): <u>Gainsboro / Ardell</u>
Parcel Number (s): <u>R1610600170</u>
Section, Township, Range: <u>Twn 2N, R. 1W, Sec. 15</u>
Property size: <u>0.162-acre</u>
Current land use: <u>single-family residential</u> Proposed land use: <u>residential / in-home business</u>
Current zoning district: <u>R-3</u> Proposed zoning district: <u>N/A</u>



Project Description

Project / subdivision name: Sara Kinghorn - In-home beauty salon
General description of proposed project / request: Special use permit for an in-home beauty salon in third-bay of existing garage.
Type of use proposed (check all that apply):
 Residential _____
 Commercial In-home beauty salon.
 Office _____
 Industrial _____
 Other _____
Amenities provided with this development (if applicable): N/A

Residential Project Summary (if applicable)

Are there existing buildings? Yes No
Please describe the existing buildings: _____
Any existing buildings to remain? Yes No
Number of residential units: _____ Number of building lots: _____
Number of common and/or other lots: _____
Type of dwellings proposed:
 Single-Family _____
 Townhouses _____
 Duplexes _____
 Multi-Family _____
 Other _____
Minimum Square footage of structure (s): _____
Gross density (DU/acre-total property): _____ Net density (DU/acre-excluding roads): _____
Percentage of open space provided: _____ Acreage of open space: _____
Type of open space provided (i.e. landscaping, public, common, etc.): _____

Non-Residential Project Summary (if applicable)

Number of building lots: N/A Other lots: N/A
Gross floor area square footage: ~200 sq. ft. Existing (if applicable): ~200 sq. ft.
Hours of operation (days & hours): Mon-Sat 10-7 Building height: N/A
Total number of employees: 1 (owner) Max. number of employees at one time: 1
Number and ages of students/children: N/A Seating capacity: N/A - one station
Fencing type, size & location (proposed or existing to remain): _____
Proposed Parking: N/A a. Handicapped spaces: _____ Dimensions: _____
b. Total Parking spaces: _____ Dimensions: _____
c. Width of driveway aisle: _____
Proposed Lighting: N/A
Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): N/A

Applicant's Signature: Sara Kinghorn Date: 9/12/14

Sara Kinghorn
2705 W. Gainsboro Drive
Kuna, ID 83634

September 15, 2014

RECEIVED
SEP 16 2014
CITY OF KUNA

City of Kuna
Planning and Zoning Commission
763 W. Avalon Street
Kuna, ID 83634

RE: Special Use Permit / In-home Beauty Salon / 2705 W. Gainsboro Drive, Kuna, ID

Dear Kuna Planning and Zoning Commissioners:

I am pleased to submit this application for a Special Use Permit for an in-home beauty salon located at my residence at 2705 W. Gainsboro Drive, Kuna, ID 83634. My property is zoned R-3 and is located in Crimson Point subdivision on a 0.162-acre lot (lot 31, block 10).

I have been in the beauty salon business for eight years and have been operating out of the Red Chair Salon in Kuna for five years. I enjoy working in the community and am hopeful that I can continue doing business in Kuna. I am excited about the opportunity of moving from renting a space at a multi-tenant salon to having a quaint and friendly space to serve customers from my home, which is a much better alternative than having to move my business to another nearby town.

I have a three-bay garage and I am proposing to convert the third bay to a 200 square-foot space which will accommodate one stylist station and sink area. For the space conversion, I am proposing to upgrade the floors with a finished surface, texture the existing walls, upgrade the lighting fixtures and install a shampoo bowl/sink. In order to retain the integrity of the neighborhood, the garage door would remain in place and a sliding glass door would be located behind it. This will allow me to open the garage door during business hours and close it during off-business hours.



Sara Kinghorn
2705 W. Gainsboro Drive
Kuna, ID 83634

Business operations will be Monday thru Saturday from 10:00 a.m. to 7:00 p.m. With approximately seven customers per day, traffic will be minimal. With one, and in rare occasions, two customers at any one time, I do not anticipate any parking issues.

I am currently licensed through the Cosmetology Board and I recently got approval from the Board to transfer my license to the new location. The space will meet building, plumbing, electrical and health codes.

I have made my neighbors and the Crimson Point Homeowner's Association aware of my plans and have heard only positive feedback thus far. They are excited about having access to a beauty salon so close to home.

Thank you for the opportunity to apply for this Special Use Permit. I look forward to keeping my business right here in Kuna, where I can continue to serve my customers for many years to come. If you have any questions or need additional information, please feel free to email me at sarakidaho@yahoo.com, or call me at 208-401-6966.

Sincerely,



Sara Kinghorn
Owner



City of Kuna AFFIDAVIT OF LEGAL INTEREST

City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

RECEIVED

SEP 16 2014

CITY OF KUNA

State of Idaho)
) ss
County of Ada)

I, Clayton Pennington, 2705 W Gainsboro
Name Address
Kuna, IDAHO 83634
City State Zip Code

being first duly sworn upon oath, depose and say:

(If Applicant is also Owner of Record, skip to B)

A. That I am the record owner of the property described on the attached, and I grant my

Permission to Sara Kingborn 2705 W Gainsboro
Name Address

to submit the accompanying application pertaining to that property.

B. I agree to indemnify, defend and hold City of Kuna and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

C. I hereby grant permission to the City of Kuna staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 11th day of September, 2014

Barbara L Hudlin

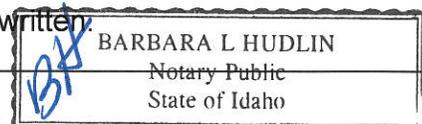
Signature

Subscribed and sworn to before me the day and year first above written:

Notary Public for Idaho

Residing at: 7359 Main St Tampa

My commission expires: _____



2705 W. Gainsboro Drive

RECEIVED
OCT 16 2014
CITY OF KUNA

Site

 Redline Text

 Streets

 Railroad

Environmental Data

 Hydro Areas

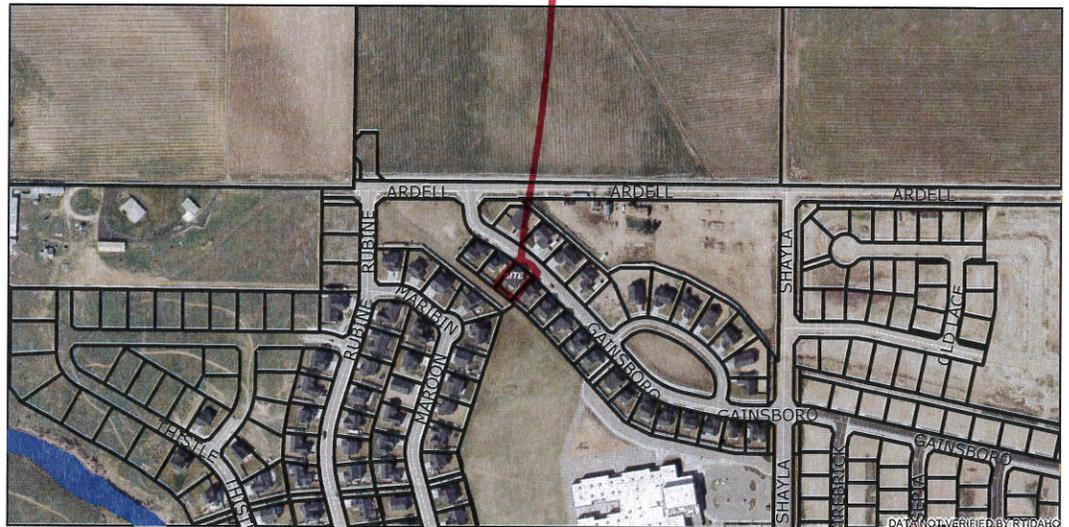
 Parcels

Photos & Topos

 2010 Photos

 Ada County City Limits

ADA COUNTY
BOISE
EAGLE



SCALE 1 : 7,141

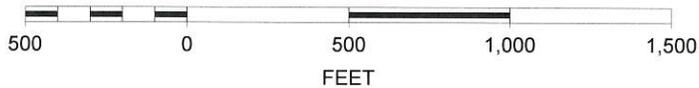
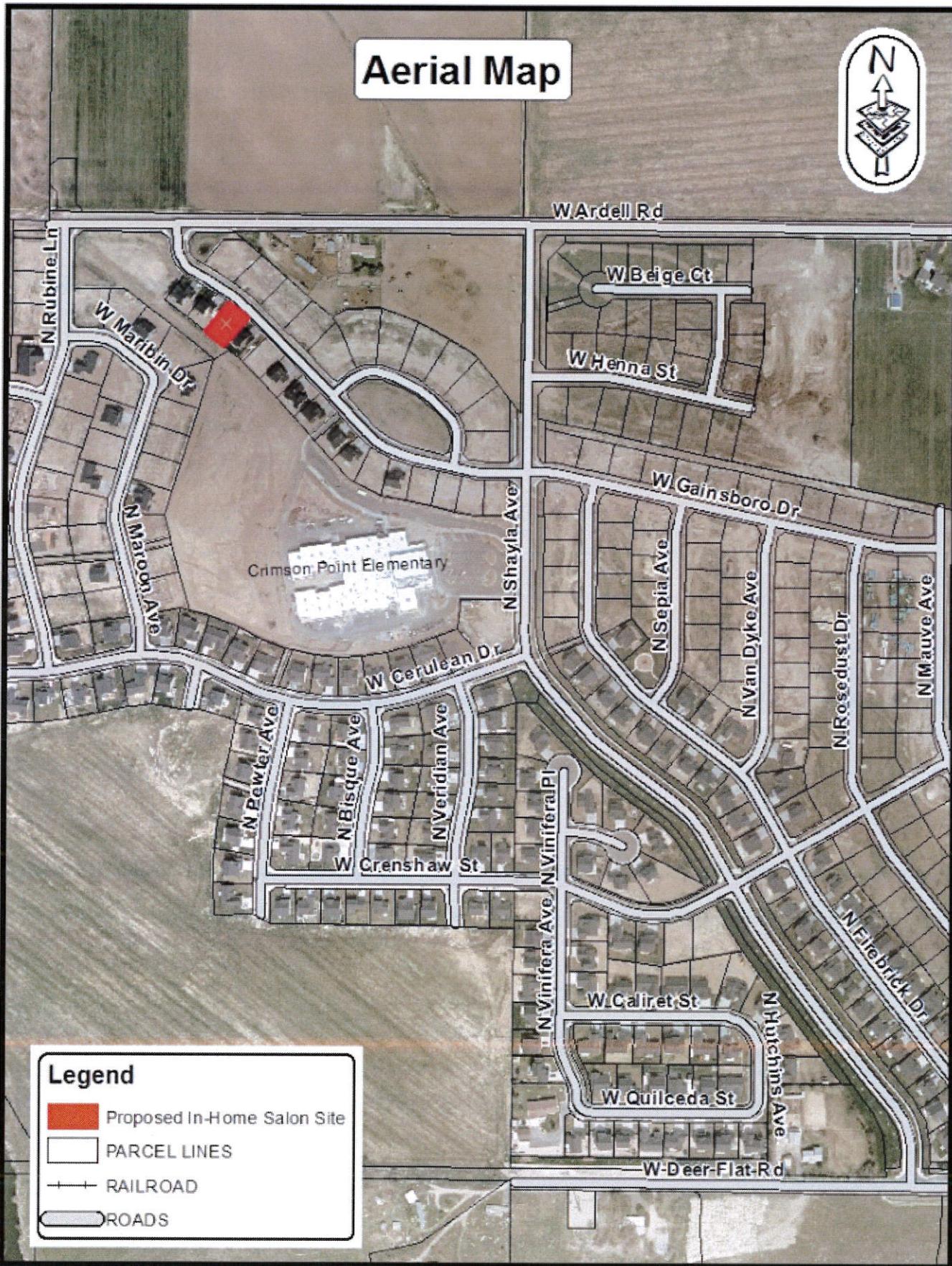


Exhibit
A-3
d

Aerial Map



Legend

-  Proposed In-Home Salon Site
-  PARCEL LINES
-  RAILROAD
-  ROADS



Parcel number: R1610600170

Owner Information

First: **RB GAINSBORO TRUST**
2705 W GAINSBORO DR
KUNA, ID 83634-0000

Ada County Assessor



Second: **PENNINGTON RONALD E**

Property Location

Address: **2705 W GAINSBORO DR**
KUNA, ID 83634-0000
Subdivision: **CRIMSON POINT SUB PH**

Section:
2N1W15

Legal Descriptions

Legal 1: **LOT 31 BLK 10**
Legal 2: **CRIMSON POINT SUB PH**
Legal 3:

Legal 4
Legal 5

Other

Zone Code: **R-3**
Acreage: **0.162**

Total Value: **\$198,600**
Estimated Tax: **n/a**

Home Exempt: **(\$83,920)**

Parcel Char

RECEIVED
SEP 16 2014
CITY OF KUNA



City of Kuna
**COMMITMENT TO
PROPERTY POSTING**

P.O. Box 13
Kuna, Idaho 83634
208.922.5274
Fax: 208.922.5989
Website:
www.cityofkuna.com

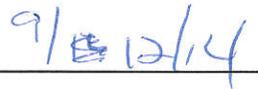
Per City Code 5-1A-8, the applicant for all applications requiring a public hearing shall post the subject property not less than ten (10) days prior to the hearing. The applicant shall post a copy of the public hearing notice or the application (s) on the property under consideration.

The applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the City no later than seven (7) days prior to the public hearing attesting to where and when the sign (s) were posted. Unless such Certificate is received by the required date, the hearing will be continued.

The sign (s) shall be removed no later than three (3) days after the end of the public hearing for which the sign (s) had been posted.

I am aware of the above requirements and will comply with the posting requirements as stated in Kuna City Code 5-1A-8


Applicant/agent signature


Date

RECEIVED
SEP 16 2014
CITY OF KUNA





Neighborhood Meeting Certification

RECEIVED

SEP 16 2014

CITY OF KUNA PLANNING & ZONING * 763 W. Avalon, Kuna, Idaho, 83634 * www.kunacity.id.gov * (208) 922-5274 * Fax: (208) 922-5989

CITY OF KUNA

GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 8-7A-3 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.

Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.

Description of proposed project: In-home beauty salon
 Date and time of neighborhood meeting: 09/03/14, 6-7pm, Wednesday
 Location of neighborhood meeting: 2705 W. Gainsboro Drive

SITE INFORMATION:

Location: Quarter: _____ Section: 15 Township: 2N Range: 1W Total Acres: 0.167
 Subdivision Name: Crimson Point Lot: 31 Block: 10
 Site Address: 2705 W. Gainsboro Drive Tax Parcel Number(s): R16 10600170
Kuna, ID 83634

Please make sure to include **all** parcels & addresses included in your proposed use.

CURRENT PROPERTY OWNER:

Name: R.B. Gainsboro Trust of Ronald Pennington
 Address: 2705 W. Gainsboro Drive City: Kuna State: ID Zip: 83634

CONTACT PERSON (Mail recipient and person to call with questions):

Name: Sara Kinghorn Business (if applicable): N/A
 Address: 2705 W. Gainsboro Drive City: Kuna State: ID Zip: 83634
 Phone: 208-401-6966



PROPOSED USE:

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

**no need for a list - already had meeting.*

Application Type

Brief Description

Annexation

Re-zone

Subdivision (Sketch Plat and/or Prelim. Plat)

Special Use

Variance

Expansion of Extension of a Nonconforming Use

Zoning Ordinance Map Amendment

In-home Beauty Salon

APPLICANT:

Name: Sara Kinghorn

Address: 2705 W. Gainsboro Drive

City: Hona State: ID Zip: 83034

Telephone: 208-401-6966 Fax: N/A

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 8-7A-3 of the Kuna City Code

Signature: (Applicant) Sara Kinghorn Date 9/12/14

SIGN IN SHEET

PROJECT NAME: Sara's In-home Beauty Salon RECEIVED

Date: 09/03/14

SEP 16 2014

CITY OF KUNA

	<u>Name</u>	<u>Address</u>	<u>Zip</u>	<u>Phone</u>
1	<u>Lisel Bachman</u>	<u>1677 N Lakewood Pl</u>	<u>83634</u>	<u>208-577-8752</u>
2	<u>Karie Glenn</u>	<u>1954 N Van Dyke</u>	<u>83634</u>	<u>208-869-4074</u>
3	<u>Hobby + Bob Russ</u>	<u>2726 W Gainsboro Dr</u>	<u>83634</u>	<u>208-323-5996</u>
4	<u>Sara Kinghorn</u>	<u>2705 W Gainsboro</u>	<u>83634</u>	<u>208-8401-6966</u>
5	<u>SUE + SKIP MARKS</u>	<u>2628 W Gainsboro Dr</u>	<u>83634</u>	<u>208-577-6992</u>
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Sara Kinghorn
2705 W. Gainsboro Drive
Kuna, ID 83634

RECEIVED
SEP 10 2014
CITY OF KUNA

August 18, 2014

RE: Meeting – In-home Beauty Salon

Dear Property Owner:

The purpose of this letter is to invite you to a meeting on Wednesday, September 3, 2014, from 6:00-7:00 pm. The meeting will take place at 2705 W. Gainsboro Drive, Kuna, ID 83634.

The purpose of the meeting is to discuss my intent to submit a special use permit application to the City of Kuna for an in-home beauty salon located at 2705 W. Gainsboro Drive.

If you are unable to attend and/or have any questions, please feel free to contact me at 208-401-6966 or sarakidaho@yahoo.com.

Sincerely,

Sara Kinghorn
Owner





City of Kuna
 Planning & Zoning
 Department
 P.O. Box 13
 Kuna, Idaho 83634
 208.922.5274
 Fax: 208.922.5989
 Website: www.kunacity.id.gov

Special Use Checklist

Special Use requires a public hearing with the Planning & Zoning Commission. A public hearing sign will be required to be posted by the applicant for the meeting. Sign posting regulations are available online.

Project name: *In-home beauty salon* **Applicant:** *Sara Kinghorn*

All applications are required to contain one copy of the following:

Applicant (✓)	Description	Staff (✓)
✓	Completed and signed Commission & Council Review Application.	
✓	Detailed submittal letter explaining how the project enhances and beautifies the community and types of services the project will provide.	
✓	Legal description of the property: Include a metes & bounds description to the section line of all adjacent roadways stamped & signed by a registered professional land surveyor with a calculated closure sheet & a map showing the boundaries of the legal description.	
✓	Proof of ownership—A copy of your deed and Affidavit of Legal Interest (for all interested parties).	
✓	8 1/2 x 11 vicinity map showing streets, driveways, property lines, etc.	
N/A	Landscape plan drawn to scale as the same size as the site development plan with the following details: ◇ Type, size and location of all existing & proposed plant materials and other ground covers. The size of plants at planting and maturity should be included. ◇ Existing vegetation labeled to remain or to be removed with landscaping on adjacent properties by area (s) to be considered. ◇ Method of irrigation. ◇ Cross-sections through areas of special features, berms, retaining walls, etc. ◇ Footprints of all structures to be constructed.	
N/A Floor Plan	Site development plan on 24x36 to scale (not smaller than 1=30 unless otherwise approved) with the following information: ◇ Building locations—existing and proposed with spare-footages. ◇ Fences—existing, surrounding and proposed. ◇ Off-street parking, circulation and driveway locations and types. ◇ Location and size of adjacent streets and driveways. ◇ North arrow and property lines. ◇ Drawings of major exterior elevations. ◇ Building materials and color scheme. ◇ Existing grades and proposed new grades. ◇ Existing lighting and proposed lighting.	
✓	Commitment of Property Posting form signed by the applicant/agent.	
✓	Neighborhood meeting certification (certification & neighborhood meeting list forms shall accompany this application).	

Note: Only one copy of the above items need to be submitted when applying for multiple applications.

This application shall not be considered complete (nor will a Public Hearing be set) until staff has received all required information. Once the application is deemed complete, staff will notify the applicant of the scheduled hearing date, fees due, additional copies needed, etc.





City of Kuna PROOF OF PROPERTY POSTING

City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.cityofkuna.com

This notice shall confirm that the Public Hearing Notice for Crimson Point was
(NAME OF SUBDIVISION)

posted as required per Kuna City Ordinance 5-1-5B. Sign posted Monday
(DAY OF THE WEEK,

Oct 13, 2014
MONTH, DATE AND YEAR)

DATED this 13 day of Oct, 2014.

Signature,

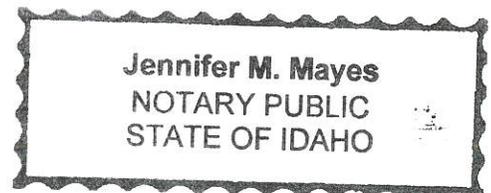
Sara King
Owner/Developer

STATE OF IDAHO)
County of Ada) : ss

On this 13 day of Oct, 2014, before me the undersigned, a Notary Public in and for said State, personally appeared before me (Owner, Developer).

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Jennifer M. Mayes
Notary Public
Residing at Kuna ID



Commission Expires 8-19-2019

**CITY OF KUNA PUBLIC
HEARING NOTICE**
Before the Kuna Planning
and Zoning Commission
HEARING: October 28, 2014, 6:00PM
LOCATION: City Hall
763 W. Avalon, Kuna
PURPOSE: Special Use Permit
(SUP) application for a
In home Beauty Salon
located at 2705 W. Galshoren Dr. Kuna, Idaho
APPLICATION BY: Sara Klingborn
Case# 14-02-SUP (Special Use Permit)
City Contact: 822-5274





City of Kuna

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
Kunacity.id.gov

Findings of Fact and Conclusions of Law

To: Planning and Zoning Commission

Case Number(s): 14-05-AN (Annexation) 14-04-DA (Develop Agreement) and 14-03-S (Preliminary Plat) and 14-06-DRC (Design Review) Patagonia Subdivision

Location: North side of Hubbard Road, ½ mile east of Meridian Road
Kuna, Idaho 83634

Planner: Troy Behunin, Senior Planner

Hearing Date: October 28 2014
Findings of Fact: November 12, 2014

Applicant: Westpark Company Inc., Taylor Merrill
P.O Box 344
Meridian, ID, 83680
208.870.3432
Taylor@westparkco.com

Engineer: Civil-Innovations – Ben Thomas
P.O. Box 170811
Boise, ID 83717
208.884.8181
Ben@civil-innovations.com

Table of Contents:

- A. Course Proceedings
- B. Applicants Request
- C. Vicinity & Aerial Maps
- D. Site History
- E. General Project Facts
- F. Staff Analysis
- G. Applicable Standards
- H. Comprehensive Plan Analysis
- I. Findings of Fact
- J. Conclusions of Law
- K. Conditions of Approval

A. Course of Proceedings

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states annexation, zone changes, subdivisions and development agreements are designated as public hearings, with the City Council as the decision making body. This land use was given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Local Planning Act.

a. Notifications

- i. Neighborhood Meeting January 29, 2014
- ii. Agencies August 19, 2014

- iii. 300' Property Owners
- iv. Kuna, Melba Newspaper
- v. Site Posted

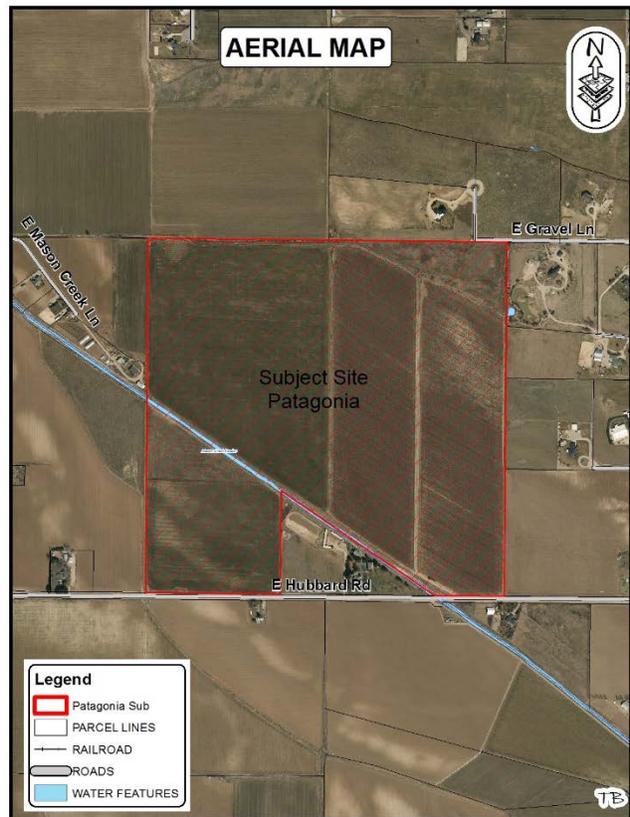
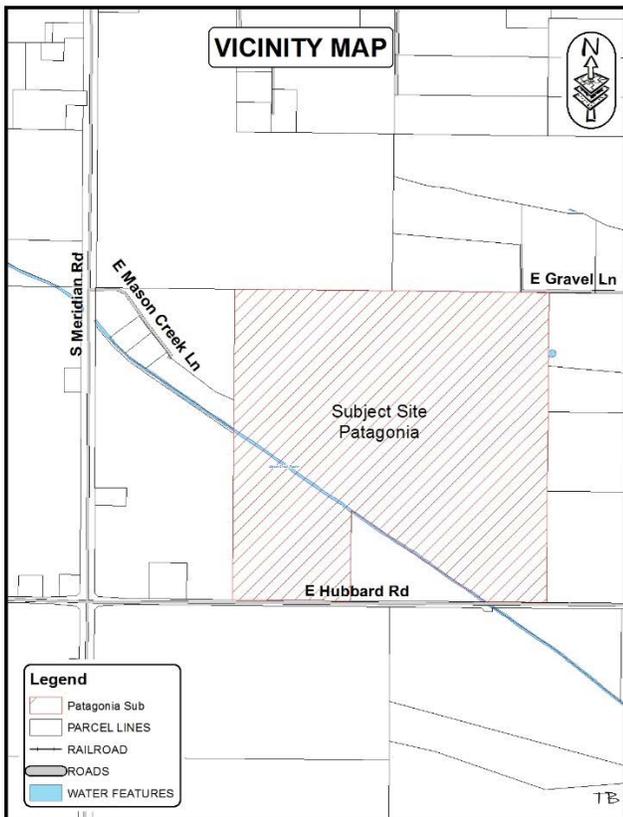
- September 19, 2014
- September 24, 2014
- September 26, 2014

B. Applicants Request:

1. Request:

Applicant requests approval to annex approximately 150.35 acres into the City limits in order to create a 470 lot residential subdivision (Patagonia). The applicant also proposes to develop 18 additional lots into common lots for the use and enjoyment of residents. These lots will make up 11.95% of the site, or 17.96 acres. One common lot will be developed with a park sufficient in size for sports fields while another common lot will be developed into a swimming pool facility. Two other (separate) lots will house tot-lots for children. An HOA will be established for the care and maintenance of the common lots. The applicant seeks an R-6 (Medium Density Residential) zone for the subdivision as a whole. Applicant is proposing seven (7) phases of development which will be driven by the consumer market. The applicant is aware a development agreement will be recorded to guide all future development for the project.

C. Vicinity and Aerial Maps:



D. History: The subject parcel is in Ada County, zoned RR (Rural Residential), and it is adjacent to Kuna City limits. This parcel has historically been farmed. The *Mason Creek Feeder* splits the property in the southwest corner.

E. General Projects Facts:

1. **Comprehensive Plan Designation:** The Future Land Use Map (FLU) identifies this site as Mixed-Use General, with a Public Designation nearby. Staff views this land use request to be consistent with the approved FLU map.

2. **Surrounding Land Uses:**

North	RR	Rural Residential – Ada County
South	RR	Rural Residential – Ada County
East	RR	Rural Residential – Ada County
West	A, R-2, RR	Agricultural Low Den. Resident; Kuna City AND Rural Residential – Ada County

3. **Parcel Sizes, Current Zoning, Parcel Numbers:**

- Approx. 150.35 total acres
- RR, Rural Residential
- Parcel # - S1407347110

4. **Services:**

Sanitary Sewer– City of Kuna
Potable Water – City of Kuna
Irrigation District – Boise-Kuna Irrigation District
Pressurized Irrigation – City of Kuna (KMID)
Fire Protection – Kuna Rural Fire District
Police Protection – Kuna City Police (Ada County Sheriff’s office)
Sanitation Services – J&M Sanitation

5. **Existing Structures, Vegetation and Natural Features:** Currently the land is being used for agricultural purposes and it is anticipated it will continue its historic uses on the remaining lands until development occurs. This site’s topography is generally flat.

6. **Transportation / Connectivity:** The applicant proposes two access points on Hubbard Road and one on the north side of the project, for Mason Creek Road.

7. **Environmental Issues:** Staff is not aware of any environmental issues, health or safety conflicts.

8. **Agency Responses:** The following agencies returned comments: City Engineer (Gordon Law, P.E.), Ada County Highway District (ACHD), Central District Health Department, the Idaho Transportation Department (ITD), Kuna Fire District, Boise-Kuna Irrigation District and Boise Project Board of Control. The responding agency comments are included as exhibits with this case file. The following agencies did not send in comments; Kuna Police Department, Kuna School District, Ada County Planning and Zoning, Idaho Power, J&M Sanitation, or the US Post Office.

F. Staff Analysis:

This site is located near the northeast corner (NEC) of Meridian & Hubbard Roads. The applicant proposes to annex 150.35 acres into the City and create a 470 buildable lot subdivision. The applicant is proposing 17.96 acres (11.95 % of the project – not including park-strips) of common space for the use and of residents to be owned and maintained by an HOA. This project will include a large centralized park, two tot-lots and a swimming pool and a pool house. Applicant also proposes a pathway on the north side of Mason Creek Feeder including an accompanying ten foot path. Separated sidewalks throughout the project encourage a pedestrian friendly environment.

Public services will be extended to the property from the existing facilities west of the project. This project anticipates a new pressure irrigation pump to serve this property and others in the area as it could be extended in the future.

The applicant is proposing a 23 foot increase in the rights-of-way (ROW) along the north side of their Hubbard Road frontage. The existing ROW is 50 feet, total width, or 25 feet each side of centerline. This additional 23 feet would provide 48 total feet on the north side of centerline for Hubbard Road. In theory, 48 feet on each side of Hubbard Road Centerline would provide 96 total feet of ROW for Hubbard Road. Kuna City Code 6-3-4 (Road Widths) calls for 97 total feet of ROW for Hubbard.

The applicant is not proposing sidewalks along their Hubbard Road frontage which are required along all classified roads in Kuna at a minimum width of at least eight feet.

The Applicant is proposing a mid-mile collector through the project at 70 feet, Kuna's Functional Classified Road Map calls for 74 feet. The Applicant has worked with the Planning Department and ACHD for the best solution and while it does not meet the true mid-mile alignment, Planning and Zoning and ACHD believe it meets the spirit and intent of the mid-mile requirement.

Staff will rely on the Planning and Zoning Commission and City Council for a determination relating to any ROW width deficiencies for this project.

Staff has determined this application complies with Title 5 of the Kuna City Code; Idaho Statute §50-222; and the Kuna Comprehensive Plan; and forwards a recommendation of approval for Case No.'s 14-05-AN, 14-04-DA, 14-03-Sub and 14-06-DRC, subject to the recommended conditions of approval.

G. Applicable Standards:

1. City of Kuna Zoning Ordinance No. 230, 546 and 570,
2. City of Kuna Subdivision Ordinance No. 2012-18, Title 5 Zoning Regulations,
3. City of Kuna Comprehensive Plan and Future Land Use Map,
4. City of Kuna Landscape Regulations, Title 5, Chapter 17, Section 1 thru 26,
5. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act.

H. Comprehensive Plan Analysis:

The Kuna Planning and Zoning Commission accepts the Comprehensive Plan components as described below.

1. The proposed applications for this site are consistent with the following Comprehensive Plan components:

GOALS AND POLICY – Property Rights

Goal 1: Ensure that the City of Kuna land use policies, restrictions, conditions and fees do not violate private property rights. Establish an orderly, consistent review process for the City of Kuna to evaluate whether proposed actions may result in private property "takings".

Policy 1: As part of a land use action review, the staff shall evaluate with guidance from the City's attorney; The Idaho Attorney General's six criterion established to determine the potential for property taking.

GOALS AND POLICY – Economic Development

Goal 1: Promote and support a diverse and sustainable economy that will allow more Kuna residents to work in their community.

Policy 1.3: The City will develop a policy to provide incentives and/or assistance in order to competitively attract firms.

GOALS AND POLICY – Land Use

Goal 2: Encourage a balance of land uses to ensure that Kuna remains a desirable, stable, and self-sufficient community.

Objective 2.2: Plan for areas designed to accommodate a diverse range of businesses and commercial activity – within both the community-scale and neighborhood-scale centers – to strengthen the local economy and to provide more opportunities for social interaction.

Policy 2.3: Retail and residential land uses should be appropriately mixed and balanced with professional offices and service facilities to provide residents with a broader mix of services within walking distance from their homes.

I. Findings of Fact:

1. This request appears to be consistent and in compliance with all Kuna City Code (KCC).
2. The use appears to meet the general objectives of Kuna’s Comprehensive Plan.
3. The site is physically suitable for a subdivision.
4. The annexation and subdivision uses are not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.
5. The annexation application is not likely to cause adverse public health problems.
6. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.
7. The existing and proposed street and utility services in proximity to the site are suitable and adequate for residential purposes.
8. The Kuna Planning and Zoning Commission accepts the facts as outlined in the staff report, any public testimony and the supporting evidence list as presented.
9. Based on the evidence contained in Case No.s 14-05-AN, 14-04-DA, 14-03-Sub and 14-06-DRC, this proposal appears to comply with the Comprehensive Plan and the Kuna Comprehensive Future Land Use Map (FLU).
10. The Planning and Zoning Commission has the authority to recommend approval or denial for these applications.
11. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

J. Conclusions of Law:

1. Based on the evidence contained in Case No.s 14-05-AN, 14-04-DA, 14-03-Sub and 14-06-DRC, the Kuna Planning and Zoning Commission finds Case No.s 14-05-AN, 14-04-DA, 14-03-Sub and 14-06-DRC, comply with Kuna City Code.
2. Based on the evidence contained in Case No’s 14-05-AN, 14-04-DA, 14-03-Sub and 14-06-DRC., the Kuna Planning and Zoning Commission finds Case No.s 14-05-AN, 14-04-DA, 14-03-Sub and 14-06-DRC, are consistent with Kuna’s Comprehensive Plan.
3. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

K. Decision by the Commission:

14-05-AN, 14-04-DA and 14-03-Sub, Note: *This proposed motion is to recommend approval, conditional approval, or denial for this request to City Council. If the Commission wishes to approve or deny specific parts of the requests as detailed in this report, those changes must be specified.*

14-06-DRC:-Design Review Note: *The proposed motion is also to approve or deny the design review request. If the Planning and Zoning Commission wishes to approve or deny specific parts of the requests as detailed in the report, those changes must be specified.*

On October 28, 2014, the Planning and Zoning Commission voted 4-0, to recommend approval for Case No. 14-05-AN, 14-04-DA and 14-03-Sub based on the facts outlined in staff's report and the public testimony at the public hearing. The Planning and Zoning Commission of Kuna, Idaho, hereby recommends approval of Case No.s 14-05-AN, 14-04-DA and 14-03-Sub, annexation, development agreement and preliminary plat, with the following conditions of approval to City Council:

- Follow all Staff recommended conditions of approval and any additional Kuna Rural Fire District requirements,
 - Sidewalk will be placed throughout project according to City standards,
 - Provide Rights-of-Way in sufficient width for the project at City and ACHD standards.
1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
 - a. The City Engineer shall approve the sewer hook-ups.
 - b. The City Engineer shall approve the drainage and grading plans. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties". No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
 - c. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District is required.
 - d. The *Boise Project and Board of Control* shall approval any modifications to the existing irrigation system.
 - e. Approval from Ada County Highway District shall be obtained and Impact Fees must be paid prior to issuance of any building permit.
 2. All public rights-of-way shall be dedicated and constructed to standards of the City, Ada County Highway District, and Idaho Transportation Department. No public street construction may be commenced without the approval and permit from Ada County Highway District and/or Idaho Transportation Department.
 - 2.1- With future development and as necessary, dedicate right-of-way in sufficient amounts to follow Kuna City and ACHD standards and widths.
 3. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see **KCC 6-4-2-W**.
 4. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
 5. Street lighting shall be LED lights and meet the approval of the City.
 6. Parking within the site shall comply with Kuna City Code, unless specifically approved otherwise.
 7. Fencing within and around the site shall comply with Kuna City Code unless specifically approved otherwise).
 8. Signage within the site shall comply with Kuna City Code (A sign permit is required prior to sign construction).

9. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
10. Submit a petition to the City (if necessary and confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and requesting to annex the irrigation surface water rights appurtenant to the property to the Kuna Municipal Pressure Irrigation system of the City (KMID).
11. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the Commission, or seek amending them through public hearing processes.
12. The applicant's proposed preliminary plat (dated 11.01.13) and landscape plan (dated 2.21.2014) shall be considered a binding site plans, or as modified and approved.
13. Applicant shall follow all staff, city engineer and other agency recommended requirements as applicable.
14. Developer shall comply with all local, state and federal laws.

DATED: This 12th day of November, 2014.

Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST:

Troy Behunin, Senior Planner
Kuna Planning and Zoning Department



City of Kuna

P.O. Box 13
Kuna, ID 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.cityofkuna.com

STAFF REPORT

Project: SUPER 'C' SINCLAIR STATION – Illuminated Signs

File #: 14-09-SN (Sign) / 14-11-DR (Design Review)

Planner: Trevor Kesner

Date: November 5, 2014

Applicant: Shiva, LLC
331 Avenue D
Kuna, ID 83634
(208) 922-4506

Representative: Lytle Signs, Inc.
P.O. Box 305
Twin Falls, ID 83303-0305
(208) 733-1739
Stacy@lytlesigns.com

Site Information:

Location	331 Avenue D, Kuna, ID 83634
Parcel #	R5070001462
Lot Size	0.24 acres
Zoning	CBD, Central Business District
Comprehensive Plan Designation	Commercial (Mixed Use City Center)

Surrounding land use and zoning:

North	CBD	Central Business District
South	CBD	Central Business District
East	CBD	Central Business District
West	CBD	Central Business District

SUMMARY:

Applicant's representative seeks Design Review approval for the newly proposed internally illuminated fueling service area canopy. The applicant also intends to re-face the fuel island signs and replace the existing pole sign; however, the fuel island sign sizes will not change and the square footage and structure of the pole sign will also remain the same with the exception of new digital illumination which will actually emit less lumens than the existing fluorescent lighting.

EXISTING SIGNAGE:



PROPOSED ILLUMINATED SIGN ELEVATIONS:



TYPE:

(NEW) INTERNALLY ILLUMINATED ALUMINUM BASE with .150 POLYCARBONATE/ACRYLIC FACE CANOPY: 34" x 25' (eastern face) AND 34" x 24' (southern face). Cabinets to be mounted to existing east and south facing structure

COLORS:

Green (base and Dino Icon) on White, with Red accents and SINCLAIR lettering

EASTERN FACING SIGN AREA:

2,620.5 in² = 18.2 Square Feet (Dino Icon)

SOUTHERN FACING SIGN AREA:

1,512 in² = 10.5 Square Feet (SINCLAIR lettering)

ALLOWABLE SIGN AREA:

30 Square Feet

Total sign area: The SINCLAIR letters will be a total of 18.2 square feet. The Dino icon will be a total of 10.5 square feet.

STAFF ANALYSIS:

Re-facing and/or re-imaging existing fuel island signs and replacing existing pole signs which propose no structural or size changes, is allowed via staff-level review and Administrative Approval within the Central Business District (CBD) and as such, are not part of this Design Review request. The existing fuel service area canopy sign is not currently illuminated. The newly proposed canopy sign will replace the existing flat canopy with a 6.5" deep, internally illuminated aluminum channel letter sign with poly-carbonate face on the south and east face of the existing fuel service area canopy.

STAFF RECOMMENDATION:

The following are sections of the City code pertaining to commercial signage within City limits and within a commercially zoned district. Staff has determined that the proposed addition of the internally illuminated canopy signs on the east and south facing portions of the fuel service area is consistent with Kuna City Code requirements (Chapter 10, SIGNS, and Section 5-10-1 through Section 5-10-8) and forwards a recommendation of approval to the Commission with conditions as stated in the staff report. Based on Staff's review of the application, staff concludes this Design Review application does comply with Kuna City Code (KCC) 5-10, and the Kuna Comprehensive Plan.

(KCC) 5-10-2: APPLICABILITY:

.....
C. Architectural compatibility: The number, area and height of signs as outlined in this chapter are intended to be maximum standards which do not necessarily ensure architectural compatibility. Therefore, in addition to the enumerated maximum standards, the city shall give consideration to a sign's relationship to the overall appearance of the subject property as well as the surrounding area.

(KCC) 5-10-3: GENERAL REQUIREMENTS FOR ALL SIGNS AND DISTRICTS:

Definitions:

ILLUMINATION, INTERNAL: Illumination of a sign from any light source that is concealed or contained within the sign and becomes visible in darkness through a translucent surface, except for illumination, push-through letter signs.

(KCC) 5-10-4: GENERAL REQUIREMENTS FOR ALL SIGNS AND DISTRICTS:

The regulations contained in this section shall apply to all signs and all use districts:

N. Sign illumination:

1. The city must find that any illuminated sign permitted under the specific regulations within this article is designed such that brightness levels are controlled to assure a soft, subtle effective light in accordance with other city regulations intended to create and maintain the Kuna architecture theme, while encouraging energy efficient lighting.
2. Illumination theme, styles and practices not listed herein shall be prohibited unless otherwise deemed by the design review committee and city council to be consistent with the Kuna architecture theme.
3. Floodlighting is permitted only through the use of incandescent and high pressure sodium light sources. Floodlights are required to face downward.
4. Exposed neon is permitted when used to create the sign letter(s) or as an architectural element as part of the sign design. A clear covering may be permitted for protection of the neon element.
5. Halo illumination is permitted.
6. Metal halide is not permitted as a light source for signage.

7. All types of internal illumination is prohibited, except for automated signs and drive-thru/drive-up service menu board signs as regulated in this chapter.
8. Subject to design review approval.

CONDITIONS OF APPROVAL:

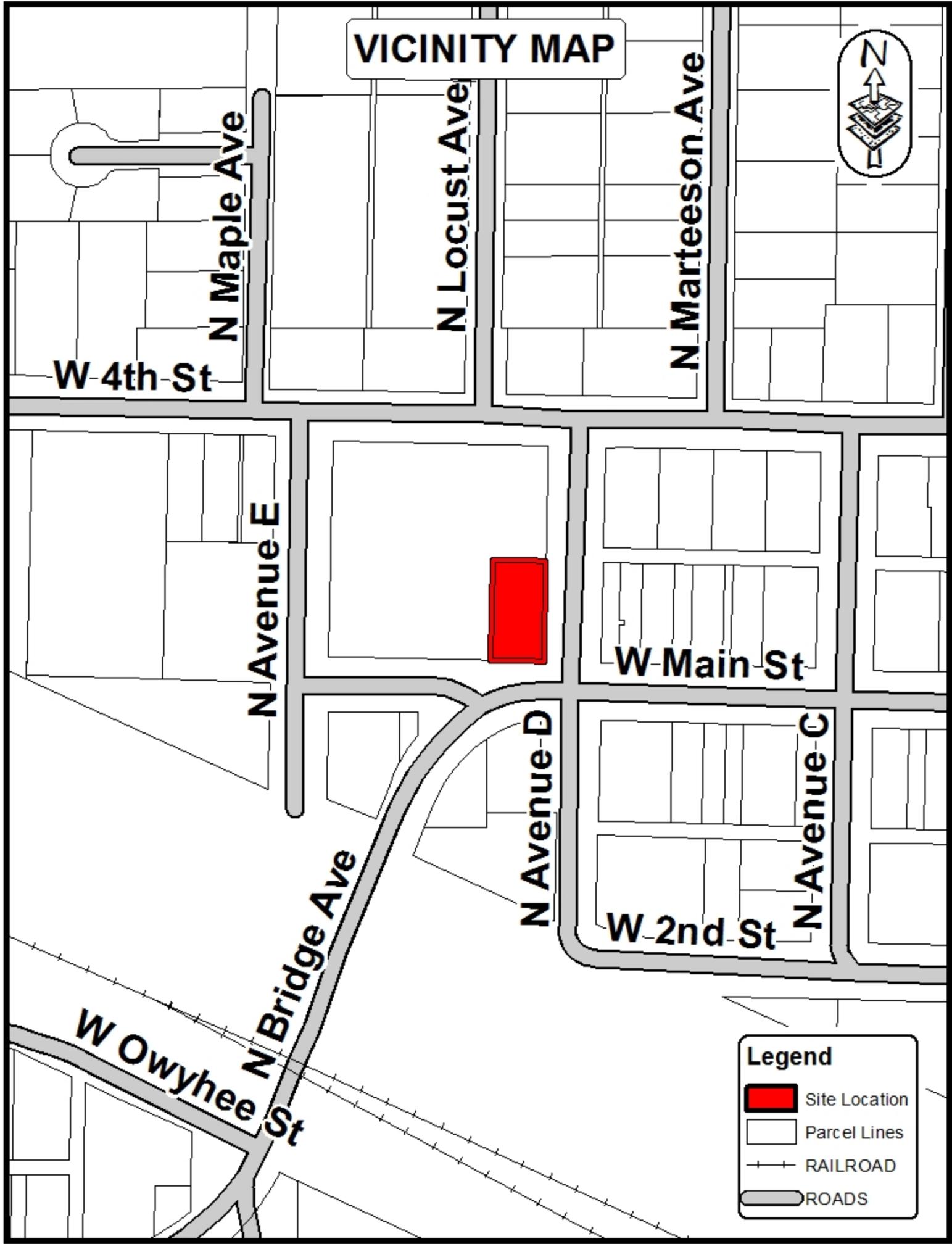
1. Applicant shall obtain a sign permit prior to construction.
2. In the event the uses, the building or any other DRC elements for this application are enlarged, expanded or altered in anyway, the applicant shall meet with the Director of Planning and Zoning for direction. The applicant shall follow all staff and appropriate agency recommendations.
3. The applicant shall comply with all federal, state and local Laws.

DATED: This _____ day of _____, 2014.

Lee Young, Chairman
Kuna Planning and Zoning Commission

TREVOR KESNER, PLANNER TECHNICIAN
KUNA PLANNING AND ZONING DEPARTMENT

VICINITY MAP



Legend

-  Site Location
-  Parcel Lines
-  RAILROAD
-  ROADS

AERIAL MAP



N Maple Ave

N Locust Av

N Marteeson Ave

W 4th St

N Avenue E

W Main St

N Avenue D

W 2nd St

N Avenue C

W Owyhee St

N Bridge Ave



Legend

-  Site Location
-  Parcel Lines
-  ROADS



City of Kuna SIGN PERMIT APPLICATION

City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

SUBMITTAL FEE: \$30

SUBMIT

- ✓ Completed & signed Sign Permit application.
- ✓ Detailed letter by applicant describing the request/project
- ✓ Copy of the dimension and location of existing sign (s). Include picture of both wall signs and free standing signs.
- ✓ Copy of the dimension and location of proposed signs including:
- ✓ Complete text to appear on sign (business name, log, sub-titles, etc) including size & lettering style
- ✓ Overall sign dimensions (including base, wall area, background area
- ✓ Construction materials
- ✓ Sign and lettering color (s) – include color samples or paint chips
- ✓ Copy of building elevations, including wall dimensions & exact, scaled location of sign on building (for wall signs)
- ✓ Copy of site plan showing property lines & any adjacent sidewalks, rights of way from center of streets, landscaping, screening and exact, scaled location of sign on property. (for free standing sign)

RECEIVED
OCT 31 2014

Parcel #: R507000146Z Zone CBD **CITY OF KUNA**

Site Address: 331 N. KUNA

Applicant's Name: Kuna Super C Sinclair Phone: 800.621.6836

Applicant's Address: 331 Ave. D. City: Kuna Zip: 83634

Contact's Email: stacy@lytlesigns.com RCE# 11922

Note: The following information must be completed in entirety. For additional signs, please attach information to application

SIGN #1	PROPOSED <u>X</u>	EXISTING _____	OFF PREMISES _____	ON PREMISE _____
Type of Sign:	Freestanding _____	Wall <u>X</u>	Ground Monument _____	
Sign Dimensions:	Length <u>8'-10"</u>	Width <u>28"</u>	Square Feet <u>20.67</u>	<u>18.2</u>
Building Lineal Foot (space of which is occupied by enterprise)	<u>54'</u>			

SIGN #2	PROPOSED <u>X</u>	EXISTING _____	OFF PREMISES _____	ON PREMISE _____
Type of Sign:	Freestanding _____	Wall <u>X</u>	Ground Monument _____	
Sign Dimensions:	Length <u>5'-5"</u>	Width <u>2'-10"</u>	Square Feet <u>15.38</u>	<u>10.5</u>
Building Lineal Foot (space of which is occupied by enterprise)	<u>54'</u>			

Note: Once plans have been checked and approved for issuance the applicant **MUST** pick up the building permit within **30 days** or the plans will be destroyed. Per IBC 2006 regulations, work must commence or resume within 180 days or permit is invalid. Building Official may grant time extensions prior to expiration.

Applicant's Signature: [Signature] Date: 10/31/14

*****OFFICE USE ONLY*****

BP #	SITE ADDRESS	Planning & Zoning Approval and Date
FILE # <u>14-09-SN</u>	<u>331 N. Avenue D, Kuna</u>	<u>1</u>

Trevor Kesner

From: Stacy Mavencamp [Stacy@lytlesigns.com]
Sent: Friday, October 31, 2014 12:31 PM
To: Trevor Kesner
Subject: RE: Sign permit for Kuna Super C located at 331 Ave D

Thank you for letting me know you received the application.

I have made an error in the square footage on the application, I used the overall size and not the correct square footage as my supervisor just pointed out. Can you please correct the Sinclair letters from 20.61 to 18.2 square feet and the Dino from 15.35 to 10.5 square feet.

To answer your question the existing Sinclair letters are 10.8 square feet and the Sinclair badge was 6 square feet.

We are re-facing the pole sign so the square footage will remain the same. The digital illumination will actually be less lumens than the fluorescent lighting from existing.

I hope I have answered your questions.

Thank you
Stacy

From: Trevor Kesner [mailto:TKesner@cityofkuna.com]
Sent: Friday, October 31, 2014 12:12 PM
To: Stacy Mavencamp
Subject: RE: Sign permit for Kuna Super C located at 331 Ave D

Greetings Stacy:

I've received the application materials for permit.

Everything looks good here and I await the submittal fee and affidavit of legal interest coming from Brett. I am consulting with code to see if this is an administrative level approval or if this will need a Design Review.

Your renderings provide a good perspective, but I cannot see if they are any larger than what is there now? I see that the pole sign will change from internally illumination to digital which shouldn't affect brightness. Can you tell me if the images you are re-facing are any larger than the existing signs, and if so, by how much?

When you have a second, let me know. Thanks.

Trevor Kesner
Planning Technician
(208) 387-7731
trevor@cityofkuna.com



City of Kuna
763 W. Avalon
Kuna, ID 83634

CONFIDENTIALITY NOTICE

This e-mail and any attachments may contain confidential or privileged information. If you are not the intended recipient, you are not authorized to use or distribute any information included in this e-mail or its attachments. If you receive this e-mail in error, please delete it from your system and contact the sender.

From: Stacy Mavencamp [<mailto:Stacy@lytlesigns.com>]
Sent: Friday, October 31, 2014 11:05 AM
To: Trevor Kesner
Subject: Sign permit for Kuna Super C located at 331 Ave D

Trevor,

Attached please find the application for Kuna Super C Sinclair re-image. Per our conversation someone will be in shortly to pay the \$30.00 submittal fee and Brett Currin will be in to drop off the affidavit of legal interest.

If you have any questions or need further information please feel free to give me a call.

Thank you so much.

Stacy Mavencamp

Lytle Signs, Inc.

Office: (208) 733-1739 Or: (800) 621-6836 Fax: (208) 735-5903





October 31, 2014

City of Kuna
Office of Planning & Zoning
PO Box
Kuna, ID 83634

Re: Design Review for Kuna Super C Sinclair

To whom it may concern:

We are applying for a permit for one (1) new "Sinclair" channel letter set sign (28" x 8'-10") and (1) new "Dino" icon wall sign (2'-10" x 8'-10") both will be illuminated.

Both signs will be attached to existing canopy with no structure changes. This is a site re-image only.

This signs will be constructed of aluminum with quality paint and have polycarbonate/acrylic faces. They will be manufactured/installed by professionals and have a professional appearance. This will enhance the appearance of the canopy and give a fresh new look for the business. Lytle Signs will manufacture these signs. It will not have any hand lettering or painting.

Aluminum construction for long durability, high quality paint and .150 polycarbonate/acrylic faces for a long lasting quality sign.

This complies with the Kuna Municipal Code to maintain and improve the image of the community via signs.

The copy on sign will be in English.

Sincerely,

Stacy Mavencamp



R5070001380
533

331
R5070001482

141'

N. AVE. D

83'

W. MAIN ST.



Artist's Simulation of proposed graphics package: Super C Sinclair





N Ave D



Exit Street View

25'

14'

63'

6'

Super's STORE
• Cold Sandwiches • Burritos • Lunch • Juice & Beverages •
• Fuel • Tires • Wash • Wax • Detail • Car Wash •

Sinclair

ED

Google earth

© 2014 Google

© 2014 Google

43°29'27.20" N 116°25'10.41" W elev 2701 ft eye alt 2702 ft



W Main St



Exit Street View



Google earth

© 2014 Google

© 2014 Google

43°29'29.74" N 116°25'11.81" W elev 2721 ft eye alt 2701 ft

Report a problem

Sinclair

REGULAR	3081
MID GRADE	3101
PREMIUM	3101
HYBRID	395

Sinclair

SALES SERVICE
REPAIRS & TIRE SERVICE

24'

14'

54'

THIS RENDERING IS CONCEPTUAL---COLORS MAY NOT REPRESENT ACTUAL FINISH---ILLUMINATED AND DAYLIGHT COLORS WILL VARY
 (Unauthorized use, reproduction and/or display shall render the infringer liable for up to \$150,000 in statutory damages, plus attorney fees and costs for each infringement under the U.S. Copyright Act (17 U.S.C. 4172 & 504))

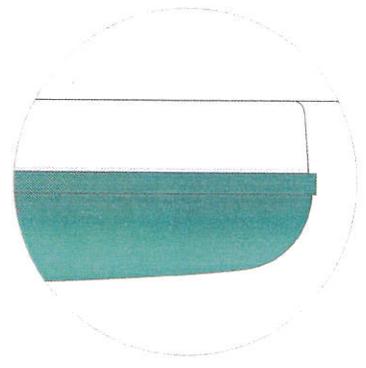
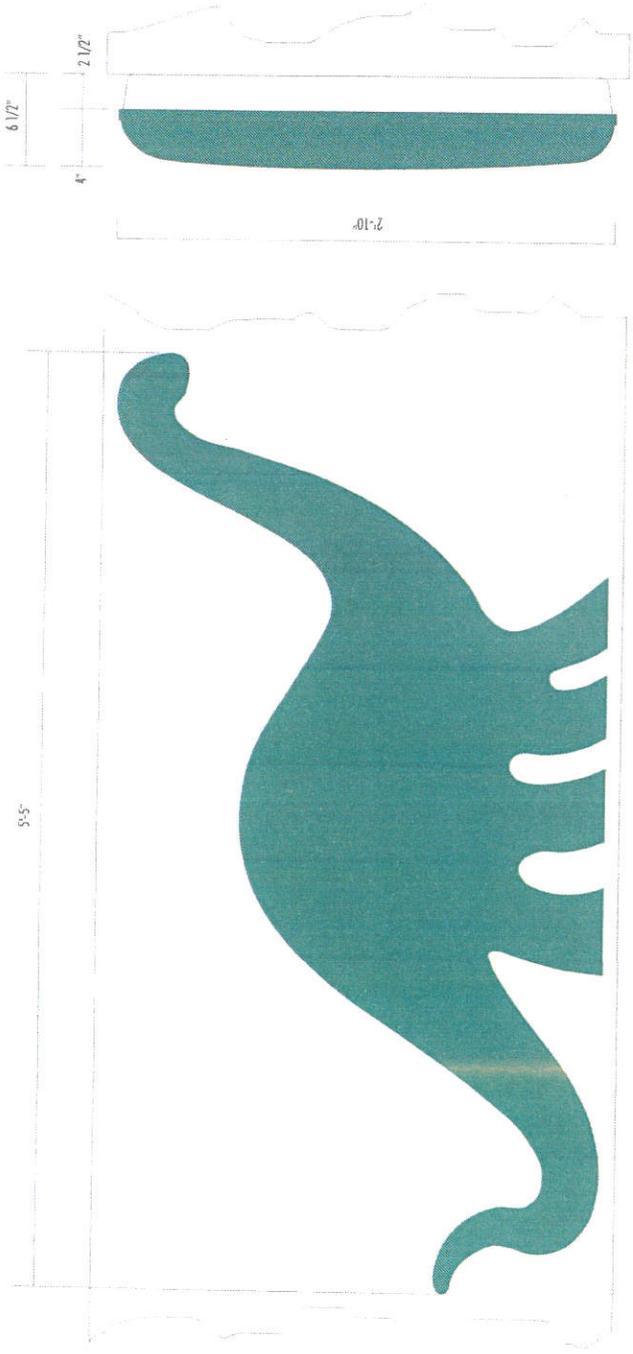
CLIENT: ENCLAVE
 ADDRESS: 331 AVE. D
 CITY: NAPA, IDAHO
 PHONE: 208-733-1739
 FAX: 208-736-6653
 PROJECT: 11/27/11
 DATE: 06-10-2014
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 PROJECT: [blank]
 SHEET: [blank]
 SCALE: [blank]
 DATE: [blank]

PAGE 4 OF 5
 LYTLE SIGNS © 2014
 ALL RIGHTS RESERVED



Lytle Signs Inc.
 Twin Falls Office
 P.O. BOX 905
 1925 KIMBERLY RD.
 TWIN FALLS, IDAHO 83303
 208.733.1739
 1.800.621.6836
 Fax: 208.736.6653

 Boise/Meridian Office
 2970 E. COMMERCIAL ST.
 MERIDIAN, IDAHO 83642
 208.388.1739
 Fax: 208.388.3966
 www.lytlesigns.com
 sales @lytlesigns.com



TWO-PIECE THERMO-FORMED DINO ICON 3

FACE---CLEAR POLY-CARBONATE MATERIAL WITH SECOND SURFACE DECORATION

BACK---WHITE POLY-CARBONATE WITH FORWARD FIRING WHITE L.E.D. MODULES

Sinclair

8'-10"

28"

28" TALL RED LED CHANNEL LETTERS
ALUMINUM CONSTRUCTION (HUNTER RED)
RED ACRYLIC (21) FACES WITH 1" RED TRIM CAP
ATTACH TO CANOPY WITH
(6) #10 GRABBER SCREWS PER LETTER (VERIFY ON SITE)

Unauthorized use, reproduction and or display shall render the infringer liable for up to \$150,000 in statutory damages, plus attorney fees and costs for each infringement under the U.S. Copyright Act (17 U.S.C. 412 & 504). THIS RENDERING IS CONCEPTUAL. COLORS MAY NOT REPRESENT ACTUAL FINISH. ILLUMINATED AND DAYLIGHT COLORS WILL VARY.

SYMBOLS
ADDRESS
331 AVE. D
BOISE, IDAHO
DATE
04-10-2014
SCALE
1"=1'
PROJECT LOCATION
R1
PROJECT NO.
R1
PREPARED BY
WANDA WILSON
WANDA WILSON
WANDA WILSON
DATE
PROJECT NO.

PAGE 3 OF 5
LYTLE SIGNS CO 2014
ALL RIGHTS RESERVED



Lytle Signs Inc.

Twin Falls Office
P.O. BOX 305
1925 KIMBERLY RD.
TWIN FALLS, IDAHO 83303
208.793.1799
1.800.621.6536
Fax: 208.736.8653

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2070 E. COMMERCIAL ST.
MERIDIAN, IDAHO 83642
208.388.1799
Fax: 208.388.3966
www.lytlesigns.com
sales@lytlesigns.com





City of Kuna Design Review Application

P.O. Box 13
Kuna, Idaho 83634
(208) 922.5274
Fax: (208) 922.5989
Website: www.kunacity.id.gov

FILE NO.:	14-11-DR (Kuna Super 'C' Store Canopy Signage)
CROSS REF.:	14-09-SN
FILES:	

The City of Kuna has adopted a Design Review process whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in the Design Review Ordinance No. 2007-02 and the Architecture and Site Design Booklet. Both of these documents can be found online (www.cityofkuna.com) or are picked up in the City's Planning and zoning department is located at 763 W Avalon, Kuna ID. Staff is glad to assist you with your application form.

The Design Review application applies to the following land use actions:

- ▶ Multi- family dwellings (3 or more)
- ▶ Commercial
- ▶ Industrial
- ▶ Institutional
- ▶ Office
- ▶ Common Area
- ▶ Subdivision Signage
- ▶ Proposed Conversions
- ▶ Proposed changes in land use and/or building use or exterior remodeling
- ▶ Exterior restoration, and enlargement or expansion of existing buildings, signs or sites.

Application Submittal Requirements

Applicant Use		Staff Use
<input type="checkbox"/>	Date of pre- application meeting : _____ N/A <i>Note: Pre-Applications are valid for a period of three (3) months.</i>	N/A
<input type="checkbox"/>	A complete Design Review Application form <i>Note: It is the applicant's responsibility to use a current application.</i>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with Design Review standards.	<input checked="" type="checkbox"/>
<input type="checkbox"/>	One (1) Vicinity Map (8 ½" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets.	<input checked="" type="checkbox"/>
<input type="checkbox"/>	One 8 ½" x 11" colored aerial photo depicting proposed site, street names, and surrounding area within five-hundred feet (500').	<input checked="" type="checkbox"/>
<input type="checkbox"/>	Copy of Deed; and, if the applicant is not the owner, an original notarized statement (affidavit of legal interest) from the owner (and all interested parties) stating the applicant is authorized to submit this application.	<input type="checkbox"/> <i>u/b</i>

Sign Renderings

Detailed site, landscape, drainage plan, elevation and to scale. *(No smaller than 1"=30', unless otherwise approved.)*
One of each plan (site, landscape, drainage plan and elevations) is required to be submitted in the following plan sizes:

(1) 8 1/2" x 11" REDUCTIONS

Provide a color rendering and material sample board specifically noting where each color and material is to be located on the structure.
Note: Provide photo of the colored rendering and material samples board to City Staff electronically in a JPG or PDF format.

The Applicant is obligated to provide a site plan that graphically portrays the site and includes the following features:

Site Plan

Applicant Use	Staff Use
<input type="checkbox"/> North Arrow	<input checked="" type="checkbox"/>
<input type="checkbox"/> To scale drawings	<input checked="" type="checkbox"/>
<input type="checkbox"/> Property lines	<input checked="" type="checkbox"/>
<input type="checkbox"/> Name of "Plan Preparer" with contact information	<input checked="" type="checkbox"/>
<input type="checkbox"/> Name of project and date	<input checked="" type="checkbox"/>
<input type="checkbox"/> Existing structures, identify those which are to be relocated or removed	<input checked="" type="checkbox"/>
<input type="checkbox"/> On-site and adjoining streets, alleys, private drives and rights-of-way	<input checked="" type="checkbox"/>
<input type="checkbox"/> Drainage location and method of on-site retention / detention	<input checked="" type="checkbox"/>
<input type="checkbox"/> Location of public restrooms	<input checked="" type="checkbox"/>
<input type="checkbox"/> Existing / proposed utility service and any above-ground utility structures and their location	<input type="checkbox"/>
<input type="checkbox"/> Location and width of easements, canals and drainage ditches	<input type="checkbox"/>
<input type="checkbox"/> Location and dimension of off-street parking	<input type="checkbox"/>
<input type="checkbox"/> Locations and sizes of any loading area, docks, ramps and vehicle storage or service areas	<input type="checkbox"/>
<input type="checkbox"/> Trash storage areas and exterior mechanical equipment, with proposed method of screening	<input type="checkbox"/>
<input type="checkbox"/> Sign locations <i>(a separate sign application must be submitted with this application)</i>	<input type="checkbox"/>
<input type="checkbox"/> On-site transportation circulation plan for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input type="checkbox"/> Locations and uses of ALL open spaces	<input type="checkbox"/>
<input type="checkbox"/> Locations, types and sizes of sound and visual buffers <i>(Note: all buffers must be located outside the public right-of-way)</i>	<input type="checkbox"/>
<input type="checkbox"/> Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	<input type="checkbox"/>
<input type="checkbox"/> Locations of subdivision lines <i>(if applicable)</i>	<input type="checkbox"/>
<input type="checkbox"/> Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input type="checkbox"/> Location of walls and fences and indication of their height and material of construction	<input type="checkbox"/>
<input type="checkbox"/> Roofline and foundation plan of building, location on the site	<input type="checkbox"/>
<input type="checkbox"/> Location and designations of all sidewalks	<input type="checkbox"/>
<input type="checkbox"/> Location and designation of all rights-of-way and property lines	<input type="checkbox"/>

Existing DW

Landscape and Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscaped and streetscape plans must be colored. The Planning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Applicant Use

- North Arrow
- To scale drawings
- Boundaries, property lines and dimensions
- Name of "Plan Preparer" with contact information
- Name of project and date
- Type and location of all plant materials and other ground covers.
Please review the City's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of all proposed landscape materials at the time of planting, and at maturity. A list of acceptable trees is available upon request from City Planning Staff. If there are any questions, please contact the City Forester, Natalie Reeder, at 208.880.0953
- Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed.
- Method of irrigation.
Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance.
- Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fences, fountains street/pathway furniture (benches, etc.), etc.
- Sign locations
Note: A separate sign application must be submitted with this application
- Locations and uses for open spaces
- Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle
- Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles
- Location and designations of all sidewalks
- Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved design review application, a detailed site grading and drainage plan, prepared by a registered professional engineer (PE) shall be submitted to the City for review and approval by the City Engineer.

Staff Use

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-

N/A


Building Elevations

Applicant Use

- Detailed elevation plans of each side of any proposed building(s) or additions(s)
Note: Four (4) elevations to include all sides of development and must be in color
- Identify the elevations as to north, south, east, and west orientation
- Colored copies of all proposed building materials and indication where each material and color application is to be located

Staff Use

-
-
-

Note: Submit as 11"x17" reductions

- Screening/treatment of mechanical equipment
- Provide a cross-section of the building showing any roof top mechanical units and their roof placement
- Detailed elevation plans showing the materials to be used in construction of trash enclosures

-
-
-

Lighting Plan

Applicant Use

- Exterior lighting including detailed cut sheets and photometric plan (pedestrian, vehicle, security, decoration)
- Types and wattage of all light fixtures
Note: The City encourages use of "dark sky" lighting fixtures
- Placement of all light fixtures shown on elevations and landscaping plans

- Staff Use
 N/A
-
-

Roof Plans

Applicant Use

- Size and location of all roof top mechanical units

Staff Use

- N/A

Design Review Application

Applicant: Lytle Signs Phone: 800.621.6836
 Owner Representative Fax/Email: stacy@lytlesigns.com

Applicant's Address: PO Box 305
TWIN FALLS ID Zip: 83303

Owner: Kuna Super C (Sinclair) Phone: 800.621.6836

Owner's Address: 331 Ave. D Email: stacy@lytlesigns.com
Kuna, ID Zip: 83634

Represented By: *(if different from above)* _____ Phone: _____

Address: _____ Email: _____

Zip: _____

Address of Property: 331 Ave D

Kuna, ID Zip: 83634

Distance from Major Cross Street: 40 ft. Street Name(s): Main St.

Please check the box that reflects the intent of the application

- | | |
|--|---|
| <input type="checkbox"/> BUILDING DESIGN REVIEW | <input type="checkbox"/> DESIGN REVIEW MODIFICATION |
| <input type="checkbox"/> SUBDIVISION / COMMON AREA LANDSCAPE | <input type="checkbox"/> STAFF LEVEL APPLICATION |

This Design Review application is a request to construct, add or change the following: *(Briefly explain the nature of the request.)*

Super C Sinclair station would like a re-image. Sinclair is re-imaging all stations

1. Dimension of Property: 153' x 90'

2. Current Land Use(s): Commercial

3. What are the land uses of the adjoining properties?

North: empty lot
 South: Beauty Salon (commercial)
 East: empty commercial building
 West: Edward Jones (commercial)

4. Is the project intended to be phased, if so what is the phasing time period? NO

Please explain: _____

5. The number and use(s) of all structures: (1) gas / convenience store

6. Building heights: 9' Number of stories: 1

The height and width relationship of new structures shall be compatible and consistent with the architectural character of the area and proposed use.

Note: The maximum building height for each zoning district is as follows:

L-O: 35'	C-2: 60'	CBD: 80'	M-2: 60'	P: 60'
C-1: 35'	C-3: 60'	M-1: 60'	M-3: 60'	

7. What is the percentage of building space on the lot when compared to the total lot area? _____

8. Exterior building materials & colors: (Note: This section must be completed in compliance with the City of Kuna Ordinance No. 2007-21A (as amended); found online at www.cityofkuna.com) under the City Code.

MATERIAL **COLOR**

Roof: _____ / _____

Walls: (State percentage of wall coverage for each type of building material below for each frontage wall) If there is not adequate space to identify the various building materials and applications, please list them on the attached sheet of this application. Please attach photos to support application types.

% of Wood application: _____ / _____

% EIFS: _____ / _____
(Exterior Insulation Finish System)

% Masonry: _____ / _____

% Face Block: _____ / _____

% Stucco: _____ / _____

& other material(s): _____ / _____

List all other materials: _____

Windows/Doors: _____ / _____
(Type of window frames & styles / doors & styles, material)

Soffits and fascia material: _____ / _____

Trim, etc.: _____ / _____

Other: _____ / _____

9. Please identify Mechanical Units: _____

Type/Height: _____

Proposed Screening Method: _____

10. Please identify trash enclosure: (size, location, screening & construction materials) _____

11. Are there any irrigation ditches/canals on or adjacent to the property? no

If yes, what is the name of the irrigation or drainage provider? _____

12. Fencing: (Please provide information about new fencing material as well as any exiting fencing material)

Type: _____

Size: _____

Location: _____

(Please note that the City has height limitations of fencing material and requires a fence permit to be obtained prior to installation)

13. Proposed method of On-site Drainage Retention/Detention: _____

14. Percentage of Site Devoted to Building Coverage: _____

% of Site Devoted to Landscaping: _____ Square Footage: _____
(Including landscaped rights-of-way)

% of Site that is Hard Surface: _____ Square Footage: _____
(Paving, driveways, walkways, etc.)

% of Site Devoted to other uses: _____

Describe: _____

% of landscaping within the parking lot (landscaped islands, etc.): _____

15. For details, please provide dimensions of landscaped areas within public rights-of-way: _____

16. Are there any existing trees of 4" or greater in caliper on the property? *(Please provide the information on the site plans.)*

If yes, what type, size and the general location? *(The City's goal is to preserve existing tree with greater than a four inch (4") caliper whenever possible):*

no

17. Dock Loading Facilities:

Number of docking facilities and their location: _____

Method of screening: _____

18. Pedestrian Amenities: *(bike racks, receptacles, drinking fountains, benches, etc.)* _____

19. Setbacks of the proposed building from property lines:

Front 40 -feet Rear 51 -feet Side 15' -feet Side 20' -feet

20. Parking requirements: _____

Total Number of Parking Spaces: 17 Width and Length of Spaces: 18' x 10'

Total Number of Compact Spaces 8'x17': 7

21. Is any portion of the property subject to flooding conditions? Yes _____ No X

IF THE PLANNING DIRECTOR OR DESIGNEE, THE DESIGN REVIEW BOARD AND/OR THE CITY COUNCIL DETERMINE THAT ADDITIONAL AND/OR REVISED INFORMATION IS NEEDED, AND/OR IF OTHER UNFORESEEN CIRCUMSTANCES ARISE, ANY DATES OUTLINED FOR PROCESSING MAY BE RECHEDULED BY THE CITY. APPLICANT/REPRESENTATIVE MUST ATTEND THE DESIGN REVIEW BOARD MEETING/PLANNING AND ZONING MEETINGS.

The Ada County Highway District may also conduct public meetings regarding this application. If you have questions about the meeting date or the traffic that this development may generate or the impact of that traffic on streets in the area, please contact the Ada County Highway District at 208.387.6170. In order to expedite you request, please have ready the file number indicated in this notice.



City of Kuna AFFIDAVIT OF LEGAL INTEREST

City of Kuna
P.O. Box 13
Kuna, Idaho 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.cityofkuna.com

State of Idaho)
) ss.
County of Ada)

I, NATU PATEL, 331 AVE D
Name Address
KUNA, ID. 83634
City State Zip Code

being first duly sworn upon oath, depose and say:

(If Applicant is also Owner of Record, skip to B)

A. That I am the record owner of the property described on the attached, and I grant my
permission to Lytle Signs, Twin Falls, ID
Name Address

to submit the accompanying application pertaining to that property.

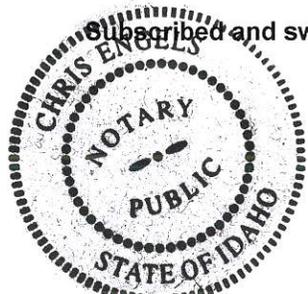
B. I agree to indemnify, defend and hold City of Kuna and its employees harmless from any
claim or liability resulting from any dispute as to the statements contained herein or as to
the ownership of the property which is the subject of the application.

C. I hereby grant permission to the City of Kuna staff to enter the subject property for the purpose
of site inspections related to processing said application(s).

Dated this 7th day of November, 20 14

Natu Patel
Signature

Subscribed and sworn to before me the day and year first above written.



Chris Engels
Notary Public for Idaho

Residing at: Ada County

My commission expires: 10/15/2016



ARTICLES OF ORGANIZATION LIMITED LIABILITY COMPANY

(Instructions on back of application)

05 FEB -4 PM 4:45

SECRETARY OF STATE
STATE OF IDAHO

1. The name of the limited liability company is:

Shiva, LLC

2. The street address of the initial registered office is:

331 Avenue D, Kuna, Idaho 83634

and the name of the initial registered agent at the above address is:

Natu A. Patel

3. The mailing address for future correspondence is:

P.O. Box 51, Kuna, Idaho 83634

4. Management of the limited liability company will be vested in:

Manager(s) or Member(s) (please check the appropriate box)

5. If management is to be vested in one or more manager(s), list the name(s) and address(es) of at least one initial manager. If management is to be vested in the member(s), list the name(s) and address(es) of at least one initial member.

Name	Address
<u>Natu A. Patel</u>	<u>784 W. Bury St., Kuna, ID 83634</u>
<u>Sharda N. Patel</u>	<u>784 W. Bury St., Kuna, ID 83634</u>
_____	_____
_____	_____
_____	_____

6. Signature of at least one person responsible for forming the limited liability company:

Signature: *Natu Patel*

Typed Name: Natu A. Patel

Capacity: Member

Signature: *Sharda Patel*

Typed Name: Sharda N. Patel

Capacity: Member

Secretary of State use only

g:\corp\forms\llc\forms\articlesoforganization.pdf
Revised 07/2002

Web Form

IDAHO SECRETARY OF STATE
02/07/2005 05:00
CK: 4394 CT: 88795 IN: 791370
1 @ 100.00 = 100.00 ORGAN LLC # 2

W36540



City of Kuna

P.O. Box 13
Kuna, ID 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
Kunacity.Id.gov

Design Review Staff Report

To: Planning and Zoning Commission; acting as P&Z and Design Review Committee

Case Numbers: 14-09-DR (Design Review)

Location: 1311 N. Meridian Road
Kuna, Idaho 83634

Planner: Troy Behunin, Senior Planner

Meeting Date: November 12, 2014

Applicant: **Lundin Cole Architects, John Cole**
1313 SE Belmont Street
Portland, OR, 97214
503.241.3186 ext. 101
Jcole@lundincole.com

Owner: **CJM, LLP, Mark Ridley**
621 Washington Street South
Twin Falls, ID 83301
208.324.4663

Table of Contents:

- A. Course Proceedings
- B. Applicant Request
- C. Vicinity Maps
- D. History
- E. General Project Facts
- F. Staff Analysis
- G. Applicable Standards
- H. Comprehensive Plan Analysis
- I. Proposed Decision by the Commission

A. Course of Proceedings:

1. According to Kuna City Code (KCC) Title 5, Chapter 4 (Design Review Overlay); all new commercial buildings landscaping, parking lot and signage are required to submit an application for review by the Design Review Committee (DRC). As a public meeting item, this action requires no formal public noticing actions.

a. Notifications

- i. Agenda

November 12, 2014

2. In accordance with KCC Title 5, Chapter 4, this application seeks DRC approval for two, approximately 6,000 square foot buildings.

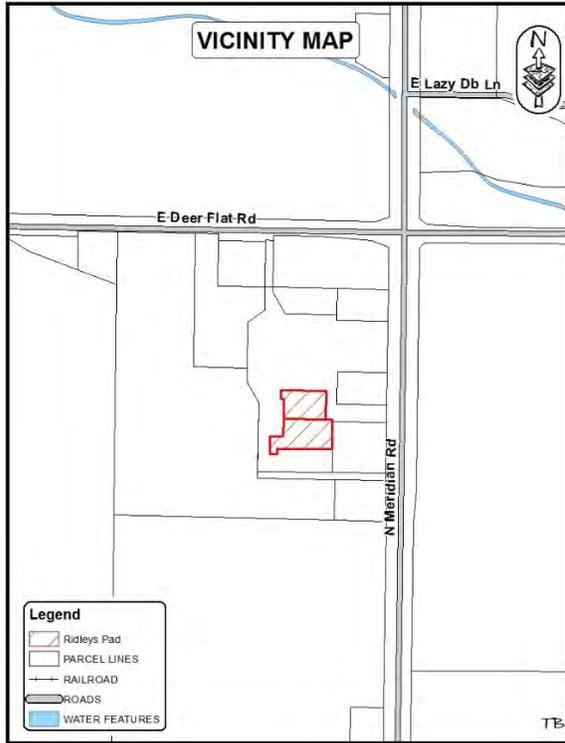
B. Applicant Request:

1. The applicant requests approval from the DRC for two (2) new commercial building shells. The accompanying parking lots, landscaping, drive-thru lanes and monument signage were previously approved and installed (12-03-SUP) in an existing C-1 zone. Each building will be approximately 6,000 square feet.

One shell will be placed on Lot 6 / Block 1, an approximately .59 acre lot, and the second shell will be placed on Lot 7 / Block 1, an approximately .80 acre lot. Both lots are in the Ridley's Family Center commercial subdivision.

2. The applicant has submitted all necessary documents and materials for review.

C. **Vicinity Maps:**



D. History:

The site is part of the proposed Profile Ridge subdivision and was zoned for commercial uses in 2006. The site was farmed until early 2013, when construction began on the Ridley’s Family Market Center. The two shells are proposed to be placed in the southwest corner of the Ridley’s Family Market development.

E. General Project Facts: Ridley’s Family Center No. 1 – Kuna, Idaho.

1. **Comprehensive Plan Designation:** The approved Future Land Use map (FLU), indicates the site is within a commercial designation. In accordance with KCC 5-3-2, staff views the request from Lundin Cole Architects to be consistent with the FLU map as the applicant has applied for a DRC.

2. **Surrounding Land Use:**

Direction	Current Zoning	
North	C-1	Neighborhood Commercial – Kuna City
South	R-6	Medium Density Residential – Kuna City
East	RUT	Rural Urban Transition – Ada County
West	RUT	Rural Urban Transition – Ada County

3. **Parcel Size, Current Zoning, Parcel Number:**

- R7448420060, Pad 1; L6 / B1 = .59 Acres,
- R7448420070, Pad 2; L7/B1 = .80 Acres.
- Both are zoned C-1 (Neighborhood Comm.)

4. **Services:**

- Fire Protection – Kuna Fire District
- Police Protection – Kuna City Police (Ada County Sheriff’s office)
- Sanitary Sewer– City of Kuna
- Potable Water – City of Kuna
- Irrigation District – KMID
- Pressurized Irrigation – City of Kuna (KMID)
- Sanitation Services – J&M Sanitation

5. **Existing Structures, Vegetation and Natural Features:** The lots are currently vacant. However, they are both near Ridley’s Market and Ace Hardware stores which are operating. A McDonald’s restaurant is also being built in the subdivision near Highway 69. There are no other buildings currently. The balance of the parcel is awaiting additional development applications which are anticipated to be forthcoming in the near future.

6. **Transportation / Connectivity:** Access to the site is from Highway 69/Meridian and Deer Flat Roads.

7. **Environmental Issues:**

Staff is not aware of any environmental issues, health or safety conflict. This site’s topography is generally flat and the bulk of the project is already developed.

F. Staff Analysis:

Staffs review of the application revealed there is adequate parking constructed and assigned for this application. Landscaping for the subdivision has been, or is currently being installed within the common lots.

Staff has visited with Chad Gordon (J&M Sanitation), about the trash enclosure west of Lot 6. It appears the lane for trash pick-up may be slightly obstructed by the landscape island to the west which may cause

some difficulty for the driver to safely and routinely retrieve the garbage without harming the enclosure. J&M would like to reiterate the requirement for applicant(s) to work with J&M Sanitation on location, size and enclosure standards. It was conditioned by the 12-03-SUP and 12-07-DRC applications in condition number 17.

It is also noted that Ridley's was originally approved for three (3) drive-thru's for the site as a whole. Ridley's uses one for their pharmacy and has also transferred one to McDonalds. This leaves one remaining drive-thru for the site. Ridley's has made it known to staff an application for an additional drive-thru will make its way to an application at a later date. One of these pads are free to use the last approved drive-thru. If both pads would like a drive-thru then an application for one of them will be required.

Staff views this proposed use to be consistent with the neighboring uses and the approved FLU map designation. Staff forwards a recommendation of approval for case No. 14-09-DRC to the Design Review Committee.

G. Applicable Standards:

1. City of Kuna Zoning Ordinance.
2. City of Kuna Design Review Ordinance.
3. City of Kuna Comprehensive Plan.
4. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act.

H. Comprehensive Plan Analysis:

The Planning and Zoning Commission may accept the Comprehensive Plan components as described below.

1. The proposed Design Review for the site is consistent with the following Comprehensive Plan components:

GOALS AND POLICY – Property Rights

Goal 1: *Ensure that the City of Kuna land use policies, restrictions, conditions and fees do not violate private property rights. Establish an orderly, consistent review process for the City of Kuna to evaluate whether proposed actions may result in private property "takings".*

Policy 1: As part of a land use action review, the staff shall evaluate with guidance from the City's attorney; The Idaho Attorney General's six criterion established to determine the potential for property taking.

GOALS AND POLICY – Economic Development

Goal 1: *Promote and support a diverse and sustainable economy that will allow more Kuna residents to work in their community.*

Policy 1.3: The City will develop a policy to provide incentives and/or assistance in order to competitively attract firms.

GOALS AND POLICY – Land Use

Goal 2: *Encourage a balance of land uses to ensure that Kuna remains a desirable, stable, and self-sufficient community.*

Objective 2.1: Assist in retaining or expanding sales opportunities in entertainment, sit-down restaurants, and neighborhood/convenience shopping categories. Encourage neighborhood and community-scale retail.

Objective 2.2: Plan for areas designed to accommodate a diverse range of businesses and commercial activity – within both the community-scale and neighborhood-scale centers – to strengthen the local economy and to provide more opportunities for social interaction.

Policy 2.3: Retail and residential land uses should be appropriately mixed and balanced with professional offices and service facilities to provide residents with a broader mix of services within walking distance from their homes.

GOALS AND POLICY – Transportation

Policy 1.1.2: Pedestrian and bicycle activities should be separate from automobiles road system – where possible.

Policy 3.2.1: Encourage developers to create mixed use developments that will reduce travel demand through trip capture.

Policy 3.2.2: Increase Kuna’s employment opportunities as a means of reducing commuter trips.

Policy 3.4.9: Assure that commercial ventures have a secondary means of roadway access.

Policy 3.4.10: Require shared driveway access where possible.

Policy 3.4.12: Promote ease of access to all portions of the City.

I. Proposed Decision by the Commission:

Note: This proposed motion is for approval or denial of this request. However, if the Design Review Committee wishes to approve or deny specific parts of the requests as detailed in the report, those changes must be specified.

Based on the facts outlined in staff’s report, the case file and discussion at the public meeting the Design Review Committee of Kuna, Idaho, hereby approves/denies Case No. 14-09-DRC, a Design Review request by Lundin Cole Architects, with the following conditions of approval:

Conditions of Approval:

1. In the event the uses, the building or any other DRC elements for this application are enlarged, expanded or altered in anyway, the applicant shall meet with the Director of Planning and Zoning for direction.
2. Signage for the site shall comply with current Kuna City Code, as well as, obtain a sign permit prior to construction.
3. Applicant shall continue working with J&M Sanitation for all trash enclosures and drive aisles in front of them.
4. The applicant shall follow all staff and appropriate agency recommendations.
5. The applicant shall comply with all federal, state and local laws.

DATED: This 12th day of November, 2014.



City of Kuna Design Review Application

RECEIVED

OCT 03 2014

CITY OF KUNA

P.O. Box 13
Kuna, Idaho 83634
(208) 922.5274
Fax: (208) 922.5989
Website: www.cityofkuna.com

FILE NO.: 14-09-DRC LOT 6 & 7 / Block 1 Ridleys Family Center No. 1

CROSS REF. _____

FILES: _____

The City of Kuna has adopted a Design Review process whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in the Design Review Ordinance No. 2007-02 and the Architecture and Site Design Booklet. Both of these documents can be found online (www.cityofkuna.com) or are picked up in the City's Planning and zoning department is located at 763 W Avalon, Kuna ID. Staff is glad to assist you with your application form.

The Design Review application applies to the following land use actions:

- ▶ Multi- family dwellings (3 or more)
- ▶ Commercial
- ▶ Industrial
- ▶ Institutional
- ▶ Office
- ▶ Common Area
- ▶ Subdivision Signage
- ▶ Proposed Conversions
- ▶ Proposed changes in land use and/or building use or exterior remodeling
- ▶ Exterior restoration, and enlargement or expansion of existing buildings, signs or sites.

Application Submittal Requirements

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	Date of pre- application meeting : <u>N/A per Troy 8/21/2014</u> <i>Note: Pre-Applications are valid for a period of three (3) months.</i>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	A complete Design Review Application form <i>Note: It is the applicant's responsibility to use a current application.</i>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with Design Review standards.	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	One (1) Vicinity Map (8 1/2" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets.	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	One 8 1/2" x 11" colored aerial photo depicting proposed site, street names, and surrounding area within five-hundred feet (500').	<input checked="" type="checkbox"/>
<input type="checkbox"/>	Copy of Deed; and, if the applicant is not the owner, an original notarized statement (affidavit of legal interest) from the owner (and all interested parties) stating the applicant is authorized to submit this application.	<input checked="" type="checkbox"/> <i>STILL NEEDED</i>

PENDING (SEE ATTACHED)

Detailed site, landscape, drainage plan, elevation and to scale. *(No smaller than 1"=30', unless otherwise approved.)* *NIA.*

One of each plan (site, landscape, drainage plan and elevations) is required to be submitted in the following plan sizes:

- (1) 24" X 36" TO SCALE COPIES
- (1) 11" X 17" REDUCTIONS
- (1) 8 1/2" X 11" REDUCTIONS

Provide a color rendering and material sample board specifically noting where each color and material is to be located on the structure.
Note: Provide photo of the colored rendering and material samples board to City Staff electronically in a JPG or PDF format.

The Applicant is obligated to provide a site plan that graphically portrays the site and includes the following features:

Site Plan

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	North Arrow	<input type="checkbox"/>
<input checked="" type="checkbox"/>	To scale drawings	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Property lines	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of "Plan Preparer" with contact information	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of project and date	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Existing structures, identify those which are to be relocated or removed	<input type="checkbox"/>
<input checked="" type="checkbox"/>	On-site and adjoining streets, alleys, private drives and rights-of-way	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Drainage location and method of on-site retention / detention	<input type="checkbox"/>
<input type="checkbox"/>	Location of public restrooms	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Existing / proposed utility service and any above-ground utility structures and their location	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and width of easements, canals and drainage ditches	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and dimension of off-street parking	<input type="checkbox"/>
<input type="checkbox"/>	Locations and sizes of any loading area, docks, ramps and vehicle storage or service areas	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Trash storage areas and exterior mechanical equipment, with proposed method of screening	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Sign locations <i>(a separate sign application must be submitted with this application)</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	On-site transportation circulation plan for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Locations and uses of ALL open spaces	<input type="checkbox"/>
<input type="checkbox"/>	Locations, types and sizes of sound and visual buffers <i>(Note: all buffers must be located outside the public right-of-way)</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	<input type="checkbox"/>
<input type="checkbox"/>	Locations of subdivision lines <i>(if applicable)</i>	<input type="checkbox"/>
<input type="checkbox"/>	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input type="checkbox"/>	Location of walls and fences and indication of their height and material of construction	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Roofline and foundation plan of building, location on the site	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and designations of all sidewalks	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and designation of all rights-of-way and property lines	<input type="checkbox"/>

Landscape and Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscaped and streetscape plans must be colored. The Planning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	North Arrow	<input type="checkbox"/>
<input checked="" type="checkbox"/>	To scale drawings	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Boundaries, property lines and dimensions	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of "Plan Preparer" with contact information	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of project and date	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Type and location of all plant materials and other ground covers. <i>Please review the City's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of all proposed landscape materials at the time of planting, and at maturity. A list of acceptable trees is available upon request from City Planning Staff. If there are any questions, please contact the City Forester, Natalie Reeder, at 208.880.0953</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Method of irrigation. <i>Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fences, fountains street/pathway furniture (benches, etc.), etc. Sign locations <i>Note: A separate sign application must be submitted with this application</i>	<input type="checkbox"/>
<input type="checkbox"/>	Locations and uses for open spaces	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	<input type="checkbox"/>
<input type="checkbox"/>	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and designations of all sidewalks	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved design review application, a detailed site grading and drainage plan, prepared by a registered professional engineer (PE) shall be submitted to the City for review and approval by the City Engineer.	<input type="checkbox"/>

Building Elevations

Applicant
Use



Detailed elevation plans of each side of any proposed building(s) or additions(s)
Note: Four (4) elevations to include all sides of development and must be in color

Staff
Use



Identify the elevations as to north, south, east, and west orientation



Colored copies of all proposed building materials and indication where each material and color application is to be located
Note: Submit as 11"x17" reductions



Screening/treatment of mechanical equipment



Provide a cross-section of the building showing any roof top mechanical units and their roof placement



Detailed elevation plans showing the materials to be used in construction of trash enclosures



Lighting Plan

Applicant
Use



Exterior lighting including detained cut sheets and photometric plan (pedestrian, vehicle, security, decoration)

Staff
Use



Types and wattage of all light fixtures
Note: The City encourages use of "dark sky" lighting fixtures



Placement of all light fixtures shown on elevations and landscaping plans



Roof Plans

Applicant
Use



Size and location of all roof top mechanical units

Staff
Use



Design Review Application

Applicant: Lundin Cole Architects / John Cole Phone: 503.241.3186 ext 101

Owner

Representative

Fax/Email: jcole@lundincole.com

Applicant's Address: 1313 SE Belmont Street

Portland, OR Zip: 97214

Owner: CJM Limited Liability Limited Partnership / Jerry Ridley Phone: 208.324.4663

Owner's Address: 621 Washington Street South Email: mark@shopridleys.com

Twin Falls, ID Zip: 83301

Represented By: *(if different from above)* Ridley's Family Markets / Mark Ridley Phone: 208.324.4663

Address: 621 Washington Street South Email: mark@shopridleys.com

Twin Falls, ID Zip: 83301

Address of Property: Pads 1 & 2 Profile Ridge Retail Center

SW Corner of Meridian Road and Deer Flat Road Zip: 83634

Distance from Major Cross Street: 425' west of Meridian Rd / 750' south of Deer Flat Rd Street Name(s): Meridian & Deer Flat Roads

Please check the box that reflects the intent of the application

BUILDING DESIGN REVIEW
 SUBDIVISION / COMMON AREA LANDSCAPE

DESIGN REVIEW MODIFICATION
 STAFF LEVEL APPLICATION

This Design Review application is a request to construct, add or change the following: *(Briefly explain the nature of the request.)*

Construct (2) multi-tenant 6000 SF retail buildings on previously approved pads and complete site work from building face to face of existing curbs - approximately 10 feet beyond building limits.

1. Dimension of Property: Pad 1 = 25,855 SF / Pad 2 = 34,917 SF
2. Current Land Use(s): Vacant Retail Pads in an Existing Retail Center - site work complete to within 10 feet of proposed buildings
3. What are the land uses of the adjoining properties?

North: Retail Grocery

South: Undeveloped Agricultural Land

East: Meridian Road

West: Undeveloped Agricultural Land

4. Is the project intended to be phased, if so what is the phasing time period? Pad 1 to be constructed first
Please explain: Spring 2015 with Pad 2 to follow within 1 year.

5. The number and use(s) of all structures: Each building may accommodate up to three (3) separate tenants each.
Uses will be commercial in nature including service commercial and mercantile.

6. Building heights: 26'-0" maximum (parapets step) Number of stories: One (1)
The height and width relationship of new structures shall be compatible and consistent with the architectural character of the area and proposed use.

Note: The maximum building height for each zoning district is as follows:

L-O: 35'	C-2: 60'	CBD: 80'	M-2: 60'	P: 60'
C-1: 35'	C-3: 60'	M-1: 60'	M-3: 60'	

7. What is the percentage of building space on the lot when compared to the total lot area? 19% (total 2 lots)
8. Exterior building materials & colors: *(Note: This section must be completed in compliance with the City of Kuna Ordinance No. 2007-21A (as amended); found online at www.cityofkuna.com under the City Code.*

MATERIAL

COLOR

Roof: Low slope single ply membrane (TPO) / White

Walls: (State percentage of wall coverage for each type of building material below for each frontage wall) If there is not adequate space to identify the various building materials and applications, please list them on the attached sheet of this application. Please attach photos to support application types.

% of Wood application:	<u>N/A</u>	/	<u></u>
% EIFS: <i>(Exterior Insulation Finish System)</i>	<u>N/A</u>	/	<u></u>
% Masonry:	<u>8% Cultured Stone Veneer Masonry</u>	/	<u>Southwest Blend (White/Gray/Buff)</u>
% Face Block:	<u>74% Integral Colored CMU Masonry</u>	/	<u>Harvest Gold / Chestnut / Chocolate</u>
% Stucco:	<u>N/A</u>	/	<u></u>
& other material(s):	<u>Standing Seam Sheet Metal Awnings</u>	/	<u>Colonial Red</u>
List all other materials:	<u></u>	/	<u></u>
Windows/Doors: <i>(Type of window frames & styles / doors & styles, material)</i>	<u>16% Aluminum Storefront / 1% Hollow Metal Doors</u>	/	<u>Dark Bronze</u>
Soffits and fascia material:	<u>N/A</u>	/	<u></u>
Trim, etc.:	<u>1% Sheet Metal Copings</u>	/	<u>Dark Bronze</u>

Other: _____ / _____

9. Please identify Mechanical Units: (3) 6 ton packaged roof top air conditioning units (Carrier)
Type/Height: Gas fired packaged unit - 42" high on 14" tall curb
Proposed Screening Method: Fully screen by parapet walls

10. Please identify trash enclosure: *(size, location, screening & construction materials)* Trash enclosures are to be constructed
of Concrete Block Masonry to match building - size and location per previous approval

11. Are there any irrigation ditches/canals on or adjacent to the property? Yes
If yes, what is the name of the irrigation or drainage provider? _____

12. Fencing: *(Please provide information about new fencing material as well as any exiting fencing material)*
No fencing is proposed with this application.N/A
Type: N/A
Size: N/A
Location: N/A

(Please note that the City has height limitations of fencing material and requires a fence permit to be obtained prior to installation)

13. Proposed method of On-site Drainage Retention/Detention:
Route to previously designed and installed seepage beds.

14. Percentage of Site Devoted to Building Coverage: Approximately 19%
% of Site Devoted to Landscaping: *(Including landscaped rights-of-way)* Existing Square Footage: Existing
% of Site that is Hard Surface: *(Paving, driveways, walkways, etc.)* Existing Square Footage: Existing
% of Site Devoted to other uses: N/A
Describe: _____
% of landscaping within the parking lot (landscaped islands, etc.): Existing

15. For details, please provide dimensions of landscaped areas within public rights-of-way:

16. Are there any existing trees of 4" or greater in caliper on the property? *(Please provide the information on the site plans.)*
If yes, what type, size and the general location? *(The City's goal is to preserve existing tree with greater than a four inch (4") caliper whenever possible):*
No

17. Dock Loading Facilities:
Number of docking facilities and their location: No loading facilities proposed with this application.
Method of screening: N/A

18. Pedestrian Amenities: *(bike racks, receptacles, drinking fountains, benches, etc.)* Each building to include ribbon style bicycle rack with parking for 3 bicycles and (1) bench.

19. Setbacks of the proposed building from property lines:

Front 125 -feet Rear 8 -feet Side 12 -feet Side 20 -feet

20. Parking requirements: 1 stall / 250 SF (previously designed / approved and installed)

Total Number of Parking Spaces: 32 Pad 1 / 37 Pad 2 Width and Length of Spaces: 10' x 20' (existing)

Total Number of Compact Spaces 8'x17': None

21. Is any portion of the property subject to flooding conditions? Yes _____ No X

IF THE PLANNING DIRECTOR OR DESIGNEE, THE DESIGN REVIEW BOARD AND/OR THE CITY COUNCIL DETERMINE THAT ADDITIONAL AND/OR REVISED INFORMATION IS NEEDED, AND/OR IF OTHER UNFORESEEN CIRCUMSTANCES ARISE, ANY DATES OUTLINED FOR PROCESSING MAY BE RECHEDULED BY THE CITY. APPLICANT/REPRESENTATIVE MUST ATTEND THE DESIGN REVIEW BOARD MEETING/PLANNING AND ZONING MEETINGS.

The Ada County Highway District may also conduct public meetings regarding this application. If you have questions about the meeting date or the traffic that this development may generate or the impact of that traffic on streets in the area, please contact the Ada County Highway District at 208.387.6170. In order to expedite your request, please have ready the file number indicated in this notice.

Signature of Applicant  Date 9/30/2014

City staff comments:

Signature of receipt by City Staff _____ Date _____

FOR ADDITIONAL INFORMATION:
(Please list page number and item in reference)

VICINITY MAP



E Lazy Db Ln

E Deer Flat Rd

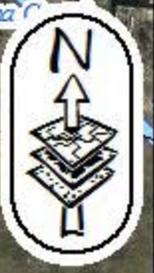
N Meridian Rd

Legend

-  Ridleys Pad
-  PARCEL LINES
-  RAILROAD
-  ROADS
-  WATER FEATURES

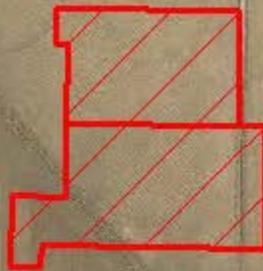
VICINITY MAP

Kuna



E Deer Flat Rd

N Meridian Rd



Legend

-  Ridleys Pad
-  PARCEL LINES
-  RAILROAD
-  ROADS
-  WATER FEATURES

TB

The Site

N Mendota Rd

69

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OCT 03 2014

CITY OF KUNA

Kuna Retail Pads 1 & 2

(2) 6000 SF Retail Buildings

Design Review Submittal

SWC Meridian Road & Deer Flat Road
Kuna, Idaho 83702

Written Statement

September 28, 2014

Submitted to City of Kuna, Idaho



Lundin Cole Architects, PC

Project #130220

General:

This written statement is intended to address the approval of (2) new 6000 square foot retail buildings on the existing vacant pads identified as Pads 1 and 2 at the Profile Ridge Retail Center in Kuna, Idaho.

The subject property is located directly south of the Ridley's Family Markets grocery store constructed during 2013 at the SW corner of Meridian Road and Deer Flat Road. The project limits are shown on the attached site plan.

Our proposal intends to construct 2 shell retail buildings for future tenant leasing. Our project will include the buildings and site work to the previously constructed concrete curb and gutter and complete the previously designed (CSHQA) and approved site sidewalk paving and landscape installation; currently 90% installed. No changes to those design documents are proposed under this application.

The property lies within the C-1 Neighborhood Commercial Zone and requires Design Review. Prior Design Review approval was granted for a 54,000 SF combination grocery and hardware store, 5 future retail pads and included the complete parking lot, storm drainage, utilities and landscaping for the entire 12.35 acre development under Case No.12-04-DR.

Additionally, under the separate SUP process we plan to seek to amend the previously approved Special Use Permit, Case No. 12-03-SUP to include one (1) additional drive-thru. The original application made by Ridley's and approved by the City of Kuna included three (3) drive-thrus, one for the existing grocery store and one each for Retail Pads 1 and 2. Earlier this year one of the granted drive-thrus from Retail Pads 1 and 2 was utilized by McDonalds on adjacent Retail Pad 3; development currently in process.

Relevant Criteria and Standards:

The City of Kuna, Idaho Municipal Code, Title 5
The City of Kuna, Idaho Architecture & Site Design Book

The Narrative that follows will cite pertinent sections of the ordinance followed by our response in italics:

Chapter 4 Design Review Overlay District (DR)

5-4-1 Purpose and Goals:

The purpose of the DR district is to encourage development in harmony with the desired character of the city to benefit of the community.

Our development facilitates the opportunity of providing diverse goods and services to and for the community on a previously approved and partially developed site.

The general goal of the DR district includes describing desirable building and landscape architectural styles and materials making sustainable and pleasing environments.

Our development proposes to execute the previously approved site landscape design and draws its material pallet from the previously constructed grocery store to be an appropriate addition to the center.

5-4-5 Design Review Overlay Districts:

C2a) Neighborhood Commercial District (C-1)

The purpose of the C-1 district is to accommodate a wide variety of low impact commercial activities to meet the daily needs of nearby neighborhood residents. This district is an appropriate designation for a neighborhood center and mixed use to be established.

Our development is one of the future developments envisioned under the original Design Review Case No. 12-04-DR. The proposed buildings will provide the opportunity for several diverse commercial tenants to contribute goods and services catering to the underlying community.

5-4-6 Design Requirements, Objectives and Considerations:

A1) Site Design Objectives

Our development proposes to complete the previously approved site design including minor landscaping and concrete sidewalks adjacent to Pads 1 and 2 with no changes. Utilities, parking lot paving, traffic markings, parking lot lighting, pedestrian circulation routes and landscape with irrigation have been previously constructed over the entire 12.35 acre site.

A2) Site Landscaping:

Our development proposes to install landscaping per the previously approved design with no changes. We will include the installation of landscaping in one island adjacent to Pad 1 currently incomplete. CSHQA approved drawings call for (1) 2" caliper Washington Hawthorne, (4) 5 gallon Anthony Water Spirea, and (2) 5 gallon Blue Chip Juniper.

A3) Site Grading and Drainage:

Our development proposes to construct 2 retail buildings on previously prepared pads. Grading of the site has been completed. Parking lot drainage is in place. Storm water from building roofs will be collected and piped to previously installed stubs for conveyance to existing seepage beds.

A4) Utilities:

All utilities are in place underground and have been stubbed to the building pads during the previous construction. Our buildings are designed to completely screen the proposed roof top mechanical units with the masonry parapets themselves.

A5) Building Design:

Our design proposes a massing that is broken up with projections and recesses along the facades. Heights of parapets vary along the elevations and correspond with wall plane movement. The height to width ratio of the structures is proportionate to the single story nature of the buildings. Covered entrance openings and storefront windows are provided. Exterior materials expand on the pallet set by the previously constructed grocery and are durable and long lasting.

B1) Exterior Walls and Soffits:

The primary exterior wall material proposed is integral colored concrete masonry of differing textures in earthen tones similar to the previously constructed grocery. Additionally, the buildings will have two different synthetic stone surfaces as part of the composition. Open framed metal awnings are being utilized, therefore no soffits are proposed.

B2) Roofs:

The roofs of the structures are proposed to be constructed of white (reflective) low slope single ply membranes behind substantial masonry parapets.

B3) Fences:

There are no fences proposed under this application. Trash enclosures previously approved for size and location will be constructed of integral colored masonry matching the retail buildings, Basalite color "Harvest Gold."

B4) Decks and Patios:

No decks or patios are proposed under this application.

B5) Colors:

Colors of the masonry products are of earthen tones and complimentary to the previously constructed grocery. Rooftop mechanical equipment is fully screened by adequate masonry parapets. Standing seam metal awnings will be pre-painted with a durable high performance coating with resistance to fading and will match the color of the grocery awnings.

B6) Architectural Appurtenance Height Limitations:

No architectural appurtenances are proposed under this application.

C1) Architectural Character:

The proposed building elevations have stepped parapets of twenty one foot, eight inches, 23 foot, 8 inches and 26 feet, zero inches tall. The tallest portion of the proposed buildings is well under the maximum height of 35 feet allowed under KCC 5-3-3.

The proposed buildings are single story structures offering retail shop spaces. Canopies/awnings provide weather protection at customer entrances and act as shading devices for large storefront display windows. Benches are included as a pedestrian amenity. Facades include color, texture and material changes as well as changes in plane.

C2) Setbacks:

The master site plan was previously approved under Case 12-04-DR. No change in setback is proposed by this project.

C3) Landscaping and Streetscape:

The master site plan was previously approved under Case 12-04-DR. No change in landscaping is proposed by this project.

C4) Windows:

Anodized aluminum storefront windows are included on 3 sides of the proposed structures and span from floor level to 11'-4" above the finished floor.

C5) Sidewalks:

The master site plan previously approved under Case 12-04-DR included pedestrian circulation and sidewalks between the public streets and the various building pads. This project will execute the previously approved on-site sidewalks that have not been constructed directly adjacent to the buildings on Pads 1 and 2.

D) Central Business District (CBD)

Not applicable. The proposed development is not located within the CBD.

E) Office District (O)

Not applicable. The proposed development is not located within the Office District.

F) Commercial District (C-1)

F1) Purpose:

Our development is one of the future developments envisioned under the original Design Review Case No. 12-04-DR. The proposed buildings will provide the opportunity for several diverse commercial tenants to contribute goods and services catering to the underlying community.

F2) Parking:

The Parking lot, storm drainage, site lighting and parking lot landscaping has been constructed previously.

F3) Lighting:

The Parking lot lighting is in place. Our project will provide low wattage accent lighting on the building walls near shop entrances.

G) Manufacturing / Industrial (M-1):

Not applicable. The proposed development is not located within the M-1 District.

H) Public District (P):

Not applicable. The proposed development is not located within the P District.

I) Arterial Roadway (A):

Parking areas, landscaping, and lighting have been constructed under the prior approved plans. No alteration of approved in place construction is proposed under this application.

J) Planning Considerations:

Driveway Entrances are in place for this development. No alteration of approved in place construction is proposed under this application.

5-4-7 Large Retail Establishment Design Manual:

The Profile Ridge Retail Center includes the previously constructed Ridley's grocery store and connected Ace Hardware. The structure is approximately 54,000 square feet and must meet the standards of this section.

Our project includes two separate multi-tenant shops buildings of 6000 square feet each, far smaller than the 24,999 square foot threshold for "large retail establishments." It is our intention however to use good design principles that meet or exceed this chapter.

A) Facades and Exterior Walls:

Our project includes articulated masses with repetitive changes in material, texture and color. Although not exceeding 100 lineal feet in any facade, we have provided wall plane recesses and architectural elements such as large display windows and awnings.

B) Multiple Smaller Stores within a Principal Building:

Our project provides for the flexibility of several different retail uses within each of the two buildings. Large expansive windows from floor line to 11'-4" above the finished floor occur for 60 percent of the primary (street) facades.

C) Detail Features:

Our proposed design includes material, texture and color changes articulating mass and includes recesses and projections of material planes.

D) Roofs:

Our proposed design uses parapets to screen roof top mechanical equipment. The parapets average height is 15 percent of the supporting wall below and has an articulated cornice line. The roof itself is a reflective low slope single ply membrane.

E) Materials and Colors:

The materials used in our design are of high quality and extremely durable requiring low maintenance.

The primary exterior cladding is integral colored concrete masonry of differing textures and earthen tones. Additionally, significant amounts of synthetic stone are used to accent the main façade and base band of the buildings. Pre-painted standing seam metal panels are used for open framed awnings protecting customer entries and shading storefront window openings.

F) Entryways:

Our design has clearly recognizable customer entrances with recessed planes, weather protecting awnings, raised parapets with cornice treatments, large storefront display windows and benches as a pedestrian amenity.

F) Sign Standards:

Our design provides a sign band for (3) individual wall mounted tenant signs of 60 square feet maximum each, under the 100 square foot maximum allowed in commercial zones.

5-4-7-3 Site Design & Relationship to Surrounding Community:

The existing 12.35 acre site design has been approved under Case No. 12-04-DR. No changes to the approved site improvements are proposed as part of this application.

Kuna Retail at Profile Ridge
Design Review Submittal
Written Statement
September 28, 2014
Page 8

Conclusion:

Our project proposes to execute the minor remaining site landscape and paving originally approved for retail Pads 1 and 2 as designed by CSHQA Architects last year.

The building design addresses the requirements of the City of Kuna, Idaho Municipal Code, Title 5 and the City of Kuna, Idaho Architecture & Site Design Book guidelines as described in the text above.

The proposed buildings draw materials from the previously constructed Ridley's grocery yet have several enhancements. This gives the center a sense of cohesiveness, but also allows the buildings their own identity.

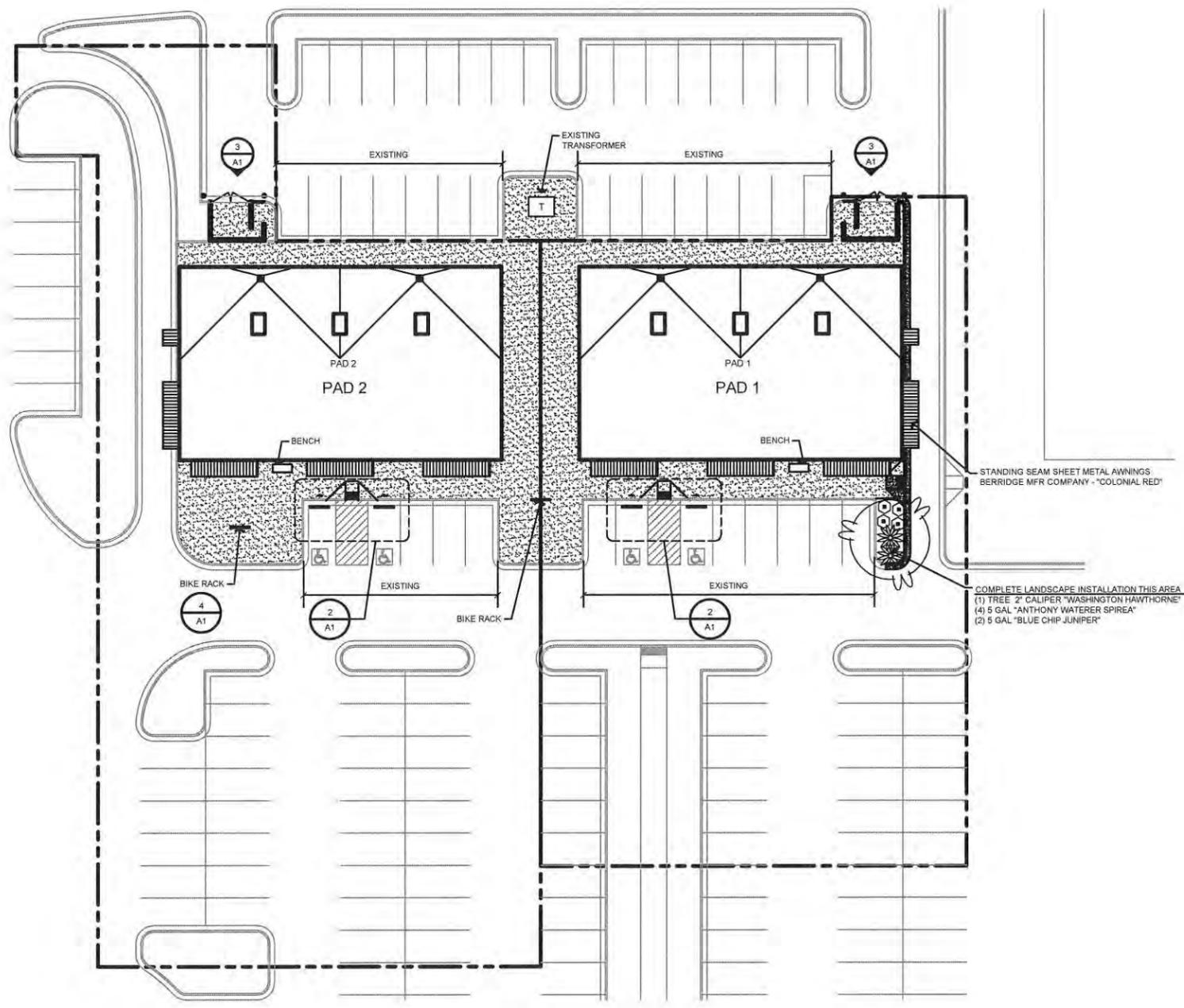
We respectfully request Design Review approval of our project.

End of Written Statement

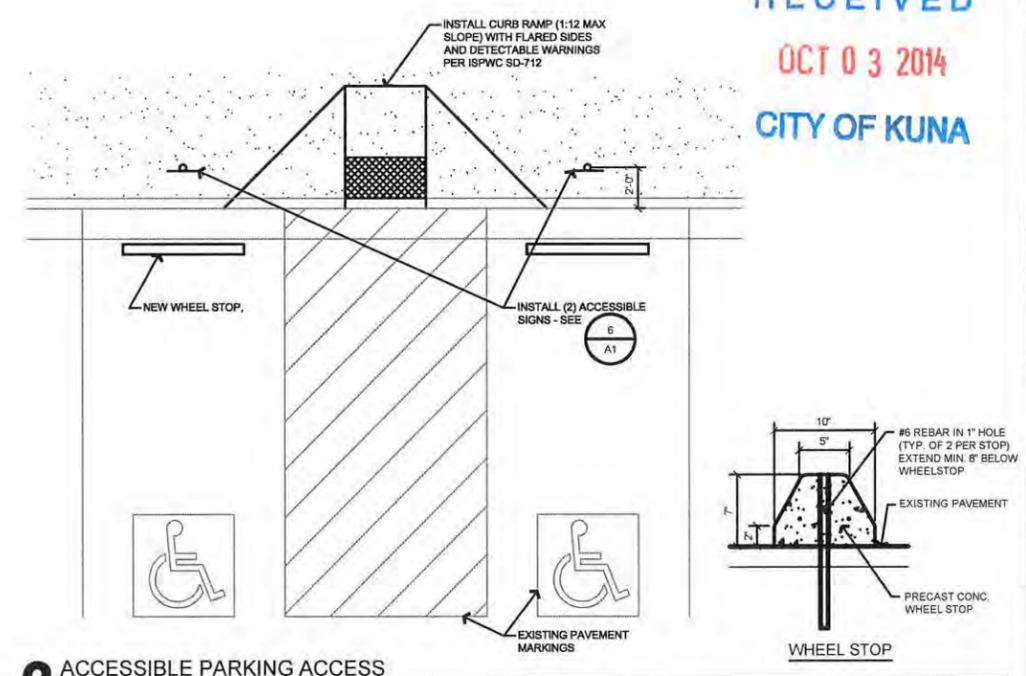
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LUNDIN COLE ARCHITECTS, PC
 1313 SE Belmont St
 Portland, OR 97214
 P: (503) 241-9714
 F: (503) 241-9189
 www.lundincole.com

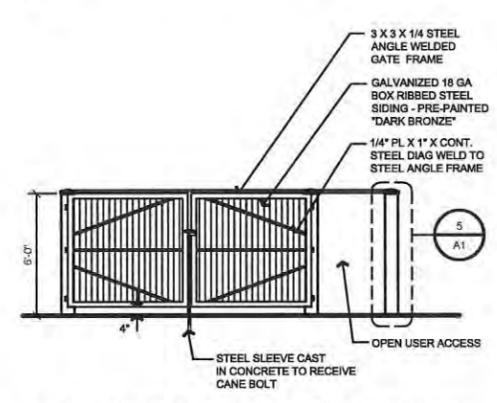
NOTES:
 LANDSCAPE AND IRRIGATION PER APPROVED DRAWINGS UNDER CASE NO. 12-04-DR HAS BEEN INSTALLED UNDER PREVIOUS CONSTRUCTION PERMIT WITH THE EXCEPTION OF ONE (1) ISLAND.
 ALL PARKING LOT CURBS, GUTTERS, PAVING STRIPING AND LANDSCAPE ISLANDS HAVE BEEN INSTALLED.
 CONCRETE SIDEWALKS PER APPROVED DRAWINGS UNDER CASE NO. 12-04-DR WILL BE COMPLETED WITH THIS PROJECT.



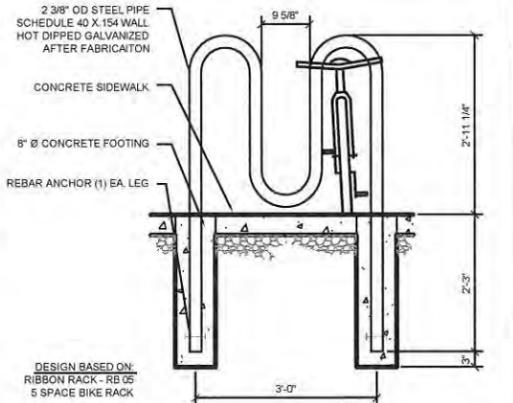
1 PARTIAL SITE PLAN
 1" = 20'-0"



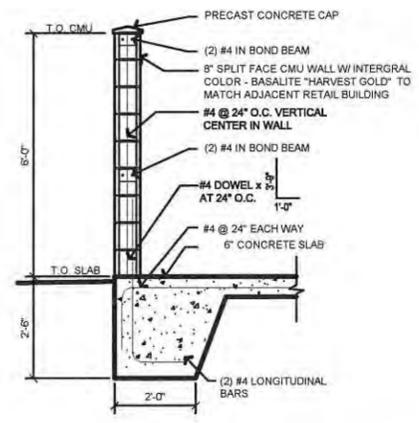
2 ACCESSIBLE PARKING ACCESS
 1/4" = 1'-0"



3 TRASH ENCLOSURE FRONT ELEVATION
 1/4" = 1'-0"

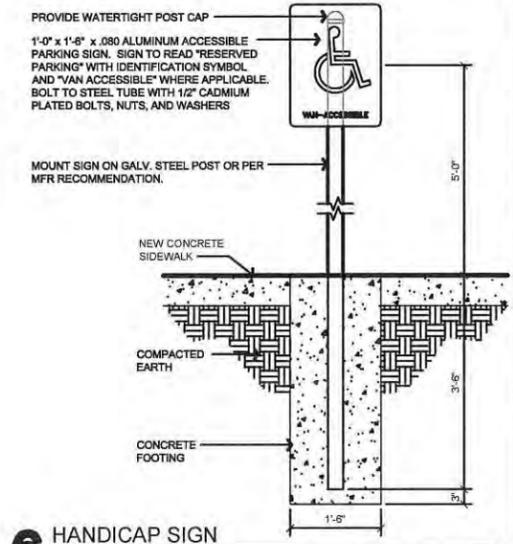


4 BIKE RACK
 3/4" = 1'-0"



5 TRASH ENCLOSURE SECTION
 1/2" = 1'-0"

NOTE: GROUT ALL CELLS SOLID



6 HANDICAP SIGN
 3/4" = 1'-0"

RETAIL PADS 1 & 2
 SW CORNER MERIDIAN RD
 AND DEER FLAT RD
 PROFILE RIDGE / KUNA, ID

BUILDING SHELL
 DESIGN
 REVIEW
 SUBMITTAL

Date: SEPTEMBER 29, 2014

NO.	DATE	ISSUE

SITE PLAN
 SITE DETAILS

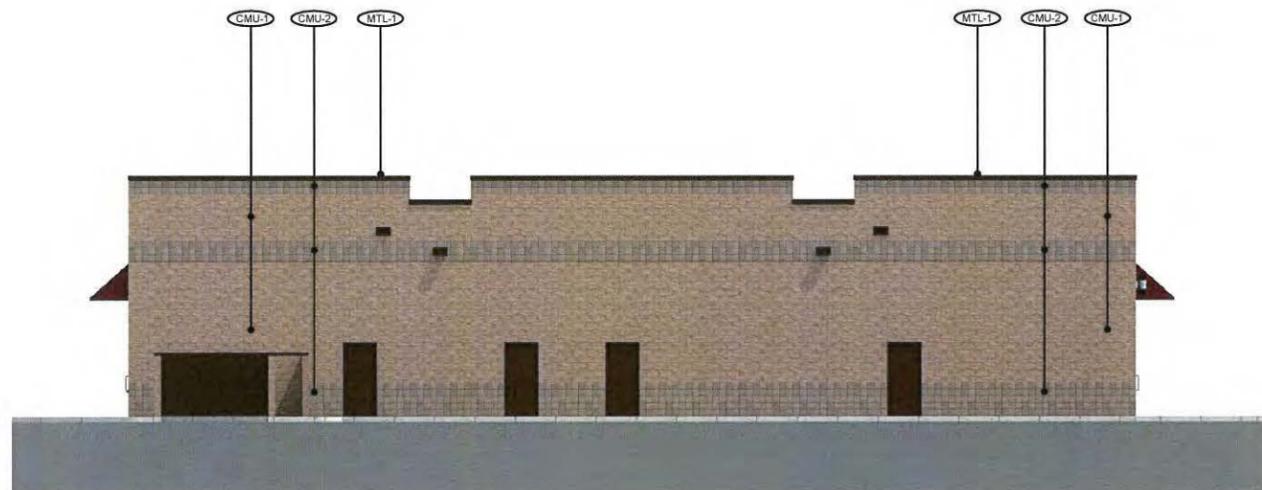
A1



1 EAST ELEVATION PAD 1 (PAD 2 SIMILAR)
 1/8" = 1'-0"



2 NORTH ELEVATION PAD 1 (PAD 2 SIMILAR)
 1/8" = 1'-0"



3 WEST ELEVATION PAD 1 (PAD 2 SIMILAR)
 1/8" = 1'-0"



4 SOUTH ELEVATION PAD 1 (PAD 2 SIMILAR)
 1/8" = 1'-0"

NOTES:
 ALL THRU-WALL SCUPPERS TO MATCH COPINGS - COLOR: "DARK BRONZE"
 ALL HOLLOW METAL SERVICE DOORS AND FRAMES ON REAR WALL OF BUILDINGS
 TO BE PAINTED "DARK BRONZE"
 PRE-PAINTED STEEL SIDING ON TRASH ENCLOSURE GATES TO BE "DARK BRONZE"

5 MATERIALS LEGEND

- | | | |
|---|--|--|
| <p>MTL-1 SHEET METAL COPINGS
24 GA. PREPAINTED SHEET METAL
COLOR: "DARK BRONZE"</p> <p>MTL-2 SHEET METAL AWNINGS - BERRIDGE MFR COMPANY
24 GA. PREPAINTED SHEET METAL ROOFING PANELS
COLOR: "COLONIAL RED"</p> <p>MTL-3 ANODIZED ALUMINUM STOREFRONT
KAWNEER TRIFAB 451T
COLOR: "DARK BRONZE"</p> | <p>CSV-1 CULTURED STONE VENEER
BORAL PROFIT LEDGESTONE
COLOR "SOUTHWEST"</p> <p>CSV-2 CULTURED STONE VENEER
BORAL CASTFIT - SMOOTH
COLOR "PARCHMENT"</p> | <p>CMU-1 CMU: 8 x 8 x 16
SPLIT FACE
BASALITE COLOR "HARVEST GOLD"</p> <p>CMU-2 CMU: 8 x 8 x 16
STANDARD SMOOTH / CENTER SCORE
BASALITE COLOR "CHESTNUT"</p> <p>CMU-3 CMU: 6 x 8 x 16
SPLIT FACE
BASALITE COLOR "CHOCOLATE"</p> |
|---|--|--|

RETAIL PADS 1 & 2
 SW CORNER MERIDIAN RD
 AND DEER FLAT RD
 PROFILE RIDGE / KUNA, ID

BUILDING SHELL
 DESIGN
 REVIEW
 SUBMITTAL

Date: SEPTEMBER 29, 2014

NO.	DATE	ISSUE
Δ		
Δ		
Δ		
Δ		

EXTERIOR
 ELEVATIONS
 PAD 1

RETAIL PADS 1 & 2
 SW CORNER MERIDIAN RD
 AND DEER FLAT RD
 PROFILE RIDGE / KUNA, ID

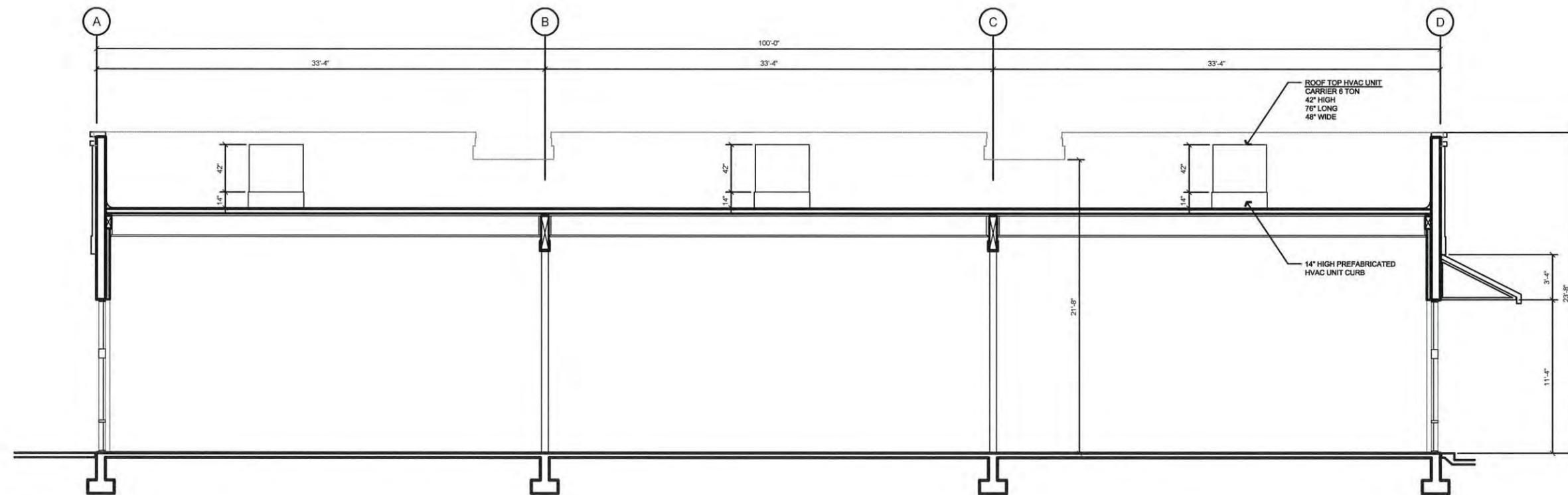
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BUILDING SHELL
 DESIGN
 REVIEW
 SUBMITTAL

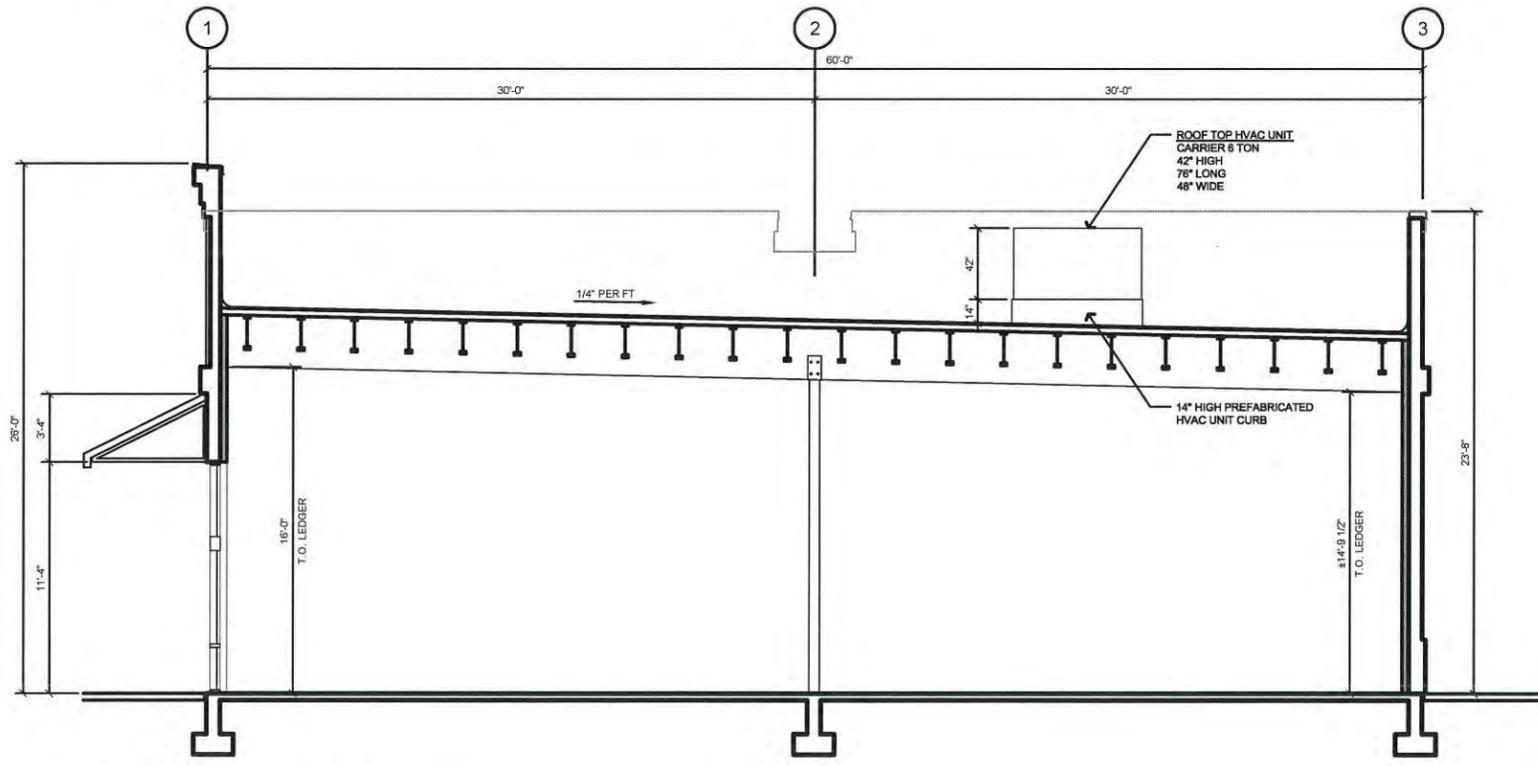
Date: SEPTEMBER 29, 2014

REVISIONS		
NO.	DATE	ISSUE
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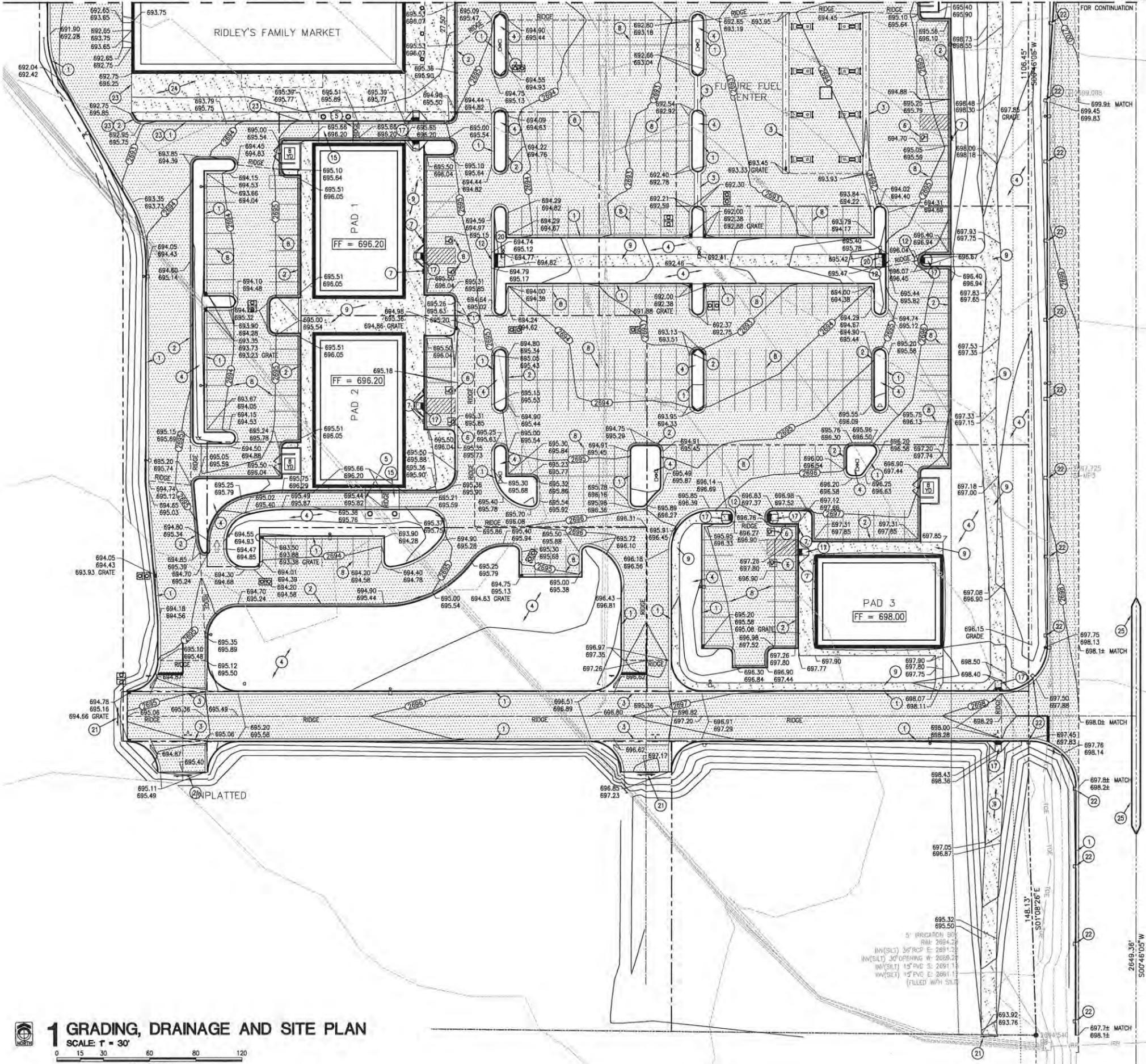
SECTIONS



1 BUILDING SECTION
 1/4" = 1'-0"



2 BUILDING SECTION
 1/4" = 1'-0"



GRADING AND DRAINAGE NOTES:

A. SEE SHEET C4.0A.

PAVEMENT LEGEND:

SEE SHEET C4.0A.

① SHEET NOTES:

1. 6" VERTICAL CURB AND GUTTER PER ISWPC SD-701.
2. CURB AND OUTFLOW GUTTER, TRANSITION OVER 2 FEET. LIP OF GUTTER 1/2" LOWER THAN FLOWLINE.
3. 4" VALLEY GUTTER PER ISWPC SD-708.
4. LANDSCAPE AREA, RE: LANDSCAPE DRAWINGS.
5. THICKENED EDGE PAVEMENT, RE: C7.0-4.
6. PAINTED ACCESSIBILITY SYMBOL, RE: C7.0-1.
7. POLE MOUNTED ACCESSIBILITY SIGN, RE: C7.0-2&3.
8. 4" WIDE STRIPING W/ TWO COATS TRAFFIC RATED WHITE PAINT PER MUTCD STANDARDS, TYPICAL. WHERE HATCHING IS SHOWN SPACING SHALL BE 2' O.C.
9. CONCRETE SIDEWALK PER ISWPC SD-709.
10. NOT USED IN PLAN.
11. NOT USED IN PLAN.
12. 5'x5' LANDING, 2% MAX SLOPE IN ALL DIRECTIONS.
13. NOT USED IN PLAN.
14. NOT USED IN PLAN.
15. 7" CONCRETE PAVEMENT ON 8" CRUSHED A8 ON PROPERLY PREPARED SUBGRADE. SEE GEOTECHNICAL REPORT FOR MATERIAL SPECIFICATIONS AND JOINTING AND REINFORCEMENT.
16. NOT USED IN PLAN.
17. PEDESTRIAN RAMP PER ISWPC SD-712A WITH TRUNCATED DOMES PER ISWPC SD-712.
18. NOT USED IN PLAN.
19. NOT USED IN PLAN.
20. PEDESTRIAN RAMP TYPE 2, RE: C7.0-10.
21. TERMINUS BARRICADE PER ISWPC SD-1132.
22. CURB DRAIN PER ISWPC SD-715, SPACED APPROXIMATELY 50' ON CENTER.
23. RETAINING WALL, RE: BUILDING PACKAGE S1.2-10. SEE ARCHITECTURAL DRAWINGS FOR FENCING INFORMATION.
24. NOT USED IN PLAN.
25. PAVED SUBURBAN PARKWAY SECTION (HIGH SPEED DESIGN), ALTERNATE SECTION, PER ITD STANDARD DRAWING A-12.

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1 GRADING, DRAINAGE AND SITE PLAN
 SCALE: 1" = 30'
 0 15 30 60 80 120
 SCALE IN FEET



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 C.W. MOORE PLAZA
 BOISE, IDAHO
 PHONE: 208-343-4835 FAX: 208-343-1858

PROFILE RIDGE PHASE 2
SWC DEER FLAT RD. & MERIDIAN RD. KUNA, ID

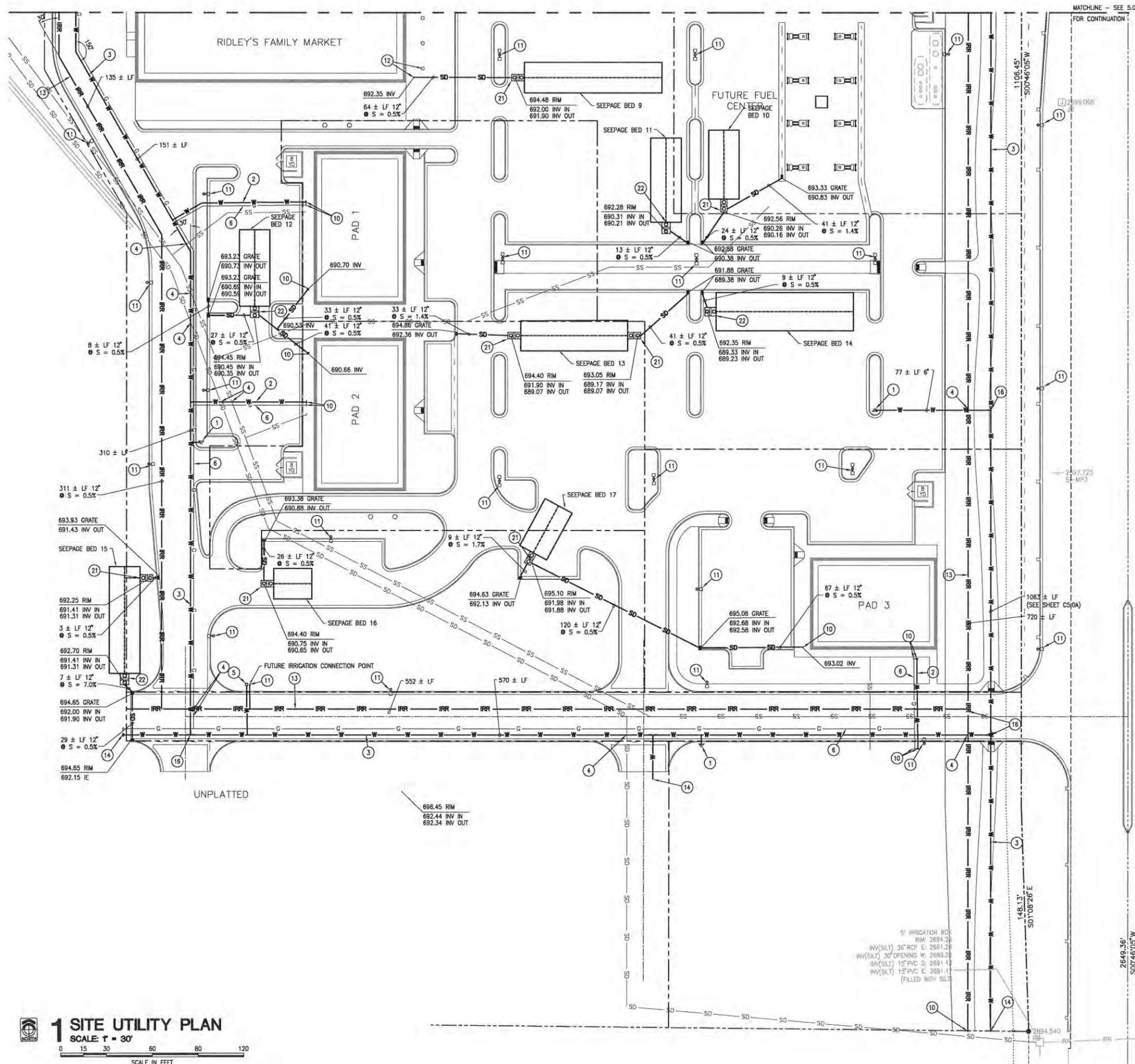
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JTW	
REVISED	

SHEET TITLE
GRADING, DRAINAGE AND SITE PLAN

SHEET
C4.0B
 ORIGINAL SHEET SIZE
 24" x 36"



UTILITY NOTES:

A. SEE SHEET C5.0A.

SHEET NOTES:

1. FIRE HYDRANT PER ISPWC SD-404 AND KUNA FIRE DEPARTMENT STANDARDS.
2. WATER SERVICE PER ISPWC SD-404, 2" UNLESS OTHERWISE INDICATED.
3. 12" C900 CLASS 200 PVC WATER LINE.
4. POTABLE AND NON-POTABLE LINE CROSSING PER ISPWC SD-407.
5. 2" METER FOR IRRIGATION, PER ISPWC SD-402. SEE LANDSCAPE DRAWINGS FOR CONNECTION AND BACKFLOW PREVENTION.
6. PROPOSED GAS SERVICE LINE BY INTERMOUNTAIN GAS. COORDINATE WITH PLUMBING DRAWINGS FOR METER LOCATION.
7. NOT USED IN PLAN.
8. NOT USED IN PLAN.
9. NOT USED IN PLAN.
10. CAP END FOR FUTURE USE AND LOCATE WITH 1' LONG #3 REBAR LAID HORIZONTALLY 1 FOOT BELOW FINISH GRADE.
11. LIGHT POLE, RE: SITE ELECTRICAL.
12. PROVIDE FITTINGS AS REQUIRED TO CONNECT TO ROOF DRAIN LINE. COORDINATE WITH PLUMBING DRAWINGS FOR EXACT LOCATION.
13. 12" PVC IRRIGATION MAIN.
14. BLOWOFF PER ISPWC SD-405.
15. NOT USED IN PLAN.
16. INSTALL 3 GATE VALVES AND BOXES PER ISPWC SD-406.
17. NOT USED IN PLAN.
18. NOT USED IN PLAN.
19. NOT USED IN PLAN.
20. NOT USED IN PLAN.
21. 1,000 GALLON SAND AND GREASE TRAP PER ISPWC SD-624.
22. 1,500 GALLON SAND AND GREASE TRAP PER ISPWC SD-624.
23. INLET CATCH BASIN TYPE 1 PER ISPWC SD-601.
24. NOT USED IN PLAN.
25. NOT USED IN PLAN.
26. NOT USED IN PLAN.

SEEPAGE BED CHART
RE: C7.0-8

SEEPAGE BED	LENGTH	WIDTH	DEPTH	TOP OF DRAIN ROCK ELEV.
9	90'	20'	2.5'	2691.45
10	45'	20'	5'	2690.80
11	55'	20'	5'	2690.75
12	50'	20'	5'	2692.60
13	70'	20'	3.5'	2691.55
14	80'	25'	3.5'	2690.70
15	70'	20'	3.5'	2690.60
16	25'	20'	3.5'	2692.65
17	35'	20'	3.5'	2694.10

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PROJECT 12148.000	DATE 02/28/13
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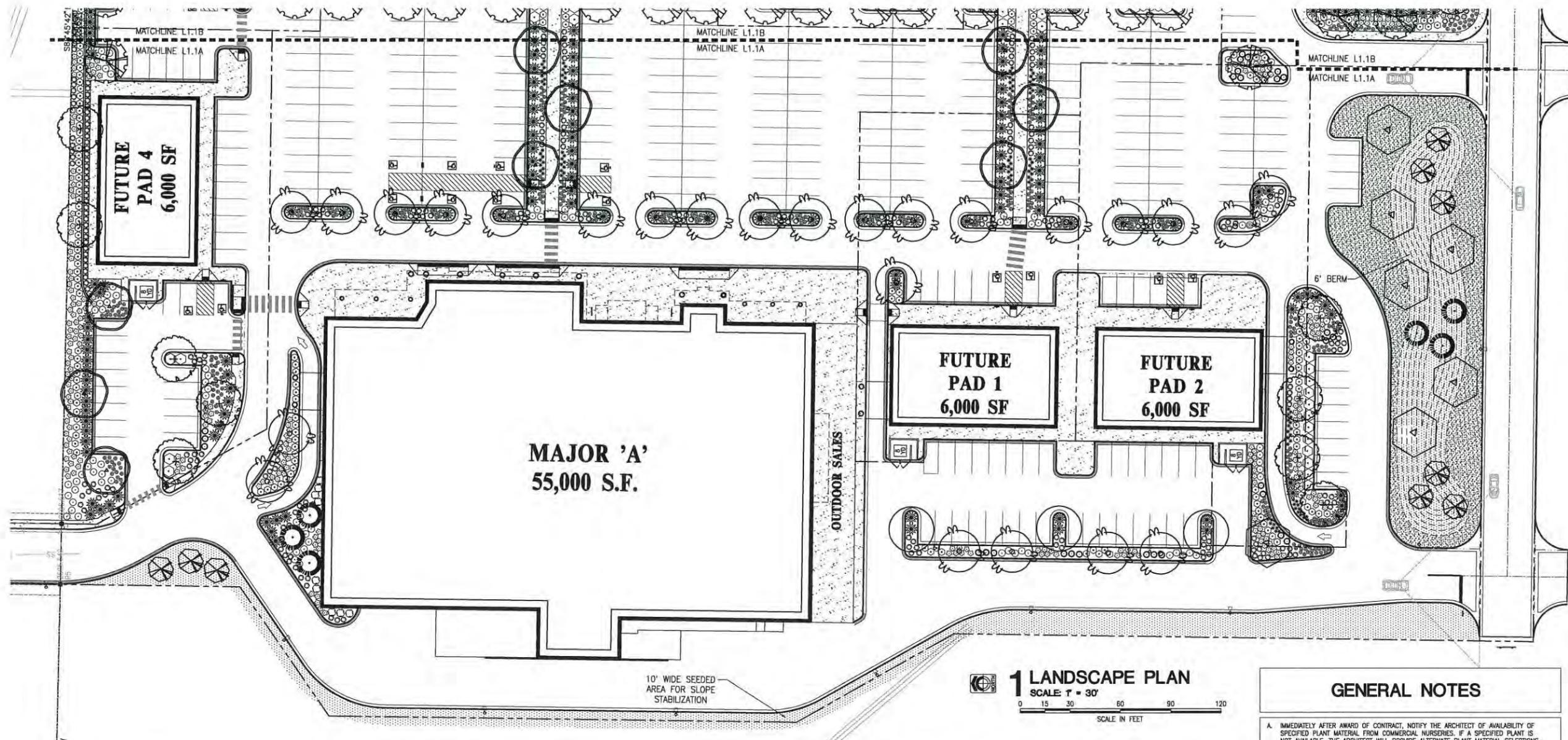
REVISED

SHEET TITLE
SITE UTILITY PLAN

SHEET

C5.0B

ORIGINAL SHEET SIZE
24" x 36"



1 LANDSCAPE PLAN
SCALE 1" = 30'
SCALE IN FEET
0 15 30 60 90 120

SYMBOL LEGEND			
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTING SIZE MATURE H. X W.
TREES			
	Bloodgood London Plane	Platanus acerifolia 'Bloodgood'	3" caliper
	Greenspire Linden	Tilia cordata 'Greenspire'	3" caliper
	Washington Hawthorn	Crataegus phoenopyrum	2" caliper
	Shademaster Honeylocust	Gleditsia triacanthos inermis 'Shademaster'	3" caliper

SYMBOL LEGEND			
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTING SIZE MATURE H. X W.
TREES			
	Hackberry Tree	Celtis reticulata	3" caliper
	Kentucky Coffeetree	Gymnocladus dioica	2" caliper
	Austrian Pine	Pinus nigra	8' height
	Colorado Green Spruce	Picea pungens	8' height

SYMBOL LEGEND			
SYM.	COMMON NAME	BOTANICAL NAME	PLANTING SIZE
SHRUBS			
	Purple Leaf Flowering Plum	Prunus x cistena	5 gallon
	Swiss Mountain Pine	Pinus mugo mugo pumilo	5 gallon
	Blue Chip Juniper	Juniperus horizontalis 'Blue Chip'	5 gallon
	Vancouver Jade Kinnikinnick	Arctostaphylos uva-ursi 'Vancouver Jade'	5 gallon
	Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	2 gallon
	Crimson Pygmy Barberry	Berberis thunbergii 'Crimson Pygmy'	2 gallon
	Autumn Joy Sedum	Sedum Telephium 'Autumn Joy'	2 gallon
	Blue Fescue	Festuca ovina glauca 'Elijah Blue'	1 gallon
	Goldfinger Potentilla	Potentilla fruticosa 'Goldfinger'	5 gallon
	Anthony Waters' Spirea	Spirea x bumalda 'Anthony Waters'	5 gallon
	XERILAWN sod. Contact The Turf Company #208-888-3760		
	ENDURATURF Dwarf Turf Type Tall Fescue sod. Contact The Turf Company #208-888-3760		

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- ### GENERAL NOTES
- A. IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE ARCHITECT OF AVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. IF A SPECIFIED PLANT IS NOT AVAILABLE, THE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
 - B. LANDSCAPE INSTALLATION SPECIFICATIONS ARE IN BOOK FORM, CONFORM TO ALL CONDITIONS AND REQUIREMENTS CONTAINED WITHIN, HAVE AVAILABLE ON THE JOB SITE AT ALL TIMES, AND IN CHRONOLOGICAL ORDER, THE PROJECT CONSTRUCTION DRAWINGS & SPECIFICATIONS FOR INSPECTION BY THE ARCHITECT, RETAIN ON SITE ALL OFFICIAL / APPROVED ADDENDUMS, CHANGE ORDERS, AND / OR CONSTRUCTION CHANGE DIRECTIVES SPECIFIC TO THE LANDSCAPE INSTALLATION.
 - C. VERIFY LOCATIONS OF ALL EXISTING UNDERGROUND UTILITY SYSTEMS PRIOR TO BEGINNING ANY PHASE OF CONSTRUCTION THAT MAY CAUSE DAMAGE TO SUCH SYSTEMS. CALL 1-800-642-2444 TO LOCATE EXISTING UTILITIES. REPAIR / REPLACE DAMAGED UTILITIES TO THE SATISFACTION OF THE OWNER OR GOVERNING AGENCY, AND AT NO ADDITIONAL COST TO THE OWNER OR INCREASE IN BID AMOUNT.
 - D. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING ALL PLANTED AREAS. ALL DELETERIOUS MATERIAL SUCH AS ROCK, TRASH, CONSTRUCTION DEBRIS, AGGREGATE BASE MATERIAL, ASPHALT, ETC., SHALL BE REMOVED PRIOR TO ANY FILL OPERATIONS. RIP SUB GRADE AS PER SPECIFICATIONS. FILL ALL PLANTING AREAS WITH CLEAN EARTHEN FILL, AS PER SPECIFICATIONS. SOIL SHALL BE FREE OF HEAVY, STIFF CLAY AND ANY DELETERIOUS MATERIAL OVER ONE INCH IN SIZE. THE TOP SIX INCHES OF FILL MATERIAL SHALL BE TOPSOIL EQUAL TO THAT REQUIRED IN THE SPECIFICATIONS. CLEAN TOPSOIL STRIPPED FROM SITE MAY BE UTILIZED FOR PLANTER OR TOPSOIL FILL IF PRIOR APPROVAL HAS BEEN OBTAINED FROM THE ARCHITECT.
 - E. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS (WHEN FULLY FLOODED WITH WATER) SHALL DRAIN WITHIN 1 HOUR OF FILLING. ENSURE THAT ALL PLANT PITS HAVE POSITIVE DRAINAGE.
 - F. PROVIDE REQUIRED SOIL EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE CONTRACT PERIOD. SHOULD THERE BE EXISTING SOIL EROSION CONDITIONS THAT REQUIRE MITIGATION, NOTIFY THE ARCHITECT IMMEDIATELY. FAILURE TO NOTIFY
 - G. ALL PLANTER BEDS SHALL RECEIVE A 3" DEEP LAYER OF PINE BARK MULCH, 1"-1.5" IN SIZE, DARK IN COLOR.
 - H. TOPSOIL DEPTHS SHALL BE AS FOLLOWS (WHERE APPLICABLE): LAWN AREAS-6" MIN.; PLANTER BEDS - 12" MIN.; CURB ISLANDS - 18" MIN.
 - I. CONTRACTOR IS RESPONSIBLE TO REPAIR ALL LANDSCAPE PLANTING AREAS DAMAGED AS A RESULT OF NEW CONSTRUCTION. RE: CIVIL PLANS, SITE ELECTRICAL PLANS. REPAIR INCLUDES BUT IS NOT LIMITED TO TREES, SHRUBS GROUNDCOVER AND LAWN; MULCH; TOPSOIL; EDGING; LANDSCAPE FABRIC.
 - J. ALL PLANTING BEDS SHALL BE TREATED WITH A PRE-EMERGENT HERBICIDE. PRE-EMERGENT HERBICIDE SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS AND SHALL OCCUR AFTER TOPSOIL PLACEMENT AND PRIOR TO INSTALLATION OF PLANT MATERIALS AND MULCH.
 - K. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL QUANTITIES PROVIDED ON ALL PLANS. IF QUANTITIES LISTED DO NOT CORRELATE WITH WHAT IS SHOWN ON THE PLAN, THE QUANTITIES SHOWN ON THE PLAN SHALL GOVERN. THIS INCLUDES BUT IS NOT LIMITED TO TREE, SHRUB, ROCK, TOPSOIL, MULCH, SEED OR SOO, EDGING, AND DRIP LINE QUANTITIES.

KYLE D. HEMET, LANDSCAPE ARCHITECT
 C.W. MOORE PLAZA
 250 S. 5TH ST.
 BOISE, ID 83702
 PHONE: 208-343-4635 FAX: 208-343-1888

PROFILE RIDGE PHASE 2
SWC DEER FLAT RD. & MERIDIAN RD. KUNA, ID

CSHQA

ACE Hardware

PROJECT 12148.000	DATE 02/28/13
DRAWN KDH	CHECKED KDH

REVISIONS

SHEET TITLE
LANDSCAPE PLAN

SHEET
L1.1A

ORIGINAL SHEET SIZE
24" x 36"



2006 IECC

Section 1: Project Information

Project Type: New Construction
 Project Title: Riley's Family Market/Asa Hachway
 Construction Site: Corner of W Deer Flat Rd. & Meridian Rd. Kuna, ID 83634
 Designer/Contractor: Best Lighting, CS-IDA, 200 S. 5th St., Boise, ID 83702, 208-343-6535, roclad@bestlighting.com

Section 2: Exterior Lighting Area/Surface Power Calculation

Area/Surface	Quantity	Allowed Watts / Unit	Tradeable Watts (W x C)	Allowed Watts (W x C)	Proposed Watts
Parking areas	345281 sq ft	0.18	Yes	62150	10216
Walkway < 10 feet wide	307 sq ft of walkway length	1	Yes	307	0
Total Tradeable Watts*				62457	10216
Total Allowed Watts				62457	10216
Total Allowed Supplemental Watts**				0	0

* Walkway tradeable area is only allowed between tradeable areas.
 ** A supplemental allowance equal to 3% of total allowed wattage may be applied toward compliance in both non-tradeable and tradeable areas.

Section 3: Exterior Lighting Fixture Schedule

Fixture ID / Description / Lamp / Wattage Per Lamp / Ballast	A	B	C	D	E
	Lamp / Fixture	# of Fixtures	Wattage	Wattage (W x C)	(C x D)
Parking areas (345281 sq ft): Tradeable Wattage	LED Pole mount light fixture: PL1: Pole mount (2) head @180 / Other	2	15	30	9270
LED Pole mount fixture: PL2: Pole mount (1) head / Other	1	1	257	257	257
LED Pole mount fixture: PL3: Pole mount (1) head / Other	1	13	360	4680	4680
LED Pole mount fixture: PL4: Pole mount (1) head / Other	1	12	257	3084	3084
LED Pole mount fixture: PL5: Pole mount (1) head / Other	1	3	309	927	927
Walkway < 10 feet wide (907 sq ft of walkway length): Tradeable Wattage					
Total Tradeable Proposed Watts =					18218

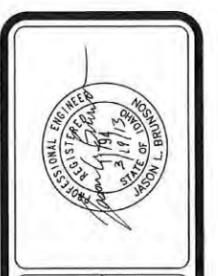
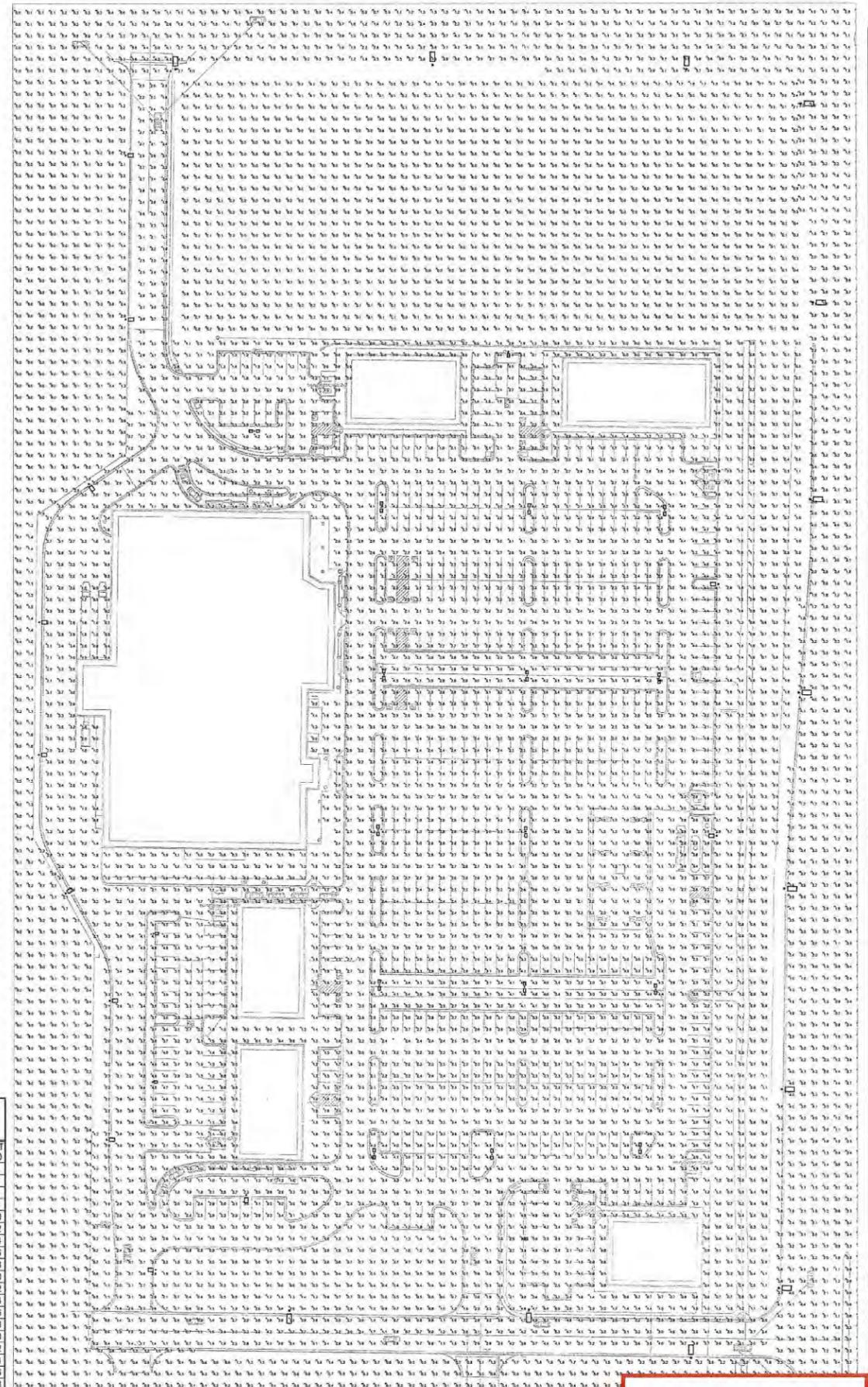
Section 4: Requirements Checklist

- Lighting Wattage:**
 1. Within each non-tradeable area/surface, total proposed watts must be less than or equal to total allowed watts. Across all tradeable areas/surfaces, total proposed watts must be less than or equal to total allowed watts.
- Compliance Factors:**
 2. All exemption claims are associated with fixtures that have a control device independent of the control of the non-tradeable lighting.
 3. All lighting fixtures are controlled by a photometer or automatic time switch that is capable of automatically dimming of the fixture. When sufficient dimming is available on the lighting is not required.
- Exemptions:**
 Covered vehicle entrance/exit areas requiring lighting for safety, security and eye adaptation.
- Exterior Lighting Efficiency:**
 4. All exterior building/grounds luminaires that operate at greater than 100V have minimum efficacy of 30 lumens/watt.
- Exemptions:**
 Controlled by motion sensor or exempt from calculations under the provisions of Section 505.5.2.

Project Title: Riley's Family Market/Asa Hachway
 Date Issued: 01/21/2014
 Report Date: 01/21/2014

- Section 5: Compliance Statement**
- Compliance Statement: The proposed exterior lighting design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed lighting system has been designed to meet the 2006 IECC requirements in COMcheck Version 3.9.1 and to comply with the mandatory requirements in the Requirements Checklist.
- Requires in COMcheck Version 3.9.1 and to comply with the mandatory requirements in the Requirements Checklist.
- Signature: *Rod Ludlow/Desaanel* Date: 3-19-13

RECEIVED
 OCT 03 2014
 CITY OF KUNA



JASON L. BRUNSON, E.E.
 C.W. MOORE PLAZA
 260 S. 5TH ST.
 BOISE, ID 83702
 PHONE: 208-343-6535 FAX: 208-343-1859

THESE DRAWINGS AND SPECIFICATIONS, AS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND CONTROL, AND THE PROJECT ENGINEER WHEN THE PROJECT FOR WHICH THESE DRAWINGS AND SPECIFICATIONS SHALL BE USED BY ANY OTHER PERSON OR ENTITY WITHOUT MY WRITTEN CONSENT OR THE SIGNATURE OF ANOTHER LICENSED PROFESSIONAL ENGINEER.

PROFILE RIDGE PHASE 2
 SWC DEER FLAT RD. & MERIDIAN RD. KUNA, ID
 C.W. MOORE PLAZA
 260 S. 5TH ST. - BOISE, ID 83702
 (208) 343-4635 - FAX (208) 343-1859
 http://www.cshqa.com

CSHQA



PROJECT	12148.000	DATE	02/28/13
DRAWN	RJL	CHECKED	JLB
REVISED			

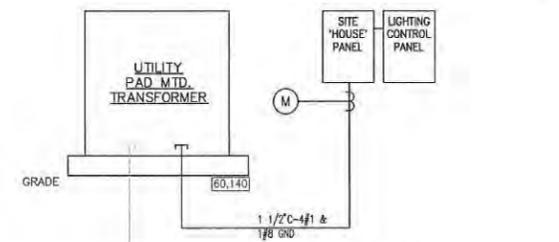
SHEET TITLE: SITE LIGHTING PHOTOMETRICS PLAN

SHEET: E0.3
 ORIGINAL SHEET SIZE: 24" x 36"

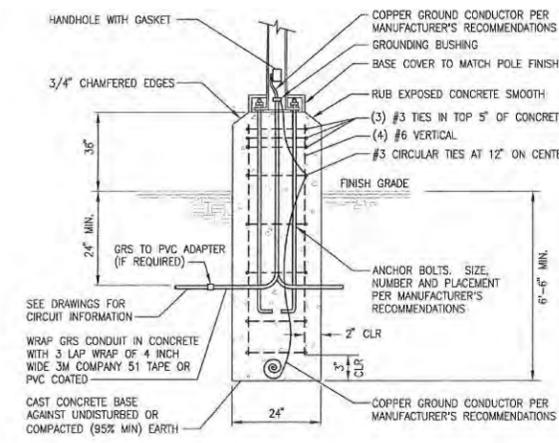
1 LIGHTING COMPLIANCE FORMS
 SCALE NONE

FIXTURE	DESCRIPTION	LOAD IN WATTS	VOLTAGE	LAMP TYPE	MOUNTING	LOCATIONS
PL1	LED SITE LIGHTING MCRPM-EDISON-OLEEN-AA-05-LED-E1-SW-82-TH (2) LIGHT FIXTURES MOUNTED AT 180 DEGREES	(2) @ 309w 618w TOTAL	277v	LED	POLE	PARKING LOT SITE
PL2	LED SITE LIGHTING MCRPM-EDISON-OLEEN-AA-05-LED-E1-S2-82-TH	(1) @ 257w 257w TOTAL	277v	LED	POLE	PARKING LOT SITE
PL3	LED SITE LIGHTING MCRPM-EDISON-OLEEN-AA-07-LED-E1-S2-82-TH	(1) @ 360w 360w TOTAL	277v	LED	POLE	STREET SIDE
PL4	LED SITE LIGHTING MCRPM-EDISON-OLEEN-AA-05-LED-E1-S2-82-TH	(1) @ 257w 257w TOTAL	277v	LED	POLE	SITE STREET
PL5	LED SITE LIGHTING MCRPM-EDISON-OLEEN-AA-06-LED-E1-S3-82-TH	(1) @ 309w 309w TOTAL	277v	LED	POLE	PARKING LOT SITE
POLE	27"-Ø POLE ON 3"-Ø BASE STREET WORKS: SSS4275F - DARK BRONZ	NA	NA	NA	POLE BASE	PARKING LOT SITE

GENERAL NOTES:
 A. VERIFY MATERIALS AND FINISHES FOR FIXTURE AND POLES WITH OWNER PRIOR TO ORDERING. VERIFY RAW COLOR TO MATCH FIXTURE AND POLE FINISH PRIOR TO ORDERING AND ALLOW 2 WEEKS FOR DELIVERY.



2 SINGLE-LINE DIAGRAM
 SCALE NONE



4 OPEN STRUCTURE MOUNTING DETAIL
 SCALE: NONE

PANEL HOUSE		NOTES: COMMERCIAL BOLT-ON CIRCUIT BREAKER PANELBOARD.												
480V/277V-MOLT, 3-PHASE, 4-WIRE		REFERENCE NOTE INDICATES CONTROL AREA												
100-AMP, MAIN CIRCUIT BREAKER		PROVIDE NEMA 3R ENCLOSURE FOR PANELBOARD, TIME CLOCK AND CONTROL CONTACTORS												
CIRCUIT NO.	LOAD DESCRIPTION	REF. NO.	BROWER TYPE	LOAD AMPS	BREAKER TP AMP	PHASE AMPS			BREAKER LOAD AMPS	BROWER TYPE	REF. NO.	LOAD DESCRIPTION	CIRCUIT NO.	
						A	B	C						
1	LTC - SOUTH DEER FLAT RD	A	5.2	1	20	8.0			20	1	2.8	C	LTS - PARKING SOUTH	2
3	LTC - EAST MERIDIAN RD	A	3.9	1	20		8.4		20	1	4.5	C	LTS - PARKING SOUTH	4
5	LTC - EAST MERIDIAN RD	A	3.9	1	20			7.3	20	1	3.4	C	LTS - PARKING SOUTH	6
7	LTC - SOUTH PROFILE ST	B	4.8	1	20	11.5			20	1	6.7	C	LTS - PARKING SOUTH	8
9	LTC - WEST ST	B	2.8	1	20		8.2		20	1	5.4	C	LTS - PARKING SOUTH	10
11	LTC - WEST ST	B	4.8	1	20		4.6	20	1				SPARE	12
13	SPARE		1	20	0.0				20	1			SPARE	14
15	SPARE		1	20	0.0				20	1			SPARE	16
17	SPARE		1	20	0.0			0.0	20	1			SPARE	18
19	SPARE		1	20	0.0				20	1			SPARE	20
21	SPARE		1	20	0.0				20	1			SPARE	22
23	SPARE		1	20	0.0			6.7	20	1	6.7	D	LTS - PARKING NORTH	24
25	SPARE		1	20	4.5				20	1	4.5	D	LTS - PARKING NORTH	26
27	SPARE		1	20	3.2				20	1	3.2	D	LTS - PARKING NORTH	28
29	SPARE		1	20	3.2			3.2	20	1	3.2	D	LTS - PARKING NORTH	30
31	SPARE		1	20	0.0				20	1			SPARE	32
33	SPARE		1	20	0.0				20	1			SPARE	34
35	SPARE		1	20	0.0				20	1			SPARE	36
37	SPARE		1	20	0.0				20	1			SPARE	38
39	SPARE		1	20	0.0				20	1			SPARE	40
41	SPARE		1	20	0.0			3.0	20	1	3.0		LTC - CONTROL PANEL POWER	42

PROJECT #12148 Site Lighting PANEL TOTALS: 24 20 25 03/18/13

3 SITE LIGHTING PHOTOMETRICS PLAN
 SCALE NONE

ATTACHED FOR REFERENCE ONLY



LUNDIN COLE ARCHITECTS, PC
 139 SE BARNUM ST
 PORTLAND, OR 97214
 P: (503) 241-9174
 F: (503) 241-9186
 www.lundincole.com

RETAIL PADS I & 2
 PROFILE RIDGE / KUNA, ID

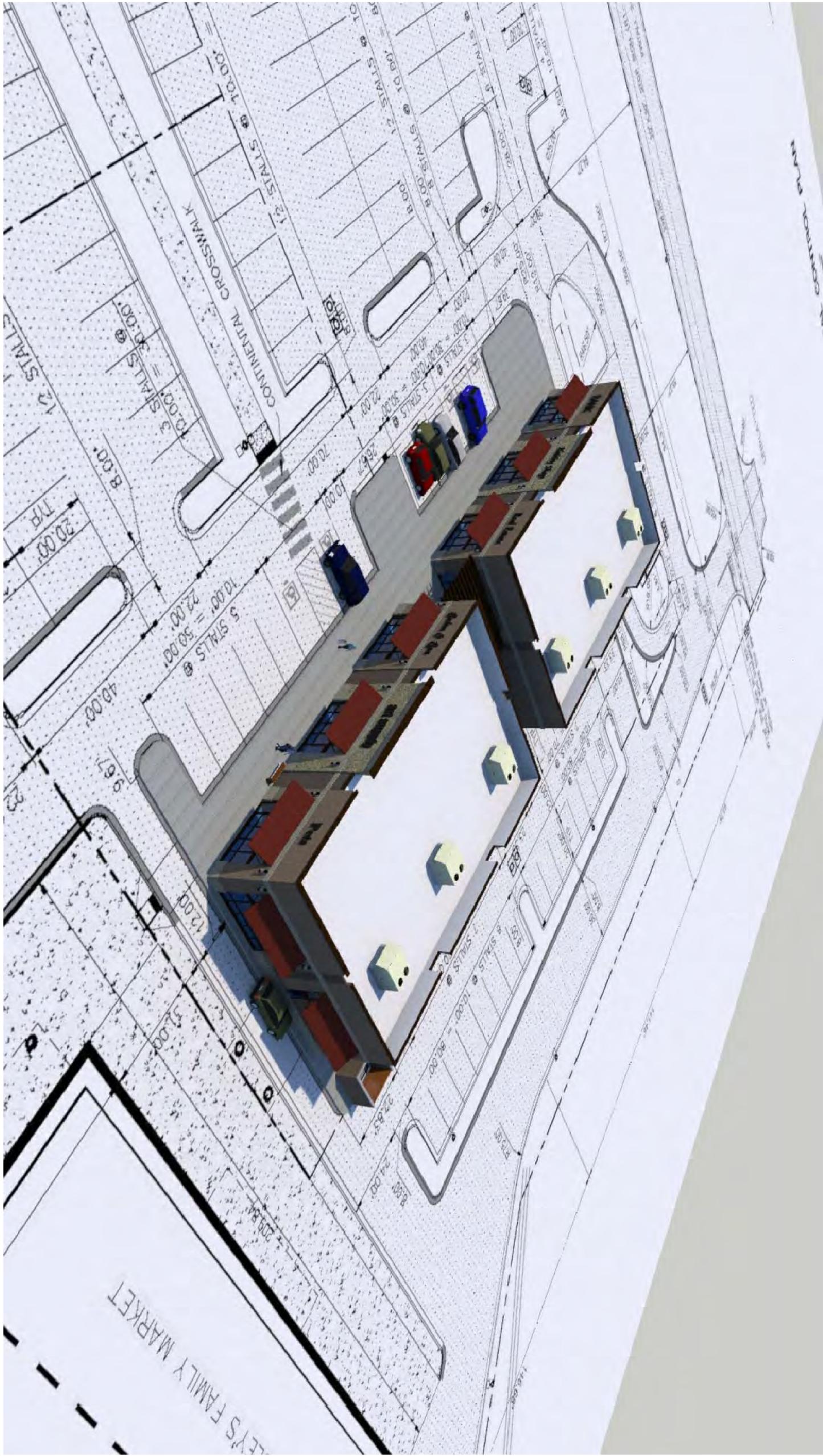
CONCEPTUAL
 DESIGN

Date: DECEMBER 6, 2013

REVISIONS		
NO.	DATE	ISSUE
△		
△		
△		
△		

ARCHITECTURAL
 SITE PLAN
 (SHELL)

A-1



ARCHITECTURAL SITE PLAN (SHELL)
 Not to Scale



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RETAIL PADS 1 & 2
 PROFILE RIDGE / KUNA, ID

CONCEPTUAL
 DESIGN

Date: DECEMBER 6, 2013

REVISIONS	
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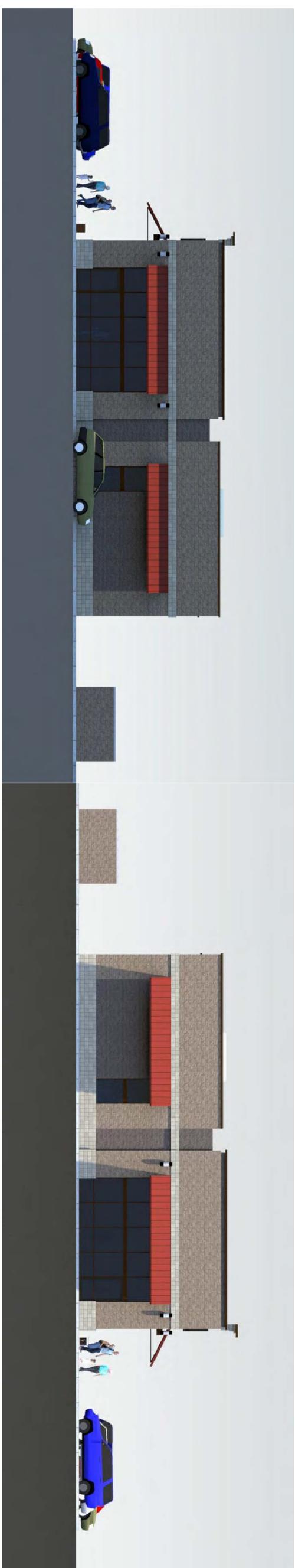
ARCHITECTURAL
 PERSPECTIVE
 (SHELL)



ARCHITECTURAL PERSPECTIVE (SHELL)
 NOT TO SCALE

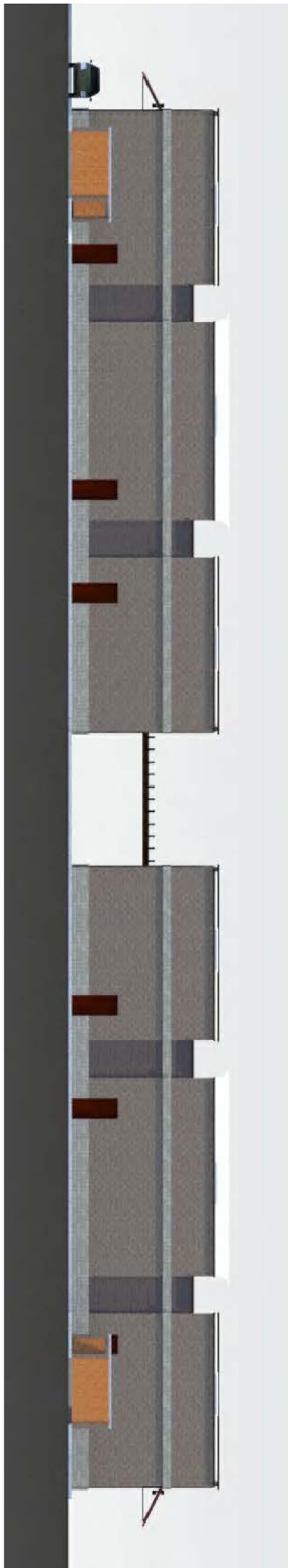


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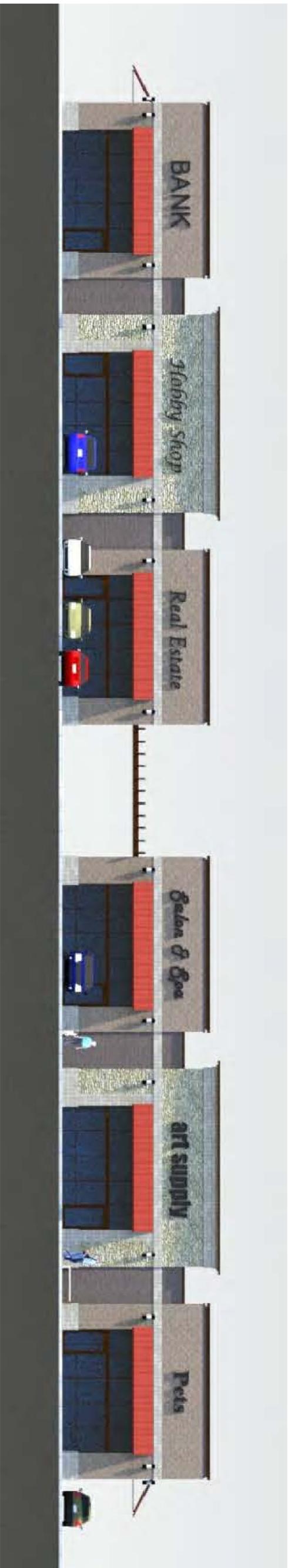


1 NORTH ELEVATION (SHELL)
 1/8" = 1'-0"

2 SOUTH ELEVATION (SHELL)
 1/8" = 1'-0"



3 WEST ELEVATION (SHELL)
 1/8" = 1'-0"



4 EAST ELEVATION (SHELL)
 1/8" = 1'-0"

RETAIL PADS 1 & 2
 PROFILE RIDGE / KUNA, ID

CONCEPTUAL
 DESIGN

Date: DECEMBER 6, 2013

REVISIONS		
NO.	DATE	ISSUE
△		
△		
△		
△		

EXTERIOR
 ELEVATIONS
 (SHELL)



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 P: (503) 241-9174
 F: (503) 241-9186
 www.lundincole.com

RETAIL PADS 1 & 2
 PROFILE RIDGE / KUNA, ID

CONCEPTUAL
 DESIGN

Date: DECEMBER 6, 2013

REVISIONS	
NO.	DATE ISSUE
△	
△	
△	
△	

FRONT ELEVATION

A-4



AERIAL VIEW (SHELL)
 NOT TO SCALE



2 EAST ELEVATION (SHELL)
 1/8" = 1'-0"

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OCT 03 2014



City of Kuna
AFFIDAVIT OF
LEGAL INTEREST

CITY OF KUNA

City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.cityofkuna.com

State of Idaho)
County of Ada) ss

I, Donald Mark Ridley 621 Washington St S
Name Address
Twin Falls ID 83301
City State Zip Code

being first duly sworn upon oath, depose and say:

(If Applicant is also Owner of Record, skip to B)

- A. That I am the record owner of the property described on the attached, and I grant my Permission to JOHN COLE 113 SE BELMONT ST. / PORTLAND, OR
Name Address 97214
to submit the accompanying application pertaining to that property.
- B. I agree to indemnify, defend and hold City of Kuna and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.
- C. I hereby grant permission to the City of Kuna staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 2 day of October, 2014

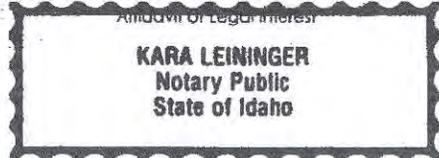
[Signature]
Signature

Subscribed and sworn to before me the day and year first above written.

Kara Leininga
Notary Public for Idaho

Residing at: Twin Falls

My commission expires: 9/21/17



RETAIL SHELL BUILDING PADS 1 & 2

Profile Ridge Retail Center

Kuna, ID 83634



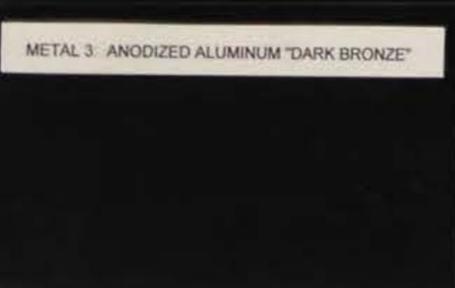
METAL 1: PREPAINTED COPING "DARK BRONZE"



METAL 2: PREPAINTED ROOFING "COLONIAL RED"



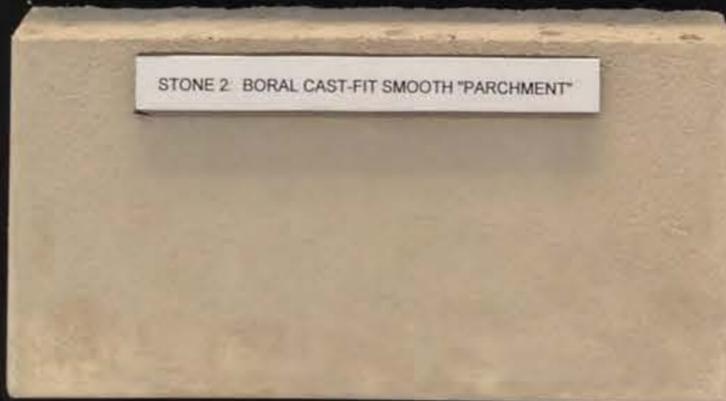
METAL 3: ANODIZED ALUMINUM "DARK BRONZE"



STONE 1: BORAL PRO-FIT LEDGESTONE "SOUTHWEST"



STONE 2: BORAL CAST-FIT SMOOTH "PARCHMENT"



CMU NO. 1: BASALITE SPLIT FACE #635 "HARVEST GOLD"



CMU NO. 2: BASALITE SMOOTH FACE #729 "CHESTNUT"



CMU NO. 3: BASALITE SPLIT FACE #665 "CHOCOLATE"





City of Kuna

P&Z Staff Report

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.cityofkuna.com

To: Kuna Planning and Zoning Commission

File Numbers: 14-01-ZOA (Text Amendment)

Title 5: Zoning Regulations

KCC 5-1-6-1 (Meanings of Terms or Words)

KCC 5-2-2-B (Residential)

KCC 5-3-2 (Land Use Table)

KCC 5-9-2-D (Off-Street Parking and Loading Facilities)

Planner: Wendy I. Howell, PCED

Hearing Date: November 12, 2014

Applicant: City of Kuna
PO Box 13
Kuna, Idaho 83634

A. Course of Proceedings

Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states text amendments and ordinance changes are designated as public hearings, with the City Council as the final decision making body. This request was given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Local Planning Act.

a. Notifications

- | | |
|---------------------------|------------------|
| i. Agencies | October 27, 2014 |
| ii. Kuna, Melba Newspaper | October 20, 2014 |

B. Applicants Request

a. Request

Amending Title 5, Chapter 1, Section 6-1 "Meanings Of Terms Or Words", update formatting and verbiage, and add definitions; Amending Title 5, Chapter 2, Section 2-B entitled, "Residential", making R-8 Consistent With Kuna Comprehensive Plan; Amending Title 5, Chapter 3, Section 2, "Land Use Table"; amending Title 5, Chapter 9, Section 2-D, "Off-Street Parking And Loading Facilities" with an exception for M-1 And M-2 zones storage areas.

C. Project Summary

Staff is proposing an amendment of the City's zoning regulation codes that include:

- Additional definitions to the "Meaning of Terms or Words" to reflect new land uses added to the regulations table found in Chapter 3 of Title 5.

- Refine verbiage of certain definitions to make clear and consistent with related chapters.
- Amend R-8 density residential district from high density to medium density to be consistent with Kuna Comprehensive Plan.
- Modify the Land Use Table by adding additional options of where businesses can operate, consolidating like businesses, and updating some of the terms used within the table.
 - The land use table advises where a land use type is permitted, conditionally permitted through a Special Use Permit, or prohibited within certain zones because their placement there may pose some type of adversity to the area.
 - The determination to allow or prohibit a land use in a certain zone is based on any number of considerations. Frequently, a land use is prohibited in a zone because it is considered too intense relative to the adjoining uses and may adversely affect them by its presence. Whether to allow or prohibit a particular use is also guided by court decisions about land use placements that are often related to the fair and equitable distribution of land uses and people’s ability to freely associate.
 - The land use table currently identifies 218 different types of land that are likely to be located in Kuna.
- Add a provision to the parking and loading requirement that allows for options in the heavy and light Industrial areas including pavement for storage areas. Other options will have to be within an area that has solid fencing, approved by the City Engineer, and granular materials shall treated with magnesium chloride yearly to remain dust free.

D. Agency Comments

- Ada County Assessor – no comment
- Ada County Highway District – no comment
- Ada County Development Services – no comment
- Ada County Development Services Engineering Division – no comment
- Ada County Street Naming Committee– no comment
- Boise-Kuna Irrigation District (BKID) – no comment
- Boise Project Board of Control (BPBC) – no comment
- Central District Health Department (CDHD) – no comment
- City Attorney, Richard Roats – no comment
- City Engineer, Gordon Law – no comment
- Department of Environmental Quality (DEQ) – no comment
- Idaho Power - no comment
- Idaho Transportation Department (ITD) – no comment
- Intermountain Gas – no comment
- J&M Sanitation, Chad Gordon – no comment
- Kuna Rural Fire & Ambulance – no comment
- Kuna Police Department – no comment
- Kuna Post Office – no comment
- Kuna School District – no comment
- Urban Forestry Department, Natalie Reeder – no comment

E. Applicable Standards

1. City of Kuna Zoning Ordinance Title 5;
2. City of Kuna Comprehensive Plan;
3. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act.

F. Staff Recommendation

A zoning text amendment is a legislative action as opposed to a quasi-judicial matter and thus, the Commission and Council are free to discuss any aspect of this proposed text amendment with one another and the public.

The recommended changes are consistent with the City's Comprehensive Land Use Plan. Accordingly, this update builds on preceding land use table updates by identifying new land use activities likely to locate in Kuna that have not previously been identified and categorized. The update also consolidates a number of similar type land uses to eliminate a level of redundancy.

G. Proposed Findings of Fact

Based on the evidence contained in File #14-01-ZOA:

- The Kuna Planning and Zoning Commission find that File #14-01-ZOA have complied with Kuna City Code.
- The Kuna Planning and Zoning Commission find that File #14-01-ZOA comply with Kuna's Comprehensive Future Land Use Plan.
- The Kuna Planning and Zoning Commission finds the proposed zoning amendment updates are consistent with the City's comprehensive plan.
- The Kuna Planning and Zoning Commission finds this text amendment update action guides the appropriate use or development of land as a means to promote the public health, safety, morals and general welfare.

H. Proposed Conclusions of Law

- Kuna City has properly noticed the public hearing on October 20, 2014.
- Agencies were properly notified on October 27, 2014.
- The proposed text amendments are harmonious with the City's Comprehensive Land Use Plan.
- The proposed text amendments are not detrimental to the health, safety, and general welfare of the public.

G. Proposed Motion

Note: This proposed motion is a recommendation of approval or denial to the City Council. However, if you wish to approve or deny only a portion of the request, this needs to be specified.

- *Based on the facts outlined in the staff report, public testimony (If any) and the supporting evidence, I move that the Planning and Zoning Commission recommends (approval or denial) of the proposed text amendments under Kuna City Code, Title 5.*