



## KUNA PLANNING AND ZONING COMMISSION

Agenda for November 8, 2016

Kuna City Hall ▪ Council Chambers ▪ 763 W. Avalon ▪ Kuna, Idaho

### 1. CALL TO ORDER AND ROLL CALL

Chairman Lee Young  
Commissioner Dana Hennis  
Commissioner Cathy Gealy  
Commissioner Ron Herther

### 2. CONSENT AGENDA

- a. Planning and Zoning Commission meeting minutes for September 27, 2016
- b. 16-04-SUP (Special Use Permit) Dylan Davis (Gem State Kennels) is proposing dog kennel/training services on 5.004 acres located in an Agricultural zone  
– ***Findings of Fact and Conclusions of Law***

### 3. PUBLIC HEARING

- a. 16-03-S (Subdivision), 16-06-AN (Annexation) and 16-13-DR (Design Review) – J.U.B. Engineers representing Coleman Homes, LLC: Requesting to annex approximately 111.18 acres into Kuna City with an R-6 residential zoning designation and subdivide the property into 348 single family residential lots and 35 common lots for the proposed Winfield Springs Subdivision located northwest of the intersection of Deer Flat and Meridian Roads at 1925 N. Meridian Road, Kuna, Idaho.  
– ***Staff is requesting this item be tabled to the November 22, 2016 Planning and Zoning Commission meeting***
- b. 16-03-ZC (Rezone) – Michael Larson: Request to rezone approximately 0.283 acres inside City limits from the current R-6 (medium density residential) zone to a CBD (Central Business District) commercial zoning designation. The site is located at 368 N. Linder Avenue, Kuna, Idaho (APN#: R061500530).

### 4. NEW BUSINESS:

- a. 16-18-DR (Design Review) - Ace Signs: Applicant requests approval to install an automated reader board sign on Kuna High School grounds Deer Flat frontage (637 E. Deer Flat Rd.)
- b. 16-15-DRC (Design Review) – Breckon Land Design representing Idaho Central Credit Union: Requesting approval from the Planning and Zoning Commission (acting as Design Review Committee) for a 4,200 square foot commercial building to house a new Idaho Central Credit Union (I.C.C.U.) branch within the Ridley's Family Center No. 1 commercial subdivision.

### 5. ADJOURNMENT

Kuna City Codes, Comprehensive Plan, and Maps are available on the City web site:

<http://www.kunacity.id.gov>

**CITY OF KUNA  
REGULAR PLANNING & ZONING COMMISSION**

**MEETING MINUTES  
Tuesday, September 27, 2016**

PZ COMMISSION MEMBER	PRESENT	CITY STAFF PRESENT:	PRESENT
Chairman Lee Young	X	Wendy Howell, Planning Director	Absent
Commissioner Dana Hennis	X	Troy Behunin, Senior Planner	X
Commissioner Cathy Gealy	X	Trevor Kesner, Planner II	Absent
Commissioner Ron Herther	X	Nancy Stauffer, Planning Technician	X

**6:00 pm – COMMISSION MEETING & PUBLIC HEARING**

**Call to Order and Roll Call**

Chairman Young called the meeting to order at **6:00 pm**.

**1. CONSENT AGENDA**

- a. Planning and Zoning Commission meeting minutes for August 9, 2016
- b. Planning and Zoning Commission meeting minutes for August 23, 2016
- c. Findings of Fact and Conclusions of Law for 16-03-SUP (Special Use Permit). Albertson’s LLC
- d. Findings of Fact and Conclusions of Law for 16-02-S (Subdivision) 16-02-SUP (Special Use Permit) and 16-02-ZC (Zone Change). A- Team Land Consultants

*Commissioner Hennis motions to approve the consent agenda; Commissioner Herther Seconds, all aye and motion carried 3-0.*

**1. PUBLIC HEARING**

- a. 16-04-SUP (Special Use Permit) Dylan Davis (Gem State Kennels) is proposing dog kennel/training services on 5.004 acres located in an Agricultural zone.

Dylan Davis: My name is Dylan Davis, owner of Gem State Kennels and we are proposing a Special Use Permit at 252 N Meridian Road for a kennel. We basically just wanted to give an overview of what the business is. We will have 11 dogs on site and they will have individual kennels inside the barn that is behind the barn that’s behind the home. We don’t plan on doing any building or adding on to the property. We just modified inside the barn so there are 11 individual kennels in the back barn. The dogs will be on site typically come for obedience training, which is a 30-day program, hunting training is anywhere from 30 days to 90 days, as long as 6 months we have had clients with us for more than 6 months. Clients typically are local, however through the internet, we do have a good name on the internet. We’ve got 7000 followers on Instagram without doing any paid advertising. We just sent off a dog that was with us for 6 months from California. We just have very good reviews on our page from locals as well as, we have competed in some of the local hunt tests. We have taken multiple ribbons in hunt tests. We are currently working on a senior hunter right now. Part of the application, we’d had some questions if we would impact traffic. Most clients in the dog training world, or realm of business meet us at places like Sportsman’s Warehouse, Cabella’s, D&B Supply, and I would say about 30% of clients actually come out and bring their dog to the facility. Just for convenience people meet us out in the community

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so we don't, we won't impact traffic at all. When we talked to Ada County Highway District, Dawn Battles, she required a detailed email asking the business model because she was originally going to say there would be a traffic fee, just didn't know the business and once we emailed her she instantly replied back saying there was no traffic fees, we're not going to impact traffic, it will be the same as if it is a residential home. The client typically will come one halfway through the training to check on the status of the dog. We have access to train on JR Simplot property so we train a little bit on site, so if you notice on the drawing of the property, we have fenced off an area about 86 feet deep, 70 feet across that is what we call the play area. We will do basic obedience training there. The property is 5 acres, so we will do some training on the property. If it's obedience training, we will do it on the property, most hunting training is water training, so we're off site, yet we still will do some, just straight retrieves behind the property on the 5 acres we do have. We don't see any issues causing any impact on traffic. I do think the City, there isn't anything like this out in Kuna yet. I'm on that Facebook page "Kuna Must Know" and everyone comments daily asking for businesses to come to Kuna. They want more jobs and opportunity for people here, so I just feel like we will greatly impact the community, we'll help out. We would like to come and sponsor events and come to city events like the fair and different things and set up a booth. I feel like our pricing, if you have looked it up or researched it at all, is very, very well priced compared to our competitors like Sit means Sit. We charge \$625 a month, Sit means Sit is \$4700 a month. We are currently books, upon approval, through the first part of December just on word of mouth. We have a client coming from Texas, one from Arkansas, a client currently from Canada all from Facebook and Instagram. It's been a fun adventure. We have been in business since February of 2016. Do you guys have any questions for me?

All "No".

Nancy Stauffer: Greeting Commissioners, for the record, Nancy Stauffer Kuna City Planning and Zoning Technician. 763 West Avalon. The application before you tonight is from Dylan Davis, representing Gem State Kennels. He is seeking a Special Use Permit to operate a dog kennel at 252 N. Meridian Road on HWY 69. The agencies were notified of the proposed action on August 15, the property owners within 300 feet were notified on September 9<sup>th</sup>. The hearing notification was published in the Kuna Melba News on September 14<sup>th</sup> and the site was posted to reflect this hearing on August 30<sup>th</sup>. The neighborhood meeting was held on August 4<sup>th</sup> with 2 attendees. Comprehensive plans future land use map this parcel as agriculture and the applicant has submitted all the required documents for this request and they have fully complied with Planning and Zoning staff requests. Based on staff's review of the application, Planning and Zoning concludes applicant complies with Title 6 of Kuna City Code and the future land use map within the comprehensive plans. Staff forwards a recommendation of approval to the commission with the conditions stated in the staff report.

I will stand for any questions.

All "No"

Chairman Young: We will open the public hearing at 6:07, and seeing that nobody has signed up to testify, we will go ahead and close it at 6:08. That brings up our discussion.

Commissioner Hennis: I don't see any issues with it, I think it's a good addition to Kuna and they have cleaned up the property. It looks really good, they have improved the fencing on it, I think it's a good business to come into town. It's always good to have businesses that don't necessarily add to traffic.

Chairman Young: It's consistent with the comp plan. For me I have no issues.

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Commissioner Herther: It's in the place it should be.

Commissioner Gealy: I don't have any questions and I don't have any issues.

Chairman Young: I will stand for a motion

*Commissioner Hennis motions to approve the 16-04-SUP; Commissioner Gealy Seconds, all aye and motion carried 3-0.*

Dylan Davis: I just have one question. Idaho Department of Transportation, we have tried emailing, calling lots of times, because there was something about a deeded access, or something that we were trying to comply with. We just can't get ahold of them. We've called and one person tells us for sure we'll call you Monday, so I have a record of every time we call them, and then we have heard nothing so I am assuming everything is fine, but I have heard nothing from them.

Commissioner Hennis: Staff, can you elaborate at all as to what you might know?

Nancy Stauffer: It is exhibit B11 at the end of the report. It is my understanding that it is a standard response. That if they were going to enlarge the property, structures, if there were going to be more people on the property, then that driveway would not be an allowed use as a shared driveway. But because they are not impacting any traffic, there is not going to be extra, then it is no different than it stands right now. I basically states that if they were to, then that shared driveway would not be acceptable and they would have to go back through and re-evaluate that issue.

Commissioner Gealy: What I read here in exhibit B11, is our documentation shows two deede approaches, there are no permitted approaches, so any change from the current use will require applicant to apply for them. But you are not making any changes at this time, you are not planning on moving the driveway.

Chairman Lee Young: Next up is new business. First up is 16-12-Dr for YESCO for Tractor Supply Company.

Todd Taylor: Commissioners, my name is Todd Taylor I'm representing Yesco Sign Company. We are seeking approval for a freestanding sign at the entry to the new Tractor Supply and Dollar Tree. 817 N Meridian Rd. What we are asking for is a 66 and a half square foot panel for the Tractor Supply Company and the same for Dollar Tree and then for sub tenant panels for future development within that center. Our overall square footage is about 170 total square feet. I will stand for any questions you may have.

Chairman Young: Staff come forward please.

Nancy Stauffer: Commissioners, for the record, Nancy Stauffer, Kuna City Planning and Zoning, 763 West Avalon. The application before you tonight is from YESCO, the applicant is seeking a design review for a monument sign at the Tractor Supply and the Dollar Tree store. Kuna City code Title 5, chapter 4, section 2 and Title 5, chapter 10 section 4-G-10 states that all new commercial and monument signs are required to submit an application for review by the design review committee. As a public meeting item, this action requires no noticing. Based on staff's review of the application, Planning and Zoning concludes the application complies with Title 5 of Kuna City code and Staff forwards a recommendation of approval to the Commission with the conditions stated in the staff report. I will stand for any questions.

Chairman Young: We have no questions, thank you. That brings us to our discussion. I think that the land looks fine to me, it ties in with the building and I think the corrugated metal that is on the sign also ties in to the small amount that is on the Ridley's building, so there is consistency going on there.

Commissioner Hennis: Did it say in there somewhere how far back off the road it was?

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Troy Behunin: The code that Nancy recited stipulates that it can not be any closer than 10-feet to the right-of-way. As long as we say that it needs to follow the code as stated, then there won't be any concern.

Commissioner Hennis: Other than that, I think it looks good.

Chairman Young: Any other thoughts? No? Ok, I will stand for a motion.

*Commissioner Hennis motions to approve the 16-12-DR; Commissioner Hennis Seconds, all aye and motion carried 3-0.*

Chairman Young: Next item up is Design review 16-14-DR, Pinnacle Stones monument for Patagonia subdivision.

Craig Smith: My name is Craig Smith with Pinnacle Stones, Meridian Idaho. I am here today to ...Patagonia monument sign. I think we gave you all the required things, photographs and things, renderings. So I'm just here for a design review.

Commissioner Hennis: How far back from the entry is that going to be placed?

Craig Smith: Well, it's sitting in the island, so it sits back quite a ways.

Commissioner Hennis: I was just concerned about the vision triangle.

Chairman Young: Ok, any other questions for the applicant at this time?

No

Nancy Stauffer: Commissioners for the record, Nancy Stauffer, Planning technician, 763 W Avalon. The applicant before you is from Pinnacle Stones. The applicant is seeking a design review regarding a stone monument sign at the entrance of the Patagonia subdivision on the corner of Hubbard and Magellan streets. Kuna City code Title 5, chapter 4, section 2 and Title 5, chapter 10 section 4-G-10 states that all new commercial and monument signs are required to submit an application for review by the design review committee. As a public meeting item, this action requires no noticing. Based on staff's review of the application, Planning and Zoning concludes the application complies with Title 5 of Kuna City code and Staff forwards a recommendation of approval to the Commission with the conditions stated in the staff report. I will stand for any questions.

*Commissioner Hennis motions to approve the 16-14-DR; Commissioner Gealy Seconds, all aye and motion carried 3-0.*

Chairman Young: Next up is a design review modification request 16-01-DRC for the Real Theatre of Kuna.

Troy Behunin: Good evening commissioners, for the record, Troy Behunin Senior Planner, 763 W Avalon. The application that you have before you tonight is a design review modification, 16-01-DRC. This is a modification to an application that was approved in January. At that time the Real Theatre folks came in and they sought a height extension for the spires. And Kuna City Code does allow for a height exception for areas of the building that are not intended for human occupation. At that time, they asked for 45 feet, which is 10 foot over the standard height limit for a C-1 zone. This body approved that 10 foot extension and because of the bidding landscape for commercial projects, from when they started this project until they actually got bids, the landscape has completely changed. The bidding wars was not as beneficial as thought it was and it turned out that this was going to be a very expensive project. They did put in a substantial amount of "squish" in their budget, but the bids came back substantially higher, so what they have done, they have regrouped and they have tried to reduce some costs and trying to keep this still their flagship movie theatre. And that is exactly what they have done. So now, what they are able to do, they are able to actually increase that height exception to 55 feet, but what they are doing, is they are going to lower some of the front walls by as much as 10 feet, but it's just the front walls. They are going to make some of the auditoriums just a little bit shallower. They are not going to be as big as they originally planned so that the ceilings, they said could be reduced by about 10 feet in some places, but it's just the front, now in the back where their main theatres are, those are going to remain exactly as they were planned. The other request that the applicant

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has, because of some of the other changes in the bidding environment is that what they have done is try and reduce the overall the amount of land they are buying, not because the land purchase is a significant cost, but it's development has proven to be very costly, so what they have done, is reduce a number of extra parking stalls and they have tried to restructure the parking so that it fits into the new are. I did this with Trey Hoff and with the people with real Theatre. I did notify them that they have at least 5 areas that are deficient in the standards. Right there, if you look at C1.1, it shows the building in the parking lot. Where it says parcel B, there is too many parking stalls that are adjacent to each other. Kuna City Code requires thata you cannot have more than 14 parking stalls next to each other without a landscape island or you can go 126 feet, and then you have to have a landscape island. But there are 5 places where they exceed that 126 feet, or the 14 stalls. I have worked with them and let them know that they need to comply with that. Their only request now, is that on the western side. So here, they exceed on the northwest corner, they exceed, they will comply and put in the correct number of landscape islands. Also here, they will also comply, in the center

**2. NEW BUSINESS:**

- a. 16-12-DR (Design Review) YESCO Signs master/monument sign for Tractor Supply Co.
- b. 16-14-DR (Design Review) Pinnacle Stones stone monument sign for Patagonia Subdivision.
- c. **Design Review Modification Request - 16-01-DRC** (Design Review) – **Reel Theater of Kuna:** Applicant requests modification of approvals from the DRC, in order to increase the height exception for the main tower from the originally approved 45' high, up to 55', also, to lower the height of some of the front walls of the building, and for landscape island modifications.
- d. Elect Planning and Zoning Commission Vice Chairman for the remainder of this year.

**2. ADJOURNMENT:**

Commissioner \_\_\_\_\_ motions to adjourn at \_\_\_\_:\_\_\_\_pm; Commissioner \_\_\_\_\_  
\_\_\_\_\_ Seconds, all aye and motion carried 3-0.

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Lee Young, Chairman  
Kuna Planning and Zoning Commission

ATTEST:

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Wendy I. Howell, Planning and Zoning Director  
Kuna Planning and Zoning Department



# City of Kuna

P.O. Box 13  
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www.Kunacity.id.gov

## Findings of Fact and Conclusions of Law

**To:** Kuna Planning and Zoning Commission

**File Numbers:** 16-04-SUP (Special Use Permit) for Dylan Davis/Gem State Kennels, LLC

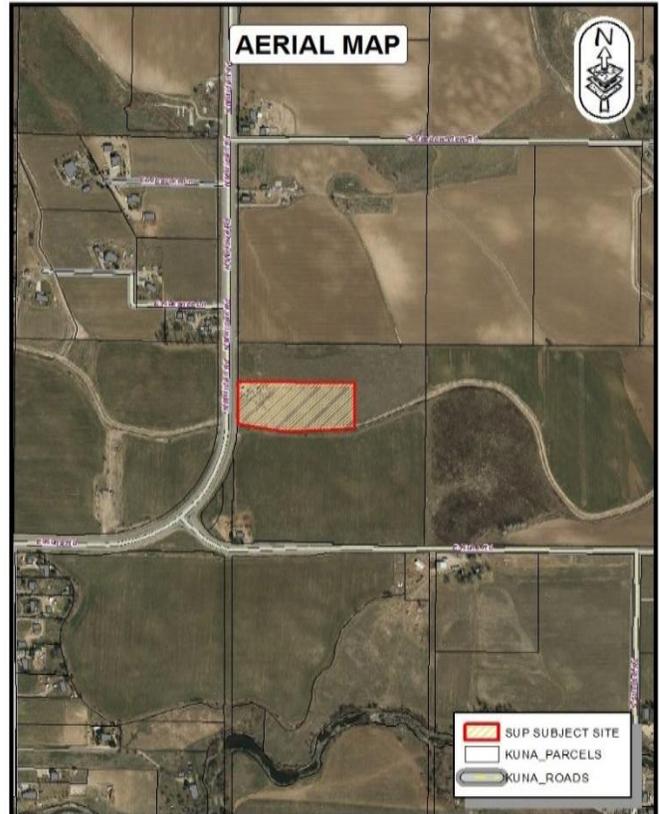
**Location:** 252 N. Meridian Rd  
Kuna, Idaho 83634

**Planner:** Nancy Stauffer, Planner  
Technician

**Hearing date:** September 27, 2016

**Findings:** November 8, 2016

**Applicant:** Dylan Davis  
804 W. Kingsley St  
Meridian, ID 83646  
(208) 629-9687



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- J. Proposed Decision by the Commission

### A. Course of Proceedings:

1. Applicant is proposing dog kennel/training services in an existing building on approximately 5.00 acres located in an agricultural zone. Kuna City Code (KCC) requires obtaining a Special Use Permit (SUP) to offer kennel services within the City of Kuna.
2. In accordance with KCC Title 5, this application seeks SUP (Special Use Permit) approval to offer kennel/training services.

#### a. Notifications

- i. Neighborhood Meeting August 4, 2016 (two attendees)
- ii. Agencies August 15, 2016

- iii. 300' Property Owners                      September 9, 2016
- iv. Kuna, Melba Newspaper                      September 14, 2016
- v. Site Posted (Deadline)                      August 30, 2016

**B. Applicants Request:**

Request from Gem State Kennels, LLC (Dylan Davis), for a Special Use Permit (SUP) to operate a dog kennel located at 252 N. Meridian Rd. Kuna, ID 83634.

**C. History:**

The site is currently zoned A (Agriculture) and has an existing building/home on site which was previously used as a residence.

**D. General Projects Facts:**

1. Legal Description: A legal description was included with the applicant's submitted request.

**Surrounding Land Uses:**

<b>North</b>	A	Agriculture – Kuna City
<b>South</b>	RUT	Rural Urban Transition – Kuna City
<b>East</b>	A	Agriculture – Kuna City
<b>West</b>	C-1	Neighborhood Business District – Kuna City

**1. Parcel Sizes, Current Zoning, Parcel Numbers:**

- Parcel Size: Approximately 5.00 acres
- Zoning: Agriculture (A)
- Parcel #: S1419333450

**2. Services:**

Sanitary Sewer– City of Kuna  
 Potable Water – City of Kuna  
 Irrigation District – Boise-Kuna Irrigation District  
 Pressurized Irrigation – None  
 Fire Protection – Kuna Rural Fire District  
 Police Protection – Kuna Police (Ada County Sheriff)  
 Sanitation Services – J&M Sanitation

**3. Existing Structures, Vegetation and Natural Features:**

Currently, the site has a 1,920 square foot, two-story residential single family dwelling with a 240 square foot detached garage and a 3,920 square foot accessory building. Parking area is gravel with a fence.

**4. Transportation / Connectivity:**

The site fronts SH69, Meridian Road. Direct access is from one (1) shared driveway approach onto SH69, Meridian Road. The driveway and the parking area are both gravel.

**5. Environmental Issues:**

Staff is not aware of any environmental issues.

6. **Comprehensive Future Land Use Map:**

The Future Land Use Map (FLU) identifies this site as Agriculture. Staff views this proposed land use request to be consistent with the surrounding and approved Future Land Use map designations.

7. **Agency Responses:**

The following responding agency comments are provided as Exhibits B-1 through B-3, and are included with this case file:

- Exhibit B-1: Idaho Transportation Department – 08/30/16
- Exhibit B-2: Kuna City Engineer (Gordon Law, P.E.) – 08/16/16
- Exhibit B-3: Central District Health Department – 08/19/16

E. **Staff Analysis:**

Staff has determined this application complies with Title 5 of Kuna City Code; Idaho Statute §50-222; and the Kuna Comprehensive Plan; and forwards a recommendation of approval for Case #16-04-SUP, subject to the recommended conditions of approval.

F. **Applicable Standards:**

1. Kuna City Code, Title 5, Zoning Regulations
2. City of Kuna Comprehensive Plan
3. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act

G. **Comprehensive Plan Analysis:**

The Kuna planning commission accepts the Comprehensive Plan components as described.

1. The use for the site is consistent with the following Comprehensive Plan components:

**2.0 – Property Rights**

*Goal 1: Ensure that the City of Kuna land use policies, restrictions, conditions and fees do not violate private property rights. Establish an orderly, consistent review process for the City of Kuna to evaluate whether proposed actions may result in private property “takings”.*

Policy: As part of a land use action review, the staff shall evaluate with guidance from the City’s attorney; The Idaho Attorney General’s six criterion established to determine the potential for property taking.

**5.0 – Economic Development**

*Goal 1: Promote and support a diverse and sustainable economy that will allow more Kuna residents to work in their community.*

Policy: The City will develop a policy to provide incentives and/or assistance in order to competitively attract firms.

**6.0 – Land Use**

*Goal 2: Encourage a balance of land uses to ensure that Kuna remains a desirable, stable, and self-sufficient community.*

**Objective 2.2:**

Plan for areas designed to accommodate a diverse range of businesses and commercial activity – within both the community-scale and neighborhood-scale centers – to strengthen the local economy and to provide more opportunities for social interaction.

**Policy:** Retail and residential land uses should be appropriately mixed and balanced with professional offices and service facilities to provide residents with a broader mix of services within walking distance from their homes.

**H. Findings of Fact:**

1. All required procedural items have been completed as shown in the staff report.
2. A kennel service complies with Section 6.0 of Kuna's Comprehensive Plan.
3. Public services are available and are adequate to accommodate the intended use.
4. The site is zoned A (Agriculture) and a kennel is an allowed use by obtaining a Special Use Permit.
5. The site is physically suitable for the proposed use.
6. The use appears to be in compliance with all ordinances and laws of the City.
7. The use does not appear to be detrimental to the present and potential surrounding uses; to the health, safety, and general welfare of the public; taking into account the physical features of the site, facilities and existing adjacent uses.
8. The existing and proposed street and utility services in proximity to the site are suitable and is adequate for the proposed use.
9. Planning and Zoning Commission accepts the facts as outlined in the staff report, public testimony and the supporting evidence as presented.
10. Planning and Zoning Commission of Kuna, Idaho, has the authority to approve or deny this case.
11. The neighborhood meeting was held and the notice requirements were met.
12. All notifications and the public hearing were conducted within the guidelines of applicable Idaho Code and City Ordinances.

**I. Conclusions of Law:**

1. The SUP for kennel services is consistent with Kuna City Code.
2. A kennel is not likely to cause any environmental damage and avoids injury to wildlife or their habitat.
3. A kennel is not likely to cause adverse public health problems.
4. The kennel is not detrimental to the present and potential surrounding uses; or, to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.
5. Based on the evidence contained in Case #16-04-SUP, this proposal appears to comply with Sections 5-3-2 and 5-1- 6-2 and of Kuna City Code.
6. Based on the evidence contained in Case #16-04-SUP, this proposal appears to comply with the Comprehensive Plan and the Kuna Comprehensive Future Land Use Map.
7. The Planning and Zoning Commission of Kuna, Idaho, has the authority to approve or deny this SUP application.
8. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

**J. Decision by the Commission:**

*Note: This motion is for approval of this request. However, if the Planning and Zoning Commission wishes to approve or deny specific parts of the requests as detailed in the report, those changes must be specified.*

Based on the facts outlined in staff's report and public testimony as presented (if any), the Planning and Zoning Commission of Kuna, Idaho, hereby approves Case No. 16-04-SUP, a Special Use Permit request by Dylan Davis, (Gem State Kennels), with the following conditions of approval:

**Recommended Conditions of Approval:**

1. In the event the uses on this parcel are enlarged, expanded or altered in anyway (even for a temporary purpose), the owner and the applicant shall seek an amendment to the approvals of this SUP through the public hearing process.
2. This SUP is valid as long as the conditions of approval are adhered to continuously. In the event the conditions are not continuously followed, the SUP may be revoked by the planning and zoning commission.
3. Landscaping shall be maintained in accordance with City Code 8-1-3.
4. Commercial Kennel License shall be obtained and maintained in accordance with City Code 10-3-9.
5. All animal waste shall be collected and disposed of properly and on a regular basis.
6. All Local, State and Federal laws shall be complied with.

DATED this \_\_\_\_\_ day of \_\_\_\_\_, 2016

\_\_\_\_\_  
Lee Young, Chairman  
Kuna Planning and Zoning Commission

ATTEST

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Nancy Stauffer, Planner Technician  
Kuna Planning and Zoning Department



# City of Kuna

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## Staff Report – Planning and Zoning Commission

To: **Planning and Zoning Commission**

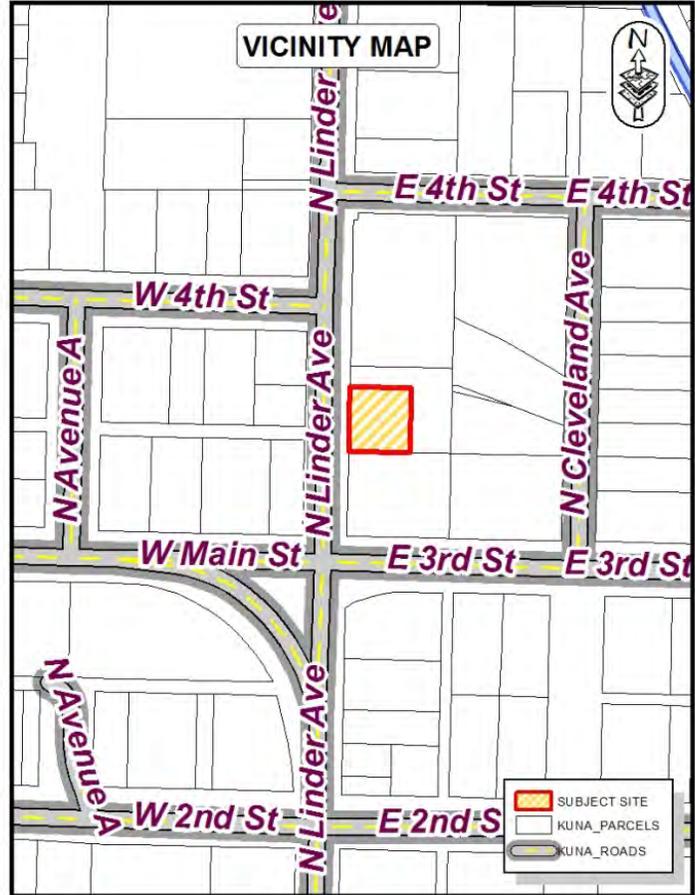
File Number: 16-03-ZC (Rezone)

Location: 368 N. Linder Avenue, Kuna, ID 83634

Planner: Trevor Kesner, Planner II

Hearing Date: November 8, 2016

Applicant: Michael Larson  
1311 Andy Lane  
Caldwell, ID 83605  
[Mike.larson@ymail.com](mailto:Mike.larson@ymail.com)



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- I. Comprehensive Plan Analysis
- J. Kuna City Code Analysis
- K. Proposed Conclusions of Law
- L. Recommended Conditions of Approval

### A. Process and Noticing:

1. Kuna City Code 1-14-3 (KCC), states that Rezones are designated as a public hearing, with the Commission as the recommending body and the City Council as the decision-making body. This land use application was given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65 Local Planning Act.

#### a. Notifications

- |                            |                                   |
|----------------------------|-----------------------------------|
| i. Neighborhood Meeting    | September 6, 2015 (Two attendees) |
| ii. Agency Comment Request | September 27, 2016                |
| iii. 300' Property Owners  | October 14, 2016                  |
| iv. Kuna, Melba Newspaper  | October 19, 2016                  |
| v. Site Posted             | October 24, 2016                  |

**B. Applicants Request:**

1. **Legal Publication:** A request from Michael Larson to rezone approximately 0.283 acres in City limits from the current R-6 residential zone to a CBD (Central Business District) commercial zoning designation. The site is located at 368 N. Linder Avenue, Kuna, Idaho (APN#: R061500530).

**C. Site History:**

This site has historically been used as a residential home site. The original home was constructed in approximately 1935.

**D. General Projects Facts:**

1. **Legal Description:** Parcel #0530, Westerly Portion of Lot 25-28, Block 3, Avalon Addition to Kuna and the Southwesterly Parcel of Record of Survey #5696, #4505-S; Ada County.

2. **Surrounding Land Use Zoning Designations:**

<b>North</b>	R-6	Medium Density Residential - Kuna City
<b>South</b>	CBD	Central Business District – Kuna City
<b>East</b>	R-6	Medium Density Residential – Kuna City
<b>West</b>	CBD	Central Business District – Kuna City

3. **Parcel Sizes, Current Zoning, Parcel Number:**

- Parcel Size: 0.283 acres (approximately)
- Current Zoning: Medium Density Residential; (R-6).
- Parcel #: R0615000530

4. **Services:**

Sanitary Sewer– City of Kuna  
 Potable Water – City of Kuna  
 Irrigation District – Boise-Kuna Irrigation District  
 Pressurized Irrigation – City of Kuna (KMID)  
 Fire Protection – Kuna Rural Fire District  
 Police Protection – Kuna Police (Ada County Sheriff’s office)  
 Sanitation Services – J&M Sanitation

5. **Existing Structures, Vegetation and Natural Features:**

There is currently a residential structure and one accessory structure (metal ‘Quonset Hut’ style building) on site. Vegetation on site is generally associated with a residential use (yard).

6. **Transportation / Connectivity:**

The subject site is located north of West Main Street/East 3<sup>rd</sup> Street and South of West 4<sup>th</sup> Street. The site has frontage access via an existing curb-cut on North Linder Avenue and will remain the primary access for the site. Future site improvements will be reviewed and assessed by Ada County Highway District for any required improvements and/or additional impacts to the roadway system.

7. **Environmental Issues:**

Staff is not aware of any environmental issues, health or safety conflicts. This site’s topography is generally flat.

8. **Comprehensive Plan Future Land Use Map:**

The site is identified as Medium-Density residential on Kuna’s Comp Plan Future Land Use Map. The comprehensive plan is a living document, intended for use as a guide by governmental bodies. The plan is not law that must be adhered to in the most stringent sense; it is to be used by public officials to guide their

decision-making for the City. While the Comp Plan Map (CPM) calls for a residential use on this parcel, staff believes this rezone request is in harmony with, and compatible to the adjacent commercial uses and other CBD zoning designations. The rezone to a commercial use also aligns with the vision for downtown as described in the Kuna Downtown Revitalization Plan.

Staff views this proposed land use request to be consistent with the surrounding area land uses and zoning designations. Although it does not match the approved Comp Plan Map designation, the proposed use are compatible with current surrounding uses.

**9. Agency Responses:**

The following agencies returned comments:

- Idaho Transportation Department (ITD) - Exhibit B-2
- City Engineer (Gordon Law, P.E.) - Exhibit B-3
- Central District Health Department (form letter) - Exhibit B-4
- Ada County Highway District (ACHD) – Exhibit B-5

**E. Staff Analysis:**

The applicant's intention is to remodel and expand the existing home into a commercial office. In order to modify and enlarge the existing structure, the applicant seeks a Central Business District (CBD) zoning designation to apply appropriate zoning setback requirements for a commercial structure.

A rezone, if granted, would provide reduced setbacks and provide additional options for businesses who desire a location in the downtown core area. This site is also adjacent to 4<sup>th</sup> Street, which will be the focus of the next downtown revitalization project.

Staff has determined this application complies with Title 5 of the Kuna City Code; Idaho Statute §50-222; and forwards a recommendation of approval for Case # 16-03-ZC, subject to the recommended conditions of approval listed in section 'N' of this report.

**F. Applicable Standards:**

1. Kuna City Code (KCC) Title 5 and Title 1, Chapter 14.
2. City of Kuna Comprehensive Plan and Future Land Use Map
3. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act

**G. Proposed Procedural Process:**

On November 8, 2016, the Commission will consider the project, including the submitted application items, agency comments, staff's report, application exhibits and any public testimony presented or given.

**H. Proposed Findings of Fact for Commission Consideration:**

1. **Rezoning:** Based on the record contained in Case No. 16-03-ZC, including the exhibits, staff's report and any public testimony at the public hearing, the Planning and Zoning Commission of Kuna, Idaho, hereby recommends *approval/denial* of the Findings of Fact and Conclusions of Law, and conditions of approval for Case No. 16-03-ZC rezoning.
2. The Kuna Planning and Zoning Commission accepts the facts as outlined in the staff report, the public testimony and the supporting evidence list presented.

**Comment:** *The Kuna Commission held a public hearing on the subject applications on November 8, 2016 to hear from the City staff and the applicant and to accept public testimony. The decision by the Commission is based on the application, staff report and public testimony, both oral and written.*

3. Based on the evidence contained in Case No. 16-03-ZC, this proposal appears to generally comply with the Comprehensive Plan and Future Land Use Map.

**Comment:** *The Comp Plan Future Land Use Map designates the approximately 0.283 acres (subject property) as (medium-density) residential. The proposed rezone to a commercial use (CBD) conforms with adjacent commercial uses within the Central Business District.*

4. The Kuna Planning and Zoning Commission has the authority to recommend approval or denial for this application.

**Comment:** *On November 8, 2016, Kuna Commission will vote to recommend approval or denial of application 16-03-ZC.*

5. The public notice requirements were met and the public hearing was conducted within the guidelines of applicable Idaho Code and City Ordinances.

**Comment:** *As noted in the process and noticing section, notice requirements were met to hold a public hearing on November 8, 2016.*

#### **I. Comprehensive Plan Analysis:**

The Kuna Planning and Zoning Commission accepts the Comprehensive Plan components as described below. The proposed zone change for the site is consistent with the following Comprehensive Plan components:

##### Private Property Rights Goals and Objectives - Section 2 - Summary:

Ensure the City land use policies, restrictions, conditions and fees do not violate private property rights and ensure that land use actions, decisions, and regulations do not effectively eliminate all economic value of the subject property. Ensure that City land use actions, decisions, and regulations do not prevent a private property owner from taking advantage of a fundamental property right and staff shall evaluate with guidance from the City's attorney; the Idaho Attorney General's six criterion established to determine the potential for property taking.

**Comment:** *Utilizing the Idaho Attorney Generals criteria, and a review by the City Attorney, the proposed project does not constitute a "takings" and the economic value is intact.*

##### Economic Development Goals and Objectives - Section 5 - Summary:

Improve and diversify the local economy to ensure a sustainable economic tax base. Capitalize on local and regional strengths to promote sustainable growth.

##### **Goal 2: Expand Kuna's shopping and entertainment opportunities.**

*Objective 2.1: Assist in retaining or expanding sales opportunities in entertainment, sit-down restaurants, and neighborhood/convenience shopping categories. Encourage neighborhood and community-scale retail.*

##### **Goal 3: Strengthen and expand the City Center area**

**Comment:** *The application seeks to expand future shopping/retail opportunities and expands and strengthens the city center area.*

##### Land Use Goals and Objectives – Section 6 – Summary:

Preserve and enhance the Kuna community quality of life.

**Goal 2: Encourage a balance of land uses to ensure that Kuna remains a desirable, stable, and self-sufficient community.**

*Objective 2.1: Support mixed uses in the City core to provide a vibrant community center with a 24-hour population.*

**Comment:** *This application seeks to provide additional office/retail uses and activities within the City core.*

City Center Goals and Objectives – Section 15 – Summary:

Kuna citizens expressed a strong desire to sustain and revitalize its historic downtown core and expand and strengthen it. The Plan outlines a vision for strong, sustainable and modern city center.

**Goal 1: Develop a healthy and vibrant City Center that offers Kuna residents a variety of services.**

Objective 3.2: Encourage business investment in the City Center

**J. Kuna City Code Analysis:**

1. This request appears to be consistent and in compliance with all Kuna City Code (KCC).

**Comment:** *The proposed application adheres to the applicable requirements of Title 5 of the KCC.*

2. The site is physically suitable for a commercial zoning designation.

**Comment:** *The 0.268 acre parcel is suitable to accommodate a commercial use.*

3. The rezone to commercial uses is not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.

**Comment:** *The land to be rezoned is not used as wildlife habitat. Roads, structures and open space already exist and will therefore not cause environmental damage or loss of habitat.*

4. The Rezone application is not likely to cause adverse public health problems.

**Comment:** *The proposed commercial zoning designation is connected to Kuna public sewer and water eliminating the occurrence of adverse public health problems.*

5. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

**Comment:** *The rezone request considers the location of the property and adjacent uses. The subject property is located within downtown area. The adjacent uses are commercial and residential – as referenced in the Kuna Comprehensive Plan Future Land Use Map.*

6. The existing and proposed street and utility services in proximity to the site are suitable and adequate for commercial use.

**Comment:** *Correspondence from ACHD and Kuna Public Works confirms that the streets and utility services are suitable and adequate for a commercial use.*

**K. Proposed Conclusions of Law:**

1. Based on the evidence contained in Case No 16-03-ZC, Commission finds Case No. 16-03-ZC complies with Kuna City Code.
2. Based on the evidence contained in Case No. 16-03-ZC, Commission finds Case No. 16-03-ZC is generally consistent with Kuna's Comprehensive Plan.
3. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

**L. Recommended Conditions of Approval:**

*Note: This proposed motion is to approve, conditionally approve, or deny this request. If the Commission wishes to approve or deny specific parts of the requests as detailed in this report, those changes must be specified.*

On November 8, 2016, the Planning and Zoning Commission voted to recommend *approval/denial* for Case No 16-03-ZC, based on the facts outlined in staff's report and the public testimony during the public hearing by the Planning and Zoning Commission of Kuna, Idaho, the Commission hereby recommends *approval/denial* for Case No. 16-03-ZC, a request from Michael Larson, with the following conditions of approval to Council:

1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All site improvements are prohibited prior to approval of the following agencies:
  - a. The City Engineer shall approve the sewer hook-ups.
  - b. The City Engineer shall approve the drainage and grading plans. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties". No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
  - c. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District is required.
  - d. The *Boise-Kuna* Irrigation District shall approve any modifications to the existing irrigation system.
  - e. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
2. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
3. Parking within the site shall comply with Kuna City Code. (Unless specifically approved otherwise).
4. Fencing within and/or around the site shall comply with Kuna City Code (Unless specifically approved otherwise and permitted).
5. Signage within/for the site shall comply with Kuna City Code.
6. Landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
7. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions and Kuna City Code or seek amending them through the public hearing processes.
8. Applicant shall follow staff, City engineers and other agency recommended requirements as applicable.
9. All local, state and federal laws shall be complied with.



City of Kuna  
 Planning & Zoning  
 Department  
 P.O. Box 13  
 Kuna, Idaho 83634  
 208.922.5274  
 Fax: 208.922.5989  
 Website: www.kunacity.id.gov

## Rezone Checklist

Rezone requires public hearings with both the Planning & Zoning Commission and City Council. Public hearing signs will be required to be posted by the applicant for both meetings. Sign posting regulations are available online.

<b>Project name:</b> <span style="font-size: 1.2em; color: blue;">LARSON RE-ZONE</span>	<b>Applicant:</b> <span style="font-size: 1.2em; color: blue;">Michael Larson</span>
--	---

All applications are required to contain one copy of the following:

Applicant (✓)	Description	Staff (✓)
✓	Completed and signed Commission & Council Review Application.	✓
✓	Letter of Intent indicating reasons for proposed rezone. If reason for rezone is development, also submit a conceptual plan.	✓
✓	Vicinity map drawn to scale, showing the location of the subject property. Map shall contain the following information: Shaded area showing the rezone property, Street names and names of surrounding subdivisions.	✓
✓	Legal description of the rezone area: Include a metes & bounds description to the section line of all adjacent roadways stamped & signed by a registered professional land surveyor with a calculated closure sheet & a map showing the boundaries of the legal description.	✓
N/A	Development Agreement & Development Agreement Checklist	N/A
✓	Recorded warranty deed for the property.	✓
✓	Proof of ownership—A copy of your deed <b>and</b> Affidavit of Legal Interest. (All parties involved)	✓
✓	Neighborhood meeting certification (certification & neighborhood meeting list forms shall accompany this application).	✓
✓	Commitment of Property Posting form signed by the applicant/agent.	✓

*Note: Only one copy of the above items need to be submitted when applying for multiple applications.*

*This application shall not be considered complete (nor will a Public Hearing be set) until staff has received all required information. Once the application is deemed complete, staff will notify the applicant of the scheduled hearing date, fees due, additional copies needed, etc.*



City of Kuna  
 Planning & Zoning  
 Department  
 P.O. Box 13  
 Kuna, Idaho 83634  
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 Fax: 208.922.5989  
 Website: www.kunacity.id.gov

## Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

\*Please submit the appropriate checklist (s) with application

For Office Use Only	
File Number (s)	16-03-ZC
Project name	LARSON REZONE
Date Received	9-8-2016
Date Accepted/Complete	9-29-2016
Cross Reference Files	
Commission Hearing Date	10-25-2016
City Council Hearing Date	

### Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

### Contact/Applicant Information

Owners of Record: <u>Michael Larson</u>	Phone Number: <u>612-669-4285</u>
Address: <u>1511 Andy Ln</u>	E-Mail: <u>Michael.Larson@gmail.com</u>
City, State, Zip: <u>Calhoun, ID. 83605</u>	Fax #: _____
Applicant (Developer): <u>Same</u>	Phone Number: <u>612-669-4285</u>
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____
Engineer/Representative: _____	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____

### Subject Property Information

Site Address: <u>368 W Linder Ave</u>	
Site Location (Cross Streets): <u>Main St</u>	
Parcel Number (s): <u>R061500530</u>	
Section, Township, Range: <u>2N 1W Sec 24</u>	
Property size: <u>0.283 Ac</u>	
Current land use: <u>RESIDENTIAL (R-6)</u>	Proposed land use: <u>Comm/retail (CBD)</u>
Current zoning district: <u>R-6</u>	Proposed zoning district: <u>CBD</u>

**Project Description**

Project / subdivision name: LARSON REZONE

General description of proposed project / request: REZONE to convert Residential home into Commercial

Type of use proposed (check all that apply):

Residential

Commercial CRD

Office

Industrial

Other

Amenities provided with this development (if applicable):

**Residential Project Summary (if applicable)**

Are there existing buildings?  Yes  No

Please describe the existing buildings:

Any existing buildings to remain?  Yes  No

Number of residential units: 1 Number of building lots: 1

Number of common and/or other lots: 8

Type of dwellings proposed:

Single-Family

Townhouses

Duplexes

Multi-Family

Other Commercial Rezone

Minimum Square footage of structure (s):

Gross density (DU/acre-total property): Net density (DU/acre-excluding roads):

Percentage of open space provided: Acreage of open space:

Type of open space provided (i.e. landscaping, public, common, etc.):

**Non-Residential Project Summary (if applicable)**

Number of building lots: 1 Other lots: 0

Gross floor area square footage: 2775 Existing (if applicable): 1

Hours of operation (days & hours): 7am - 11pm Building height:

Total number of employees: unknown Max. number of employees at one time:

Number and ages of students/children: N/A Seating capacity:

Fencing type, size & location (proposed or existing to remain):

Proposed Parking:

a. Handicapped spaces: 1 Dimensions:

b. Total Parking spaces: 7 Dimensions:

c. Width of driveway aisle:

Proposed Lighting: L.E.D. SENSOR

Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.):

Applicant's Signature: [Signature] Date: 9-7-16

RECEIVED  
9-26-16

Michael Larson  
8624 Robinson Road  
Kuna, Idaho. 83634

This letter is to acknowledge that I Michael Larson am the fee owner of 368 N Linder Kuna Idaho and I am moving to rezone the property from residential to Commercial/retail zoning.

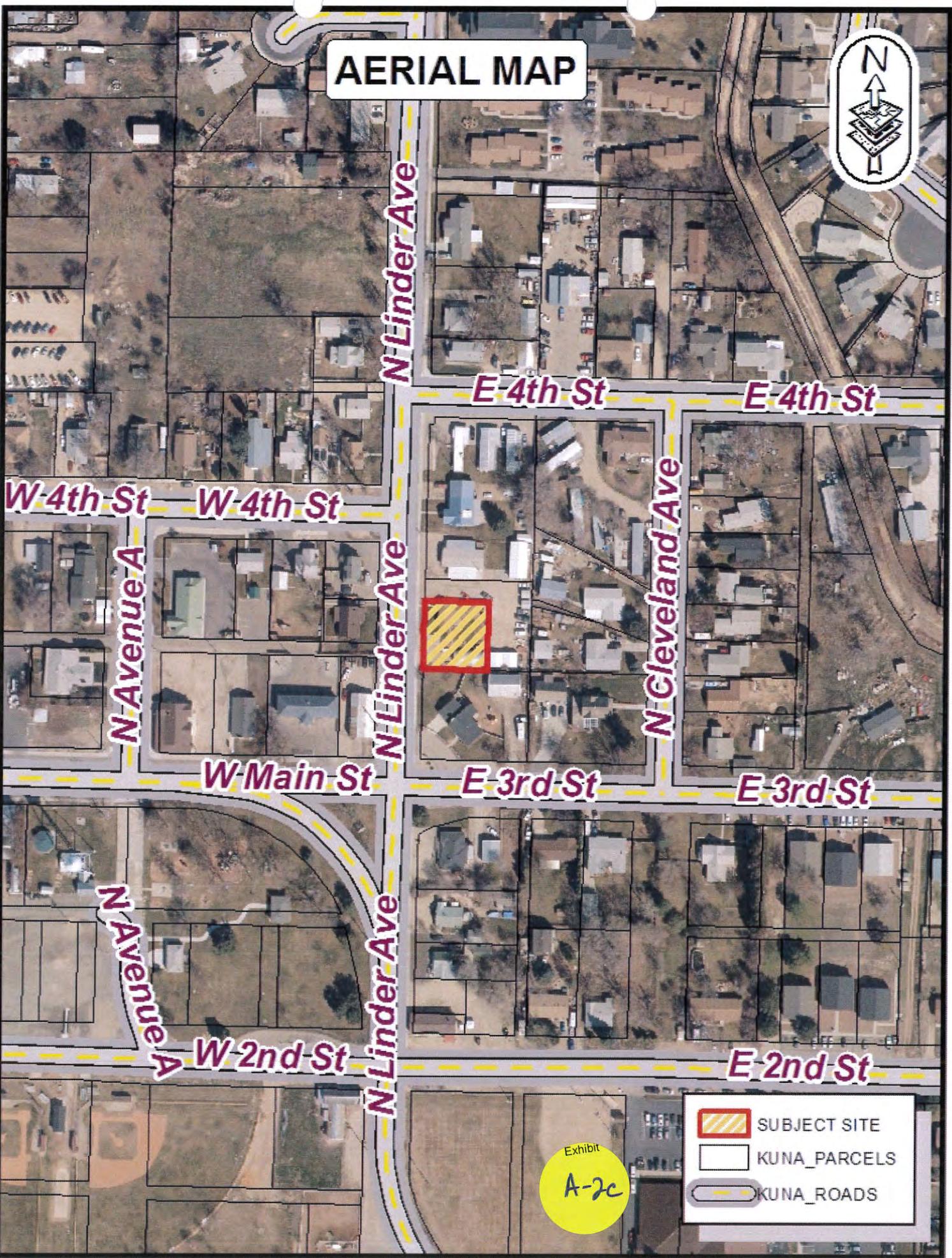


Michael Larson

09-23-2016

Exhibit  
A-2b

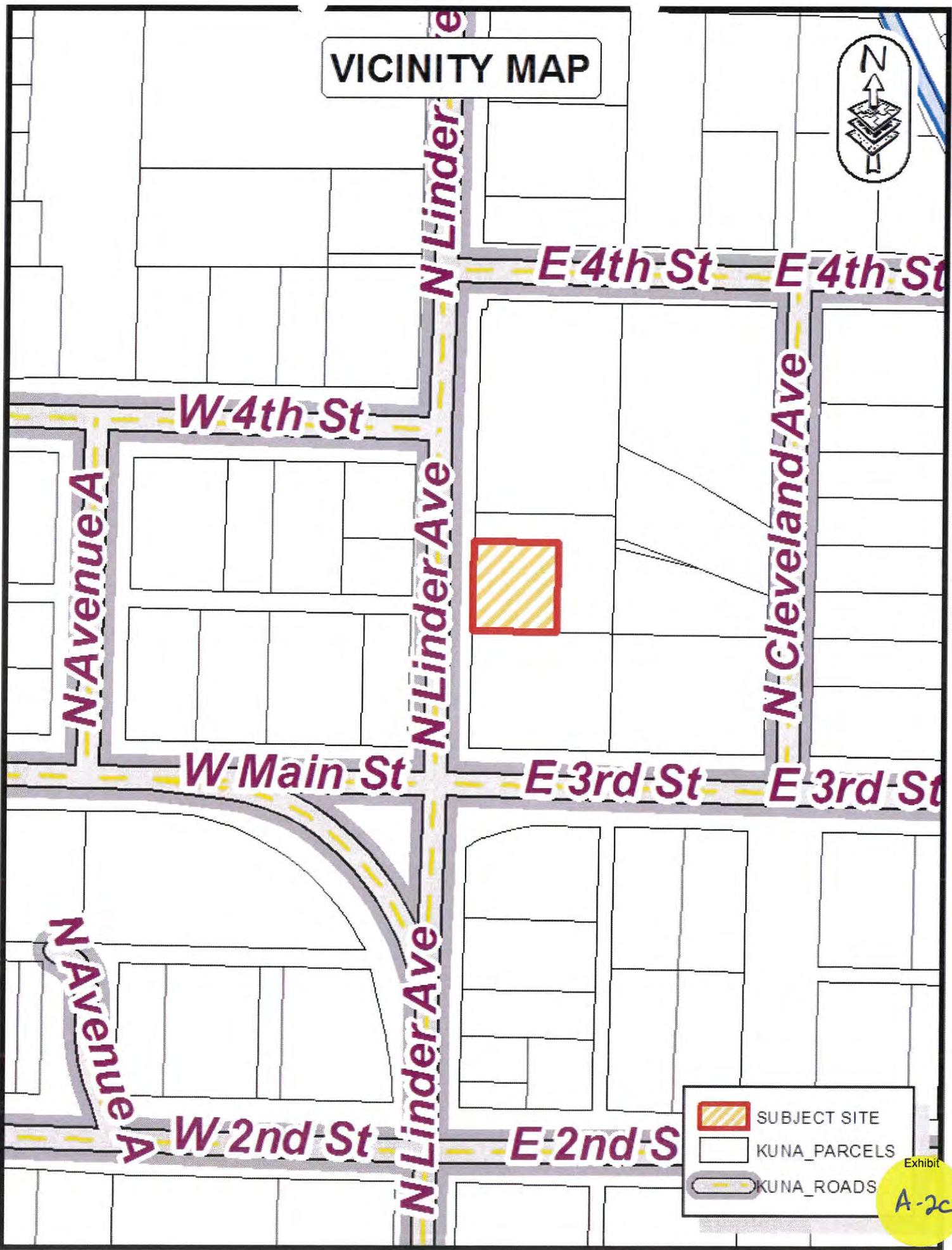
# AERIAL MAP



	SUBJECT SITE
	KUNA_PARCELS
	KUNA_ROADS

Exhibit  
A-2c

# VICINITY MAP



	SUBJECT SITE
	KUNA_PARCELS
	KUNA_ROADS

**Legal Description**

**368 N. Linder Avenue, Kuna, Idaho - Ada County Parcel #R0615000530**

The West 89.90 feet of Lots 25, 26, and 27 and the West 89.90 feet of the South 19.96 feet of Lot 28, all of Block 3 of the AVALON ADDITION to the City of Kuna, as shown in Book 5 of Plats at page 239, and situated in the Southwest quarter of the Southwest quarter of Section 24 of

Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho and more particularly described as follows:

Commencing at a brass cap monument marking the intersection point of the centerline of East Third Street (originally East First Street) with the West line of said Section 24 [centerline of Linder Road (originally named Chicago Avenue)], which lies North  $00^{\circ}27'58''$  East 779.98 feet

from the Southwest corner of said Section 24; thence along said west line

North  $00^{\circ}27'58''$  East 259.79 feet; thence

South  $89^{\circ}32'02''$  East 40.00 feet to the East right-of-way line of aforesaid Linder Road and the POINT OF BEGINNING; thence

South  $89^{\circ}26'35''$  East 89.90 feet parallel to the South line of Lot 28; thence

South  $00^{\circ}27'58''$  West 94.90 feet parallel to aforesaid East right-of-way line, to the South line of Lot 25; thence

North  $89^{\circ}27'08''$  West 89.90 feet along said South line to the Southwest corner of said Lot 25 on the aforesaid East right-of-way line; thence

North  $00^{\circ}27'58''$  East 94.91 feet along said right-of-way line to the POINT OF BEGINNING.



5680 E. Franklin Rd., Ste. 150  
Nampa, ID 83687

ADA COUNTY RECORDER Christopher D. Rich  
BOISE IDAHO Pgs=2 LISA BATT  
PIONEER TITLE COMPANY OF ADA COUNTY

2016-053349  
06/17/2016 03:10 PM  
\$13.00

ELECTRONICALLY RECORDED-DO NOT  
REMOVE THE COUNTY STAMPED FIRST  
PAGE AS IT IS NOW INCORPORATED AS  
PART OF THE ORIGINAL DOCUMENT

File No. 597327 JR/SK

## WARRANTY DEED

For Value Received Dennis K. Montgomery, an unmarried person  
hereinafter referred to as Grantor, does hereby grant, bargain, sell, warrant and convey unto

Michael R Larson a married man as his sole and separate property  
hereinafter referred to as Grantee, whose current address is 1311 Andy Lane Caldwell, ID 83607

The following described premises, to-wit:

The West 89.90 feet of Lots 25, 26, and 27 and the West 89.90 feet of the South 19.96 feet of Lot 28,  
all of Block 3 of the AVALON ADDITION to the City of Kuna, as shown in Book 5 of Plats at page  
239, and situated in the Southwest quarter of the Southwest quarter of Section 24 of

Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho and more particularly  
described as follows:

Commencing at a brass cap monument marking the intersection point of the centerline of East Third  
Street (originally East First Street) with the West line of said Section 24 [centerline of Linder Road  
(originally named Chicago Avenue)], which lies North 00°27'58" East 779.98 feet

from the Southwest corner of said Section 24; thence along said west line

North 00°27'58" East 259.79 feet; thence

South 89°32'02" East 40.00 feet to the East right-of-way line of aforesaid Linder Road and the  
POINT OF BEGINNING; thence

South 89°26'35" East 89.90 feet parallel to the South line of Lot 28; thence

South 00°27'58" West 94.90 feet parallel to aforesaid East right-of-way line, to the South line of Lot  
25; thence

North 89°27'08" West 89.90 feet along said South line to the Southwest corner of said Lot 25 on the  
aforecalled East right-of-way line; thence

North 00°27'58" East 94.91 feet along said right-of-way line to the POINT OF BEGINNING.

To HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee(s), and  
Grantees(s) heirs and assigns forever. And the said Grantor(s) does (do) hereby covenant to and with the  
said Grantee(s), the Grantor(s) is/are the owner(s) in fee simple of said premises; that said premises are  
free from all encumbrances EXCEPT those to which this conveyance is expressly made subject and those  
made, suffered or done by the Grantee(s); and subject to U.S. Patent reservations, restrictions,  
dedications, easements, rights of way and agreements, (if any) of record, and current years taxes, levies,  
and assessments, includes irrigation and utility assessments, (if any) which are not yet due and payable,  
and that Grantor(s) will warrant and defend the same from all lawful claims whatsoever.

Exhibit

A-2g



5680 E. Franklin Rd., Ste. 150  
Nampa, ID 83687

ADA COUNTY RECORDER Christopher D. Rich  
BOISE IDAHO Pgs=2 LISA BATT  
PIONEER TITLE COMPANY OF ADA COUNTY

**2016-053350**  
06/17/2016 03:10 PM  
\$13.00

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PART OF THE ORIGINAL DOCUMENT

File No. 597327 JR/SK

## QUITCLAIM DEED

For Value Received

Marisol Larson, Spouse of Grantee

do hereby convey, release, remise and forever quit claim unto

Michael R. Larson, a married man as his sole and separate property

whose address is 1311 Andy Lane, Caldwell, Idaho 83607

the following described premises, to-wit:

The West 89.90 feet of Lots 25, 26, and 27 and the West 89.90 feet of the South 19.96 feet of Lot 28, all of Block 3 of the AVALON ADDITION to the City of Kuna, as shown in Book 5 of Plats at page 239, and situated in the Southwest quarter of the Southwest quarter of Section 24 of Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho and more particularly described as follows:

Commencing at a brass cap monument marking the intersection point of the centerline of East Third Street (originally East First Street) with the West line of said Section 24 [centerline of Linder Road (originally named Chicago Avenue)], which lies North 00°27'58" East 779.98 feet from the Southwest corner of said Section 24; thence along said west line

North 00°27'58" East 259.79 feet; thence

South 89°32'02" East 40.00 feet to the East right-of-way line of aforesaid Linder Road and the POINT OF BEGINNING; thence

South 89°26'35" East 89.90 feet parallel to the South line of Lot 28; thence

South 00°27'58" West 94.90 feet parallel to aforesaid East right-of-way line, to the South line of Lot 25; thence

North 89°27'08" West 89.90 feet along said South line to the Southwest corner of said Lot 25 on the aforecalled East right-of-way line; thence

North 00°27'58" East 94.91 feet along said right-of-way line to the POINT OF BEGINNING.

together with their appurtenances.



# City of Kuna AFFIDAVIT OF LEGAL INTEREST

City of Kuna  
P.O. Box 13  
Kuna, Idaho 83634  
Phone: (208) 922-5274  
Fax: (208) 922-5989  
Web: www.cityofkuna.com

State of Idaho )  
County of Ada )

I, Michael Larson, 8624 Robinson Rd  
Name Address  
Kuna, ID 83634  
City State Zip Code

being first duly sworn upon oath, depose and say:

(If Applicant is also Owner of Record, skip to B)

A. That I am the record owner of the property described on the attached, and I grant my permission to \_\_\_\_\_  
Name Address

to submit the accompanying application pertaining to that property.

B. I agree to indemnify, defend and hold City of Kuna and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

C. I hereby grant permission to the City of Kuna staff to enter the subject property for the purpose of site inspections related to processing said application(s),

Dated this 7 day of Sept, 2016

[Signature]  
Signature

Subscribed and sworn to before me the day and year first above written.



Dawn Stephens  
Notary Public for Idaho

Residing at: Kuna, Idaho

My commission expires: 1-17-18





# Neighborhood Meeting Certification

CITY OF KUNA PLANNING & ZONING \* 763 W. Avalon, Kuna, Idaho, 83634 \* www.kunacity.id.gov \* (208) 922-5274 \* Fax: (208) 922-5989

## GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 8-7A-3 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

**Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.**

**Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.**

Description of proposed project: Rezone  
 Date and time of neighborhood meeting: Sept 6, 2016 6:00pm to 7:00pm  
 Location of neighborhood meeting: Kuna Library

## SITE INFORMATION:

Location: Quarter: \_\_\_\_\_ Section: \_\_\_\_\_ Township: \_\_\_\_\_ Range: \_\_\_\_\_ Total Acres: \_\_\_\_\_  
 Subdivision Name: \_\_\_\_\_ Lot: \_\_\_\_\_ Block: \_\_\_\_\_  
 Site Address: 368 N Linder Tax Parcel Number(s): R061500530  
Kuna, ID 83634

Please make sure to include **all** parcels & addresses included in your proposed use.

## CURRENT PROPERTY OWNER:

Name: Michael Larson  
 Address: 1311 Andy Ln City: Caldwell State: ID Zip: 83605

## CONTACT PERSON (Mail recipient and person to call with questions): Same

Name: \_\_\_\_\_ Business (if applicable): \_\_\_\_\_  
 Address: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_



**PROPOSED USE:**

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

**Application Type**

**Brief Description**

Annexation

Re-zone

Subdivision (Sketch Plat and/or Prelim. Plat)

Special Use

Variance

Expansion of Extension of a Nonconforming Use

Zoning Ordinance Map Amendment

Commercial

**APPLICANT:**

Name: Michael Larson

Address: P.O. Box 905

City: Kuna

State: IO

Zip: 83634

Telephone: 612-669-4285

Fax: \_\_\_\_\_

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 8-7A-3 of the Kuna City Code

Signature: (Applicant)



Date

9-6-16

Michael Larson  
1311 Andy Lane  
Caldwell, Idaho 83605

**RE: 368 N. Linder Rd; Kuna, ID 83634**

Date: August 18, 2016

Dear Neighbor:

I am the owner of the property shown on the map (reverse side). I would like to Rezone to CBD (Central Business District) in the City of Kuna. This property address is 368 N. Linder Rd.

As part of the re-zoning process, I am required to hold a meeting with neighbors who also own property within 300 feet of my parcel. This meeting will be held on **September 6, 2016** in the conference room at the **Kuna Library** from **6:00 pm to 7:00 pm**.

At this time, intended use will be office/retail.

Please plan on attending this meeting if you have any questions or concerns about the re-zoning you may also send your concerns or questions to via US mail (see return address).

Thank you.

Michael Larson  
1311 Andy Lane  
Caldwell, ID 83605

RE-ZONE  
SIGN IN SHEET

PROJECT NAME: 368 N. Linden, Kuna ID 93634

Date: 9-6-16 5:55 pm

	<u>Name</u>	<u>Address</u>	<u>Zip</u>	<u>Phone</u>
1	<u>Dave Bell</u>	<u>388 Linden</u>	<u>83634</u>	<u>859-5909</u>
2	<u>Dave Case</u>	<u>320 Linden</u>	<u>83634</u>	<u>283-5510</u>
3				
4				
5				
6				
7				
8				
9				
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11				
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14				
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16				
17				
18				
19				
20				
21				
22				
23				
24				
25				
26				
27				
28				
29				
30				



*City of Kuna*  
**COMMITMENT TO  
PROPERTY POSTING**

City of Kuna  
P.O. Box 13  
Kuna, Idaho 83634

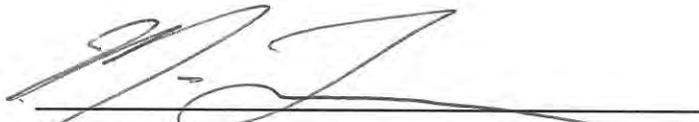
Phone: (208) 922-5274  
Fax: (208) 922-5989  
Web: [www.cityofkuna.com](http://www.cityofkuna.com)

Per City Code 5-1A-8, the applicant for all applications requiring a public hearing shall post the subject property not less than ten (10) days prior to the hearing. The applicant shall post a copy of the public hearing notice or the application (s) on the property under consideration.

The applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the City no later than seven (7) days prior to the public hearing attesting to where and when the sign (s) were posted. Unless such Certificate is received by the required date, the hearing will be continued.

The sign (s) shall be removed no later than three (3) days after the end of the public hearing for which the sign (s) had been posted.

I am aware of the above requirements and will comply with the posting requirements as stated in Kuna City Code 5-1A-8

  
\_\_\_\_\_  
Applicant/agent signature

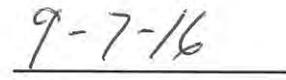
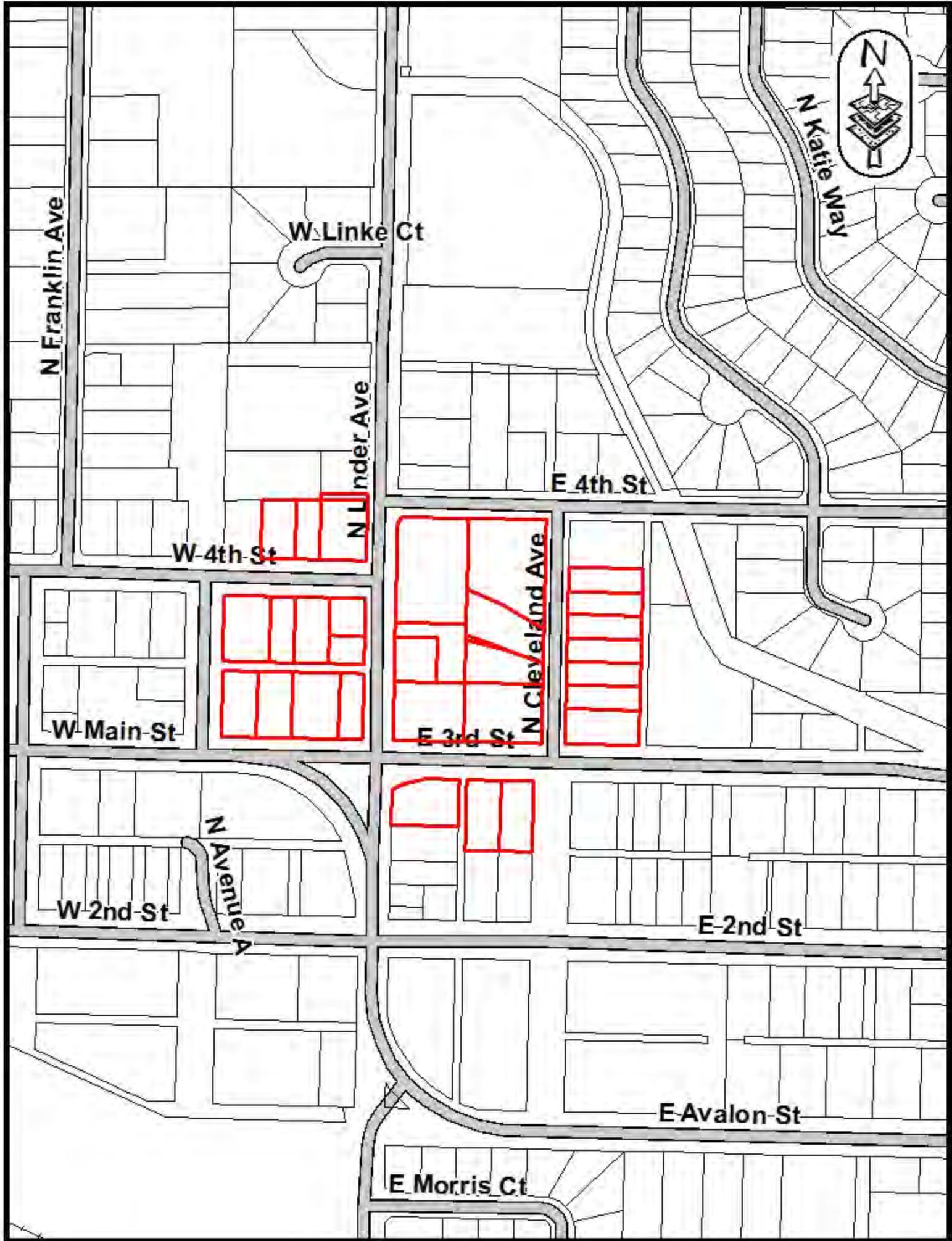
  
\_\_\_\_\_  
Date

Exhibit  
A-2i



<u>PRIMOWNER</u>	<u>SECOWNER</u>	<u>ADDRESS</u>	<u>STATE, ZIP</u>
ADA COUNTY HIGHWAY DISTRICT		3775 N ADAMS ST	GARDEN CITY, ID 83714-6447
ALLEN PROPERTIES LLC		1603 A 12TH AVE RD	NAMPA, ID 83686-0000
BELL DALE A	BELL SANDIE L	388 N LINDER AVE	KUNA, ID 83634-2058
BELL DALE ALAN		388 S LINDER RD	KUNA, ID 83634-2058
BENNETT LEA		320 N CLEVELAND AVE	KUNA, ID 83634-2142
BROWN RANDY K	BROWN NANCY E	360 N CLEVELAND AVE	KUNA, ID 83634-2142
CASE DAVID L	CASE LYNETTE	7866 S MCLINTOCK PL	MERIDIAN, ID 83642-0000
CHOLLETT SHANNON R		12743 S WAMBLEE VALLEY RD	CONIFER, CO 80433-0000
CHRISTENSEN TONI		144 W 4TH ST	KUNA, ID 83634-0000
DAVIS IDA M	DAVIS NORMAN R	371 N CLEVELAND AVE	KUNA, ID 83634-2143
DOWNUM DOUGLAS L		139 W 4TH ST	KUNA, ID 83634-0000
EEA PROPERTIES LLC		1207 W KIMRA ST	MERIDIAN, ID 83642-0000
FBK PROPERTIES LLC		157 W 4TH ST	KUNA, ID 83634-0000
FERGUSON ERIC B		341 N CLEVELAND AVE	KUNA, ID 83634-0000
FERGUSON RONALD S	FERGUSON KAREN S	5435 N CHOPIN AVE	MERIDIAN, ID 83646-4719
FORREY ALBERT R		153 E 3RD ST	KUNA, ID 83634-0000
GIBBONS WADE A	GIBBONS DONNA J	361 N LINDER AVE	KUNA, ID 83634-0000
GODFREY W R	GODFREY LOIS E	325 N CLEVELAND AVE	KUNA, ID 83634-2143
HALSTEAD PHILLIP	HALSTEAD LINDA	173 E 3RD ST	KUNA, ID 83634-0000
HONEY TIMOTHY	HONEY DANIELLE M	601 LINDER AVE	KUNA, ID 83634-0000
JANTZ JOHN R	JANTZ MYRNA L	6964 N MOON DRUMMER WAY	MERIDIAN, ID 83646-0000
LARSON MARK B	LARSON KAROL	PO BOX 7346	BOISE, ID 83707-0000
LARSON MICHAEL R		1311 ANDY LN	CALDWELL, ID 83607-0000
MOTT GLENN E &	MOTT CHARLOTTE	780 S EGAN	BURNS, OR 97720-0000
ODLE MARGARET TRUST THE 11/19/13	ODLE MARGARET A TRU	2906 N INNIS ST	BOISE, ID 83703-0000
OLSON FISHER ENTERPRISES L C		P O BOX 68	KUNA, ID 83634-0000
SCHMILLEN KEN & DIANE TRUST		427 LINDER AVE	KUNA, ID 83634-2061
SECRETARY OF HOUSING & URBAN DEVELOPMENT		4400 WILL ROGERS PKWY # 300	OKLAHOMA CITY, OK 73108-0000
SMITHER KYLE S	SMITHER MISTY	400 N CLEVELAND AVE	KUNA, ID 83634-0000



CITY OF KUNA  
**PLANNING & ZONING DEPARTMENT**  
PO Box 13 • 763 W Avalon St • Kuna, Idaho • 83634  
Phone (208) 922-5274 • Fax: (208) 922-5989  
www.kunacity.id.gov

Dear Property Owner:

NOTICE IS HEREBY GIVEN: The City of Kuna **Planning and Zoning Commission** is scheduled to hold a public hearing on **November 8, 2016** beginning at 6:00 pm on the following case:

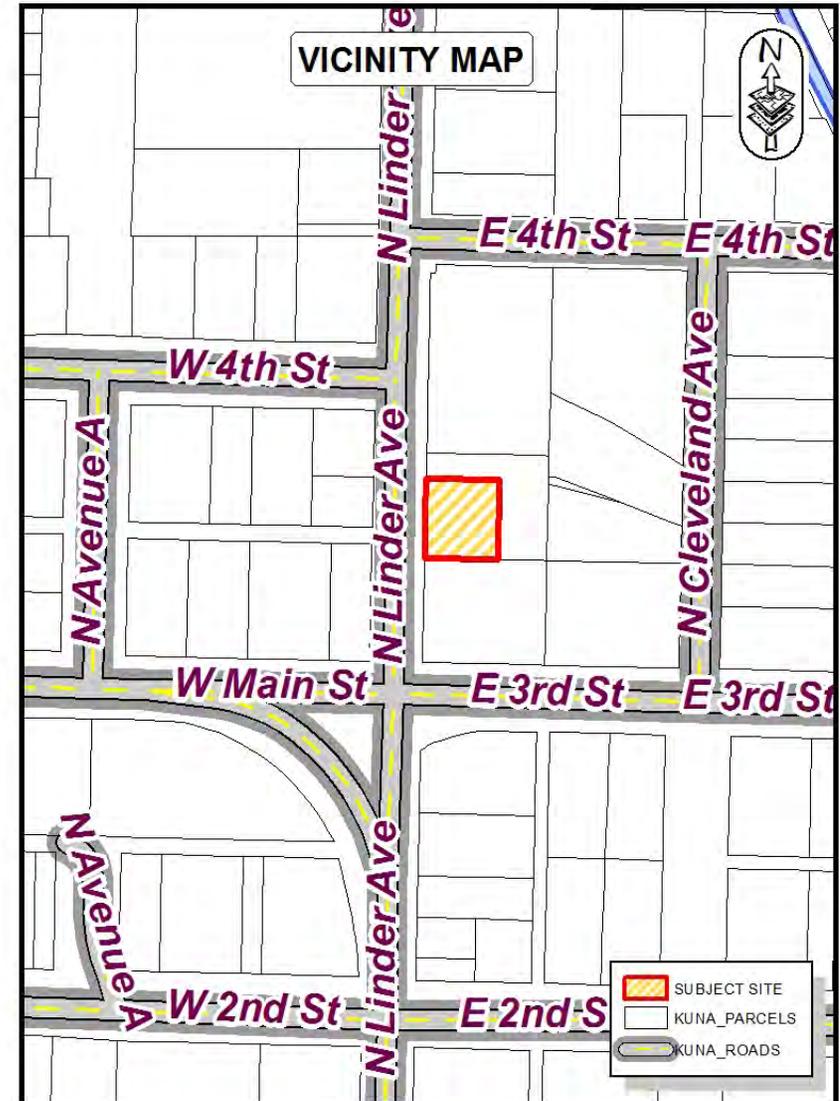
A request from Michael Larson to rezone an approximately 0.283 acre parcel in City limits from the existing R-6 (Medium Density Residential) to a CBD (Central Business District) Commercial zone, in order to convert the existing structure to retail/office space. This request does not include a Design Review application.

The site is located at 368 N. Linder Avenue, Kuna, Idaho (refer to adjacent map).

The hearing will be held in Chambers at the New City Hall located at **751 West 04th Street**, Kuna, Idaho.

All documents concerning public hearing items may be reviewed at Kuna City Hall, 751 West 04th Street, Kuna, Idaho, 83634. Office hours are 8:00 am to 5:00 pm, Monday through Friday, except holidays. If you have questions or would like additional information, please contact the Planning and Zoning Department at (208) 922-5274.

You are invited to provide oral or written comments at the hearing. Please note that all comments made during the public hearing will be restricted to three (3) minutes per person. Prior to the hearing, written comments may be submitted to the appropriate governing body at least seven (7) days prior to the hearing. These comments will be forwarded to the Commission.



In all correspondence concerning this case, please refer to the case name: **16-03-ZC (Rezone)**.

## **Suggestions For Testifying at the Public Hearing:**

### **Be informed . . .**

Review the proposal, the staff report, applicable provisions of the ordinance and comprehensive plan.

### **Be on time . . .**

**Although the item you are interested in may not be first on the agenda, you never know when it will be heard. The governing body has authority to adjust the schedule according to its discretion. Thus, anticipate attending from the beginning.**

### **Speak to the point . . .**

The governing body appreciates pertinent, well organized, and concise comments. Redundant testimony is prohibited and **each individual is given three (3) minutes to comment.** Long stories, abstract complaints, or generalities may not be the best use of time. Neighborhood groups are encouraged to organize testimony and have one (1) person speak on behalf of the group -- "opposition representative," like the applicant's representative, receives 10 minutes to make comments. Applicant has five (5) minutes to rebut or discuss issues raised by any opposition.

### **If you don't wish to speak, write . . .**

At most hearings, previously submitted written testimony may be reviewed by the governing body before the meeting. It is unreasonable to submit extensive written comments or information at the hearing and expect them to be reviewed prior to a decision. All documents or written comments should be submitted to the City of Kuna at least one (1) week **prior** to the hearing.

City of Kuna  
Planning and Zoning  
PO Box 13  
Kuna, ID 83634

**LEGAL NOTICE**

J12027 County: Ada Sum  
ing on the obligation: as of  
ber 3, 2016: \$135,551.60  
ause of interest, late  
ges, and other charges  
may vary from day to  
you pay may be greater.  
ce, if you pay the amount  
n above, an adjustment  
be necessary after we  
ive your check. For fur-  
information write or call  
Successor Trustee at the  
ress or telephone number  
vided above. Basis of de-  
t: failure to make pay-  
ts when due. Please take  
ce that the Successor  
tee will sell at public auc-  
to the highest bidder for  
ified funds or equivalent  
property described above.  
roperty address is iden-  
d to comply with IC 60-  
but is not warranted to be  
ect. The property's legal  
cription is: Lot 20 in Block  
f Emily Subdivision, ac-  
cording to the Official Plat  
eof, filed in Book 69 of  
s at Page(s) 7070 and  
1, Official Records of Ada  
nty, Idaho. The sale is  
ject to conditions, rules  
cedures as described  
e sale and which can be  
ewed at www.northwest-  
tee.com or USA-Foreclo-  
s.com. The sale is made  
out representation, war-  
y or covenant of any kind.  
ney, Kyle T. (TS#  
2.15276) 1002.282958-  
No.

October 12, 19, 26, 2016  
1528299

#### LEGAL NOTICE

##### NOTICE OF TRUSTEE'S SALE

Notice of Trustee's Sale  
to Code 45-1506 Today's  
e: September 16, 2016  
No.: 7367.23134 Sale  
e and time (local time):  
uary 30, 2017 at 9:00 AM  
e location: Courtyard by  
riott Boise Downtown,  
S. Broadway Avenue,  
se, ID 83702, Auction.com  
m Property address:  
11 Saint Andrews Drive  
se, ID 83705 Successor  
tee: Northwest Trustee  
vices, Inc., an Idaho Cor-  
ation P.O. Box 997 Belle-  
y, WA 98009 (425) 586-  
10 Deed of Trust Informa-  
Original grantor: Brandon  
iz, a married man as his  
e and separate property  
ginal trustee: Nextitle Orig-  
l beneficiary: Mortgage  
ronic Registration Sys-  
s, Inc. solely as nominee  
Excel Mortgage Servicing,  
s, a corporation Recording  
e: 08/31/2012 Recorder's  
ument number:  
2089475 County: Ada Sum  
ing on the obligation: as of  
ctober 16, 2016:  
39,053.06 Because of in-  
est, late charges, and oth-  
er charges that may vary  
n day to day, the amount  
e on the day you pay may  
greater. Hence, if you pay  
amount shown above, an  
ustment may be neces-  
y after we receive your  
eck. For further information  
te or call the Successor  
trustee at the address or  
phone number provided  
ve. Basis of default: fail-  
e to make payments when  
e. Please take notice that  
Successor Trustee will  
l at public auction to the  
hest bidder for certified  
ds or equivalent the prop-  
y described above. The  
perty address is identified  
comply with IC 60-113 but  
not warranted to be correct.  
e property's legal descrip-  
ion is: Lot 32 in Block 1 of  
uth Hillcrest Subdivision,  
ording to the Official Plat  
roof, filed in Book 18 of  
its at Pages 1181 and  
82, and amended by Affi-  
vit recorded November 21,

542701, records of Ada  
County, Idaho. The sale is  
subject to conditions, rules  
and procedures as described  
at the sale and which can be  
reviewed at www.northwest-  
trustee.com or USA-Foreclo-  
sure.com. The sale is made  
without representation, war-  
ranty or covenant of any kind.  
Cruz, Brandon and Erica  
(TS# 7367.23134)  
1002.288670-File No.

September 28, 2016  
October 5, 12, 19, 2016  
1522703

#### LEGAL NOTICE

##### NOTICE OF TRUSTEE'S SALE

Notice of Trustee's Sale  
Idaho Code 45-1506 Today's  
date: September 16, 2016  
File No.: 7777.02585 Sale  
date and time (local time):  
January 27, 2017 at 11:00  
AM Sale location: Front steps  
of the Ada County Court-  
house, 200 W Front St.,  
Boise, ID 83702 Property ad-  
dress: 1993 North Cool Creek  
Avenue Meridian, ID 83646  
Successor Trustee: North-  
west Trustee Services, Inc.,  
an Idaho Corporation P.O.  
Box 997 Bellevue, WA 98009  
(425) 586-1900 Deed of Trust  
information Original grantor:  
Cynthia R. Greenfield, an un-  
married woman Original  
trustee: Wells Fargo Financial  
National Bank Original benefi-  
ciary: Wells Fargo Bank, N.A.  
Recording date: September  
18, 2008 Recorder's instru-  
ment number: 108104277  
County: ADA Sum owing on  
the obligation: as of Septem-  
ber 16, 2016: \$34,927.10 Be-  
cause of interest, late  
charges, and other charges  
that may vary from day to  
day, the amount due on the  
day you pay may be greater.  
Hence, if you pay the amount  
shown above, an adjustment  
may be necessary after we  
receive your check. For fur-  
ther information write or call  
the Successor Trustee at the  
address or telephone number  
provided above. Basis of de-  
fault: failure to make pay-  
ments when due. Please take  
notice that the Successor  
Trustee will sell at public auc-  
tion to the highest bidder for  
certified funds or equivalent  
the property described above.  
The property address is iden-  
tified to comply with IC 60-  
113 but is not warranted to be  
correct. The property's legal  
description is: Lot 14 in Block  
4 of One Subdivision No. 3,  
according to the official plat  
thereof, filed in Book 60 of  
plats at pages 6019 and  
6020, records of Ada County,  
Idaho. The sale is subject to  
conditions, rules and proce-  
dures as described at the  
sale and which can be re-  
viewed at www.northwest-  
trustee.com or USA-Foreclo-  
sure.com. The sale is made  
without representation, war-  
ranty or covenant of any kind.  
Greenfield, Cindy (TS#  
7777.02585) 1002.288901-  
File No.

October 12, 19, 26, 2016  
November 2, 2016  
1528960

#### LEGAL NOTICE

CITY OF KUNA  
P.O. Box 13  
Kuna, ID 83634  
Phone: 922-5274  
Fax: 922-5989

##### Case # 16-05-SUP (Special Use Permit)

NOTICE IS HEREBY GIV-  
EN, the Kuna Planning and  
Zoning Commission will hold  
a public hearing, Tuesday,  
November 8, 2016, at 6:00  
pm, at the new Kuna City  
Hall, 751 W. 4th Street, Kuna,  
ID; in connection with a re-  
quest from Jon Breckon (rep-

it Union) for a Special Use  
Permit to operate an I.C.C.U.  
Branch Store (Banking) facili-  
ty, with a drive-thru, located  
at 1375 N Meridian Road,  
Kuna, ID 83634.

The public is invited to  
present written and/or oral  
comments. Any written testi-  
mony must be received by  
5:00 pm, November 1st,  
2016. Please mail any com-  
ments to: P.O. Box 13 Kuna,  
ID 83634, or drop off at City  
Hall, located at 751 W. 4th  
Street Kuna, ID 83634.

Please do not contact any-  
one who would be involved in  
this decision making process  
about this project, which  
would include the Planning &  
Zoning Commissioners, City  
Council Members, or the  
Mayor; as such private con-  
versations would be consid-  
ered ex parte (one sided) and  
could jeopardize the public  
hearing process.

If you have any questions  
or require special accommo-  
dations, please contact the  
Kuna Planning & Zoning De-  
partment prior to the meeting  
at (208) 922-5274.

Kuna Planning & Zoning  
Department

October 19, 2016  
1533072

#### LEGAL NOTICE

CITY OF KUNA  
P.O. Box 13  
Kuna, ID 83634  
Phone: 922-5274  
Fax: 922-5989

##### Case # 16-03-S (Subdivision), 16-06-AN (Annexation) & 16-13-DR (Design Review)

NOTICE IS HEREBY GIV-  
EN, that the Kuna Planning  
and Zoning Commission will  
hold a public hearing, Tues-  
day, **November 8th, 2016, at  
6:00 pm**, or as soon as can  
be heard at Kuna City Hall,  
751 W. 4th Street, Kuna, ID;  
in connection with a request  
from J-U-B Engineers rep-  
resenting Coleman Homes,  
LLC to annex approximately  
111.18 acres into Kuna City  
with an R-6 residential zoning  
designation and subdivide the  
property into 348 single fami-  
ly residential lots and 35 com-  
mon lots for the proposed  
Winfield Springs Subdivision.  
A Design Review application  
for common area landscaping  
accompanies this request.  
The site is located northwest  
of the intersection of Deer  
Flat and Meridian Roads at  
**1925 N. Meridian Road,  
Kuna, Idaho.**

The public is invited to  
present written and/or oral  
comments to the Commis-  
sion. No person shall speak  
at the hearing until recog-  
nized by the Planning and  
Zoning Commission Chair-  
man. A three (3) minute time  
limit may be placed on all ver-  
bal testimony. Any written  
testimony must be received  
by November 03, 2016, or it  
may not be considered. Please  
mail to P.O. Box 13  
Kuna, ID 83634, or drop off at  
City Hall; 751 W. 4th Street.  
Please do not contact any-  
one who would be involved in  
this decision making process,  
which includes the Planning  
& Zoning Commissioners,  
City Council Members, or the  
Mayor; as such private con-  
versations would be consid-  
ered ex parte and could jeop-  
ardize the public hearing pro-  
cess.

If you have any questions  
or require special accommo-  
dations, please contact the  
Kuna Planning & Zoning De-  
partment prior to the meeting  
at 922-5274.

Kuna Planning & Zoning

October 19, 2016  
1531833

CITY OF KUNA  
P.O. Box 13  
Kuna, ID 83634  
Phone: 922-5274  
Fax: 922-5989

##### Case # 16-03-ZC (Rezoning)

NOTICE IS HEREBY GIV-  
EN, that the Kuna Planning  
and Zoning Commission will  
hold a public hearing, Tues-  
day, **November 8th, 2016, at  
6:00 pm**, or as soon as can  
be heard at Kuna City Hall,  
751 W. 04th Street, Kuna, ID;  
in connection with a request  
from Michael Larson to re-  
zone approximately 0.283  
acres in City limits from the  
current R-6 residential zone  
to a CBD (Central Business  
District) commercial zoning  
designation. The site is locat-  
ed at **368 N. Linder Avenue,  
Kuna, Idaho (APN#:  
R051500530).**

The public is invited to  
present written and/or oral  
comments to the Commis-  
sion. No person shall speak  
at the hearing until recog-  
nized by the Planning and  
Zoning Commission Chair-  
man. A three (3) minute time  
limit may be placed on all ver-  
bal testimony. Any written  
testimony must be received  
by November 03, 2016, or it  
may not be considered. Please  
mail to P.O. Box 13  
Kuna, ID 83634, or drop off at  
City Hall; 751 W. 04th Street.

Please do not contact any-  
one who would be involved in  
this decision making process,  
which includes the Planning  
& Zoning Commissioners,  
City Council Members, or the  
Mayor; as such private con-  
versations would be consid-  
ered ex parte and could jeop-  
ardize the public hearing pro-  
cess.

If you have any questions  
or require special accommo-  
dations, please contact the  
Kuna Planning & Zoning De-  
partment prior to the meeting  
at 922-5274.

Kuna Planning & Zoning

October 19, 2016  
1531255

#### LEGAL NOTICE

##### Advertisement for Bids

Project Title: Ten Mile &  
Lake Hazel Sewer Main 2016  
Project

Separate sealed bids will be  
received by the City of Kuna  
at 6950 S. Ten Mile Rd.,  
Meridian, Idaho, until 3:00  
P.M. (local time), on Novem-  
ber 9, 2016 at which time  
they will be publicly opened  
and read aloud.

It is the intent of these docu-  
ments to describe the work  
required to complete this  
project in sufficient detail to  
secure comparable bids. All  
parts or work not specifically  
mentioned which are neces-  
sary in order to provide a  
complete installation shall be  
included in the bid and shall  
conform to all Local, State,  
and Federal requirements.  
The Project generally con-  
sists of the construction of  
approximately 435 linear feet  
of eighteen (18) inch, 296 lin-  
ear feet of fifteen (15) inch,  
and 1,475 linear feet of  
twelve (12) inch PVC gravity  
sewer pipe, including any ap-  
purtenances and connection  
to existing piping; installation  
of eight (8) new manholes,  
four jack and bore crossings  
of Mason Creek for installa-  
tion of gravity sewer pipe and  
a total of four (4) ASTM A-  
252 smooth steel casings  
(two 30" and two 24") under  
two separate Mason Creek  
crossings, and earthen grav-  
el, sod, and asphalt repair.

The Project Manual, Draw-  
ings, and Exhibits may be ex-

issuing office of the City of  
Kuna, Public Works Depart-  
ment, 6950 S. Ten Mile Rd.,  
Meridian, Idaho 83642.  
Copies of these documents  
may be purchased for a non-  
refundable fee of \$20.00 or a  
compact disc option for a  
non-refundable fee of \$5.00.

The submission package or  
envelope must be **SEALED**  
and **PLAINLY MARKED**. The  
bidder's return address must  
appear on the envelope or  
package. **DO NOT FAX  
YOUR BID OR PROPOSAL**.  
Bids and Proposals must be  
submitted in writing. No oral,  
telephone, facsimile, tele-  
graphic, or late submissions  
will be considered. All sub-  
missions must be received at  
the location noted above and  
time and date stamped prior  
to the closing date and time.  
**Bids received will only be  
considered from plan hold-  
ers that purchased plans  
from the location noted  
above.** A Pre-Bid Meeting will  
not be held.

In determining the lowest  
bid, the Owner will consider  
all acceptable bids on a basis  
consistent with the bid pack-  
age. The Owner will also con-  
sider whether the bidder is a  
responsible bidder. Before a  
contract will be awarded for  
work contemplated herein,  
the Owner will conduct such  
investigation as necessary to  
determine the performance  
record and ability of the ap-  
parent low bidder to perform  
the size and type of work  
specified under this Contract.  
Upon request, the bidder  
shall submit such information  
as deemed necessary by the  
Owner to evaluate the bid-  
der's qualifications.

All bids must be signed and  
accompanied by evidence of  
authority to sign.

Bids must be accompanied  
by Bid Security in the form of  
a bid bond, certified check,  
cashiers check, or cash in the  
amount of 5% of the amount  
of the bid proposal. Said bid  
security shall be forfeited to  
the City of Kuna as liquidated  
damages should the success-  
ful bidder fail to enter into  
contract in accordance with  
their proposal as specified in  
the instructions to Bidders.

The City of Kuna reserves  
the right to reject any or all  
proposals, waive any nonma-  
terial irregularities in the bids  
received, and to accept the  
proposal deemed most advan-  
tageous to the best interest  
of the City of Kuna.

Date 12 October, 2016

Gordon Law, City Engineer  
City of Kuna, Idaho

October 19, 2016  
1531825

#### LEGAL NOTICE

##### NOTICE OF CORRECTION OF ASSESSMENT

Notice is hereby given that  
at the Regular Board Meeting  
held October 4, 2016, said  
Board of Directors, by resolu-  
tion, set the levies for the  
2016 Fall & 2017 Spring Toll  
in the manner required by  
Idaho Code.

You are also notified the  
Board of Directors of Boise-  
Kuna Irrigation District, will  
meet as a Board of Correc-  
tions, pursuant to Title 43-702  
of the Idaho Code on the 1st  
day of November 2016. The  
meeting will be held at the of-  
fice of the Board, 129 N  
School Ave in Kuna, Idaho at  
1:00 p.m.

BOISE-KUNA IRRIGATION  
DISTRICT

Lauren S Boehlke  
Secretary-Treasurer

October 12, 19, 2016  
1528989

# CITY OF KUNA PUBLIC HEARING NOTICE

Before the Kuna Planning and Zoning  
Commission [REDACTED] 2016 6:00 P.M.  
NOVEMBER 8<sup>th</sup>

Where: Kuna City Hall 751 W. 4th  
Street Kuna, Idaho 83634

PURPOSE: Re-Zone - Avalon Addition  
Zoning CBD, for future Office/Retail use

Property Location - 368 N. Linder  
Kuna, Idaho 83634

Application by - Mike Larson



**IDAHO TRANSPORTATION DEPARTMENT**  
P.O. Box 8028  
Boise, ID 83707-2028

(208) 334-8300  
[itd.idaho.gov](http://itd.idaho.gov)

---

September 29, 2016

Trevor Kesner  
City of Kuna, Planning and Zoning Department  
P.O. Box 13  
Kuna, ID 83634

**VIA EMAIL**

**RE: 16-03-ZC 368 NORTH LINDER MICHEAL LARSON**

The Idaho Transportation Department has reviewed the referenced zoning change application for Micheal Larson at 368 North Linder, northwest of SH-69. ITD has the following comments:

1. ITD has no objection to the zoning change for this parcel.
2. The project does not abut the State highway system.

If you have any questions, you may contact Shona Tonkin at 334-8341 or me at 332-7190.

Sincerely,

A handwritten signature in blue ink that reads 'Ken Couch'.

Ken Couch  
Development Services Coordinator  
[Ken.Couch@itd.idaho.gov](mailto:Ken.Couch@itd.idaho.gov)

---

Exhibit

B-2



**CITY OF KUNA**  
**P.O. BOX 13**  
**KUNA, ID 83634**  
[www.kunacity.id.gov](http://www.kunacity.id.gov)

GORDON N. LAW  
CITY ENGINEER

Telephone (208) 922-5546; Fax (208) 922-5989  
Email: [glaw@kunaid.gov](mailto:glaw@kunaid.gov)

---

## MEMORANDUM

TO: Trevor Kesner

FROM: Gordon N. Law  
Kuna City Engineer

RE: Michael Larsen  
368 N Linder Ave.  
Rezone  
16-03-ZC

DATE: September 27, 2016

---

The City Engineer has reviewed the Rezone request of the above applicant dated September 27, 2016. It is noted that the request and application do not provide a description or plan for redevelopment of the site and it is not possible to determine if the redevelopment will result in an increased demand on the sewer and water systems or a change in the point of access to the street system. It is also noted the site lies within an area served by gravity irrigation rather than pressurized irrigation. With these limitations, the City Engineer provides the following comments under the presumption that most will not be applied until the time of redevelopment:

### 1. Sanitary Sewer System

- a) The existing structures are already connected to the City sewer system and nothing is provided to demonstrate increased demand with approval of the rezone request beyond historical connected load. **Nevertheless, the development is subject to added connection fees for any increased connected load.**
- b) It appears the property lies within the Ten Mile Lift Station sewer shed. Specific recommendations of note are as follows:
  - 1) It is recommended this application be conditioned to require connection to the City sewer system for all sanitary sewer needs.
  - 2) For any increased connected load, it is recommended this application be conditioned to conform to the sewer master plan.
- c) For assistance in locating existing facilities and understanding issues associated with the Master Plan and connection, please contact the City Engineer at 287-1727.

### 2. Potable Water System

Exhibit

B-3

- a) The existing facilities are already connected to the City water system and nothing is provided to demonstrate increased demand with approval of the rezone request beyond historical connected load. **Nevertheless, the development is subject to added connection fees for any increased connected load.**
- b) Water supply capacity is available for this site upon payment of appropriate fees. Specific recommendations of note are as follows:
  - 1) It is recommended this application be conditioned to require connection to the City water system for all potable water needs.
  - 2) For any increased connected load, it is recommended this application be conditioned to conform to the water master plan.
- c) Improvements necessary to provide adequate fire protection as required by Kuna Fire District will be required of the development.
- d) For assistance in locating existing facilities and understanding issues associated with connection, please contact the City Engineer at city hall.
- e) Please verify there is adequate separation between potable water service lines and all non-potable water lines (storm drains, sewer services, etc.).

### 3. **Pressure Irrigation**

- a) The applicant is served by gravity irrigation and provides no indication of any intent to alter its use of the existing irrigation system.
- b) It is recommended the applicant is required to not use public potable water for irrigation purposes.
- c) It is recommended, if the area converts from gravity to pressure irrigation at some point in the future, this applicant be required to annex into KMID and connect to the new facilities.

### 4. **Grading, Gravity Irrigation, Storm Drainage**

- a) Runoff from public right-of-way is regulated by ACHD. Plans are required to conform to ACHD standards.
- b) Exclusive of public right-of-way, any increase in quantity or rate of runoff or decrease in quality of runoff compared to historical conditions must be detained, treated and released at rates no greater than historical amounts. In the alternative, offsite disposal of storm water in excess of historical rates or conditions or disposal at locations different than provided historically, approval of the operating entity is required. The City of Kuna relies on the ACHD Stormwater Policy Manual to establish the requirements for design of any on-site private disposal system.
- c) The city is now requiring with every new development, a documentation map that illustrates the surface and sub-surface water irrigation supply as well as drainage ways that exist in and around the proposed development to be submitted with construction plans. The map must include 2-foot contours, a layout and essential features of existing irrigation ditches, drainage ditches and pipelines within and adjacent to the proposed development. Open and piped facilities should be noted. The map should include any proposed changes to the systems.

### 5. **General**

At the time of, or prior to redevelopment:

- a) Plan approvals and license agreements from any affected irrigation District will be required.
- b) The City reserves the right of prior approval to all agreements involving the applicant (or its successors) and the irrigation or drainage district related to the property of this application or prior approval for any attempt to abandon water rights.

- c) Verify that existing and proposed elevations match sufficiently at property boundaries to not impose a slope burden on adjacent properties.
- d) State the vertical datum used for elevations.
- e) Provide engineering certification on all final engineering drawings.

## **6. Inspection Fees**

An inspection fee will be required for any **public** water, sewer and irrigation construction work associated with this development. The developer will still require a qualified responsible engineer to do sufficient inspection to justly certify to DEQ the project was completed in accordance with approved plans and specifications and to provide accurate as-built drawings to the City. The developer's engineer and the City's inspector are permitted to coordinate inspections as much as possible. The current inspection fee is \$1.00 per lineal foot of sewer, water and pressure irrigation pipe and payment is due and payable prior to City's scheduling of a pre-construction conference. It is noted that public facility construction does not appear to be part of this project.

## **7. Right-of-Way**

Sufficient full and half right-of-way on section and quarter lines for arterial and collector streets shall be provided and developed pursuant to City and ACHD standards. In this instance, the site fronts on one classified street (Linder). The providing of deeded right-of-way to the extent of the frontage on those streets is recommended as a requirement.

- a) It is recommended approaches onto local, section line and quarter line streets comply with ACHD approach policies and generally are as far as practical from the intersection.
- b) It is recommended asphalt widening, concrete sidewalk and curb and gutter be provided at the time of redevelopment.

## **8. As-Built Drawings**

As-built drawings are required at the conclusion of any public facility construction project and are the responsibility of the developer's engineer. The city may help track changes, but will not be responsible for the finished product. As-built drawings will be required before occupancy is granted. It is noted that public facility construction does not appear to be part of this project.

## **9. Property Description**

- a) A metes and bounds description has been provided.



**CENTRAL DISTRICT HEALTH DEPARTMENT**  
**Environmental Health Division**

Return to:

- ACZ
- Boise
- Eagle
- Garden City
- Kuna
- Meridian
- Star

Rezone # 16-03-ZC

Conditional Use # \_\_\_\_\_

Preliminary / Final / Short Plat \_\_\_\_\_

Sect. 24

RECEIVED

OCT 04 2016

CITY OF KUNA

- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
  - high seasonal ground water
  - waste flow characteristics
  - bedrock from original grade
  - other \_\_\_\_\_
- 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- 8. After written approval from appropriate entities are submitted, we can approve this proposal for:
  - central sewage
  - community sewage system
  - community water well
  - interim sewage
  - central water
  - individual sewage
  - individual water
- 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
  - central sewage
  - community sewage system
  - community water
  - sewage dry lines
  - central water
- 10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- 11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 12. We will require plans be submitted for a plan review for any:
  - food establishment
  - swimming pools or spas
  - child care center
  - beverage establishment
  - grocery store
- 13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDHD.

14. \_\_\_\_\_

Reviewed By: Rai Padji

Date: 9/27/16

Exhibit  
B-4

## Trevor Kesner

---

**From:** Dawn Battles [Dbattles@achdidaho.org]  
**Sent:** Thursday, October 20, 2016 9:37 AM  
**To:** Trevor Kesner  
**Subject:** FW: City of Kuna - Agency Notification and Request for Comment - Rezone  
**Attachments:** 368 N.Linder.Rezone.App 9.27.16.pdf

Trevor,

ACHD does not have any comments on this application. The applicant will be required to pay an impact fee if the use changes. Have a great day.

Thanks,

***Dawn Battles***  
***Planner I***

*Ada County Highway District*  
*3775 Adams St.*  
*Garden City, ID 83714*  
*Tel:208.387.6218*  
*[dbattles@achdidaho.org](mailto:dbattles@achdidaho.org)*

*"We drive quality transportation for all Ada County-Anytime...Anywhere!"*



**From:** Christy Little  
**Sent:** Tuesday, September 27, 2016 11:59 AM  
**To:** Dawn Battles  
**Subject:** FW: City of Kuna - Agency Notification and Request for Comment - Rezone

**From:** Trevor Kesner [<mailto:tkesner@kunaid.gov>]  
**Sent:** Tuesday, September 27, 2016 11:33 AM  
**To:** Christy Little; Ada County Development Services (Mark Perfect); Ada County Engineer; Ada County Street Namin; Attorney Icloud; Boise Project Board of Control; Boise Project Board of Control; Boise-Kuna Irrigation Distr.; Cable One t.v.; Central District Health Dept. CDHD; COMPASS; DEQ; Gordon Law; Idaho Power; Idaho Power; Idaho Power; Intermountain Gas; Intermountain Gas; J&M Sanitation; Ken Couch; Idaho Transportation Department; Kuna Fire & EMS; Kuna Police; Kuna School District; Kuna School District; Kuna School District; Natalie Purkey; Tony Davila  
**Cc:** Gordon Law; Wendy Howell; Attorney Icloud; Bob Bachman  
**Subject:** City of Kuna - Agency Notification and Request for Comment - Rezone

Notice is hereby given by the City of Kuna the following action(s) are under consideration:

<b>CASE NUMBERS</b>	16-03-ZC (Rezone); 368 N. Linder Avenue, Kuna, ID 83634
---------------------	---



<b>PROJECT DESCRIPTION</b>	Applicant requests approval to <i>Rezone</i> a 0.283 acre parcel located at 368 N. Linder Avenue, Kuna, Idaho in order to change the existing zoning from R-6 (Medium Density Residential) to a CBD (Commercial) zone.
<b>SITE LOCATION</b>	368 N. Linder Ave. Kuna, Idaho 83634
<b>APPLICANT/ OWNER</b>	Michael Larson 1311 Andy Lane Caldwell, ID 83605
<b>SCHEDULED HEARING DATE</b>	Tuesday, <b>October 25, 2016</b> 6:00 P.M.
<b>STAFF CONTACT</b>	Trevor Kesner, Planner II Kuna Planning & Zoning Dept. <a href="mailto:tkesner@kunaid.gov">tkesner@kunaid.gov</a> Phone: 922.5274 Direct: 387.7731 Fax: 922.5989

We have enclosed information to assist you with your consideration and response. **No response within 15 business days will indicate you have no objection or concerns with this project.** We would appreciate any information you can supply us as to how this action would affect the service you provide. The hearing is scheduled to begin at 6:00 p.m. or as soon as it may be heard. We are located at Kuna City Hall 751 W. 04<sup>th</sup> Street, Kuna, ID 83634. Please contact staff with questions. **If your agency needs full size plans to review, let our office know and we will send them.** In our effort to reduce the amount of paper used and postage we are implementing electronic packets for agencies. *Please send our office the email address of the individual who should receive them in the future through email. Thank you.*

**Trevor Kesner,**  
Planner II  
KUNA PLANNING & ZONING DEPT.  
(208) 387-7731  
[tkesner@kunaid.gov](mailto:tkesner@kunaid.gov)

**REMINDER: PLANNING & ZONING WILL BEGIN TRANSITIONING TO THE NEW CITY HALL BETWEEN SEPT. 28TH THRU OCT. 4TH, 2016. CITY OFFICES WILL BE CLOSED ALL DAY ON OCT. 3, 2016.**  
*NOTE: Our new address is 751 W. 4th Street, Kuna, ID 83634*



City of Kuna  
763 W. Avalon  
Kuna, ID 83634

**CONFIDENTIALITY NOTICE**

This e-mail and any attachments may contain confidential or privileged information. If you are not the intended recipient, you are not authorized to use or

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Planner II  
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City of Kuna  
763 W. Avalon  
Kuna, ID 83634

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CITY OF KUNA  
**PLANNING & ZONING DEPARTMENT**  
PO Box 13 • 763 W Avalon St • Kuna, Idaho • 83634  
Phone (208) 922-5274 • Fax: (208) 922-5989  
www.kunacity.id.gov

Dear Property Owner:

NOTICE IS HEREBY GIVEN: The City of Kuna **Planning and Zoning Commission** is scheduled to hold a public hearing on **November 8, 2016** beginning at 6:00 pm on the following case:

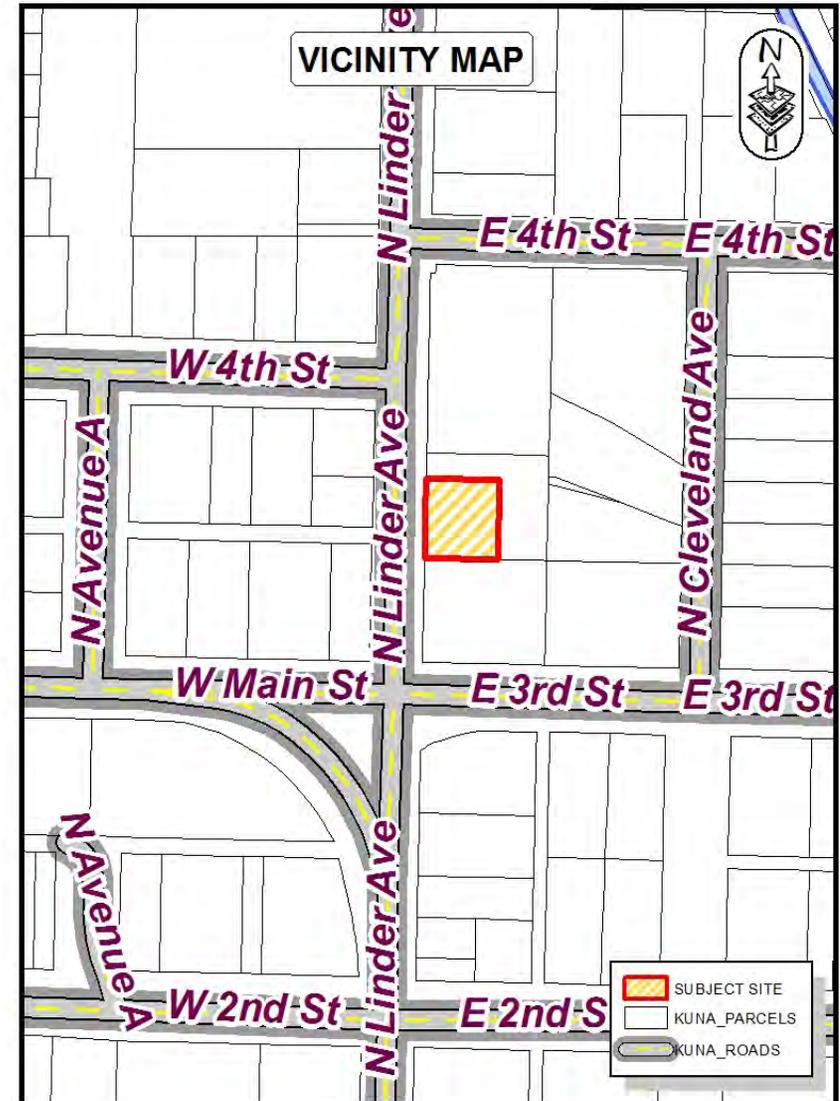
A request from Michael Larson to rezone an approximately 0.283 acre parcel in City limits from the existing R-6 (Medium Density Residential) to a CBD (Central Business District) Commercial zone, in order to convert the existing structure to retail/office space. This request does not include a Design Review application.

The site is located at 368 N. Linder Avenue, Kuna, Idaho (refer to adjacent map).

The hearing will be held in Chambers at the New City Hall located at **751 West 04th Street**, Kuna, Idaho.

All documents concerning public hearing items may be reviewed at Kuna City Hall, 751 West 04th Street, Kuna, Idaho, 83634. Office hours are 8:00 am to 5:00 pm, Monday through Friday, except holidays. If you have questions or would like additional information, please contact the Planning and Zoning Department at (208) 922-5274.

You are invited to provide oral or written comments at the hearing. Please note that all comments made during the public hearing will be restricted to three (3) minutes per person. Prior to the hearing, written comments may be submitted to the appropriate governing body at least seven (7) days prior to the hearing. These comments will be forwarded to the Commission.



In all correspondence concerning this case, please refer to the case name: **16-03-ZC (Rezone)**.

## **Suggestions For Testifying at the Public Hearing:**

### **Be informed . . .**

Review the proposal, the staff report, applicable provisions of the ordinance and comprehensive plan.

### **Be on time . . .**

**Although the item you are interested in may not be first on the agenda, you never know when it will be heard. The governing body has authority to adjust the schedule according to its discretion. Thus, anticipate attending from the beginning.**

### **Speak to the point . . .**

The governing body appreciates pertinent, well organized, and concise comments. Redundant testimony is prohibited and **each individual is given three (3) minutes to comment.** Long stories, abstract complaints, or generalities may not be the best use of time. Neighborhood groups are encouraged to organize testimony and have one (1) person speak on behalf of the group -- "opposition representative," like the applicant's representative, receives 10 minutes to make comments. Applicant has five (5) minutes to rebut or discuss issues raised by any opposition.

### **If you don't wish to speak, write . . .**

At most hearings, previously submitted written testimony may be reviewed by the governing body before the meeting. It is unreasonable to submit extensive written comments or information at the hearing and expect them to be reviewed prior to a decision. All documents or written comments should be submitted to the City of Kuna at least one (1) week **prior** to the hearing.

City of Kuna  
Planning and Zoning  
PO Box 13  
Kuna, ID 83634

**LEGAL NOTICE**

J12027 County: Ada Sum  
ing on the obligation: as of  
ber 3, 2016: \$135,551.60  
ause of interest, late  
ges, and other charges  
may vary from day to  
you pay may be greater.  
ce, if you pay the amount  
n above, an adjustment  
be necessary after we  
ive your check. For fur-  
information write or call  
Successor Trustee at the  
ress or telephone number  
vided above. Basis of de-  
t: failure to make pay-  
ts when due. Please take  
ce that the Successor  
tee will sell at public auc-  
to the highest bidder for  
ified funds or equivalent  
property described above.  
roperty address is iden-  
d to comply with IC 60-  
but is not warranted to be  
ect. The property's legal  
cription is: Lot 20 in Block  
f Emily Subdivision, ac-  
cording to the Official Plat  
eof, filed in Book 69 of  
s at Page(s) 7070 and  
1, Official Records of Ada  
nty, Idaho. The sale is  
ject to conditions, rules  
cedures as described  
e sale and which can be  
ewed at www.northwest-  
tee.com or USA-Foreclo-  
s.com. The sale is made  
out representation, war-  
y or covenant of any kind.  
ney, Kyle T. (TS#  
2.15276) 1002.282958-  
No.

October 12, 19, 26, 2016  
1528299

#### LEGAL NOTICE

##### NOTICE OF TRUSTEE'S SALE

Notice of Trustee's Sale  
to Code 45-1506 Today's  
e: September 16, 2016  
No.: 7367.23134 Sale  
e and time (local time):  
uary 30, 2017 at 9:00 AM  
e location: Courtyard by  
riott Boise Downtown,  
S. Broadway Avenue,  
se, ID 83702, Auction.com  
m Property address:  
11 Saint Andrews Drive  
se, ID 83705 Successor  
tee: Northwest Trustee  
vices, Inc., an Idaho Cor-  
ation P.O. Box 997 Belle-  
y, WA 98009 (425) 586-  
10 Deed of Trust Informa-  
Original grantor: Brandon  
iz, a married man as his  
e and separate property  
ginal trustee: Nextitle Orig-  
l beneficiary: Mortgage  
ronic Registration Sys-  
s, Inc. solely as nominee  
Excel Mortgage Servicing,  
s, a corporation Recording  
e: 08/31/2012 Recorder's  
ument number:  
2089475 County: Ada Sum  
ing on the obligation: as of  
ctober 16, 2016:  
39,053.06 Because of in-  
est, late charges, and oth-  
er charges that may vary  
n day to day, the amount  
e on the day you pay may  
greater. Hence, if you pay  
amount shown above, an  
ustment may be neces-  
y after we receive your  
eck. For further information  
te or call the Successor  
trustee at the address or  
phone number provided  
ve. Basis of default: fail-  
e to make payments when  
e. Please take notice that  
Successor Trustee will  
l at public auction to the  
hest bidder for certified  
ds or equivalent the prop-  
y described above. The  
perty address is identified  
comply with IC 60-113 but  
not warranted to be correct.  
e property's legal descrip-  
ion is: Lot 32 in Block 1 of  
uth Hillcrest Subdivision,  
ording to the Official Plat-  
roof, filed in Book 18 of  
its at Pages 1181 and  
82, and amended by Affi-  
vit recorded November 21,

542701, records of Ada  
County, Idaho. The sale is  
subject to conditions, rules  
and procedures as described  
at the sale and which can be  
reviewed at www.northwest-  
trustee.com or USA-Foreclo-  
sure.com. The sale is made  
without representation, war-  
ranty or covenant of any kind.  
Cruz, Brandon and Erica  
(TS# 7367.23134)  
1002.288670-File No.

September 28, 2016  
October 5, 12, 19, 2016  
1522703

#### LEGAL NOTICE

##### NOTICE OF TRUSTEE'S SALE

Notice of Trustee's Sale  
Idaho Code 45-1506 Today's  
date: September 16, 2016  
File No.: 7777.02585 Sale  
date and time (local time):  
January 27, 2017 at 11:00  
AM Sale location: Front steps  
of the Ada County Court-  
house, 200 W Front St.,  
Boise, ID 83702 Property ad-  
dress: 1993 North Cool Creek  
Avenue Meridian, ID 83646  
Successor Trustee: North-  
west Trustee Services, Inc.,  
an Idaho Corporation P.O.  
Box 997 Bellevue, WA 98009  
(425) 586-1900 Deed of Trust  
information Original grantor:  
Cynthia R. Greenfield, an un-  
married woman Original  
trustee: Wells Fargo Financial  
National Bank Original benefi-  
ciary: Wells Fargo Bank, N.A.  
Recording date: September  
18, 2008 Recorder's instru-  
ment number: 108104277  
County: ADA Sum owing on  
the obligation: as of Septem-  
ber 16, 2016: \$34,927.10 Be-  
cause of interest, late  
charges, and other charges  
that may vary from day to  
day, the amount due on the  
day you pay may be greater.  
Hence, if you pay the amount  
shown above, an adjustment  
may be necessary after we  
receive your check. For fur-  
ther information write or call  
the Successor Trustee at the  
address or telephone number  
provided above. Basis of de-  
fault: failure to make pay-  
ments when due. Please take  
notice that the Successor  
Trustee will sell at public auc-  
tion to the highest bidder for  
certified funds or equivalent  
the property described above.  
The property address is iden-  
tified to comply with IC 60-  
113 but is not warranted to be  
correct. The property's legal  
description is: Lot 14 in Block  
4 of One Subdivision No. 3,  
according to the official plat  
thereof, filed in Book 60 of  
plats at pages 6019 and  
6020, records of Ada County,  
Idaho. The sale is subject to  
conditions, rules and proce-  
dures as described at the  
sale and which can be re-  
viewed at www.northwest-  
trustee.com or USA-Foreclo-  
sure.com. The sale is made  
without representation, war-  
ranty or covenant of any kind.  
Greenfield, Cindy (TS#  
7777.02585) 1002.288901-  
File No.

October 12, 19, 26, 2016  
November 2, 2016  
1528960

#### LEGAL NOTICE

CITY OF KUNA  
P.O. Box 13  
Kuna, ID 83634  
Phone: 922-5274  
Fax: 922-5989

##### Case # 16-05-SUP (Special Use Permit)

NOTICE IS HEREBY GIV-  
EN, the Kuna Planning and  
Zoning Commission will hold  
a public hearing, Tuesday,  
November 8, 2016, at 6:00  
pm, at the new Kuna City  
Hall, 751 W. 4th Street, Kuna,  
ID; in connection with a re-  
quest from Jon Breckon (rep-

it Union) for a Special Use  
Permit to operate an I.C.C.U.  
Branch Store (Banking) facili-  
ty, with a drive-thru, located  
at 1375 N Meridian Road,  
Kuna, ID 83634.

The public is invited to  
present written and/or oral  
comments. Any written testi-  
mony must be received by  
5:00 pm, November 1st,  
2016. Please mail any com-  
ments to: P.O. Box 13 Kuna,  
ID 83634, or drop off at City  
Hall, located at 751 W. 4th  
Street Kuna, ID 83634.

Please do not contact any-  
one who would be involved in  
this decision making process  
about this project, which  
would include the Planning &  
Zoning Commissioners, City  
Council Members, or the  
Mayor; as such private con-  
versations would be consid-  
ered ex parte (one sided) and  
could jeopardize the public  
hearing process.

If you have any questions  
or require special accommo-  
dations, please contact the  
Kuna Planning & Zoning De-  
partment prior to the meeting  
at (208) 922-5274.

Kuna Planning & Zoning  
Department

October 19, 2016  
1533072

#### LEGAL NOTICE

CITY OF KUNA  
P.O. Box 13  
Kuna, ID 83634  
Phone: 922-5274  
Fax: 922-5989

##### Case # 16-03-S (Subdivision), 16-06-AN (Annexation) & 16-13-DR (Design Review)

NOTICE IS HEREBY GIV-  
EN, that the Kuna Planning  
and Zoning Commission will  
hold a public hearing, Tues-  
day, **November 8th, 2016, at  
6:00 pm**, or as soon as can  
be heard at Kuna City Hall,  
751 W. 4th Street, Kuna, ID;  
in connection with a request  
from J-U-B Engineers rep-  
resenting Coleman Homes,  
LLC to annex approximately  
111.18 acres into Kuna City  
with an R-6 residential zoning  
designation and subdivide the  
property into 348 single fam-  
ily residential lots and 35 com-  
mon lots for the proposed  
Winfield Springs Subdivision.  
A Design Review application  
for common area landscaping  
accompanies this request.  
The site is located northwest  
of the intersection of Deer  
Flat and Meridian Roads at  
**1925 N. Meridian Road,  
Kuna, Idaho.**

The public is invited to  
present written and/or oral  
comments to the Commis-  
sion. No person shall speak  
at the hearing until recog-  
nized by the Planning and  
Zoning Commission Chair-  
man. A three (3) minute time  
limit may be placed on all ver-  
bal testimony. Any written  
testimony must be received  
by November 03, 2016, or it  
may not be considered. Please  
mail to P.O. Box 13  
Kuna, ID 83634, or drop off at  
City Hall; 751 W. 4th Street.

Please do not contact any-  
one who would be involved in  
this decision making process,  
which includes the Planning  
& Zoning Commissioners,  
City Council Members, or the  
Mayor; as such private con-  
versations would be consid-  
ered ex parte and could jeop-  
ardize the public hearing pro-  
cess.

If you have any questions  
or require special accommo-  
dations, please contact the  
Kuna Planning & Zoning De-  
partment prior to the meeting  
at 922-5274.

Kuna Planning & Zoning

October 19, 2016  
1531833

CITY OF KUNA  
P.O. Box 13  
Kuna, ID 83634  
Phone: 922-5274  
Fax: 922-5989

##### Case # 16-03-ZC (Rezoning)

NOTICE IS HEREBY GIV-  
EN, that the Kuna Planning  
and Zoning Commission will  
hold a public hearing, Tues-  
day, **November 8th, 2016, at  
6:00 pm**, or as soon as can  
be heard at Kuna City Hall,  
751 W. 04th Street, Kuna, ID;  
in connection with a request  
from Michael Larson to re-  
zone approximately 0.283  
acres in City limits from the  
current R-6 residential zone  
to a CBD (Central Business  
District) commercial zoning  
designation. The site is locat-  
ed at **368 N. Linder Avenue,  
Kuna, Idaho (APN#:  
R051500530).**

The public is invited to  
present written and/or oral  
comments to the Commis-  
sion. No person shall speak  
at the hearing until recog-  
nized by the Planning and  
Zoning Commission Chair-  
man. A three (3) minute time  
limit may be placed on all ver-  
bal testimony. Any written  
testimony must be received  
by November 03, 2016, or it  
may not be considered. Please  
mail to P.O. Box 13  
Kuna, ID 83634, or drop off at  
City Hall; 751 W. 04th Street.

Please do not contact any-  
one who would be involved in  
this decision making process,  
which includes the Planning  
& Zoning Commissioners,  
City Council Members, or the  
Mayor; as such private con-  
versations would be consid-  
ered ex parte and could jeop-  
ardize the public hearing pro-  
cess.

If you have any questions  
or require special accommo-  
dations, please contact the  
Kuna Planning & Zoning De-  
partment prior to the meeting  
at 922-5274.

Kuna Planning & Zoning

October 19, 2016  
1531255

#### LEGAL NOTICE

##### Advertisement for Bids

Project Title: Ten Mile &  
Lake Hazel Sewer Main 2016  
Project

Separate sealed bids will be  
received by the City of Kuna  
at 6950 S. Ten Mile Rd.,  
Meridian, Idaho, until 3:00  
P.M. (local time), on Novem-  
ber 9, 2016 at which time  
they will be publicly opened  
and read aloud.

It is the intent of these docu-  
ments to describe the work  
required to complete this  
project in sufficient detail to  
secure comparable bids. All  
parts or work not specifically  
mentioned which are neces-  
sary in order to provide a  
complete installation shall be  
included in the bid and shall  
conform to all Local, State,  
and Federal requirements.  
The Project generally con-  
sists of the construction of  
approximately 435 linear feet  
of eighteen (18) inch, 296 lin-  
ear feet of fifteen (15) inch,  
and 1,475 linear feet of  
twelve (12) inch PVC gravity  
sewer pipe, including any ap-  
purtenances and connection  
to existing piping; installation  
of eight (8) new manholes,  
four jack and bore crossings  
of Mason Creek for installa-  
tion of gravity sewer pipe and  
a total of four (4) ASTM A-  
252 smooth steel casings  
(two 30" and two 24") under  
two separate Mason Creek  
crossings, and earthen grav-  
el, sod, and asphalt repair.

The Project Manual, Draw-  
ings, and Exhibits may be ex-

issuing office of the City of  
Kuna, Public Works Depart-  
ment, 6950 S. Ten Mile Rd.,  
Meridian, Idaho 83642.  
Copies of these documents  
may be purchased for a non-  
refundable fee of \$20.00 or a  
compact disc option for a  
non-refundable fee of \$5.00.

The submission package or  
envelope must be **SEALED**  
and **PLAINLY MARKED**. The  
bidder's return address must  
appear on the envelope or  
package. **DO NOT FAX  
YOUR BID OR PROPOSAL**.  
Bids and Proposals must be  
submitted in writing. No oral,  
telephone, facsimile, tele-  
graphic, or late submissions  
will be considered. All sub-  
missions must be received at  
the location noted above and  
time and date stamped prior  
to the closing date and time.  
**Bids received will only be  
considered from plan hold-  
ers that purchased plans  
from the location noted  
above.** A Pre-Bid Meeting will  
not be held.

In determining the lowest  
bid, the Owner will consider  
all acceptable bids on a basis  
consistent with the bid pack-  
age. The Owner will also con-  
sider whether the bidder is a  
responsible bidder. Before a  
contract will be awarded for  
work contemplated herein,  
the Owner will conduct such  
investigation as necessary to  
determine the performance  
record and ability of the ap-  
parent low bidder to perform  
the size and type of work  
specified under this Contract.  
Upon request, the bidder  
shall submit such information  
as deemed necessary by the  
Owner to evaluate the bid-  
der's qualifications.

All bids must be signed and  
accompanied by evidence of  
authority to sign.

Bids must be accompanied  
by Bid Security in the form of  
a bid bond, certified check,  
cashiers check, or cash in the  
amount of 5% of the amount  
of the bid proposal. Said bid  
security shall be forfeited to  
the City of Kuna as liquidated  
damages should the success-  
ful bidder fail to enter into  
contract in accordance with  
their proposal as specified in  
the instructions to Bidders.

The City of Kuna reserves  
the right to reject any or all  
proposals, waive any nonma-  
terial irregularities in the bids  
received, and to accept the  
proposal deemed most advan-  
tageous to the best interest  
of the City of Kuna.

Date 12 October, 2016

Gordon Law, City Engineer  
City of Kuna, Idaho

October 19, 2016  
1531825

#### LEGAL NOTICE

##### NOTICE OF CORRECTION OF ASSESSMENT

Notice is hereby given that  
at the Regular Board Meeting  
held October 4, 2016, said  
Board of Directors, by resolu-  
tion, set the levies for the  
2016 Fall & 2017 Spring Toll  
in the manner required by  
Idaho Code.

You are also notified the  
Board of Directors of Boise-  
Kuna Irrigation District, will  
meet as a Board of Correc-  
tions, pursuant to Title 43-702  
of the Idaho Code on the 1st  
day of November 2016. The  
meeting will be held at the of-  
fice of the Board, 129 N  
School Ave in Kuna, Idaho at  
1:00 p.m.

BOISE-KUNA IRRIGATION  
DISTRICT

Lauren S Boehlke  
Secretary-Treasurer

October 12, 19, 2016  
1528989



# City of Kuna PROOF OF PROPERTY POSTING

City of Kuna  
P.O. Box 13  
Kuna, Idaho 83634  
Phone: (208) 922-5274  
Fax: (208) 922-5989  
Web: www.kunacity.id.gov

This notice shall confirm that the Public Hearing Notice for 3108 N Linder Ave  
(**NAME OF SUBDIVISION OR ADDRESS**) was posted as required per Kuna City Ordinance  
5-1-5B. Sign posted October 24, 2016 (**DAY OF THE WEEK, MONTH,  
DATE AND YEAR**). This form is required to be returned three (3) calendar days  
subsequent to posting and signs are to be removed from the site three (3) calendar  
days after the hearing.

DATED this 2<sup>nd</sup> day of November, 2016.

Signature,

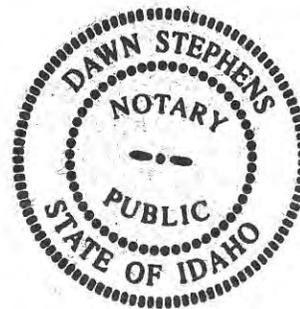
  
\_\_\_\_\_  
Owner/Developer

STATE OF IDAHO )  
 ) : ss  
County of \_\_\_\_\_ )

On this 2<sup>nd</sup> day of November, 2016, before me the  
undersigned, a Notary Public in and for said State, personally appeared before me  
(Owner, Developer).

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal  
the day and year in this certificate first above written.

Dawn Stephens  
Notary Public  
Residing at Kuna, Idaho  
Commission Expires 1-17-18



# CITY OF KUNA PUBLIC HEARING NOTICE

Before the Kuna Planning and Zoning  
Commission [REDACTED] 2016 6:00 P.M.  
NOVEMBER 8<sup>th</sup>

Where: Kuna City Hall 751 W. 4th  
Street Kuna, Idaho 83634

PURPOSE: Re-Zone - Avalon Addition  
Zoning CBD, for future Office/Retail use

Property Location - 368 N. Linder  
Kuna, Idaho 83634

Application by - Mike Larson



# City of Kuna

## Planning and Zoning Staff Memo

P.O. Box 13  
Kuna, ID 83634  
Phone: (208) 922-5274  
Fax: (208) 922-5989  
www.Kunacity.id.gov

**To:** Planning and Zoning Commission;  
Acting as Design Review Committee

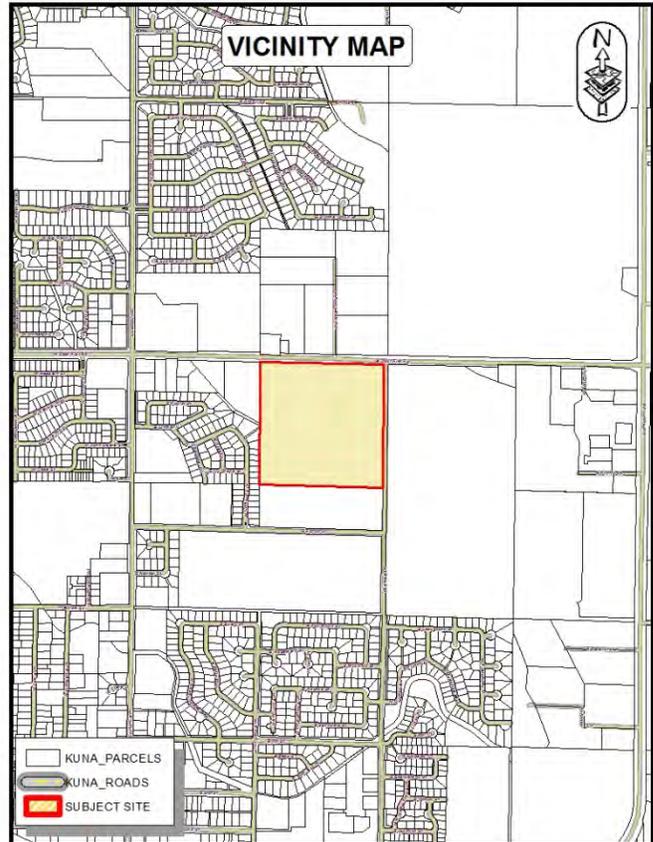
**Case Numbers:** 16-18-DRC (Design Review)  
Kuna High School

**Location:** Kuna High School  
637 E. Deer Flat Rd.  
Kuna, ID 83634

**Planner:** Nancy Stauffer,  
Planner Technician

**Meeting Date:** November 8, 2016

**Applicant:** **Ace Signs**  
2612 Meadow Ave.  
Caldwell, ID 83605  
208.859.2873  
[tbones553@aol.com](mailto:tbones553@aol.com)



### Table of Contents:

- A. Course Proceedings
- B. Applicant Request
- C. History
- D. General Project Facts
- E. Staff Analysis
- F. Applicable Standards
- G. General Requirements of Code
- H. Proposed Decision by the Commission

### A. Course of Proceedings:

1. According to Kuna City Code (KCC) Title 5, Chapter 4, Section 2 (Design Review) and Title 5, Chapter 10 (Signs); all exterior and new commercial monument signs are required to submit an application for review by the Design Review Committee (DRC). As a public meeting item, this action requires no formal public noticing actions.

#### a. Notifications

- i. Agenda

November 8, 2016

2. In accordance with KCC 5-4-2 and KCC 5-10-4-G-10, this application seeks DRC approval for a freestanding automated reader board sign on the subject site.

### B. Applicant Request:

1. Applicant requests approval to install an automated reader board sign

**C. History:**

The property is in the City limits and is zoned P (Public). The historic and existing use of the site has been a public high school.

**D. General Project Facts:** This parcel is located along Deer Flat Road, west of Kay Avenue and East of Linder Roads – Kuna, Idaho. The proposed sign will be approximately 57 square feet in size and will provide scrolling messages related to school information, activities and extracurricular events.

1. **Comprehensive Plan Designation:** The Comprehensive Plan Map (CPM) identifies this site as Public. Staff views this request to be consistent with the approved comprehensive plan map.

2. **Surrounding Land Uses:**

<b>North</b>	RUT	Rural Urban Transition– Kuna City
<b>South</b>	P	Public - Kuna City
<b>East</b>	R-6	Medium density Residential - Kuna City
<b>West</b>	RUT	Rural Urban Transition - Kuna City

3. **Parcel Sizes, Current Zoning, Parcel Numbers:**

- 38.29 acres.
- P: Public
- Parcel No. S1324212403

4. **Services:**

- Sanitary Sewer– City of Kuna
- Potable Water – City of Kuna
- Irrigation District – Boise-Kuna Irrigation District
- Pressurized Irrigation – City of Kuna (KMID)
- Fire Protection – Kuna Fire District
- Police Protection – Kuna City Police (Ada County Sheriff’s office)
- Sanitation Services – J&M Sanitation

**E. Staff Analysis:**

Staff has determined the proposed signage plan, as submitted, complies with the Kuna City Code (Chapter 10, SIGNS, with the exception of A-6. This section states that “the automated portion of a sign should be constructed into the sign in a manner in which it is subordinate to the overall design of the sign. The proposed sign is approximately 57 square feet. The automated sign portion of any sign shall not exceed (20) percent of the face of any sign.” Due to the fact that this is a public building (school) of approximately 158,200 square feet with an attached public auditorium of approximately 17,600 square feet, (totaling approximately 203,385 total square feet), staff views the size of the signage as appropriate for the existing use.

Staff forwards a recommendation of approval for case No. 16-18-DRC to the Design Review Committee.

**F. Applicable Standards:**

1. City of Kuna Design Review Ordinance, 2011-08.
2. City of Kuna Comprehensive Plan.
3. City of Kuna Signs Ordinance, 2012-21

**G. Proposed Decision by the Commission:**

*Note: This proposed motion is for approval, conditional approval or denial of this request. However, if the Design Review Committee wishes to approve or deny specific parts of the requests as detailed in the report, those changes must be specified.*

Based on the facts outlined in staff's report, the case file and discussion at the public meeting the Design Review Committee of Kuna, Idaho, hereby (approves/conditionally approves/denies) Case No. 16-18-DRC, a Design Review request by Ace Signs with the following conditions of approval:

**Conditions of Approval:**

1. Signage for the site shall comply with current Kuna City Code, with the exception of section A-6, as well as *obtain a sign permit prior to construction*. Lighting within the site shall comply with the Kuna City Code. The applicant shall follow all staff and agency recommendations.
2. The applicant shall comply with all federal, state and local laws.

**DATED:** This 8th day of November, 2016.

---

Lee Young, Chairman  
Kuna Planning and Zoning Commission

ATTEST:

---

Nancy Stauffer, Planning Technician  
Kuna Planning and Zoning Department



# City of Kuna Design Review Application

P.O. Box 13  
Kuna, Idaho 83634  
(208) 922.5274  
Fax: (208) 922.5989  
Website: [www.cityofkuna.com](http://www.cityofkuna.com)

FILE NO.: 16-18-DR

CROSS REF. 16-11-SN 637 E Deerflat rd.

FILES: \_\_\_\_\_

The City of Kuna has adopted a Design Review process whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in the Design Review Ordinance No. 2007-02 and the Architecture and Site Design Booklet. Both of these documents can be found online ([www.cityofkuna.com](http://www.cityofkuna.com)) or are picked up in the City's Planning and zoning department is located at 763 W Avalon, Kuna ID. Staff is glad to assist you with your application form.

**The Design Review application applies to the following land use actions:**

- ▶ Multi- family dwellings (3 or more)
- ▶ Commercial
- ▶ Industrial
- ▶ Institutional
- ▶ Office
- ▶ Common Area
- ▶ Subdivision Signage
- ▶ Proposed Conversions
- ▶ Proposed changes in land use and/or building use or exterior remodeling
- ▶ Exterior restoration, and enlargement or expansion of existing buildings, signs or sites.

## Application Submittal Requirements

Applicant Use		Staff Use
<input type="checkbox"/>	Date of pre- application meeting : _____ <i>Note: Pre-Applications are valid for a period of three (3) months.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	A complete Design Review Application form <i>Note: It is the applicant's responsibility to use a current application.</i>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with Design Review standards.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	One (1) Vicinity Map (8 ½" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	One 8 ½" x 11" colored aerial photo depicting proposed site, street names, and surrounding area within five-hundred feet (500').	<input type="checkbox"/>
<input type="checkbox"/>	Copy of Deed; and, if the applicant is not the owner, an <b>original</b> notarized statement (affidavit of legal interest) from the owner (and all interested parties) stating the applicant is authorized to submit this application.	<input type="checkbox"/>

- Detailed site, landscape, drainage plan, elevation and to scale. *(No smaller than 1"=30', unless otherwise approved.)*
- One of each plan** (site, landscape, drainage plan and elevations) is required to be submitted in the following plan sizes:

(1) 24" X 36" TO SCALE COPIES  
 (1) 11" X 17" REDUCTIONS  
 (1) 8 1/2" X 11" REDUCTIONS

- Provide a color rendering and material sample board specifically noting where each color and material is to be located on the structure.   
*Note: Provide photo of the colored rendering and material samples board to City Staff electronically in a JPG or PDF format.*

- The Applicant is obligated to provide a site plan that graphically portrays the site and includes the following features:

### Site Plan

Applicant Use		Staff Use
<input type="checkbox"/>	North Arrow	<input type="checkbox"/>
<input checked="" type="checkbox"/>	To scale drawings	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Property lines	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of "Plan Preparer" with contact information	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of project and date	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Existing structures, identify those which are to be relocated or removed	<input type="checkbox"/>
<input checked="" type="checkbox"/>	On-site and adjoining streets, alleys, private drives and rights-of-way	<input type="checkbox"/>
<input type="checkbox"/>	Drainage location and method of on-site retention / detention	<input type="checkbox"/>
<input type="checkbox"/>	Location of public restrooms	<input type="checkbox"/>
<input type="checkbox"/>	Existing / proposed utility service and any above-ground utility structures and their location	<input type="checkbox"/>
<input type="checkbox"/>	Location and width of easements, canals and drainage ditches	<input type="checkbox"/>
<input type="checkbox"/>	Location and dimension of off-street parking	<input type="checkbox"/>
<input type="checkbox"/>	Locations and sizes of any loading area, docks, ramps and vehicle storage or service areas	<input type="checkbox"/>
<input type="checkbox"/>	Trash storage areas and exterior mechanical equipment, with proposed method of screening	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Sign locations <i>(a separate sign application must be submitted with this application)</i>	<input type="checkbox"/>
<input type="checkbox"/>	On-site transportation circulation plan for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input type="checkbox"/>	Locations and uses of ALL open spaces	<input type="checkbox"/>
<input type="checkbox"/>	Locations, types and sizes of sound and visual buffers <i>(Note: all buffers must be located outside the public right-of-way)</i>	<input type="checkbox"/>
<input type="checkbox"/>	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	<input type="checkbox"/>
<input type="checkbox"/>	Locations of subdivision lines <i>(if applicable)</i>	<input type="checkbox"/>
<input type="checkbox"/>	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input type="checkbox"/>	Location of walls and fences and indication of their height and material of construction	<input type="checkbox"/>
<input type="checkbox"/>	Roofline and foundation plan of building, location on the site	<input type="checkbox"/>
<input type="checkbox"/>	Location and designations of all sidewalks	<input type="checkbox"/>
<input type="checkbox"/>	Location and designation of all rights-of-way and property lines	<input type="checkbox"/>

## Landscape and Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscaped and streetscape plans must be colored. The Planning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Applicant Use		Staff Use
<input type="checkbox"/>	North Arrow	<input type="checkbox"/>
<input type="checkbox"/>	To scale drawings	<input type="checkbox"/>
<input type="checkbox"/>	Boundaries, property lines and dimensions	<input type="checkbox"/>
<input type="checkbox"/>	Name of "Plan Preparer" with contact information	<input type="checkbox"/>
<input type="checkbox"/>	Name of project and date	<input type="checkbox"/>
<input type="checkbox"/>	Type and location of all plant materials and other ground covers. <i>Please review the City's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of all proposed landscape materials at the time of planting, and at maturity. A list of acceptable trees is available upon request from City Planning Staff. If there are any questions, please contact the City Forester, Natalie Reeder, at 208.880.0953</i>	<input type="checkbox"/>
<input type="checkbox"/>	Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed.	<input type="checkbox"/>
<input type="checkbox"/>	Method of irrigation. <i>Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance.</i>	<input type="checkbox"/>
<input type="checkbox"/>	Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fences, fountains street/pathway furniture (benches, etc.), etc. Sign locations <i>Note: A separate sign application must be submitted with this application</i>	<input type="checkbox"/>
<input type="checkbox"/>	Locations and uses for open spaces	<input type="checkbox"/>
<input type="checkbox"/>	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle	<input type="checkbox"/>
<input type="checkbox"/>	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input type="checkbox"/>	Location and designations of all sidewalks	<input type="checkbox"/>
<input type="checkbox"/>	Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved design review application, a detailed site grading and drainage plan, prepared by a registered professional engineer (PE) shall be submitted to the City for review and approval by the City Engineer.	<input type="checkbox"/>

### Building Elevations

Applicant  
Use

Detailed elevation plans of each side of any proposed building(s) or additions(s)  
*Note: Four (4) elevations to include all sides of development and must be in color*

Identify the elevations as to north, south, east, and west orientation

Colored copies of all proposed building materials and indication where each material and color application is to be located

*Note: Submit as 11"x17" reductions*

Screening/treatment of mechanical equipment

Provide a cross-section of the building showing any roof top mechanical units and their roof placement

Detailed elevation plans showing the materials to be used in construction of trash enclosures

Staff  
Use

### Lighting Plan

N/A

Applicant  
Use

Exterior lighting including detailed cut sheets and photometric plan (pedestrian, vehicle, security, decoration)

Types and wattage of all light fixtures

*Note: The City encourages use of "dark sky" lighting fixtures*

Placement of all light fixtures shown on elevations and landscaping plans

Staff  
Use

### Roof Plans

Applicant  
Use

Size and location of all roof top mechanical units

Staff  
Use

# Design Review Application

Applicant: Terry Hunter Phone: 859-2873  
 Owner  Representative Fax/Email: TBONES553@AOL.COM

Applicant's Address: 2612 Meadow Ave  
Caldwell ID Zip: 83605

Owner: Kuna Joint #3 - KHS Phone: 955-0200

Owner's Address: 637 E Deerflat rd. Email: \_\_\_\_\_  
Zip: \_\_\_\_\_

Represented By: *(if different from above)* Kevin Lindquist Phone: \_\_\_\_\_

Address: \_\_\_\_\_ Email: \_\_\_\_\_  
Zip: \_\_\_\_\_

Address of Property: 637 E Deerflat rd  
Kuna ID Zip: 83634

Distance from Major Cross Street: \_\_\_\_\_ Street Name(s): Deerflat

*Please check the box that reflects the intent of the application*

BUILDING DESIGN REVIEW  
 SUBDIVISION / COMMON AREA LANDSCAPE

DESIGN REVIEW MODIFICATION  
 STAFF LEVEL APPLICATION

This Design Review application is a request to construct, add or change the following: *(Briefly explain the nature of the request.)*

Freestanding Automated Sign

1. Dimension of Property: 38.3 Acres
2. Current Land Use(s): Public
3. What are the land uses of the adjoining properties?

North: RUT

South: P

East: R-6

West: RUT

4. Is the project intended to be phased, if so what is the phasing time period? \_\_\_\_\_

Please explain: \_\_\_\_\_

5. The number and use(s) of all structures: \_\_\_\_\_

6. Building heights: \_\_\_\_\_ Number of stories: \_\_\_\_\_

The height and width relationship of new structures shall be compatible and consistent with the architectural character of the area and proposed use.

*Note: The maximum building height for each zoning district is as follows:*

L-O: 35'	C-2: 60'	CBD: 80'	M-2: 60'	P: 60'
C-1: 35'	C-3: 60'	M-1: 60'	M-3: 60'	

7. What is the percentage of building space on the lot when compared to the total lot area? \_\_\_\_\_

8. Exterior building materials & colors: *(Note: This section must be completed in compliance with the City of Kuna Ordinance No. 2007-21A (as amended); found online at [www.cityofkuna.com](http://www.cityofkuna.com)) under the City Code.*

**MATERIAL**

**COLOR**

Roof: \_\_\_\_\_ / \_\_\_\_\_

**Walls:** (State percentage of wall coverage for each type of building material below for each frontage wall) If there is not adequate space to identify the various building materials and applications, please list them on the attached sheet of this application. Please attach photos to support application types.

% of Wood application: \_\_\_\_\_ / \_\_\_\_\_

% EIFS: \_\_\_\_\_ / \_\_\_\_\_  
*(Exterior Insulation Finish System)*

% Masonry: \_\_\_\_\_ / \_\_\_\_\_

% Face Block: \_\_\_\_\_ / \_\_\_\_\_

% Stucco: \_\_\_\_\_ / \_\_\_\_\_

& other material(s): \_\_\_\_\_ / \_\_\_\_\_

List all other materials: \_\_\_\_\_

Windows/Doors: \_\_\_\_\_ / \_\_\_\_\_  
*(Type of window frames & styles / doors & styles, material)*

Soffits and fascia material: \_\_\_\_\_ / \_\_\_\_\_

Trim, etc.: \_\_\_\_\_ / \_\_\_\_\_

Other: \_\_\_\_\_ / \_\_\_\_\_

9. Please identify Mechanical Units: \_\_\_\_\_

Type/Height: \_\_\_\_\_

Proposed Screening Method: \_\_\_\_\_

10. Please identify trash enclosure: *(size, location, screening & construction materials)* \_\_\_\_\_

11. Are there any irrigation ditches/canals on or adjacent to the property?

If yes, what is the name of the irrigation or drainage provider? \_\_\_\_\_

12. Fencing: *(Please provide information about new fencing material as well as any exiting fencing material)*

Type: \_\_\_\_\_

Size: \_\_\_\_\_

Location: \_\_\_\_\_

*(Please note that the City has height limitations of fencing material and requires a fence permit to be obtained prior to installation)*

13. Proposed method of On-site Drainage Retention/Detention: \_\_\_\_\_

14. Percentage of Site Devoted to Building Coverage: \_\_\_\_\_

% of Site Devoted to Landscaping: \_\_\_\_\_ Square Footage: \_\_\_\_\_  
*(Including landscaped rights-of-way)*

% of Site that is Hard Surface: \_\_\_\_\_ Square Footage: \_\_\_\_\_  
*(Paving, driveways, walkways, etc.)*

% of Site Devoted to other uses: \_\_\_\_\_

Describe: \_\_\_\_\_

% of landscaping within the parking lot (landscaped islands, etc.): \_\_\_\_\_

15. For details, please provide dimensions of landscaped areas within public rights-of-way: \_\_\_\_\_

16. Are there any existing trees of 4" or greater in caliper on the property? *(Please provide the information on the site plans.)*

If yes, what type, size and the general location? *(The City's goal is to preserve existing tree with greater than a four inch (4") caliper whenever possible):*

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

17. Dock Loading Facilities:

Number of docking facilities and their location: \_\_\_\_\_

Method of screening: \_\_\_\_\_

18. Pedestrian Amenities: *(bike racks, receptacles, drinking fountains, benches, etc.)* \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

19. Setbacks of the proposed building from property lines: \_\_\_\_\_

Front \_\_\_\_\_ -feet      Rear \_\_\_\_\_ -feet      Side \_\_\_\_\_ -feet      Side \_\_\_\_\_ -feet

20. Parking requirements: \_\_\_\_\_  
Total Number of Parking Spaces: \_\_\_\_\_ Width and Length of Spaces: \_\_\_\_\_  
Total Number of Compact Spaces 8'x17': \_\_\_\_\_

21. Is any portion of the property subject to flooding conditions?      Yes \_\_\_\_\_      No \_\_\_\_\_

**IF THE PLANNING DIRECTOR OR DESIGNEE, THE DESIGN REVIEW BOARD AND/OR THE CITY COUNCIL DETERMINE THAT ADDITIONAL AND/OR REVISED INFORMATION IS NEEDED, AND/OR IF OTHER UNFORESEEN CIRCUMSTANCES ARISE, ANY DATES OUTLINED FOR PROCESSING MAY BE RECHEDULED BY THE CITY. APPLICANT/REPRESENTATIVE MUST ATTEND THE DESIGN REVIEW BOARD MEETING/PLANNING AND ZONING MEETINGS.**

The Ada County Highway District may also conduct public meetings regarding this application. If you have questions about the meeting date or the traffic that this development may generate or the impact of that traffic on streets in the area, please contact the Ada County Highway District at 208.387.6170. In order to expedite your request, please have ready the file number indicated in this notice.

Signature of Applicant per phone call      Date 10/24/14

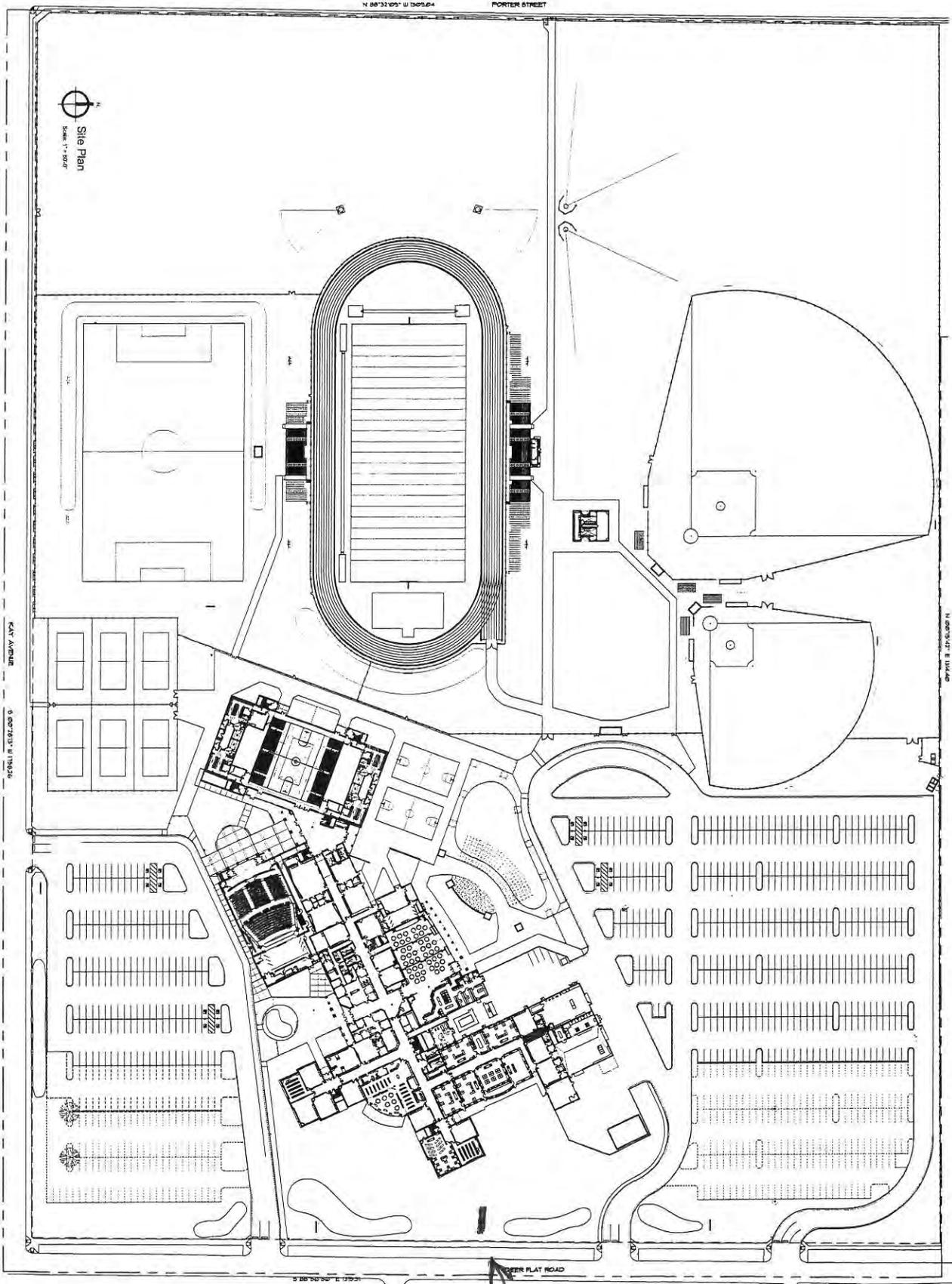
City staff comments:

\_\_\_\_\_

Signature of receipt by City Staff [Signature]      Date 11/1/14

**FOR ADDITIONAL INFORMATION:**  
(Please list page number and item in reference)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



SIGN PROPOSAL

SD-1.1

DATE: 11 October 2015  
 DRAWN BY: JLS  
 CHECKED BY: JLS

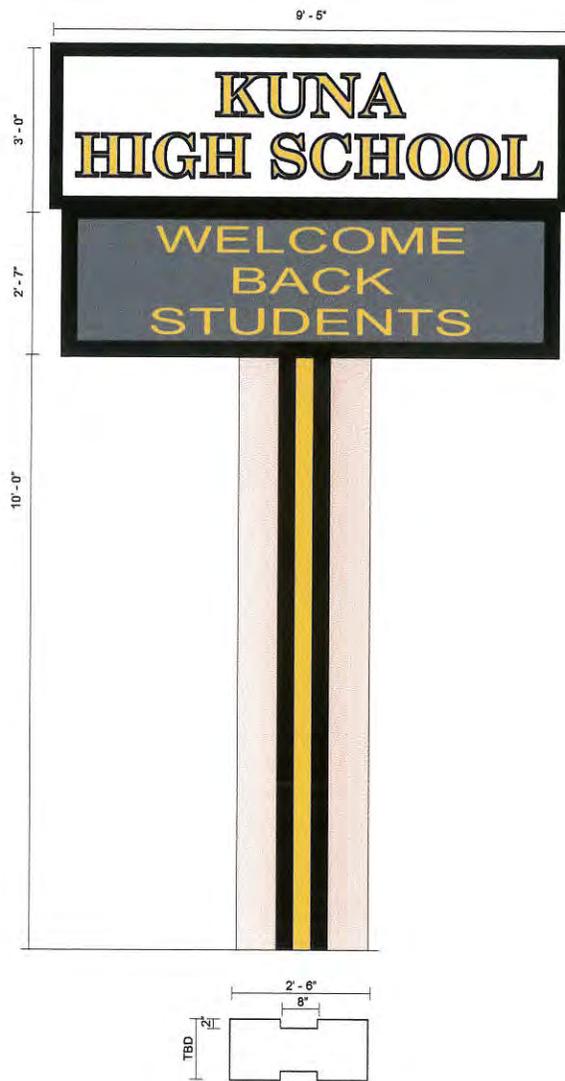


**LEATHAM - KROHN - VANOCKER ARCHITECTS**  
 Amber Van Ocker, Architect  
 Brian Thornton, Architect  
 Matt Reedy, Architect  
 Wayne Thomas, Architect

**Kuna School District Master Planning  
 Kuna High School**  
 637 East Deer Flat Road  
 Kuna, Idaho

**L K**





**MANUFACTURE AND INSTALL NEW D/F PYLON SIGN  
WITH EMC, AND PYLON COVER**

FABRICATION - STEEL STRUCTURE WITH SHEET METAL CLADDING  
 FINISH - FINISH PAINTED BLACK  
 FACES - 3/16" WHITE TRANSLUCENT ACRYLIC  
 POLE COVER - SHEET METAL PAINTED YELLOW AND BLACK  
 ILLUMINATION - 800ma LAMPS  
 GRAPHICS - 3M TRANSLUCENT VINYL / YELLOW / BLACK

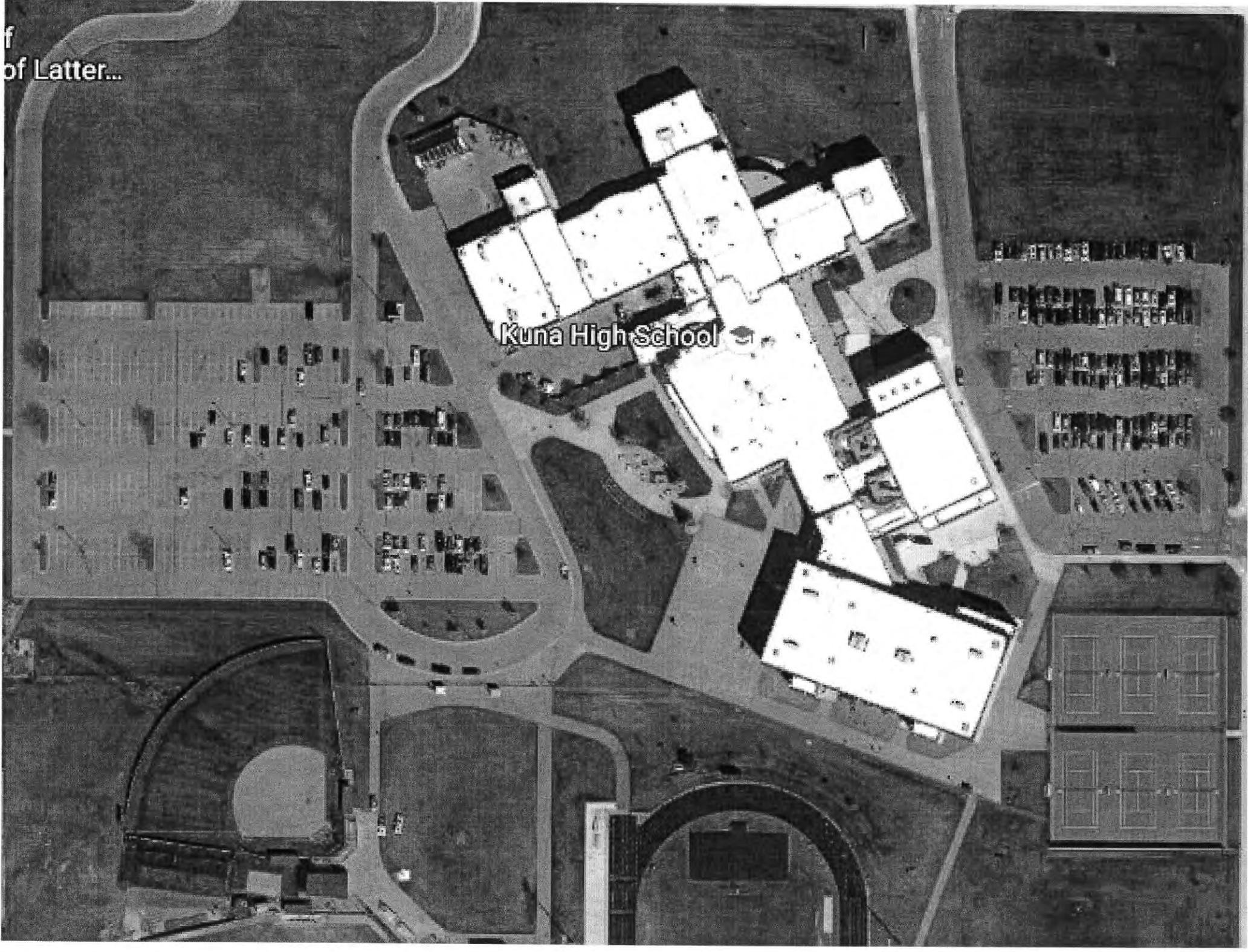
EMC - DAKTRONICS

This original design is protected under federal copyright laws and shall not be reproduced in whole or in part without prior written permission of Bickford Sign & Awning

**1 of 1**  
PAGES

<b>Bickford Sign &amp; Awning</b> <small>1000 S. 1000 E. SUITE 100 KUNA, ID 83646</small>		NOTE: THE COLORS LISTED IN THIS SIGN DESIGN ARE APPROXIMATE. THE ACTUAL COLORS MAY VARY SLIGHTLY FROM THE COLORS SHOWN IN THIS DESIGN.
CLIENT: KUNA HIGH SCHOOL LOCATION: KUNA, ID ORDER REP: JEFF PREPARED BY: ANTHONY	DATE: 08/29/2016 SCALE: 1/8" = 1'-0" DRAWING FILE: 161818.DWG	CUSTOMER APPROVAL I hereby approve all specifications of the print except as noted.
SIGNATURE: _____ DATE: _____	SIGNATURE: _____ DATE: _____	SALES: _____ ART: _____ CHECK: _____
<input type="checkbox"/> Overall Size <input type="checkbox"/> Side View	<input type="checkbox"/> Electrical <input type="checkbox"/> Installation	THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODES AND ALL APPLICABLE CODES. THIS SIGN IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

f  
of Letter...



Kuna High School



# City of Kuna

## Design Review Staff Report

P.O. Box 13  
Phone: (208) 922-5274  
Fax: (208) 922-5989  
www.kunacity.id.gov

**To:** Planning and Zoning Commission; acting as Design Review Committee

**Case Numbers:** 16-15-DRC (Design Review) for  
*Idaho Central Credit Union*

**Location:** 252 N. Meridian Rd  
Kuna, Idaho 83634

**Planner:** Troy Behunin, Planner III

**Meeting Date:** November 8, 2016

**Owner:** **Dustee Woolstenhulme**  
Idaho Central Credit Union  
4400 Central Way  
Chubbuck, ID 83202  
208.239.3003  
[dwoolstenhulme@iccu.com](mailto:dwoolstenhulme@iccu.com)

**Representative:** **Josh Breckon**  
Breckon Land Design  
Garden City, ID, 83714  
208.376.5153  
[Jbreckon@breckonld.com](mailto:Jbreckon@breckonld.com)

### Table of Contents:

- A. Course Proceedings
- B. Applicant Request
- C. Aerial Maps
- D. History
- E. General Project Facts
- F. Staff Analysis
- G. Applicable Standards
- H. Proposed Decision by the Commission

### A. Course of Proceedings:

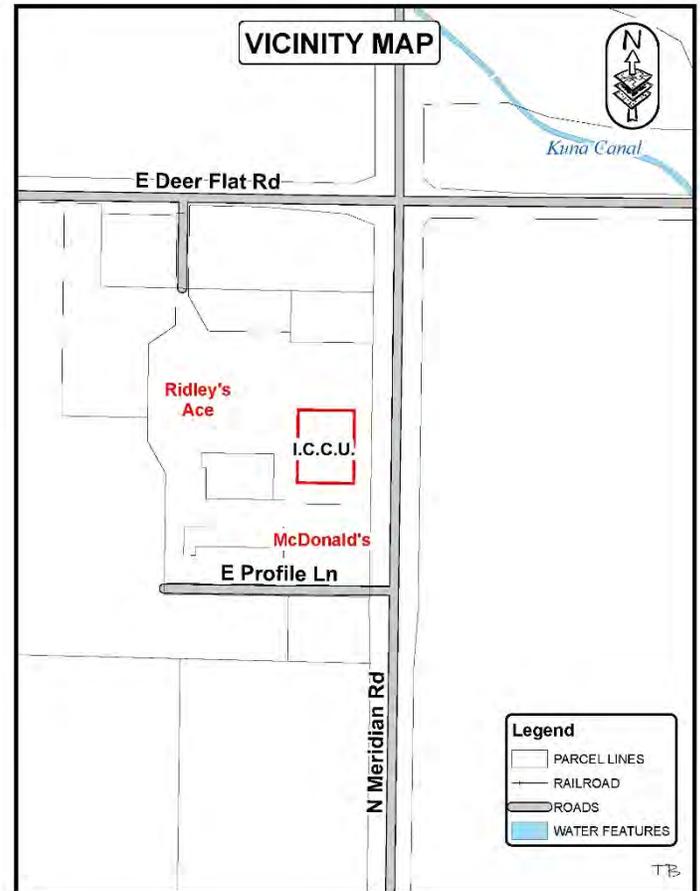
1. According to Kuna City Code (KCC) Title 5, Chapter 4, Section 2 (Design Review) and Title 5, Chapter 10 (Signs) Section 4-G-10; all new commercial buildings, landscaping, parking lots and signage are required to submit an application for review by the Design Review Committee (DRC). As a public meeting item, this action requires no formal public noticing actions.

#### a. Notifications

- i. Agenda

November 8, 2016

2. In accordance with KCC 5-4-2 and KCC 5-10-4-Q, this application seeks DRC approval for building, landscaping, parking lot design and a wall sign for a new Idaho Central Credit Union store with a drive-thru in Kuna.



**B. Applicant Request:**

1. Applicant requests approval from the Planning and Zoning Commission (acting as Design Review Committee) for a 4,200 square foot commercial building to house a new Idaho Central Credit Union (I.C.C.U.) branch with accompanying drive-thru, new landscaping, parking lot, three wall signs and a small monument sign within the Ridley's Family Center No. 1 commercial subdivision.

**C. Aerial Map:**



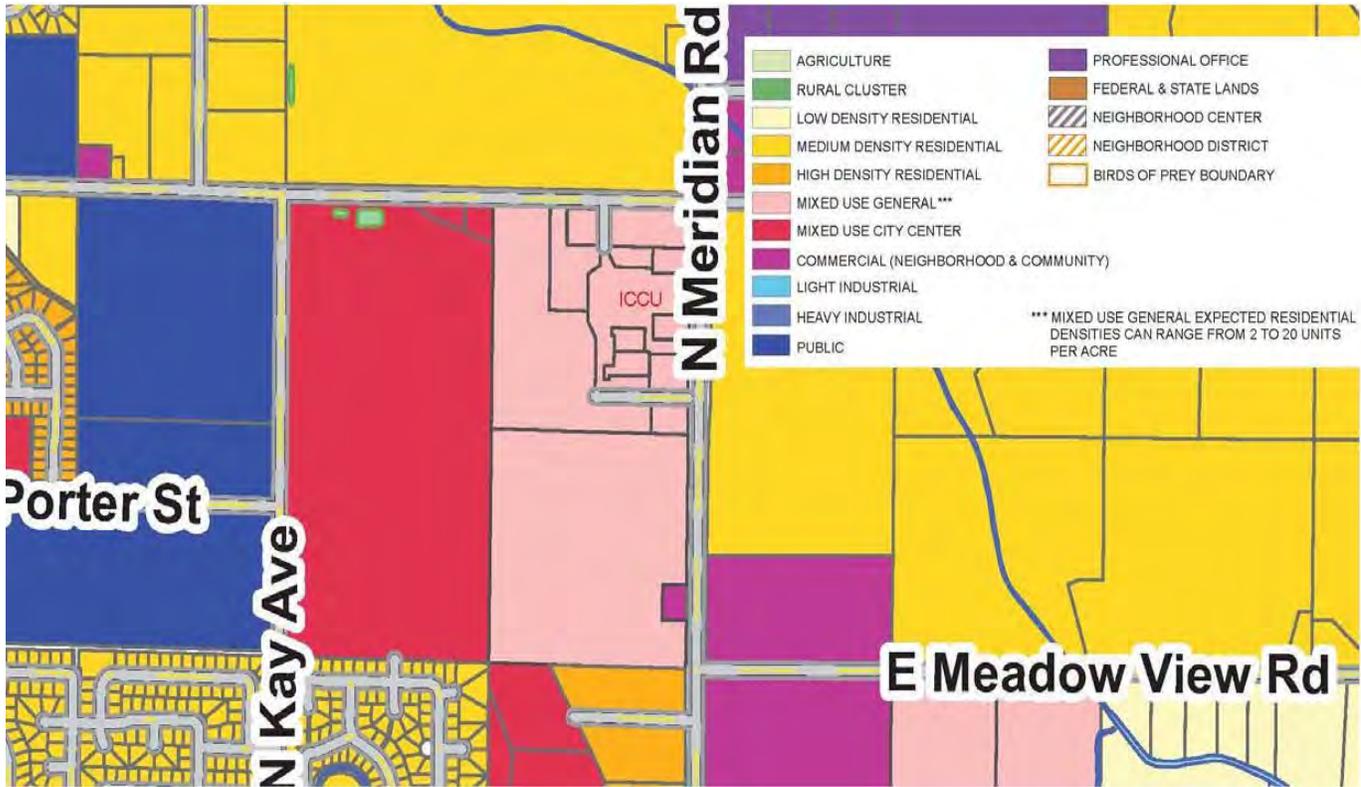
**D. History:**

The property is in the City limits and is zoned C-1 (Neighborhood Commercial District). This parcel had been historically been farmed. In 2013 the site was developed as the Ridley's Family Center No. 1 Subdivision.

- E. General Project Facts:** This parcel is just east of the Ridley's and Ace stores – Kuna, Idaho. The I.C.C.U. branch will be approximately 4,200 square feet in size and will have an accompanying drive-thru, new landscaping, parking lot, and three wall signs.

1. **Comprehensive Plan Designation:** The Comprehensive Plan Map (CPM) identifies this site as Neighborhood Commercial District. Staff views this request to be consistent with the approved CPM map.

*See Illustration below.*



**2. Surrounding Land Uses:**

<b>North</b>	C-1	Neighborhood Commercial – Kuna City
<b>South</b>	C-1	Neighborhood Commercial – Kuna City
<b>East</b>	RUT	Rural Urban Transition & Agriculture– Ada County
<b>West</b>	C-1	Neighborhood Commercial – Kuna City

**3. Parcel Sizes, Current Zoning, Parcel Numbers:**

- Approximately .77 acres (33,541 SF) – Commercial Pad.
- C-1, Neighborhood Commercial
- Parcel No. R7448420052
- Lot 2, Block 1; Ridley’s Family Center No 1 Subdivision.

**4. Services:**

- Sanitary Sewer– City of Kuna
- Potable Water – City of Kuna
- Pressurized Irrigation – City of Kuna (KMID)
- Fire Protection – Kuna Fire District
- Police Protection – Kuna City Police (Ada County Sheriff’s office)
- Sanitation Services – J&M Sanitation

**5. Existing Structures, Vegetation and Natural Features:** The property has no existing buildings and has been used as a parking lot since December 2013.

**6. Transportation / Connectivity:** Approved driveway access ingress/egress from East Profile Lane, south of McDonalds and from North Abstein Lane off Deer Flat Road.

**7. Environmental Issues:** Staff is not aware of any environmental issues, health or safety conflicts. This site’s topography generally slopes down to the north, however it is flat overall.

**F. Staff Analysis:**

Staff has reviewed the application and finds the proposed building, landscaping, parking lot and wall sign generally satisfies the intent of Kuna's Codes and fits into the overall vision of the C-1 District and generally conforms to the 'Kuna Architecture' guidelines and parking standards.

Staff finds that the proposed commercial building for I.C.C.U. is in general conformance with the Design Review Ordinance (Kuna City Code [KCC] Title 5, Chapter 4).

The applicant has proposed 26 parking spaces and staff finds the new parking lot is in conformance with KCC Title 5 Chapter 9.

Staff finds that the proposed landscaping is in general conformance with KCC Title 5 chapter 17, the Kuna Landscaping Ordinance.

The proposed trash enclosure is to be built with CMU blocks on a foundation and it appears to follow the requirements set by the sanitation authority in Kuna, J & M Sanitation. Applicant shall ensure that trash enclosure colors match the building.

Applicant has proposed three wall signs, and a small monument sign. All signs appear to be in compliance with the KCC Sign Ordinance 5-10 as applicable. Additional proposed free standing signs (and other signage) will require a separate design review application as no other signs were proposed with this application and shall be submitted in conformance with KCC 5-10-4-B, 5-10-4-G, and 5-10-4-I, if such signs are desired. A building permit will be required for the monument sign.

Applicant is subject to design review inspections and fees for inspections (post construction), for DRC compliance verification of the building, parking lot, landscaping and eventually signage, prior to the certificate of occupancy being issued.

Staff views the proposed new commercial building, landscaping, parking lot and wall sign to be generally consistent with the goals and vision of the overlay district and Kuna city. Staff forwards a recommendation of approval for case No. 16-15-DRC to the Design Review Committee.

**G. Applicable Standards:**

1. City of Kuna Zoning Ordinance No. 230.
2. City of Kuna Design Review Ordinance, 2011-08.
3. City of Kuna Comprehensive Plan.
4. City of Kuna Overlay District Ordinance, 2011-06
5. City of Kuna Landscaping Ordinance, 2012-22
6. City of Kuna Parking Lot Ordinance, 2011-12
7. City of Kuna Sign Ordinance, 2012-21.

**H. Proposed Decision by the Commission:**

*Note: This proposed motion is for approval or denial of this request. However, if the Design Review Committee wishes to approve or deny specific parts of the requests as detailed in the report, those changes must be specified.*

Based on the facts outlined in staff's report, the case file and discussion at the public meeting. The Design Review Committee of Kuna, Idaho, hereby (approves/conditionally approves/denies) Case No. 16-15-DRC, a Design Review request by Josh Breckon with Breckon Land Design (on behalf of Dustee Woolstenhulme with I.C.C>U.), with the following conditions of approval:

**Conditions of Approval:**

1. Additional signage for the site shall comply with current Kuna City Code, go through the Design Review process, and *obtain a sign and building permit prior to construction.*
2. Lighting within the site shall comply with the Kuna City Code.

3. Landscaping shall be installed and kept in a healthy condition as required in KCC 5-17.
4. The applicant shall follow all staff and agency recommendations.
5. The applicant shall comply with all federal, state and local laws.

**DATED:** This 8th day of November, 2016.

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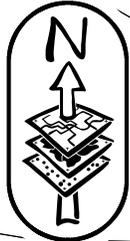
Lee Young, Chairman  
Kuna Planning and Zoning Commission

ATTEST:

---

Troy Behunin, Senior Planner  
Kuna Planning and Zoning Department

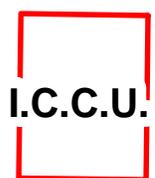
# VICINITY MAP



*Kuna Canal*

**E Deer Flat Rd**

**Ridley's  
Ace**



**I.C.C.U.**

**McDonald's**

**E Profile Ln**

**N Meridian Rd**

**Legend**

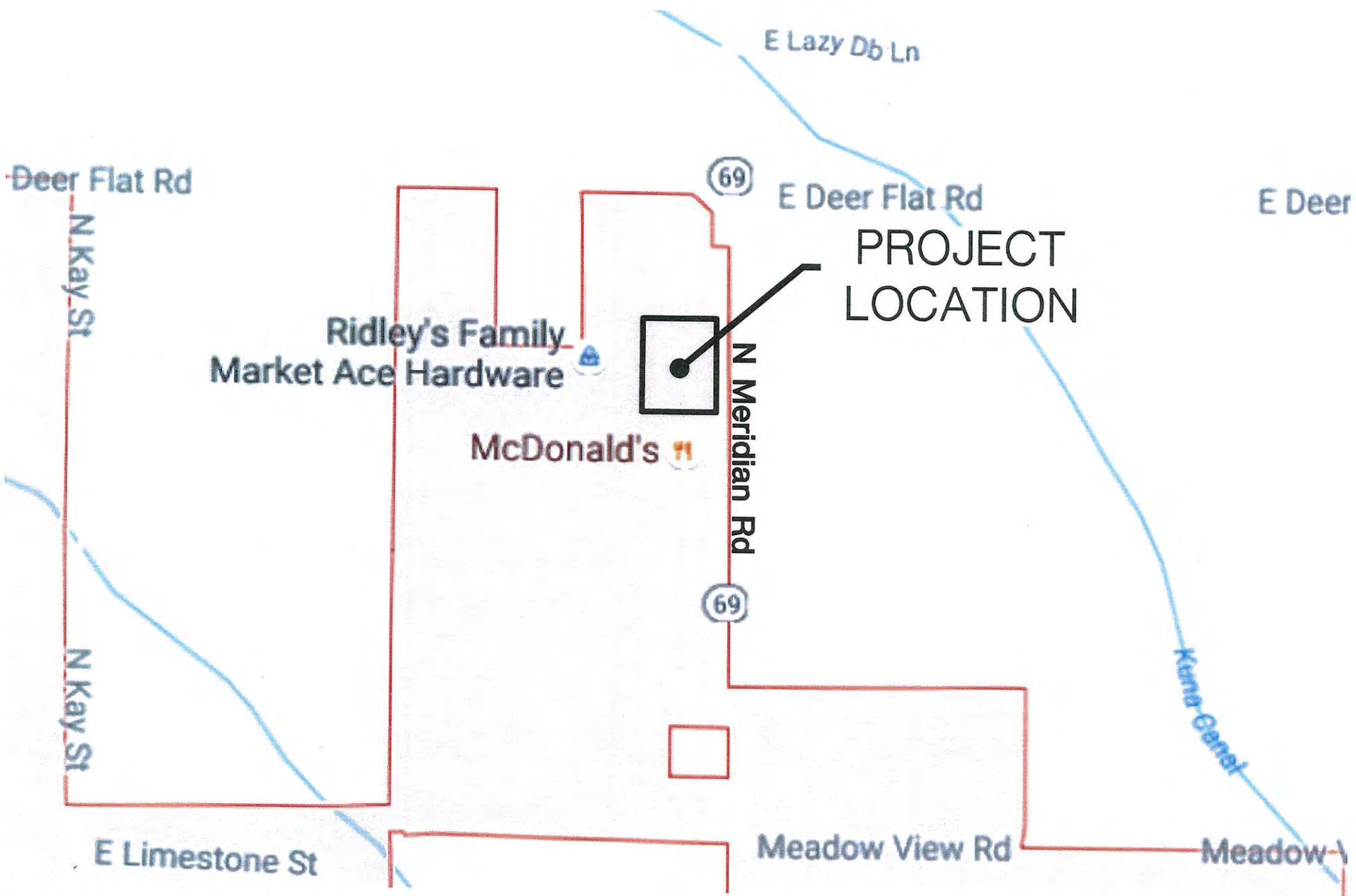
-  PARCEL LINES
-  RAILROAD
-  ROADS
-  WATER FEATURES

ICCU  
Site

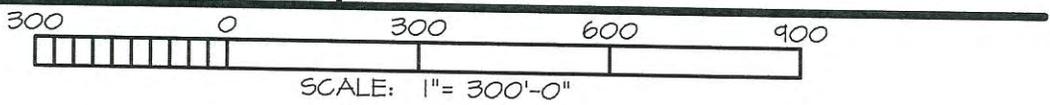
69

Meridian Rd





### Vicinity Map



RECEIVED  
8.30.16



Breckon Land Design Inc.  
Post Office Box 44465  
Boise, Idaho 83711  
p: 208-376-5153  
f: 208-376-6528  
[www.breckonlanddesign.com](http://www.breckonlanddesign.com)

Landscape Architecture • Civil Engineering • Graphic Communication • Erosion Control • Irrigation Design • Land Planning

August 26, 2016

Planning and Zoning Department  
City of Kuna  
763 W. Avalon St.  
P.O. Box 13  
Kuna, ID 83634  
208-922-5274

Re: Idaho Central Credit Union, 1375 N. Meridian Rd. – Special Use Submittal Letter

To whom it may concern,

Idaho Central Credit Union is proposing a 4,200 square foot branch on a 0.77 acre parcel at the above noted location. The existing lot improvements are limited to an asphalt parking area and perimeter landscaping. The construction of the ICCU branch will bring additional people to the area that is already a commercial development complex. In such developments all business help each other in a compounding relationship, each bringing more patrons to the overall development site. This enhances not only the businesses but the community as a whole, bringing goods and services to the area. The site itself will be visually enhanced by the construction as well. Converting an empty parking lot to an architectural element that complies with design review standards. Additional landscaping elements are also to be incorporated into the design as well with dense foundation plantings and landscaped parking islands. The existing landscaping located around the perimeter of the site is to be entirely preserved with the exception of a sidewalk connection that will be installed for pedestrian access into the site. The sidewalk installation, will not require the removal of any plant material. One interior parking island is to be removed. It contains two trees and two shrubs that will be either relocated or entirely replaced with aforementioned newly installed landscaping.

If you have any further questions or comments, please contact me at 208-376-5153 or via email at [jbreckon@breckonld.com](mailto:jbreckon@breckonld.com).

Sincerely,  
Breckon Land Design, Inc.

Jon Breckon, PLA, ASLA, CLARB  
Landscape Architect

RECEIVED  
8.30.16



City of Kuna  
 Planning & Zoning  
 Department  
 P.O. Box 13  
 Kuna, Idaho 83634  
 208.922.5274  
 Fax: 208.922.5989  
 Website: www.cityofkuna.com

## Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

\*Please submit the appropriate checklist (s) with application

For Office Use Only	
File Number (s)	16-05-SUP 16-15-PRC
Project name	
Date Received	8.30.16
Date Accepted/ Complete	
Cross Reference Files	—
Commission Hearing Date	10.25.2016
City Council Hearing Date	NIA

### Type of Review (check all that apply):

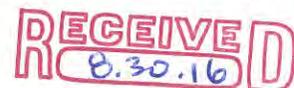
- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use TB.
- Temporary Business
- Vacation
- Variance

### Contact/Applicant Information

Owners of Record: <u>IDAHO CENTRAL CREDIT UNION</u>	Phone Number: _____
Address: <u>4400 Central Way</u>	E-Mail: _____
City, State, Zip: <u>Chubbuck, ID 83202</u>	Fax #: _____
Applicant (Developer): <u>Dustee Woolstenhulme</u>	Phone Number: <u>208) 239-3003</u>
Address: <u>4400 Central Way</u>	E-Mail: <u>dwoolstenhulme@iccu.com</u>
City, State, Zip: <u>Chubbuck, ID 83202</u>	Fax #: _____
Engineer/Representative: <u>Breckon Land Design</u>	Phone Number: <u>208-376-5153</u>
Address: <u>181 East 50th St</u>	E-Mail: <u>jbreckon@breckonld.com</u>
City, State, Zip: <u>Garden City, ID 83714</u>	Fax #: <u>208-376-6528</u>

### Subject Property Information

Site Address: <u>1375 N. Meridian Rd. Kuna, Idaho</u>
Site Location (Cross Streets): <u>Meridian Rd. and Deer Flat Rd.</u>
Parcel Number (s): <u>R7448420050</u>
Section, Township, Range: _____
Property size : <u>0.766 acres</u>
Current land use: <u>Parking lot</u> Proposed land use: <u>ICCU Branch</u>
Current zoning district: <u>C-1</u> Proposed zoning district: <u>C-1</u>



**Project Description**

Project / subdivision name: ICCU Kuna Branch, Ridleys Family Center Subdivision #1

General description of proposed project / request: New Credit Union Building with re-worked parking and landscape. Requesting additional drive through allotment for subdivision.

Type of use proposed (check all that apply):

Residential \_\_\_\_\_

Commercial Credit Union Branch

Office \_\_\_\_\_

Industrial \_\_\_\_\_

Other \_\_\_\_\_

Amenities provided with this development (if applicable): New landscaping

**Residential Project Summary (if applicable)**

Are there existing buildings?  Yes  No

Please describe the existing buildings: \_\_\_\_\_

Any existing buildings to remain?  Yes  No

Number of residential units: \_\_\_\_\_ Number of building lots: \_\_\_\_\_

Number of common and/or other lots: \_\_\_\_\_

Type of dwellings proposed:

Single-Family \_\_\_\_\_

Townhouses \_\_\_\_\_

Duplexes \_\_\_\_\_

Multi-Family \_\_\_\_\_

Other \_\_\_\_\_

Minimum Square footage of structure (s): \_\_\_\_\_

Gross density (DU/acre-total property): \_\_\_\_\_ Net density (DU/acre-excluding roads): \_\_\_\_\_

Percentage of open space provided: \_\_\_\_\_ Acreage of open space: \_\_\_\_\_

Type of open space provided (i.e. landscaping, public, common, etc.): \_\_\_\_\_

**Non-Residential Project Summary (if applicable)**

Number of building lots: 1 Other lots: 0

Gross floor area square footage: 4,200 Existing (if applicable): 0

Hours of operation (days & hours): \_\_\_\_\_ Building height: \_\_\_\_\_

Total number of employees: \_\_\_\_\_ Max. number of employees at one time: \_\_\_\_\_

Number and ages of students/children: N/A Seating capacity: \_\_\_\_\_

Fencing type, size & location (proposed or existing to remain): N/A

Proposed Parking:

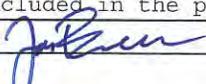
a. Handicapped spaces: 2 Dimensions: 9.5x20

b. Total Parking spaces: 14 + 2HC = 16 spaces Dimensions: 9x20

c. Width of driveway aisle: 24

Proposed Lighting: Existing parking lot lighting

Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): All existing perimeter and buffer landscaping is to remain as is. New parking island and foundation plantings will be included in the project.

Applicant's Signature:  Date: 8/26/16



# City of Kuna Design Review Application

P.O. Box 13  
Kuna, Idaho 83634  
(208) 922.5274  
Fax: (208) 922.5989  
Website: [www.cityofkuna.com](http://www.cityofkuna.com)

FILE NO.: \_\_\_\_\_  
CROSS REF. \_\_\_\_\_  
FILES: \_\_\_\_\_

The City of Kuna has adopted a Design Review process whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in the Design Review Ordinance No. 2007-02 and the Architecture and Site Design Booklet. Both of these documents can be found online ([www.cityofkuna.com](http://www.cityofkuna.com)) or are picked up in the City's Planning and zoning department is located at 763 W Avalon, Kuna ID. Staff is glad to assist you with your application form.

### The Design Review application applies to the following land use actions:

- ▶ Multi- family dwellings (3 or more)
- ▶ Commercial
- ▶ Industrial
- ▶ Institutional
- ▶ Office
- ▶ Common Area
- ▶ Subdivision Signage
- ▶ Proposed Conversions
- ▶ Proposed changes in land use and/or building use or exterior remodeling
- ▶ Exterior restoration, and enlargement or expansion of existing buildings, signs or sites.

## Application Submittal Requirements

Applicant  
Use

Staff  
Use

Date of pre- application meeting : \_\_\_\_\_

*Note: Pre-Applications are valid for a period of three (3) months.*

A complete Design Review Application form

*Note: It is the applicant's responsibility to use a current application.*

Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with Design Review standards.

One (1) Vicinity Map (8 1/2" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets.

One 8 1/2" x 11" colored aerial photo depicting proposed site, street names, and surrounding area within five-hundred feet (500').

Copy of Deed; and, if the applicant is not the owner, an **original** notarized statement (affidavit of legal interest) from the owner (and all interested parties) stating the applicant is authorized to submit this application.

Detailed site, landscape, drainage plan, elevation and to scale. *(No smaller than 1"=30', unless otherwise approved.)*

**One of each plan** (site, landscape, drainage plan and elevations) is required to be submitted in the following plan sizes:

- (1) 24" X 36" TO SCALE COPIES*
- (1) 11" X 17" REDUCTIONS*
- (1) 8 ½" x 11" REDUCTIONS*

Provide a color rendering and material sample board specifically noting where each color and material is to be located on the structure.

*Note: Provide photo of the colored rendering and material samples board to City Staff electronically in a JPG or PDF format.*

**The Applicant is obligated to provide a site plan that graphically portrays the site and includes the following features:**

### **Site Plan**

Applicant  
Use

Staff  
Use

- North Arrow
- To scale drawings
- Property lines
- Name of "Plan Preparer" with contact information
- Name of project and date
- Existing structures, identify those which are to be relocated or removed
- On-site and adjoining streets, alleys, private drives and rights-of-way
- Drainage location and method of on-site retention / detention
- Location of public restrooms
- Existing / proposed utility service and any above-ground utility structures and their location
- Location and width of easements, canals and drainage ditches
- Location and dimension of off-street parking
- Locations and sizes of any loading area, docks, ramps and vehicle storage or service areas
- Trash storage areas and exterior mechanical equipment, with proposed method of screening
- Sign locations *(a separate sign application must be submitted with this application)*
- On-site transportation circulation plan for motor vehicles, pedestrians and bicycles
- Locations and uses of ALL open spaces
- Locations, types and sizes of sound and visual buffers *(Note: all buffers must be located outside the public right-of-way)*
- Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle
- Locations of subdivision lines *(if applicable)*
- Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles
- Location of walls and fences and indication of their height and material of construction
- Roofline and foundation plan of building, location on the site
- Location and designations of all sidewalks
- Location and designation of all rights-of-way and property lines

## Landscape and Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscaped and streetscape plans must be colored. The Planning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Applicant  
Use

Staff  
Use

North Arrow

To scale drawings

Boundaries, property lines and dimensions

Name of "Plan Preparer" with contact information

Name of project and date

Type and location of all plant materials and other ground covers.

*Please review the City's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of all proposed landscape materials at the time of planting, and at maturity. A list of acceptable trees is available upon request from City Planning Staff. If there are any questions, please contact the City Forester, Natalie Reeder, at 208.880.0953*

Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed.

Method of irrigation.

*Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance.*

Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fences, fountains street/pathway furniture (benches, etc.), etc.

Sign locations

*Note: A separate sign application must be submitted with this application*

Locations and uses for open spaces

Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle

Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles

Location and designations of all sidewalks

Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved design review application, a detailed site grading and drainage plan, prepared by a registered professional engineer (PE) shall be submitted to the City for review and approval by the City Engineer.

## **Building Elevations**

Applicant  
Use

Staff  
Use

Detailed elevation plans of each side of any proposed building(s) or additions(s)  
*Note: Four (4) elevations to include all sides of development and must be in color*

Identify the elevations as to north, south, east, and west orientation

Colored copies of all proposed building materials and indication where each material and color application is to be located

*Note: Submit as 11"x17" reductions*

Screening/treatment of mechanical equipment

Provide a cross-section of the building showing any roof top mechanical units and their roof placement

Detailed elevation plans showing the materials to be used in construction of trash enclosures

## **Lighting Plan**

Applicant  
Use

Staff  
Use

Exterior lighting including detailed cut sheets and photometric plan (pedestrian, vehicle, security, decoration)

Types and wattage of all light fixtures

*Note: The City encourages use of "dark sky" lighting fixtures*

Placement of all light fixtures shown on elevations and landscaping plans

## **Roof Plans**

Applicant  
Use

Staff  
Use

Size and location of all roof top mechanical units

# Design Review Application

Applicant: \_\_\_\_\_ Phone: \_\_\_\_\_  
 Owner  Representative Fax/Email: \_\_\_\_\_

Applicant's Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Owner: \_\_\_\_\_ Phone: \_\_\_\_\_

Owner's Address: \_\_\_\_\_ Email: \_\_\_\_\_

Zip: \_\_\_\_\_

Represented By: *(if different from above)* \_\_\_\_\_ Phone: \_\_\_\_\_

Address: \_\_\_\_\_ Email: \_\_\_\_\_

Zip: \_\_\_\_\_

Address of Property: \_\_\_\_\_

Zip: \_\_\_\_\_

Distance from Major Street \_\_\_\_\_  
Cross Street: \_\_\_\_\_ Name(s): \_\_\_\_\_

*Please check the box that reflects the intent of the application*

- BUILDING DESIGN REVIEW**
- SUBDIVISION / COMMON AREA LANDSCAPE**

- DESIGN REVIEW MODIFICATION**
- STAFF LEVEL APPLICATION**

This Design Review application is a request to construct, add or change the following: *(Briefly explain the nature of the request.)*

1. Dimension of Property: \_\_\_\_\_

2. Current Land Use(s): \_\_\_\_\_

3. What are the land uses of the adjoining properties?

North: \_\_\_\_\_

South: \_\_\_\_\_

East: \_\_\_\_\_

West: \_\_\_\_\_

4. Is the project intended to be phased, if so what is the phasing time period? \_\_\_\_\_

Please explain: \_\_\_\_\_

5. The number and use(s) of all structures: \_\_\_\_\_

6. Building heights: \_\_\_\_\_ Number of stories: \_\_\_\_\_

The height and width relationship of new structures shall be compatible and consistent with the architectural character of the area and proposed use.

*Note: The maximum building height for each zoning district is as follows:*

L-O: 35'	C-2: 60'	CBD: 80'	M-2: 60'	P: 60'
C-1: 35'	C-3: 60'	M-1: 60'	M-3: 60'	

7. What is the percentage of building space on the lot when compared to the total lot area? \_\_\_\_\_

8. Exterior building materials & colors: *(Note: This section must be completed in compliance with the City of Kuna Ordinance No. 2007-21A (as amended); found online at [www.cityofkuna.com](http://www.cityofkuna.com) under the City Code.*

**MATERIAL**

**COLOR**

Roof: \_\_\_\_\_ / \_\_\_\_\_

Walls: *(State percentage of wall coverage fro each type of building material below for each frontage wall) If there is not adequate space to identify the various building materials and applications, please list them on the attached sheet of this application. Please attach photos to support application types.*

% of Wood application: \_\_\_\_\_ / \_\_\_\_\_

% EIFS: \_\_\_\_\_ / \_\_\_\_\_  
*(Exterior Insulation Finish System)*

% Masonry: \_\_\_\_\_ / \_\_\_\_\_

% Face Block: \_\_\_\_\_ / \_\_\_\_\_

% Stucco: \_\_\_\_\_ / \_\_\_\_\_

& other material(s): \_\_\_\_\_ / \_\_\_\_\_

List all other materials: \_\_\_\_\_

Windows/Doors: \_\_\_\_\_ / \_\_\_\_\_  
*(Type of window frames & styles / doors & styles, material)*

Soffits and fascia material: \_\_\_\_\_ / \_\_\_\_\_

Trim, etc.: \_\_\_\_\_ / \_\_\_\_\_

Other: \_\_\_\_\_ / \_\_\_\_\_

9. Please identify Mechanical Units: \_\_\_\_\_

Type/Height: \_\_\_\_\_

Proposed Screening Method: \_\_\_\_\_

10. Please identify trash enclosure: *(size, location, screening & construction materials)* \_\_\_\_\_

11. Are there any irrigation ditches/canals on or adjacent to the property? \_\_\_\_\_

If yes, what is the name of the irrigation or drainage provider? \_\_\_\_\_

12. Fencing: *(Please provide information about new fencing material as well as any exiting fencing material)*

Type: \_\_\_\_\_

Size: \_\_\_\_\_

Location: \_\_\_\_\_

*(Please note that the City has height limitations of fencing material and requires a fence permit to be obtained prior to installation)*

13. Proposed method of On-site Drainage Retention/Detention: \_\_\_\_\_

14. Percentage of Site Devoted to Building Coverage: \_\_\_\_\_

% of Site Devoted to Landscaping: \_\_\_\_\_ Square Footage: \_\_\_\_\_  
*(Including landscaped rights-of-way)*

% of Site that is Hard Surface: \_\_\_\_\_ Square Footage: \_\_\_\_\_  
*(Paving, driveways, walkways, etc.)*

% of Site Devoted to other uses: \_\_\_\_\_

Describe: \_\_\_\_\_

% of landscaping within the parking lot (landscaped islands, etc.): \_\_\_\_\_

15. For details, please provide dimensions of landscaped areas within public rights-of-way: \_\_\_\_\_

16. Are there any existing trees of 4" or greater in caliper on the property? *(Please provide the information on the site plans.)*

If yes, what type, size and the general location? *(The City's goal is to preserve existing tree with greater than a four inch (4") caliper whenever possible):*

17. Dock Loading Facilities:

Number of docking facilities and their location: \_\_\_\_\_

Method of screening: \_\_\_\_\_

18. Pedestrian Amenities: *(bike racks, receptacles, drinking fountains, benches, etc.)* \_\_\_\_\_

19. Setbacks of the proposed building from property lines: \_\_\_\_\_



## LANDSCAPE NOTES:

- CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CAN NOT BE OBTAINED.
- COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START-UP.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
- IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERRIDE SCHEDULE QUANTITIES AND CALL OUT SYMBOL NUMBERS.
- ALL PLANTING BEDS SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF MULCH PER PLANS. SUBMIT SAMPLES FOR APPROVAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS BEGINNING AT THE DATE OF ACCEPTANCE BY THE OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
- FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION WITH ADJACENT SURFACES AND ENSURE POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE GRADING PLAN.
- AMEND EXISTING APPROVED TOPSOIL AT A RATE OF THREE CUBIC YARDS OF APPROVED COMPOST PER 1000 SQUARE FEET. ROTO-TILL ORGANIC MATTER A MINIMUM OF 6 INCHES INTO TOPSOIL.
- FERTILIZE ALL TREES AND SHRUBS WITH 'AGRIFORM' PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF TOPSOIL. LAWN AREAS SHALL HAVE A MINIMUM 12" DEPTH OF TOPSOIL. SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 3" BELOW ADJACENT SURFACES OF PLANTER BED AREAS, 1/2" BELOW ADJACENT SURFACES OF TURF SOD AREAS, AND 1" BELOW ADJACENT SURFACES OF TURF SEED AREAS.
- REUSE EXISTING TOPSOIL STOCKPILED ON THE SITE. SUPPLEMENT WITH IMPORTED TOPSOIL WHEN QUANTITIES ARE INSUFFICIENT. VERIFY SUITABILITY AND CONDITION OF TOPSOIL AS A GROWING MEDIUM. PERFORM SOIL TESTS, ANALYSIS AND PROVIDE ADDITIONAL AMENDMENT AS DETERMINED BY SOIL TESTS. TOPSOIL SHALL BE A LOOSE, FRIABLE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, NEEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL AND A HAVE A PH OF 5.5 TO 7.0. IF ON-SITE TOPSOIL DOES NOT MEET THESE MINIMUM STANDARDS, CONTRACTOR IS RESPONSIBLE TO EITHER:
  - PROVIDE APPROVED IMPORTED TOPSOIL, OR
  - IMPROVE ON-SITE TOPSOIL WITH METHODS APPROVED BY THE LANDSCAPE ARCHITECT.
- IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, ENSURE IT IS FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
  - OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THOSE FOUND ON THE PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES.
  - REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY, TOXICITY, AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE BY THE CONTRACTOR. NO TOPSOIL SHALL BE DELIVERED IN A FROZEN OR MUDDY CONDITION. ACIDITY/ALKALINITY RANGE PH: 5.5 TO 7.6.
- IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.
- TREES SHALL NOT BE PLANTED WITHIN THE 10'-0" CLEAR ZONE OF ALL A.G.H.D. STORM DRAIN PIPE, STRUCTURES, OR FACILITIES. TREES SHALL NOT BE PLANTED WITHIN 5'-0" OF AN A.G.H.D. SIDEWALK.
- SEEPAGE BEDS AND OTHER STORM DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

## TOPSOIL NOTES

- TOPSOIL REQUIREMENTS: ASTM D 5268, PH RANGE OF 5.5 TO 7.0, FOUR PERCENT ORGANIC MATERIAL, MINIMUM FRIABLE OF STONES 1/2 INCH OR LARGER IN ANY DIMENSION, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- TOPSOIL SOURCE: STRIP EXISTING TOPSOIL FROM ALL AREAS OF THE SITE TO BE DISTURBED. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, ORGANIC MATTER LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. TOPSOIL SHALL BE SCREENED TO ACHIEVE THIS REQUIREMENT.
- REPRESENTATIVE SAMPLES SHALL BE TESTED FOR ACIDITY, FERTILITY AND GENERAL TEXTURE BY A RECOGNIZED COMMERCIAL OR GOVERNMENT AGENCY AND COPIES OF THE TESTING AGENCY'S FINDINGS AND RECOMMENDATIONS SHALL BE FURNISHED TO THE ARCHITECT'S REPRESENTATIVE BY THE CONTRACTOR. ALL TOPSOIL SHALL BE AMENDED TO ACHIEVE SPECIFIED PH AND ORGANIC REQUIREMENTS. RE-TEST TOPSOIL PRIOR TO FINAL COMPLETION TO ENSURE REQUIREMENTS HAVE BEEN MET. NO TOPSOIL SHALL BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION.
- PLACE TOPSOIL IN AREAS WHERE REQUIRED TO OBTAIN THICKNESS AS SCHEDULED. PLACE TOPSOIL DURING DRY WEATHER. PROVIDE ADDITIONAL IMPORTED TOPSOIL REQUIRED TO BRING SURFACE TO PROPOSED FINISH GRADE, AS REQUIRED.
- COMPACTED TOPSOIL THICKNESS AT THE FOLLOWING AREAS:
  - LAWN AREAS: 12 INCHES MINIMUM OR AS NECESSARY TO ACHIEVE EVEN GRADES WITH SURROUNDING LAWN AREAS.
  - PLANTER BEDS: 10 INCHES MINIMUM
- FINE GRADE TOPSOIL TO SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORM FINE TEXTURE. REMOVE RIDGES AND FILL DEPRESSIONS, AS REQUIRED TO MEET FINISH GRADES. FINISH GRADE OF TOPSOIL SHALL BE 2" BELOW FINISH GRADE OF PAVEMENTS AREAS FOR SOD AND 1" FOR SEED.
- TOPSOIL STOCKPILE LOCATIONS TO BE COVERED COORDINATE WITH EROSION AND SEDIMENT CONTROL PLAN.
- ALL GRAVEL, SUBBASE AND OTHER IMPORTED FILL MATERIALS OTHER THAN TOPSOIL SHALL ONLY BE STOCKPILED IN PROPOSED IMPERVIOUS AREAS. NO GRAVEL OR ROCK MATERIALS SHALL BE STOCKPILED OR TEMPORARILY PLACED IN PROPOSED LANDSCAPED AREAS OR TOXIC LANDSCAPE AREAS FROM BEING CONTAMINATED WITH ROCK MATERIALS. CONTRACTOR SHALL SUBMIT A DETAILED STOCKPILE PLAN TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO ANY EARTHWORK OPERATIONS.

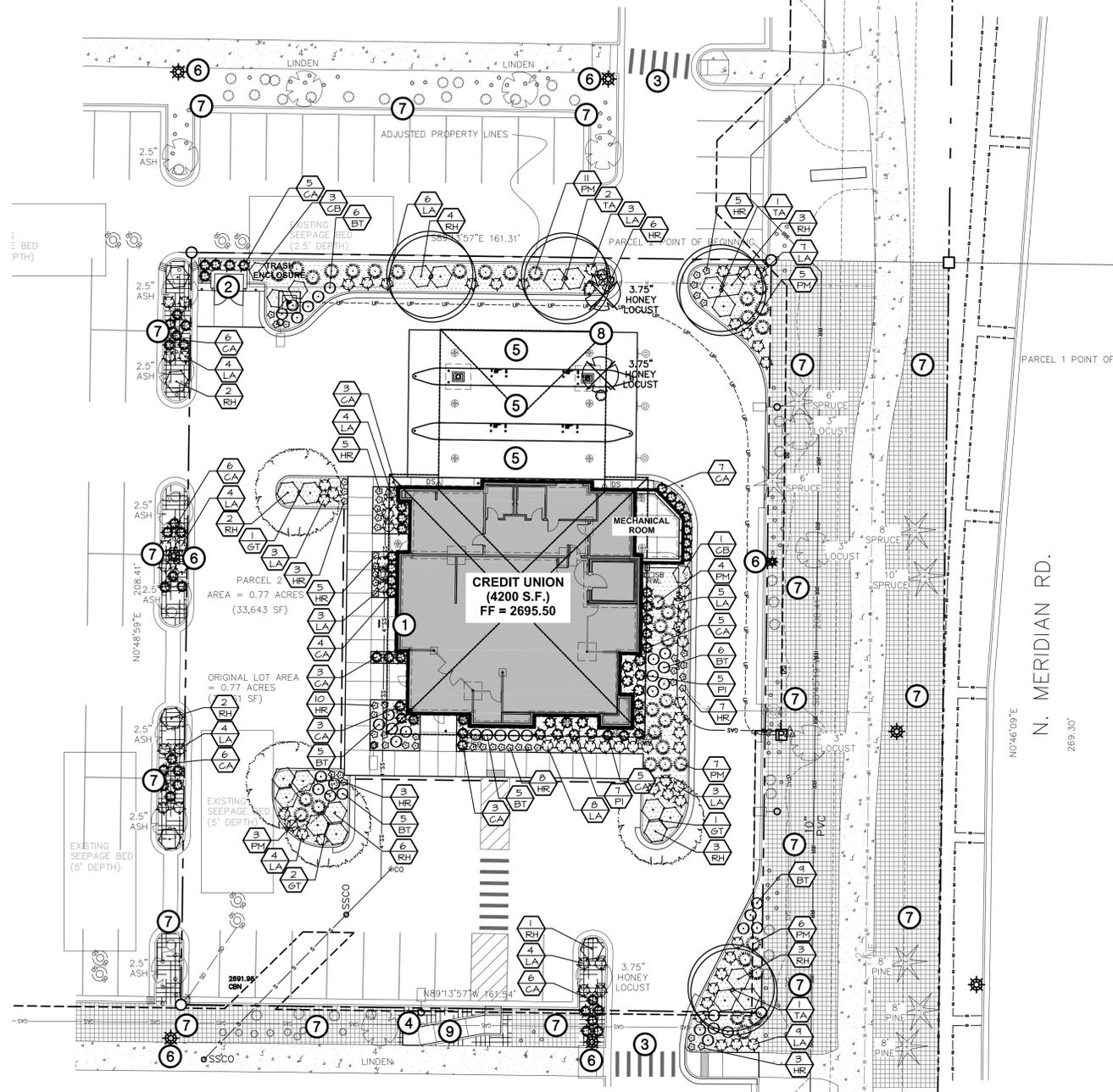
## WEED ABATEMENT NOTES:

- ALL AREAS TO BE PLANTED SHALL HAVE WEED ABATEMENT OPERATIONS PERFORMED ON THEM PRIOR TO PLANTING.
- CONTRACTOR SHALL SPRAY ALL EXPOSED WEEDS WITH @ROUND-UPA (CONTACT HERBICIDE) OR APPROVED EQUAL.
- DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE EXPOSED WEEDS FROM THE SITE.
- CONTRACTOR SHALL OPERATE THE AUTOMATIC IRRIGATION SYSTEM FOR A PERIOD OF FOURTEEN (14) DAYS. AT CONCLUSION OF THIS WATERING PERIOD, DISCONTINUE WATERING FOR THREE TO FIVE (3-5) DAYS.
- APPLY SECOND APPLICATION OF @ROUND-UPA TO ALL EXPOSED WEEDS. APPLY IN STRICT CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS. DO NOT WATER FOR AT LEAST SEVEN (7) DAYS. REMOVE WEEDS FROM THE SITE.
- IF ANY EVIDENCE OF WEED GERMINATION EXISTS AFTER TWO (2) APPLICATIONS, CONTRACTOR SHALL BE DIRECTED TO PERFORM A THIRD APPLICATION.
- AT THE TIME OF PLANTING, ALL PLANTING AREAS SHALL BE WEED FREE.

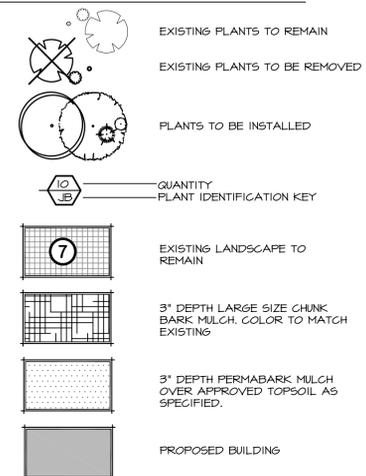
## IRRIGATION NOTES:

- ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLER SYSTEM WHICH INSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. EACH HYDROZONE IS TO BE IRRIGATED WITH SEPARATE INDIVIDUAL STATIONS.
- PLANTER BEDS AND LAWN AREAS ARE TO HAVE SEPARATE HYDRO-ZONES.
- POP-UP SPRINKLER HEADS SHALL HAVE A MINIMUM RISER HEIGHT OF 4 INCHES AT LAWN AREAS AND 18" AT PLANTER BEDS.
- PLANTER BEDS ARE TO HAVE DRIP IRRIGATION SYSTEM OR POP-UP SPRAY SYSTEM. ANNUALS, PERENNIALS GROUND COVERS OR SHRUB MASSINGS SHALL HAVE A POP-UP SPRAY SYSTEM.
- ELECTRONIC WATER DISTRIBUTION/TIMING CONTROLLERS ARE TO BE PROVIDED. MINIMUM CONTROLLER REQUIREMENTS ARE AS FOLLOWS:
  - PRECISE INDIVIDUAL STATION TIMING
  - RUN TIME CAPABILITY FOR EXTREMES IN PRECIPITATION RATES
  - AT LEAST ONE PROGRAM FOR EACH HYDROZONE
  - SUFFICIENT MULTIPLE CYCLES TO AVOID WATER RUN-OFF
  - POWER FAILURE BACKUP FOR ALL PROGRAMMED INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO RESPECTIVE HYDRO-ZONES
- INDIVIDUAL VALVED WATERING STATIONS WILL BE DESIGNED AND INSTALLED TO PROVIDE WATER TO DESIGNATED HYDRO-ZONES.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% HEAD TO HEAD COVERAGE WITH TRIANGULAR SPACING.
- SPRINKLER HEADS SHALL BE ADJUSTED TO REDUCE OVERSPRAY ONTO IMPERVIOUS SURFACES (BUILDINGS, SIDEWALKS, DRIVEWAYS, AND ASPHALT AREAS).
- PROVIDE MINIMUM (1) QUICK COUPLER VALVE PER EACH (6) AUTOMATIC VALVE ZONES. APPROVE Q.C.V. LOCATIONS WITH LANDSCAPE ARCHITECT.

## LANDSCAPE PLAN



## LANDSCAPE LEGEND



## LANDSCAPE REQUIREMENTS

N. MERIDIAN RD. BUFFER		
Requirements: (1) TREES/95 LF. OF RIGHT OF WAY	TREES REQ'D: 6	TREES PROVIDED: 8 (EXISTING)
Requirements: (5) SHRUBS/35 LF. OF STREET FRONTAGE (MERIDIAN RD.)	SHRUBS REQ'D: 30 (200 LF.)	SHRUBS PROVIDED: 42 (EXISTING)
PARKING LOT		
(1) TREE PER PARKING ISLAND	TREES REQ'D: 5	TREES PROVIDED: 4 (1 EXISTING)

## CALLOUT LEGEND

- PROPOSED BIKE RACK
- PROPOSED TRASH ENCLOSURE
- PROPOSED CROSSWALK STRIPING
- PROPOSED PEDESTRIAN SIDEWALK CONNECTION
- PROPOSED DRIVE THROUGH AREA
- EXISTING LIGHT POLE TO REMAIN.
- EXISTING LANDSCAPE COMPRISED OF TURF AND MIXED SHRUBS INCLUDING KARL FORESTERS FEATHER REED GRASS, AUTUMN JOY SEEDUM, BLUE CARPET JUNIFER, KINKIKINKA, CRIMSON PYGMY BARBERRY, AND ELIJAH BLUE FESCUE.
- EXISTING LANDSCAPING TO BE REMOVED. (2) TREES AS NOTED AND (2) BLUE CARPET JUNIFER.
- EXISTING SHRUBS IN SIDEWALK PEDESTRIAN CONNECTION AREA TO BE REMOVED AND RELOCATED.

## TREE MITIGATION NOTES:

- THE EXISTING TREES TO BE REMOVED THAT REQUIRE MITIGATION ARE AS FOLLOWS FROM THE INTERIOR OF THE SITE (AS NOTED ON PLAN):
  - (2) 3.75" CAL. HONEY LOCUST
- TOTAL CALIPER INCHES REQUIRED FOR MITIGATION = 7.5 CALIPER INCHES
- EXISTING TREES TO BE SAVED ON SITE AS FOLLOWS:
  - (1) 3.75" CAL. HONEY LOCUST
- TOTAL CALIPER INCHES SAVED = 3.75 CALIPER INCHES
- PROPOSED REPLACEMENT TREES ON SITE AS FOLLOWS:
  - (4) 2" CAL. LINDEN
- TOTAL CALIPER INCHES OF REPLACEMENT TREE TO COUNT TOWARD MITIGATION = 8 CALIPER INCHES
2. SEE TREE PROTECTION NOTES FOR ADDITIONAL INFORMATION AND REQUIREMENTS.

## TREE PROTECTION NOTES:

- PROTECT THE CRITICAL ROOT ZONE (THE AREA DIRECTLY BELOW THE DRIPLINE OF THE TREE) OF THE TREES TO REMAIN ON SITE BY:
  - CONSTRUCTING A TEMPORARY CHAINLINK FENCE AROUND THE CRITICAL ROOT ZONE OF THE TREE TO BE PROTECTED PRIOR TO DEMOLITION, CONSTRUCTION, OR ANY SITE WORK.
  - NOT ALLOWING COMPACTION BY EQUIPMENT TRAFFIC DURING CONSTRUCTION OR DURING DEMOLITION.
  - NOT ALLOWING CONCRETE TRUCKS TO RISE WITHIN THE PROTECTION AREA, OR ANYWHERE NEAR EXISTING TREE ROOTS OR IN PLANNED PLANTING BEDS AREAS. SEE EROSION AND SEDIMENT CONTROL PLAN FOR APPROVED CONCRETE WASHOUT AREAS.
  - NOT STOCKPILING MATERIALS, DEBRIS, OR DIRT WITHIN THE TREE PROTECTION AREA.
  - WATERING WITHIN THE CRITICAL ROOT ZONE FROM MID-APRIL TO MID-OCTOBER AT THE RATE OF NOT LESS THAN THE EQUIVALENT OF 1-1/2" OF WATER OVER THE ENTIRE AREA PER WEEK.
  - NOT TRENCING, EXCAVATING, FILLING, OR OTHERWISE DISTURBING THE SOIL WITHIN THE CRITICAL ROOT ZONE.
  - ADJUST PROPOSED IMPROVEMENT LOCATIONS AS REQUIRED TO AVOID DAMAGING TREE ROOTS.
- PROTECT THE CROWN AND TRUNK OF TREES TO BE RETAINED BY:
  - OPERATING EQUIPMENT IN SUCH A WAY AS TO AVOID CONTACT WITH TREE TRUNKS OR BRANCHES.
  - HAVING TREES PRUNED BY A LICENSED ARBORIST.
- ALL TREES THAT ARE DAMAGED, DESTROYED OR REMOVED DURING CONSTRUCTION SHALL BE MITIGATED USING THE MITIGATION STANDARDS PER THE KUNA CITY CODE.
- SEE TREE MITIGATION NOTES FOR ADDITIONAL INFORMATION.

## PLANT SCHEDULE

QTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE NOTES
<b>DECIDUOUS SHADE TREES</b>					
4	GT	Shademastr Honeylocust	Shademastr Honeylocust	2" CAL. B4B	45' x 35' W CLASS I
4	TA	Tilia americana Legend'	Legend Honey	2" CAL. B4B	40' x 30' W CLASS II
<b>SHRUBS/PERENNIALS/ORNAMENTAL GRASSES</b>					
36	BT	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Japanese Barberry	#5	2' x 3' W
62	CA	Calamagrostis x acutifolia 'Karl Foerster'	Foerster's Feather Reed Grass	#5	5' x 2' W
4	CB	Cornus alba 'Bohaino'	Ivory Halo Dogwood	#5	5' x 5' W
55	HR	Hemerocallis 'Red Rum'	Red Rum Daylily	#1	2' x 2' W
77	LA	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue English Lavender	#1	2' x 3' W
12	PI	Picea pungens 'Waldorff'	Waldorff Dwarf Blue Spruce	#5	2' x 4' W
31	PM	Pinus mugo pumilio	Dwarf Mugo Pine	#5	4' x 4' W
25	RH	Rhus aromatica 'Gro Low'	Gro-Low Sumac	#2	2' x 8' W

**BRECKON** landscape design

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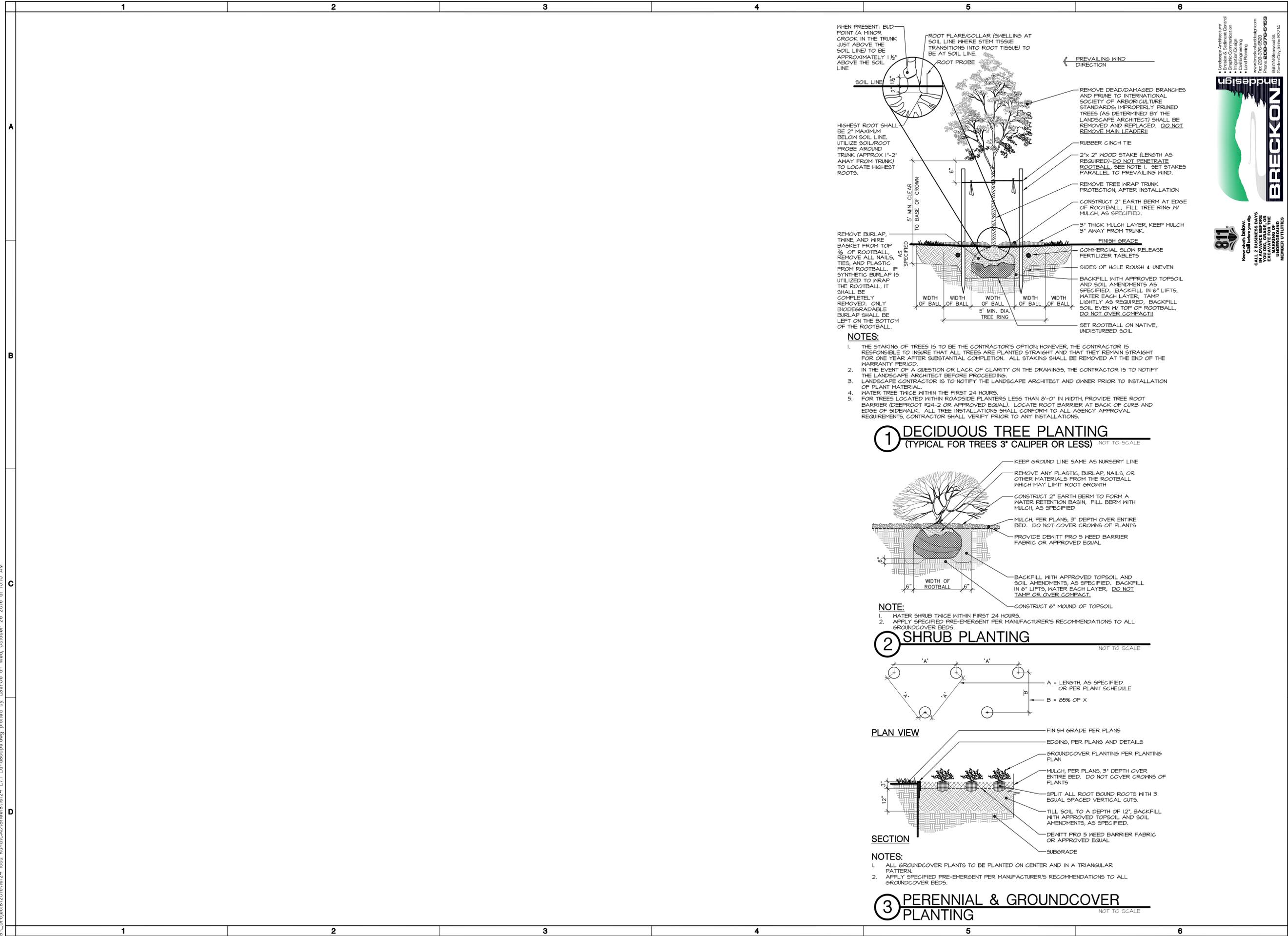
PRELIMINARY NOT FOR CONSTRUCTION

**IDAHO CENTRAL CREDIT UNION**  
KUNA BRANCH  
KUNA, IDAHO  
LANDSCAPE PLAN

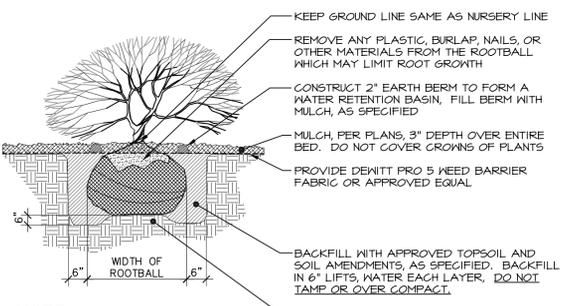
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DATE: 10/21/16  
DRAWN BY: TC, AJ, DB  
CHK'D BY: JB

SHEET NO. **L1.1**

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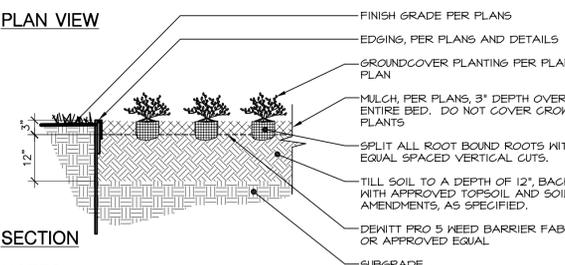
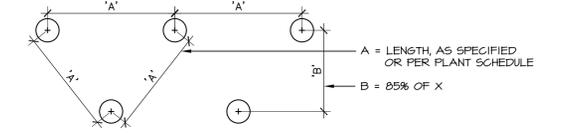
**1 DECIDUOUS TREE PLANTING**  
(TYPICAL FOR TREES 3" CALIPER OR LESS) NOT TO SCALE



**NOTE:**

- WATER SHRUB TWICE WITHIN FIRST 24 HOURS.
- APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS.

**2 SHRUB PLANTING** NOT TO SCALE



**NOTES:**

- ALL GROUNDCOVER PLANTS TO BE PLANTED ON CENTER AND IN A TRIANGULAR PATTERN.
- APPLY SPECIFIED PRE-EMERGENT PER MANUFACTURER'S RECOMMENDATIONS TO ALL GROUNDCOVER BEDS.

**3 PERENNIAL & GROUNDCOVER PLANTING** NOT TO SCALE

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National Utility  
Locating Council  
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EXCAVATING FOR THE  
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**LCA**

STATE OF IDAHO  
LANDSCAPE ARCHITECT  
NO. 16124  
PRELIMINARY  
NOT FOR  
CONSTRUCTION

**IDAHO CENTRAL CREDIT UNION  
KUNA BRANCH  
KUNA, IDAHO  
LANDSCAPE DETAILS**

MRK	DATE	DESCRIPTION

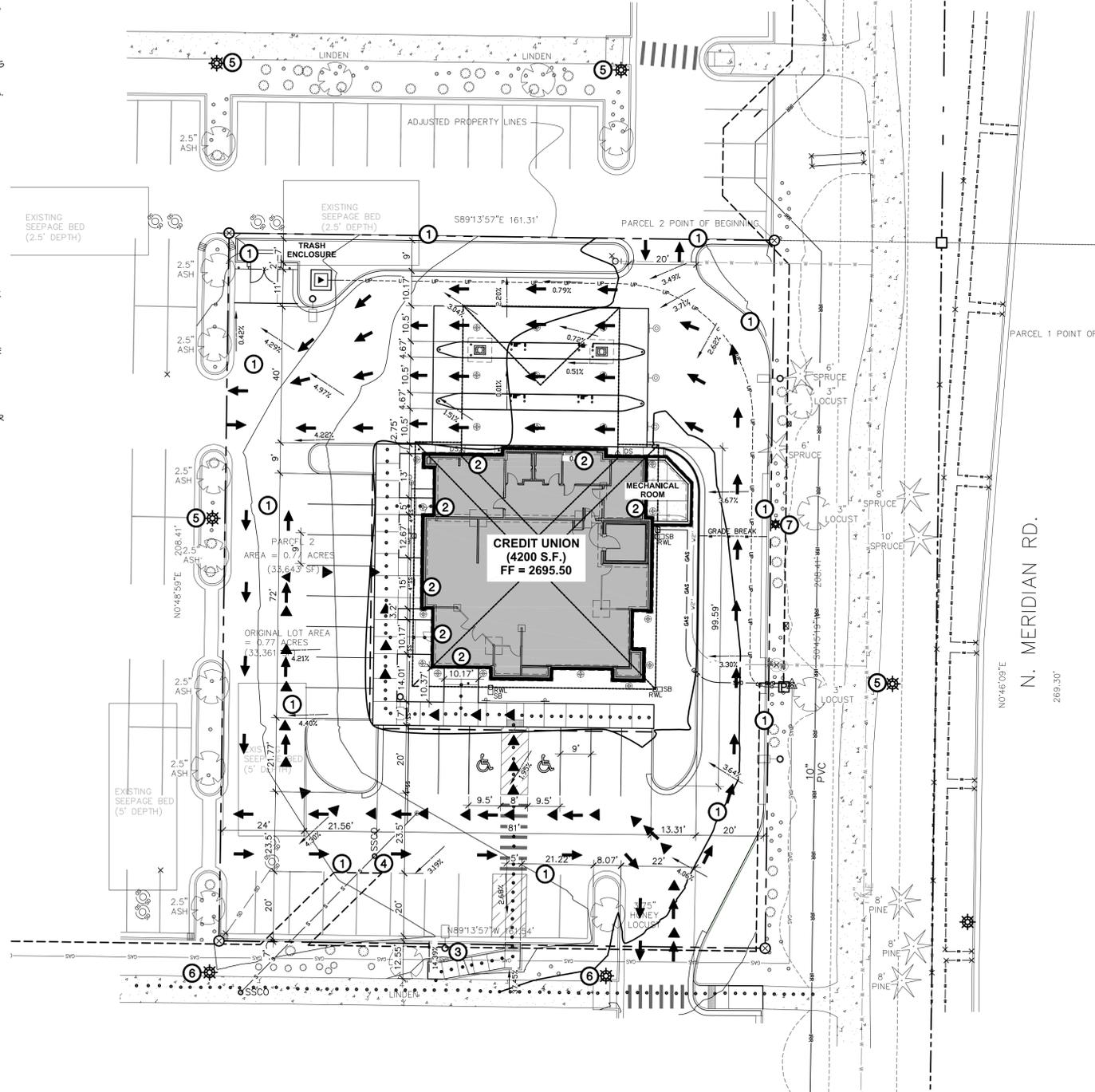
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DATE: 10/27/16  
DRAWN BY: TC, AJ, DB  
CHK'D BY: JB

SHEET NO.  
**L1.5**

100% Design Review

# GENERAL NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS, AND/OR THE CITY OF KUNA.
- ALL CONTRACTORS, SUBCONTRACTORS AND/OR UTILITY CONTRACTORS SHALL ATTEND A PRE-CONSTRUCTION CONFERENCE A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
- ALL CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTIONAL BODY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES, AND CONTROL OF TRAFFIC WITHIN AND AROUND THE CONSTRUCTION AREA.
- ALL MATERIAL FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE. CONTRACTORS MUST FURNISH PROOF THAT ALL MATERIALS INSTALLED ON THIS PROJECT MEET THE REQUIREMENTS OF ITEM #6 AT THE REQUEST OF THE APPROVING AGENCY AND/OR THE DESIGNER.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ANY AND ALL DAMAGES CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- WORK SUBJECT TO APPROVAL BY ANY POLITICAL SUBDIVISION OR AGENCY MUST BE APPROVED PRIOR TO:
  - BACKFILLING TRENCHES FOR PIPE;
  - PLACING OF AGGREGATE BASE;
  - PLACING OF CONCRETE;
  - PLACING OF ASPHALT PAVING.
 WORK DONE WITHOUT SUCH APPROVAL DOES NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE MANNER.
- THE DESIGNER SHALL SUBMIT RECORD DRAWINGS TO THE PUBLIC WORKS DEPARTMENT AS PRESCRIBED BEFORE FINAL APPROVAL IS GIVEN TO THE PROJECT.
- ONLY PLAN SETS STAMPED "APPROVED FOR CONSTRUCTION" AND SIGNED BY THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVE SHALL BE USED BY THE PROJECT CONTRACTOR(S). USE OF ANY PLANS ON THE JOB WITHOUT THE "APPROVED FOR CONSTRUCTION" STAMP SHALL BE GROUNDS FOR THE ISSUANCE OF A STOP WORK ORDER.
- THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES, A COPY OF THE APPROVED CONSTRUCTION PLANS ON WHICH IS RECORDED THE ACTUAL LOCATIONS OF THE CONSTRUCTED PIPE LINE AND ANY OTHER UTILITIES ENCOUNTERED. THE CONTRACTOR SHALL PROVIDE THESE LOCATIONS TO THE DESIGNER FOR USE IN THE PRODUCTION OF RECORD DRAWINGS PRIOR TO FINAL APPROVAL OF THE PIPELINE INSTALLATION.



**SITE DEVELOPMENT PLAN**  
 SCALE: 1" = 20'-0"

# SITE DEVELOPMENT LEGEND

- PROPERTY LINE
- PROPOSED BUILDINGS
- PEDESTRIAN ACCESS AND CIRCULATION
- BICYCLE ACCESS AND CIRCULATION
- VEHICLE ACCESS AND CIRCULATION
- PROPOSED CONTOUR
- EXISTING CONTOUR
- GRADE BREAK
- GRADE BREAK LINE
- FLOW DIRECTION AND GRADIENT
- EXTENTS OF EXISTING SEEPAGE BED
- EXISTING STORM DRAIN PIPE
- EXISTING DRAIN INLET
- INTEGRAL CURB/WALK LOCATION
- VERTICAL CURB LOCATION
- CURB AND GUTTER LOCATION
- SCORE JOINT (TYPICAL)
- EXPANSION JOINT (TYPICAL)
- ACCESSIBLE RAMP LOCATION WITH DETECTABLE WARNING SURFACE
- NEW CONCRETE FLATWORK
- LIGHTED LANE SIGN
- UNDER CANOPY DOWN LIGHTING
- LED DOWN LIGHTING POLE LUMINAIRE

# CAUTION NOTICE

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

# CALLOUT LEGEND

- PROVIDE SMOOTH TRANSITIONS BETWEEN NEW AND EXISTING GRADES.
- SLOPE ALL SURFACES ADJACENT TO DOORWAYS A MAXIMUM OF 2.0% AND NO LESS THAN 1.0% FOR A MINIMUM DISTANCE OF 5 FEET FROM BUILDING TO COMPLY WITH ADA REGULATIONS.
- UNDER WALK DRAIN, SEE DETAIL.
- ADJUST UTILITY RIM ELEVATION AS REQUIRED TO BE FLUSH WITH NEW FINISH GRADE ELEVATIONS.
- EXISTING POLE LUMINAIRE TO REMAIN.
- EXISTING DOUBLE HEAD POLE LUMINAIRE TO REMAIN. NORTH HEAD TO BE REMOVED.
- EXISTING POLE LUMINAIRE TO BE REMOVED.

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**SITE DEVELOPMENT PLAN**

MRK	DATE	DESCRIPTION

JOB NO: 1601501\_16124  
 DATE: 10/27/16  
 DRAWN BY: TC, AJ, DB  
 CHKD BY: JB

SHEET NO.  
**L2.1**

100% Design Review

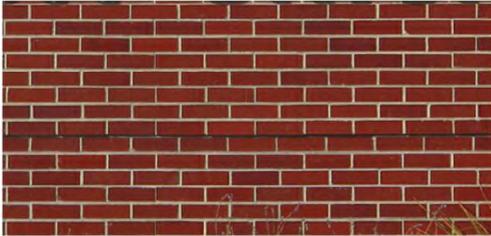
**PABCO ROOFING**  
**PREMIER 40**  
**COLOR: ANTIQUE BLACK**



**SHEET METAL FASCIA**  
**COLOR: HARTFORD GREEN**



**E.I.F.S SOFFIT**  
**DRYVIT**  
**COLOR: PEARL 455A**

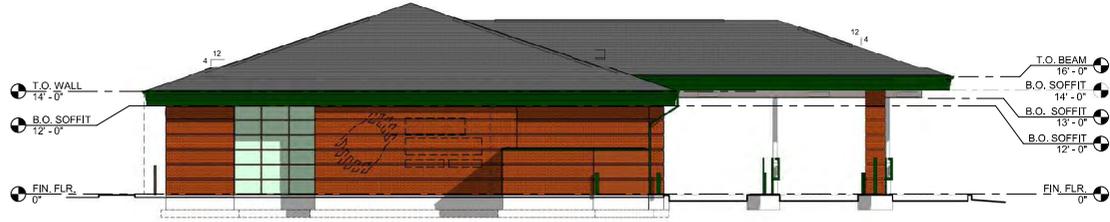


**EXTERIOR MASONRY**  
**INTERSTATE BRICK**  
**COLOR: 80% MOUNTAIN RED**  
**20% BRONZESTONE**

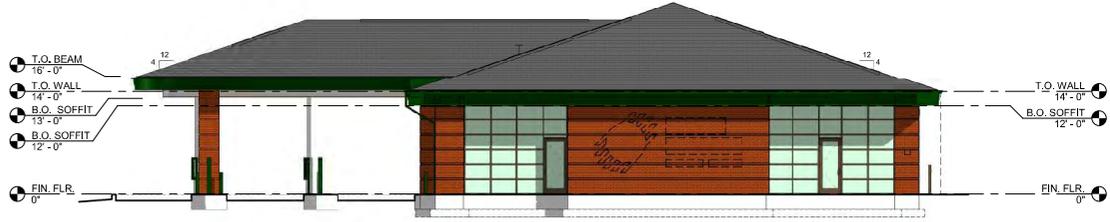


**ALUMINUM STOREFRONT**  
**KAWNEER 651T**  
**COLOR: MEDIUM BRONZE**

**GLAZING**  
**LOW-E INSULATING GLASS**  
**COLOR: PPG ATLANTICA**



**1 EAST ELEVATION**  
 18" = 1'-0"



**2 WEST ELEVATION**  
 18" = 1'-0"



**3 SOUTH ELEVATION**  
 18" = 1'-0"



**4 NORTH ELEVATION**  
 18" = 1'-0"

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**KUNA, IDAHO**  
**EXTERIOR ELEVATIONS**

DESCRIPTION

DATE

10/28/11  
 6:30-10  
 Author  
 Checker

**DR4.0**



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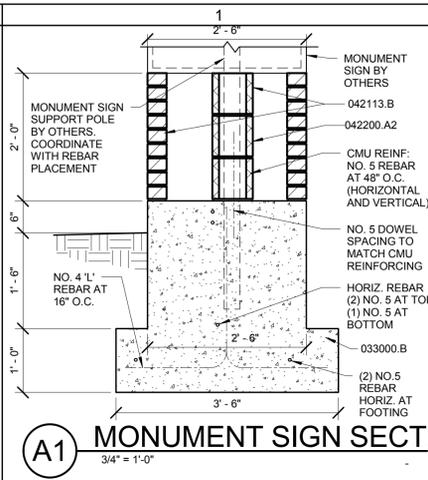
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 KUNA, IDAHO  
 IMAGES

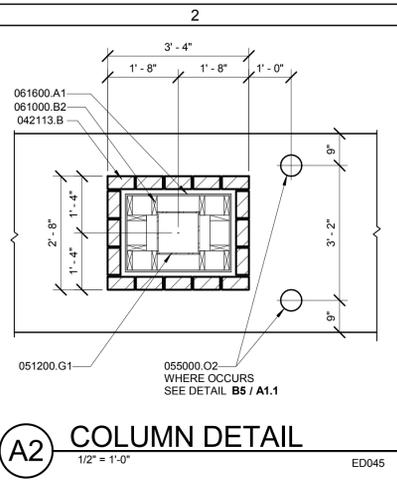
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10/26/17  
 6-30-18  
 Author  
 Checked

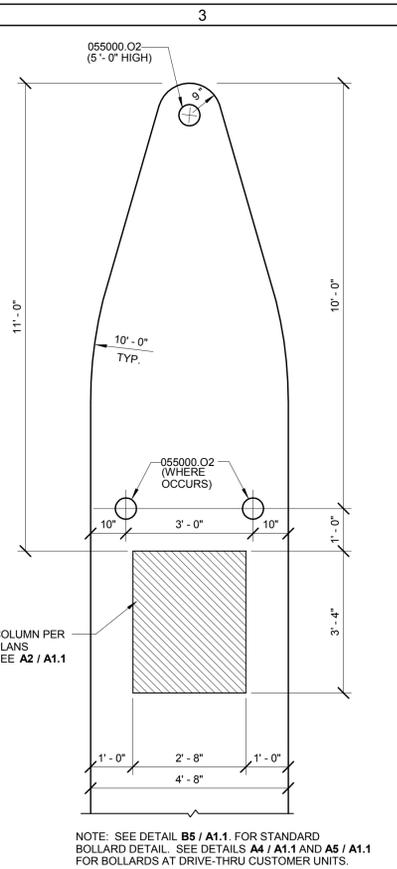
DR4.1



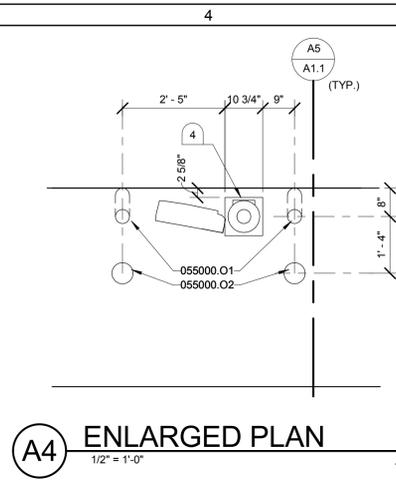
**A1 MONUMENT SIGN SECT.**  
3/4" = 1'-0"



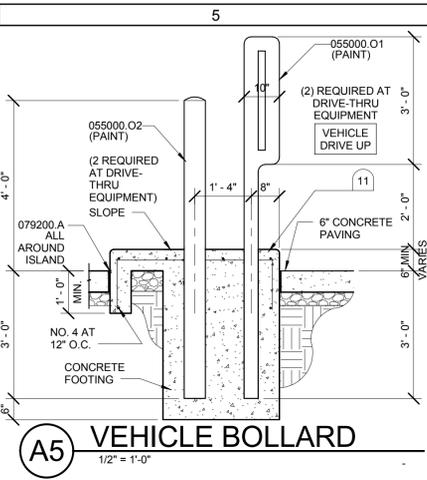
**A2 COLUMN DETAIL**  
1/2" = 1'-0"



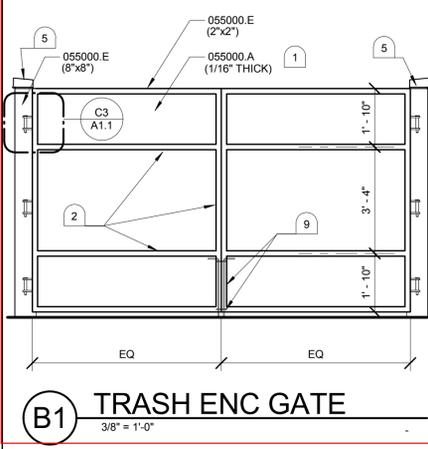
**B3 DRIVE THRU ISLAND**  
1/2" = 1'-0"



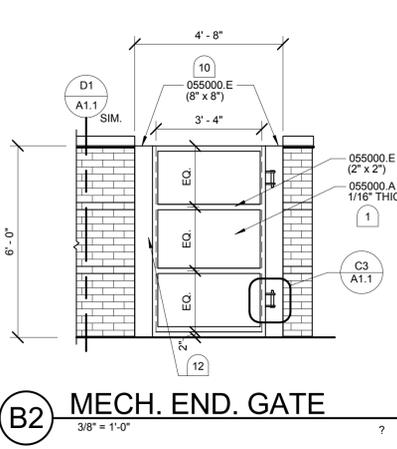
**A4 ENLARGED PLAN**  
1/2" = 1'-0"



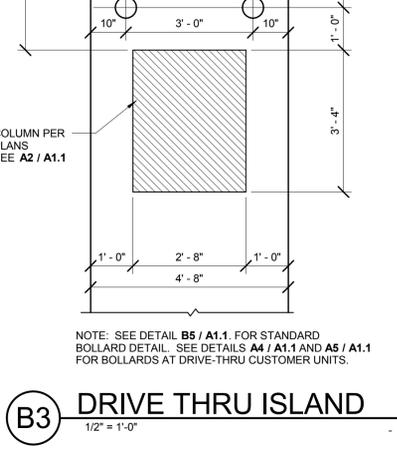
**A5 VEHICLE BOLLARD**  
1/2" = 1'-0"



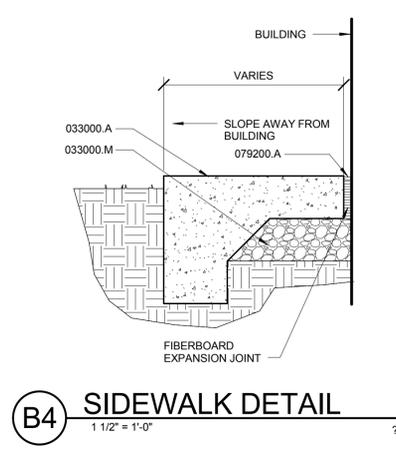
**B1 TRASH ENC GATE**  
3/8" = 1'-0"



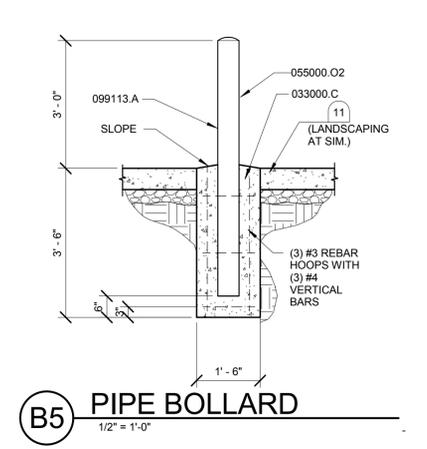
**B2 MECH. END. GATE**  
3/8" = 1'-0"



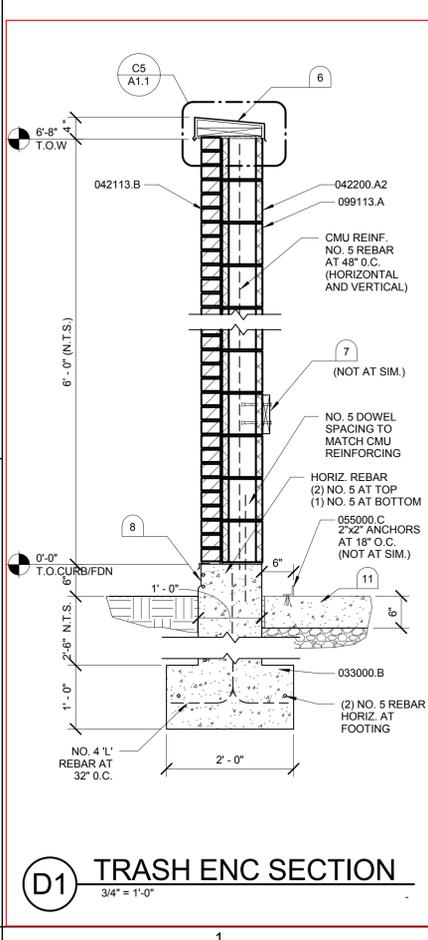
**B3 DRIVE THRU ISLAND**  
1/2" = 1'-0"



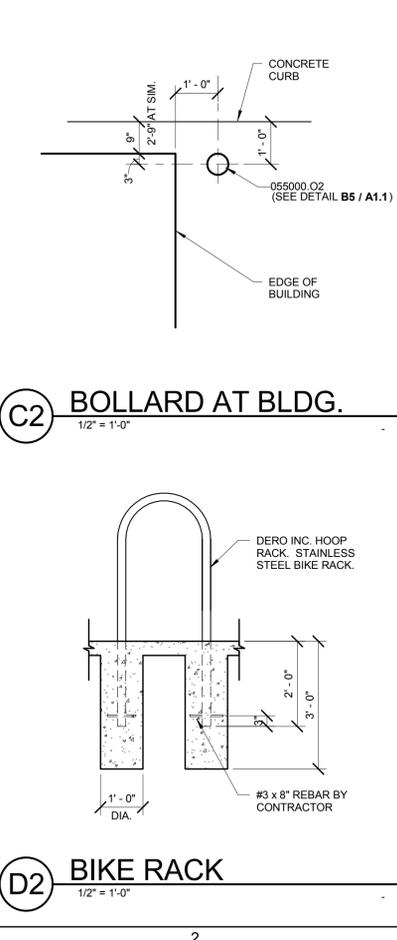
**B4 SIDEWALK DETAIL**  
1 1/2" = 1'-0"



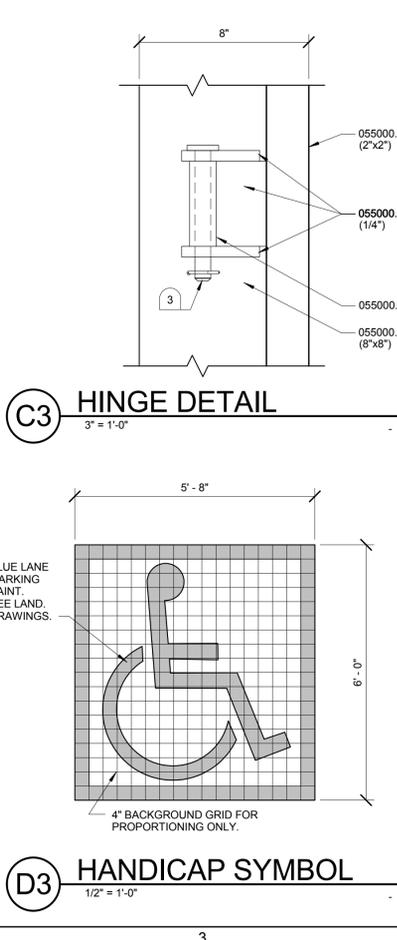
**B5 PIPE BOLLARD**  
1/2" = 1'-0"



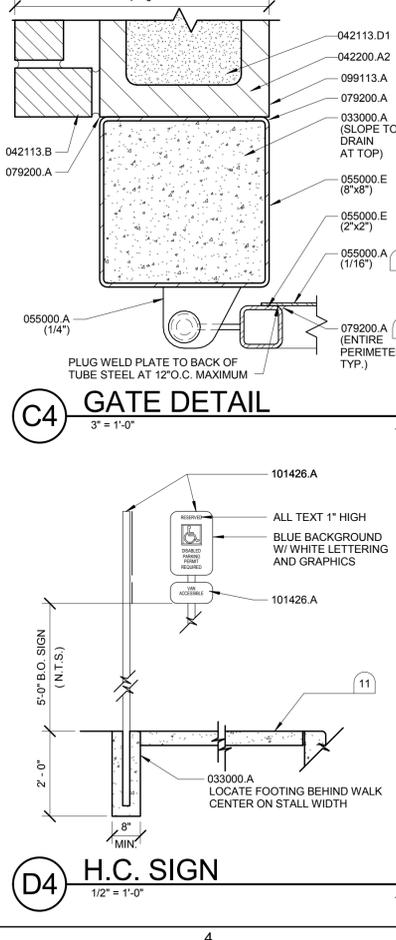
**D1 TRASH ENC SECTION**  
3/4" = 1'-0"



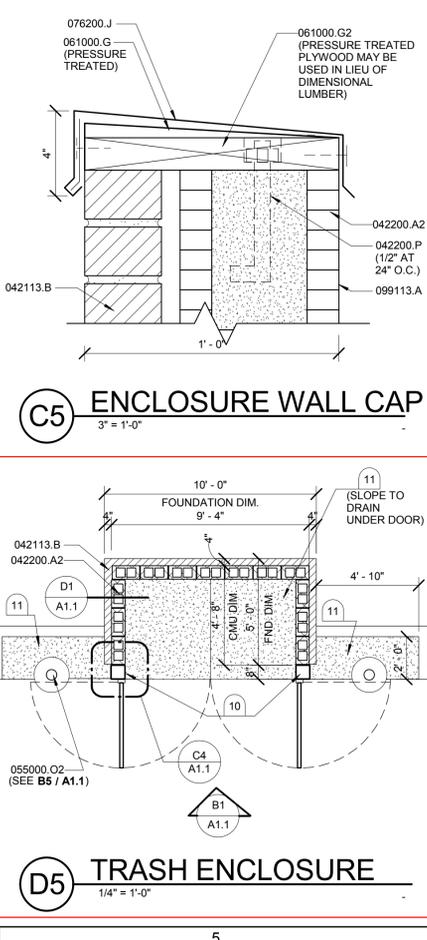
**D2 BIKE RACK**  
1/2" = 1'-0"



**D3 HANDICAP SYMBOL**  
1/2" = 1'-0"



**D4 H.C. SIGN**  
1/2" = 1'-0"



**D5 TRASH ENCLOSURE**  
1/4" = 1'-0"

### CONDOC

033000.A	CONCRETE. SEE STRUCTURAL.
033000.B	CONCRETE FOOTING. SEE STRUCTURAL.
033000.C	CONCRETE FOUNDATION WALL. SEE STRUCTURAL.
033000.M	GRANULAR FILL WITH VAPOR RETARDER.
042113.B	BRICK VENEER.
042113.D1	MORTAR.
042200.A2	8X8X16 CONCRETE MASONRY UNIT.
042200.P	ANCHOR BOLT.
051200.G1	STEEL TUBE COLUMN. SEE STRUCTURAL.
055000.A	METAL PLATE.
055000.C	METAL ANGLE.
055000.E	METAL TUBE.
055000.F	METAL PIPE.
055000.O1	4" DIAMETER METAL BOLLARD.
055000.O2	6" DIAMETER METAL BOLLARD.
061000.B2	2X6 WOOD STUD FRAMING AT 16" O.C.
061000.G	WOOD BLOCKING.
061000.G2	WOOD NAILER.
061600.A1	PLYWOOD WALL SHEATHING.
076200.J	COPING.
079200.A	JOINT SEALANT.
099113.A	EXTERIOR PAINT.
101426.A	POST AND PANEL SIGN.

- ### KEYNOTES
- 1 PROVIDE 1/16" STEEL PLATE. WELD TO BACK OF TUBE STEEL GATE FRAME.
  - 2 PROVIDE CONTINUOUS SEALANT AT ENTIRE PERIMETER WHERE TUBE STEEL MEETS BACK PLATE PRIOR TO PAINTING.
  - 3 3/4" O.D. HINGE PIN. SECURE WITH LYNCH OR COTTER PIN.
  - 4 CUSTOMER UNIT BY DIEBOLD
  - 5 TOP OF TUBE STEEL STOPS AT TOP OF CMU WALL.
  - 6 PREFINISHED CAP STOPS AT END OF CMU WALL AND DOES NOT EXTEND OVER TOP OF TUBE STEEL. TOP OF TUBE STEEL STOPS AT TOP OF CMU WALL.
  - 7 CONTINUOUS 3/8" PRESSURE TREATED WOOD PLATE ANCHORED TO WALL. COORDINATE HEIGHT TO PROTECT WALL FROM WIDEST EDGES / PROJECTIONS OF DUMPSTER. ANCHOR AT 2'-0" O.C. MAX.
  - 8 3/4" x 3 1/2" REVEAL AT FOUNDATION BELOW VENEER.
  - 9 3/4" DIA. GATE KEEPER. TYPICAL OF (2) PROVIDE 3/4" x 2" METAL SLEEVE IN ASPHALT AT OPEN AND CLOSED POSITIONS IN CONCRETE. PROVIDE METAL TAB TO HOLD KEEPERS UP WHEN IN UNLOCKED POSITION.
  - 10 INSTALL TUBE STEEL SIMILAR TO B5 / A1.1. EXTEND TUBE STEEL TO TOP OF WALL FOOTING. FILL WITH CONCRETE.
  - 11 CONCRETE PAVING OR SIDEWALK. SEE CIVIL DRAWINGS.
  - 12 PROVIDE LATCH AT GATE THAT IS ABLE TO RECEIVE SECURITY PADLOCK.

- ### GENERAL NOTES
1. ALL METAL FABRICATIONS SHALL BE PAINTED.
  2. CONFIRM AND COORDINATE BANK SUPPLIER EQUIPMENT LOCATIONS, DIMENSIONS, AND CONDUIT REQUIREMENTS PRIOR TO ROUGH-IN.

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KUNA, IDAHO**

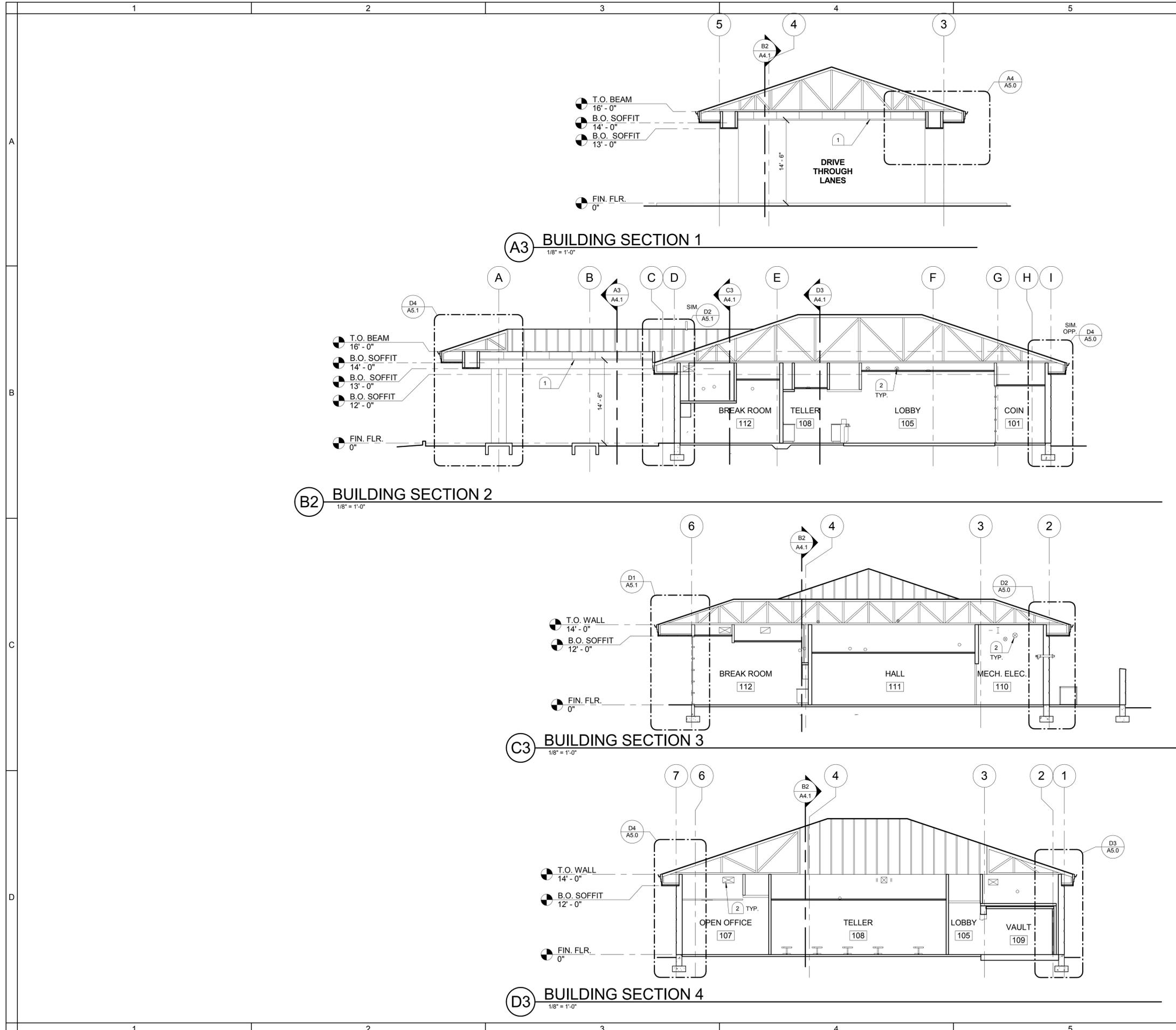
**SITE DETAILS**

MRK	DATE	DESCRIPTION

JOB NO.: 16226.01  
DATE: 6-30-16  
DRAWN BY: SM  
CHECKED BY: SC  
SHEET NO.: **A1.1**

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10/10/2016 8:06:39 AM C:\Users\smcclure\Documents\16226-01 ICCU Kuna Branch 2016 (CENTRAL)\_smcclure@larch.com.rvt



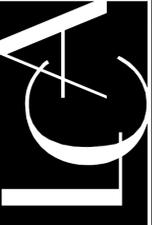
**KEYNOTES**

- 1 METAL PAN CEILING AND GRID SUSPENSION SYSTEM BY 095133.
- 2 MECHANICAL ITEMS, TYPICAL. REFER TO MECHANICAL SHEETS FOR REQUIREMENTS.

**GENERAL NOTES**

- 1. SEE ROOM FINISH SCHEDULE SHEET A2.1 AND REFLECTED CEILING PLAN SHEET A2.2 FOR ROOM FINISHES, CEILING FINISHES, AND CEILING HEIGHTS.
- 2. SEE STRUCTURAL DRAWINGS FOR EXACT BEARING HEIGHTS AT EACH CONDITION.
- 3. SEE STRUCTURAL DRAWINGS FOR FOOTINGS, FOOTING DIMENSIONS, AND FOUNDATION DETAILS.

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KUNA BRANCH  
KUNA, IDAHO**

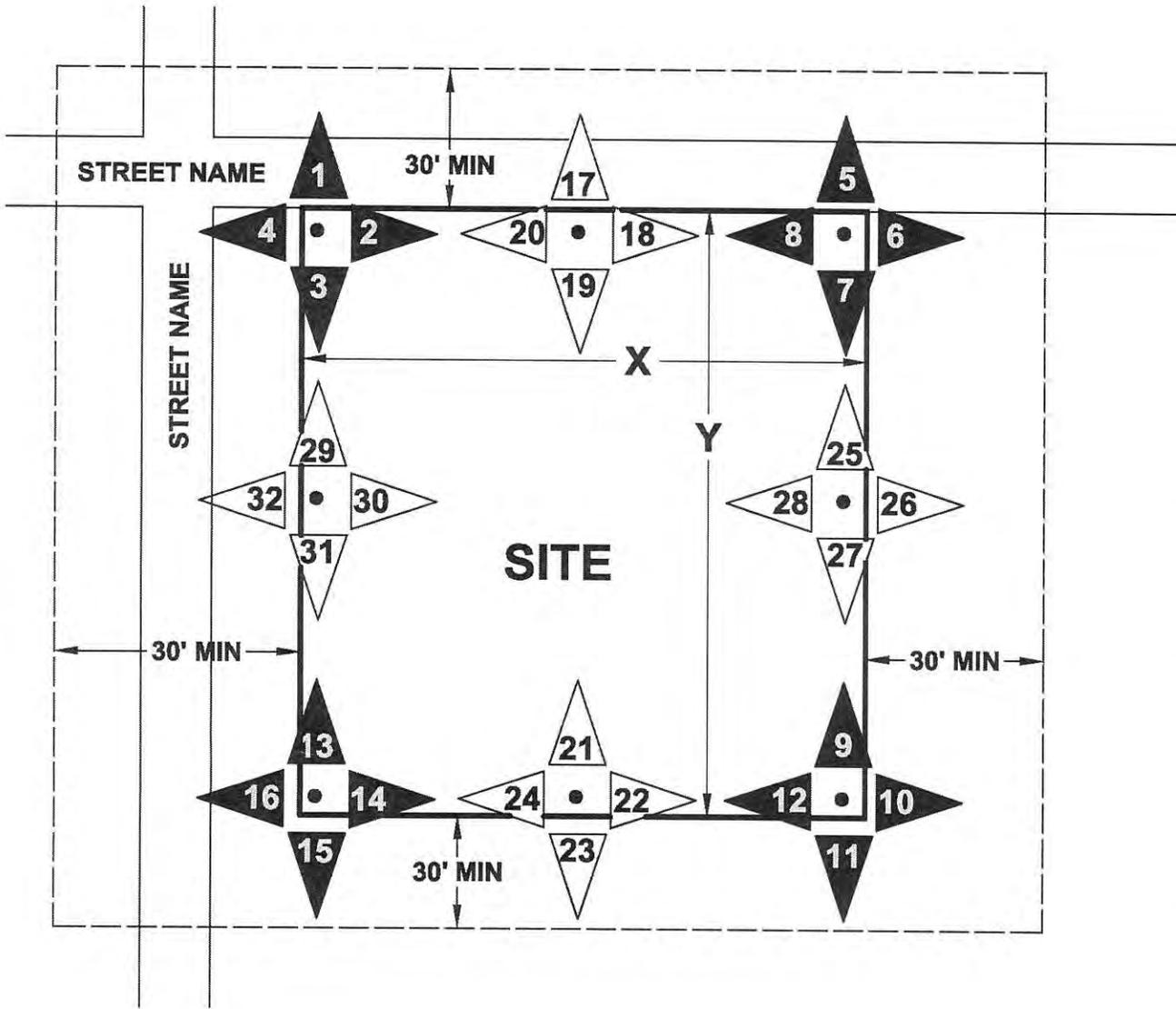
**BUILDING SECTIONS**

MRK	DATE	DESCRIPTION

JOB NO.: 16226.01  
DATE: 6-30-16  
DRAWN BY: SM  
CHECKED BY: SC

SHEET NO.: **A4.1**

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**Project Information:**  
Name: .....  
Project:.....  
Gross Acre:.....

**NOTE:**  
Provide Site Plan on an 8 1/2" x 11" paper— indicating placement of photo orientation.  
All applicants are expected to provide COLOR photographs at a 1-16 minimum.  
If Distance 'X' is GREATER than 500-feet, also take photos 17-24.  
If Distance 'Y' is GREATER than 500-feet, also take photos 17-24.



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8.30.16

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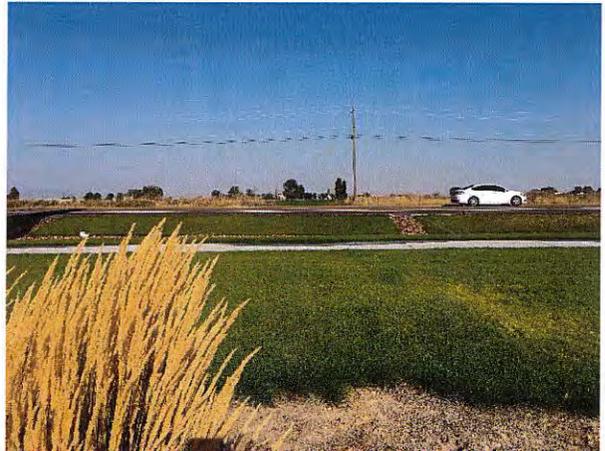
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