

OFFICIALS

Lee Young, Chairman
Dana Hennis, Vice Chairman
Stephen Damron, Commissioner
Cathy Gealy, Commissioner
Tyson Garten, Commissioner



CITY OF KUNA
Kuna City Hall Council Chambers, 751 W 4th Street, Kuna, Idaho 83634

Planning & Zoning Commission Meeting
AGENDA

Tuesday February 9, 2021

6:00 PM REGULAR P&Z COMMISSION

*Per Order issued by Central District Health dated July 14, 2020:
Social distancing and face masks are required.*

*Due to social distancing protocol,
Council Chambers audience occupancy is 15.*

The first 15 persons who appear will be allowed in Council Chambers. All other persons may access the meeting via Live Streaming.

Live Streaming Instructions: Members of the public may watch the February 9, 2021 Planning & Zoning Commission meeting via Facebook Live. The live feed will start at 6:00 PM on the City of Kuna Idaho Facebook page: <https://www.facebook.com/CityofKunaIdaho/>

For questions, please call the Kuna Planning and Zoning Department at (208) 922-5274.

Public testimony will be received on the cases listed under Public Hearings within this Agenda. The instructions and options available for public testimony are listed below:

PUBLIC HEARING APPLICANT/PUBLIC TESTIMONY PROCESS:

Written – Up to noon the day of the Public Hearing

1. Submit any below stated option **prior to noon the day of the Public Hearing meeting.**
Late submissions will not be included.
2. Submit testimony via our website on the Public Testimony Form
KunaCity.ID.gov > Doing Business > Forms and Application > Frequently Requested Applications and Forms > ONLINE Public Testimony Form
3. Submit testimony via email to publichearingtestimony@kunid.gov
4. Submit via mail to:
City of Kuna
Attention: City Clerk
PO Box 13
Kuna ID 83634

Oral – In Person Testimony during the Public Hearing

All persons wishing to testify must state their name and residential address. No person shall speak until recognized by the Chairman. A three (3) limit time limit will be placed on all testimonies.

If you have questions regarding public testimony, please contact the Planning and Zoning Department at (208) 922-5274.

1. CALL TO ORDER & ROLL CALL:

2. CONSENT AGENDA: ALL OF THE LISTED CONSENT AGENDA ITEMS ARE ACTION ITEMS

All items listed under the Consent Agenda are considered to be routine and are acted on with one motion by the Commission. There will be no separate discussion on these items unless the Chairman, Commissioner, or City Staff requests an item to be removed from the Consent Agenda for discussion. Items removed from the Consent Agenda will be placed on the Regular Agenda under Business or as instructed by the Commission.

A. Regular Planning and Zoning Commission Meeting Minutes Dated January 26, 2021

3. PUBLIC HEARINGS: (6:00 PM or as soon thereafter as matters may be heard.)

Due to current health precautions associated with the coronavirus, the city of Kuna is providing alternative ways for the community to submit comments at public hearings. To learn more about the process for written, oral or virtual testimony, please follow the directions above or contact the Planning and Zoning Department at (920) 922-5274.

A. Public Hearing tabled from January 26, 2021 and consideration to recommend approval for Case Nos. 20-10-S (Preliminary Plat) and 20-07-ZC (Rezone) Paloma Ridge Subdivision and consideration to approve 20-26-DR (Design Review) – Doug Hanson, Planner II and Sabrina Durtschi, Toll Southwest LLC (Applicant) **ACTION ITEM**

Sabrina Durtschi, on behalf of Toll Southwest, LLC, requests a Rezone for approximately 113.25 acres from A (Agriculture) to C-1 (Neighborhood Commercial); R-4 (Medium Density Residential); R-6 (Medium Density Residential); and R-8 (Medium/High Density Residential) zoning districts. The Applicant also requests Preliminary Plat approval in order to subdivide the approximate 113.25 acres into 388 total lots (341 Residential Lots, 42 Common Lots, and five (5) Commercial Lots). The subject site is located at 8430 S Linder Road, Kuna, ID 83634, within Section 12, Township 2 North, Range 1 West; (APN: S1312223000).

Open Public Hearing

Receive Evidence

Consideration to close evidence presentation and proceed to deliberation

Potential Motions:

Consideration to either:

Option 1: Recommend Approval or Denial of Case Nos. 20-10-S (Preliminary Plat) and 20-07-ZC (Rezone); Approve or Deny Case No. 20-26-DR and close the Public Hearing.

Option 2: Continue the Public Hearing to a time and date certain.

B. Public Hearing tabled from January 26, 2021 and consideration to recommend approval for Case Nos. 20-11-S (Preliminary Plat) and 20-08-ZC (Rezone) and consideration to approve Case No. 20-27-DR (Design Review) for Paloma West Subdivision – Doug Hanson, Planner II and Sabrina Durtschi, Toll Southwest LLC (Applicant) **ACTION ITEM**

Sabrina Durtschi on behalf of Toll Southwest, LLC request a rezone for approximately 22.1 acres from A (Agriculture) to R-6 (Medium Density Residential). The applicant also requests preliminary plat approval in order to subdivide the approximate 22.1 acres into 91 total lots (78

residential lots, 12 common lots and 1 shared driveway). The subject site is located near the SWC of Linder and Columbia Roads, Kuna, ID 83634, within Section 11, Township 2 North, Range 1 West; (APN: S1311141960).

Open Public Hearing

Receive Evidence

Consideration to close evidence presentation and proceed to deliberation

Potential Motions:

Consideration to either:

Option 1: *Recommend Approval or Denial of Case Nos. 20-10-S (Preliminary Plat) and 20-07-ZC (Rezone); Approve or Deny Case No. 20-26-DR and close the Public Hearing.*

Option 2: *Continue the Public Hearing to a time and date certain.*

4. BUSINESS ITEMS:

- A. Consideration to approve Case No. 21-01-DR (Design Review) Winfield Springs No. 5 Design Review Modification – Jessica Reid, Planning & Zoning Staff **ACTION ITEM**

Lyle Dennison-Swisse of Toll ID, LLC requests approval for a Design Review Modification to install tiered gabion walls along the E Ardell Road frontage of Winfield Springs No. 5, as to mitigate aggressive sloping not adequately addressed in the previously approved Design Review. This same request was made in Case No. 16-13-DR (Design Review) for gabion wall installation along the E Deer Flat Road frontage. Per the documents provided, the tiered gabion walls along the E Ardell Road frontage will be constructed, designed and landscaped in the same fashion.

Potential Motions:

Option 1: *Approve or Deny Case No. 21-01-DR*

5. STAFF ANNOUNCEMENT AND REPORTS:

- A. Helen Zamzow Park Update – Bobby Withrow, Parks & Recreation Director

6. ADJOURNMENT:

OFFICIALS

Lee Young, Chairman
Dana Hennis, Vice Chairman
Stephen Damron, Commissioner
Cathy Gealy, Commissioner
Tyson Garten, Commissioner



CITY OF KUNA
Kuna City Hall Council Chambers, 751 W 4th Street, Kuna, Idaho 83634

Planning & Zoning Commission Meeting
MINUTES
Tuesday January 26, 2021

6:00 PM REGULAR P&Z COMMISSION

*Per Order issued by Central District Health dated July 14, 2020:
Social distancing and face masks were required.*

*Due to social distancing protocol,
Council Chambers audience occupancy was 15.*

The first 15 persons who appeared, in addition to staff, were allowed in Council Chambers. All other persons accessed the meeting via Live Streaming on the City of Kuna Facebook page, <https://www.facebook.com/CityofKunaIdaho/>

Public testimony was to be received on the cases listed under Public Hearings within this Agenda. Due to technical difficulties, the meeting did not begin until approximately 6:37 PM. There were no persons signed-up to testify in person or virtually.

1. CALL TO ORDER & ROLL CALL:

(Timestamp 00:37:28)

COMMISSION MEMBERS PRESENT:

Chairman Lee Young – Via Zoom
Vice Chairman Dana Hennis – In Person
Commissioner Stephen Damron – In Person
Commissioner Cathy Gealy – Via Zoom
Commissioner Tyson Garten – In Person

CITY STAFF PRESENT:

Bill Gigray, City Attorney – Via Zoom
Jace Hellman, Planning & Zoning Director – In Person
Jessica Reid, Planning & Zoning Staff – In Person

2. ELECT COMMISSION CHAIRMAN AND VICE-CHAIR

(Timestamp 00:38:00)

A. Nominations

- 1. Lee Young – Chairman**
- 2. Dana Hennis – Vice-Chairman**

Chairman Young notified the Commission of the nominees for Chairman and Vice Chairman, then asked if there were any other nominations; there were not.

Motion To: Confirm Lee Young as the Commission Chairman
Motion By: Chairman Young
Motion Seconded: Commissioner Damron
Further Discussion: None
Voting No: None
Absent: None
Motion Passed: 5-0

Motion To: Confirm Dana Hennis as the Vice Chairman
Motion By: Chairman Young
Motion Seconded: Commissioner Garten
Further Discussion: None
Voting No: None
Absent: None
Motion Passed: 5-0

3. CONSENT AGENDA: ALL OF THE LISTED CONSENT AGENDA ITEMS ARE ACTION ITEMS

(Timestamp 00:39:17)

All items listed under the Consent Agenda are considered to be routine and are acted on with one motion by the Commission. There will be no separate discussion on these items unless the Chairman, Commissioner, or City Staff requests an item to be removed from the Consent Agenda for discussion. Items removed from the Consent Agenda will be placed on the Regular Agenda under Business or as instructed by the Commission.

A. Regular Planning and Zoning Commission Meeting Minutes Dated January 12, 2021

B. Findings of Fact and Conclusions of Law

- I.** Case Nos. 20-09-S (Preliminary Plat), 20-04-AN (Annexation), and 20-05-ZC (Rezone) for Linrock Subdivision – Doug Hanson, Planner II **ACTION ITEM**

Motion To: Approve the Consent Agenda
Motion By: Commission Gealy
Motion Seconded: Commissioner Damron
Further Discussion: None
Voting No: None
Absent: None
Motion Passed: 5-0

4. PUBLIC HEARINGS: (6:00 PM or as soon thereafter as matters may be heard.)

(Timestamp 00:39:30)

Due to current health precautions associated with the coronavirus, the city of Kuna is providing alternative ways for the community to submit comments at public hearings. To

learn more about the process for written, oral or virtual testimony, please follow the directions above or contact the Planning and Zoning Department at 9208) 922-5274.

- A.** Public Hearing and consideration to recommend approval for Case Nos. 20-10-S (Preliminary Plat) and 20-07-ZC (Rezone) Paloma Ridge Subdivision and consideration to approve 20-26-DR (Design Review) – Doug Hanson, Planner II and Sabrina Durtschi, Toll Southwest LLC (Applicant) **ACTION ITEM**

Sabrina Durtschi, on behalf of Toll Southwest, LLC, requests a Rezone for approximately 113.25 acres from A (Agriculture) to C-1 (Neighborhood Commercial); R-4 (Medium Density Residential); R-6 (Medium Density Residential); and R-8 (Medium/High Density Residential) zoning districts. The Applicant also requests Preliminary Plat approval in order to subdivide the approximate 113.25 acres into 388 total lots (341 Residential Lots, 42 Common Lots, and five (5) Commercial Lots). The subject site is located at 8430 S Linder Road, Kuna, ID 83634, within Section 12, Township 2 North, Range 1 West; (APN: S1312223000).

Staff requests this item be tabled to a date certain due to critical agency comments not being received.

Chairman Young asked if staff had a date certain they would like the case to be tabled to.

Planning and Zoning Staff Jessica Reid notified the Commission there were not any persons signed up to testify on the case.

Planning and Zoning Director Jace Hellman requested the case be tabled to February 9, 2021.

Motion To: Approve tabling Case Nos. 20-10-S (Preliminary Plat), 20-07-ZC (Rezone) and 20-26-DR (Design Review) for the Paloma Ridge Subdivision to February 9, 2021

Motion By: Commissioner Gealy

Motion Seconded: Vice Chairman Hennis

Further Discussion: None

Voting No: None

Absent: None

Motion Passed: 5-0

(Timestamp 00:41:45)

- B.** Public Hearing and consideration to recommend approval for Case Nos. 20-11-S (Preliminary Plat) and 20-08-ZC (Rezone) and consideration to approve Case No. 20-27-DR (Design Review) for Paloma West Subdivision – Doug Hanson, Planner II and Sabrina Durtschi, Toll Southwest LLC (Applicant) **ACTION ITEM**

Sabrina Durtschi on behalf of Toll Southwest, LLC request a rezone for approximately 22.1 acres from A (Agriculture) to R-6 (Medium Density Residential). The applicant also requests preliminary plat approval in order to subdivide the approximate 22.1 acres into 91 total lots (78 residential lots, 12 common lots and 1 shared driveway). The subject site is located near the SWC of Linder and Columbia Roads, Kuna, ID 83634, within Section 11, Township 2 North, Range 1 West; (APN: S1311141960).

Staff requests this item be tabled to a date certain due to a noticing error in the Kuna Melba News

Chairman Young asked if staff had a date certain they would like the case to be tabled to.

Planning and Zoning Staff Jessica Reid notified the Commission there were not any persons signed up to testify on the case.

Planning and Zoning Director Jace Hellman requested the case be tabled to February 9, 2021.

Motion To: Approve tabling Case Nos. 20-11-S (Preliminary Plat), 20-08-ZC (Rezone) and 20-27-DR (Design Review) for the Paloma Ridge West Subdivision to February 9, 2021

Motion By: Commissioner Gealy

Motion Seconded: Vice Chairman Hennis

Further Discussion: None

Voting No: None

Absent: None

Motion Passed: 5-0

4. BUSINESS ITEMS:

5. ADJOURNMENT: 6:45 PM

Motion To: Adjourn

Motion By: Vice Chairman Hennis

Motion Seconded: Commissioner Damron

Further Discussion: None

Voting No: None

Absent: None

Motion Passed: 5-0

Lee Young, Chairman
Kuna Planning and Zoning Commission

ATTEST:

Jace Hellman, Planning and Zoning Director
Kuna Planning and Zoning Department



751 W 4th Street | Kuna, ID | 83634
(208) 922-5274 | www.kunacity.id.gov
EXHIBIT CHECKLIST



Case Name: Paloma Ridge
Case No.(s): 20-10-S (Preliminary Plat), 20-07-ZC (Rezone)
& 20-26-S (Design Review)

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To view the Traffic Impact Study in its entirety, please follow the link provided:
<https://www.kunacity.id.gov/DocumentCenter/View/7354/Paloma-Ridge-Traffic-Impact-Study->



City of Kuna

Planning and Zoning Commission

Staff Report

P.O. Box 13
 Phone: (208) 922-5274
 Fax: (208) 922-5989
www.Kunacity.id.gov

To: Planning and Zoning Commission

Case Numbers: 20-10-S (Preliminary Plat),
 20-07-ZC (Rezone) and
 20-26-DR (Design Review) –
Paloma Ridge.

Site Location: 8430 S Linder Road
 Kuna, ID 83634

Planner: Doug Hanson, Planner II

Hearing Date: February 9, 2021

Owners: *Patterson Family Enterprises*
 4051 Mountain Vista Lane
 Filer, Idaho 83642
 208-371-8887
rpatterson@grouponesir.com

Applicant: *Toll Southwest, LLC*
 3103 W Sheryl Drive
 Meridian, ID 83642
 208.250.6161

Representative: *Sabrina Durtschi*
 3103 W Sheryl Drive
 Meridian, ID 83642
 208.250.6161
sdurtschi@tollbrothers.com

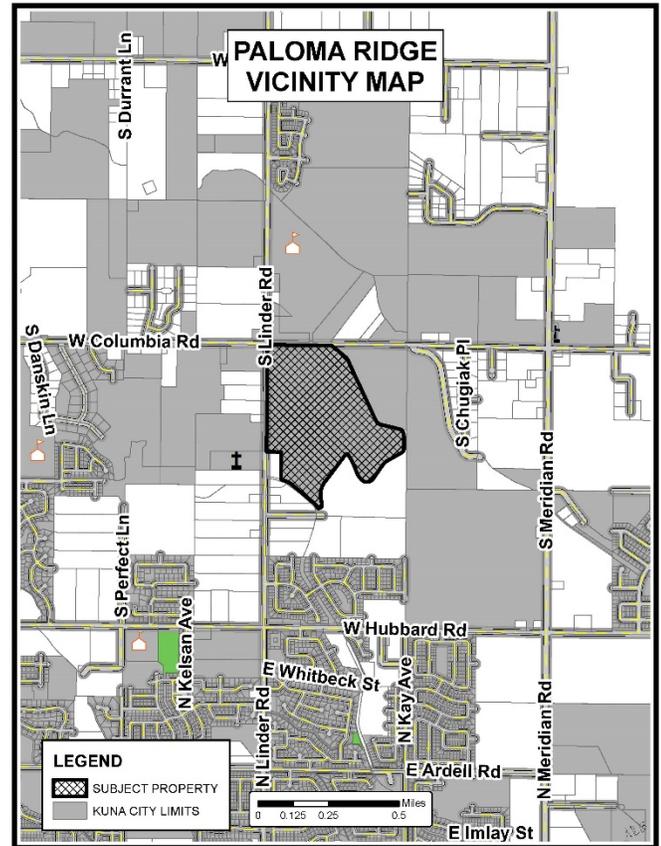


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- B. Applicants Request
- C. Site History
- D. General Project Facts
- E. Staff Analysis
- F. Applicable Standards
- G. Proposed Findings of Fact and Conclusions of Law
- H. Proposed Comprehensive Plan Analysis
- I. Proposed Kuna City Code Analysis
- J. Commission’s Recommendation

A. Process and Noticing:

1. Kuna City Code (KCC) Title 1, Chapter 14, Section 3, states that Design Reviews are designated as *public meetings*, with the Planning and Zoning Commission (acting as the Design Review Board) as the decision-making body; and that Preliminary Plats and Rezones are designated as Public Hearings, with the Planning and Zoning Commission as a recommending body and City Council as the decision-making body. These land use applications were given proper public notice and followed the requirements set forth in Idaho Code Chapter 65, Local Land Use Planning Act.

a. Notifications

- i. Neighborhood Meeting July 21, 2020 (Zoom)

- | | |
|----------------------------------|---------------------------|
| | July 23, 2020 (In Person) |
| ii. Agency Comment Request | November 5, 2020 |
| iii. 300' Property Owners Notice | January 6, 2021 |
| iv. Kuna Melba Newspaper | January 6, 2021 |
| v. Site Posted | January 13, 2021 |

B. Applicant's Request:

Sabrina Durtschi, on behalf of Toll Southwest, LLC, requests a Rezone for approximately 113.25 acres from A (Agriculture) to C-1 (Neighborhood Commercial); R-4 (Medium Density Residential); R-6 (Medium Density Residential); and R-8 (Medium/High Density Residential) zoning districts. The Applicant also requests Preliminary Plat approval in order to subdivide the approximate 113.25 acres into 388 total lots (341 Residential Lots, 42 Common Lots, and five (5) Commercial Lots). The subject site is located at 8430 S Linder Road, Kuna, ID 83634, within Section 12, Township 2 North, Range 1 West; (APN: S1312223000).

C. Site History:

Historically these parcels have been used for agricultural purposes.

D. General Projects Facts:

- 1. Comprehensive Plan Map:** The Future Land Use Map (FLUM) is intended to serve as a *guide* for the decision-making body for the City. The FLUM indicates land use designations generally speaking, it is not the actual zone. The Future Land Use Map identifies the approximately 113.25-acre site as Mixed Use.
- 2. Recreation and Pathways Map:** The Recreation and Pathways Master Plan Map indicates a future pathway and bike route through the subject site. The applicant proposes a public trail that will run along the southern and western boundaries of the development.

3. Surrounding Land Uses:

North	A P	Agriculture – Kuna City Public – Kuna City
South	RR	Rural Residential – Ada County
East	RR PUD	Rural Urban Residential – Ada County Planned Unit Development – Kuna City
West	A RR	Agriculture – Kuna City Rural Residential – Ada County

4. Parcel Sizes, Current Zoning, Parcel Numbers:

Property Owner	Parcel Size:	Current Zone:	APN:
Patterson Family Enterprises	113.25	A (Agriculture)	S1312223000

5. Services:

- Sanitary Sewer– City of Kuna
- Potable Water – City of Kuna
- Pressurized Irrigation – Private System
- Fire Protection – Kuna Rural Fire District
- Police Protection – Kuna Police (Ada County Sheriff's office)
- Sanitation Services – J & M Sanitation

6. Existing Structures, Vegetation and Natural Features:

The proposed project site currently has one residential home with an outbuilding. Vegetation on-site is consistent with that of crop fields. The sites have an estimated average slope of 1% to 1.4%. According to the USDA Soil Survey for Ada County, bedrock depth is estimated to be 20 to 40 inches across the proposed development area.

7. **Transportation / Connectivity:**

The applicant proposes to improve Linder Road along the property’s western frontage and Columbia Road along the property’s northern frontage. Additionally, the project proposes to provide stub streets to adjacent parcels to the east and west of the subject site.

8. **Environmental Issues:**

Staff is not aware of any environmental issues, health or safety conflicts other than that of the project being within the nitrate priority area. The Idaho Department of Environmental Quality (DEQ) has provided recommendations for surface and groundwater protection practices and requirements for development of the site.

9. **Agency Responses:** The following responding agency comments are included as exhibits with this case file:

- Central District Health Department Exhibit B-1
- Boise Project Board of Control Exhibit B-2
- Department of Environmental Quality Exhibit B-3
- Idaho Transportation Department Exhibit B-4
- COMPASS Exhibit B-5
- City Engineer Exhibit B-6
- Ada County Highway District Exhibit B-7

E. **Staff Analysis:**

The applicant held a virtual neighborhood meeting on July 21, 2020 with two (2) attendees. An on-site neighborhood meeting was held on July 23, 2020 there were three (3) attendees. Neighborhood meeting minutes as well as mailed materials have been provided as a part of this application.

The applicant is proposing to rezone approximately 113.25 acres from A (Agriculture) to C-1 (Neighborhood Commercial), R-4 (Medium Density Residential), R-6 (Medium Density Residential) and R-8 (Medium/High Density Residential) zoning districts. The applicant also requests preliminary plat approval in order to subdivide the approximate 113.25 acres into 388 total lots (341 residential lots, 42 common lots and five (5) commercial lots). The overall gross density of the project is 3.01 dwelling units per acre (DUA), the net density is 5.20 DUA.

The applicant has proposed 12.11% qualified open space, as defined by Kuna City Code (KCC) 5-1-6-2. Included in the useable open space is a community pool with pool house, pickleball court, playground, pocket parks and pathways for pedestrian connectivity. A public pedestrian trail will run along the southern and western boundaries of the development. KCC 5-17-14 requires that public pathways shall be a minimum of five (5) feet in width and constructed of an impervious surface that is acceptable by the City Engineer and in compliance with Americans with Disabilities Act accessibility guidelines. The pathway shall be centered in a public easement at least ten (10) feet in width. KCC 5-17 requires developments with a range of 301 to 350 homes/dwelling units to devote 10% of the development area as qualified open space. Staff views the 12.11% qualified open space provided to be in compliance with KCC.

The applicant is proposing improvements to S Linder Road running along the site’s western frontage. Linder Road is listed as a north south minor arterial on the City of Kuna Street Circulation Map. ACHD calls for the applicant dedicate additional right-of-way to total 50-feet from centerline. Staff would recommend that S Linder Road be improved with vertical curb, gutter and detached sidewalk installed in accordance with KCC 5-17-13 and 6-4-2 and ACHD Policy. The applicant is proposing improvements to W Columbia Road running along the site’s northern frontage. Columbia Road is listed as an east west minor arterial on the City of Kuna Street Circulation Map. ACHD calls for the applicant dedicate additional right-of-way to total 39-feet from centerline. Staff would recommend that S Linder Road be improved with vertical curb, gutter and detached sidewalk installed in accordance with KCC 5-17-13 and 6-4-2 and ACHD Policy. A single lane roundabout is planned for the intersection of Linder and Columbia Roads. ACHD requests that the applicant provides sufficient right-of-way to accommodate the

roundabouts future construction, staff agrees with this request. Roundabout construction was not specified to be a part of ACHD's Integrated Five Year Work Plan and is not a part of the Capital Improvement Plan, staff will require that the intersection be fully improved with four-to-eight-foot irrigated planter strip, eight-foot-wide detached sidewalk and 20-to-30-foot landscape buffer. The applicant has not proposed the construction of any collector roadways with this application. The City of Kuna Street Circulation Map proposes a collector roadway through the southern portion of the project; however, it would be required to cross the Kuna Canal at two points. ACHD has recommended that the collector roadway be shifted to the south to avoid crossing the Kuna Canal. Staff supports this decision.

Per the ACHD report and the submitted Traffic Impact Study (TIS), the current roadway segments of Columbia Road between Meridian Road and Linder Road, and Linder Road between Columbia and Hubbard Road will not meet minimum operational thresholds with the buildout of this development. Additionally, the current intersections of Meridian Road and Lake Hazel Road, Linder Road and Hubbard Road and Meridian Road and Columbia Road will not meet minimum operational thresholds with the buildout of this development. ACHD has listed several mitigation improvements to be completed by certain lot counts throughout the development process. Once the mitigation improvements are completed, per the submitted TIS the surrounding roadways and intersection will be back to within an acceptable operational threshold. Staff will require the applicant to work with ACHD and the City to complete all required mitigation improvements to the surrounding roadways and intersections as detailed in the ACHD staff report.

The Paloma Ridge Subdivision will convey its sewage directly to the Springhill Lift Station. Comments from the City Engineer in exhibit B-7 confirm that the Springhill Lift Station has the capacity to serve the 346 proposed EDU's.

Correspondence from the Boise Project Board of Control and Public Works confirms that the applicant does not possess any surface irrigation water rights. The subdivision must support their own pressurized irrigation (PI) system, and cannot connect to the City of Kuna PI system. Staff would recommend the condition that the applicant be required to work with the Public Works Department to develop a private PI system that will meet or exceed City of Kuna standards.

The installation of streetlights is a required public improvement listed under Kuna City Code 6-4-2. The applicant has not included proposed locations of streetlights on the preliminary plat. Staff will require the applicant to work with staff in order to comply with KCC and install street lights with a maximum spacing of 250 ft. The final location of street lights will be approved at the time of construction document review. Staff would note that these streetlights must be designed and installed according to "Dark Sky" standards.

A design review application for common area landscaping and open space was included as a part of the overall application. The proposed application includes internal pathways, staff will require the applicant comply with KCC 5-5-5-F and install "see-through" fence. Staff finds the proposed landscaping, buffers and common space to be in compliance with Kuna City Code. Additionally, staff notes that if this project is approved, at the time of civil plan development, landscaping cannot be placed within ten (10) feet of any and all meter pits, pressurized irrigation valves, and ACHD underground facilities. In the event that locations of landscaping are within the locations listed above, the landscaping in that area must be moved to an alternate location, and an updated landscape plan must be provided to staff prior to scheduling a final landscape inspection. The developer, owner and/or applicant is hereby notified that this project is subject to design review inspection fees. Required inspections (post construction), are to verify landscaping compliance prior to signature on the final plat.

Kuna's Comprehensive Plan (Comp Plan) encourages a variety of housing types for all income levels, open space and pathways numerous times throughout the document. Pertinent sections of the Comp Plan that address the above listed items are included below in Section "H" of this staff report. Staff has reviewed the proposed rezone and preliminary plat for technical compliance with KCC, and finds the pre-plat and landscape plan are in compliance Kuna City, Title 5 and Title 6 of the Kuna City Code; Idaho Statute § 67-6511; and the Kuna Comprehensive Plan. The applicant will be required to work with Kuna's staff, Ada County Highway District (ACHD),

the Kuna Rural Fire District (KRFD) and any other applicable agencies to ensure conformance to each agency's requirements. Staff recommends that if the Planning and Zoning Commission recommends approval of case no. 20-10-S (Preliminary Plat) and 20-07-ZC (Rezone) and approves case no. 20-26-DR (Design Review), the applicant be subject to the conditions of approval listed in section "J" of this report, as well as any additional conditions requested by the Planning and Zoning Commission.

F. Applicable Standards:

1. City of Kuna Zoning Ordinance Title 5.
2. City of Kuna Subdivision Ordinance Title 6.
3. City of Kuna Comprehensive Plan.
4. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

G. Proposed Findings of Fact and Conclusions of Law:

Based upon the record contained in Case Nos. 20-10-S, 20-07-ZC and 20-26-DR including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, including the exhibits, and the testimony during the public hearing, the Commission hereby (approves/conditionally approves/denies) Case No. 20-26-DR and recommends (*approval/denial*) of the Findings of Fact and Conclusions of Law, and conditions of approval for Case Nos. 20-10-S and 20-07-ZC, a request from Sabrina Durtschi and Toll Southwest, LLC to rezone an approximately 113.25-acre parcel from an A (Agriculture) to C-1 (Neighborhood Commercial), R-4 (Medium Density Residential), R-6 (Medium Density Residential) and R-8 (Medium/High Density Residential) zoning districts and to subdivide the 113.25 acres into 388 total lots (341 residential lots, 42 common lots and five (5) commercial lots).

If the Planning and Zoning Commission wishes to approve, deny or modify specific parts of the Findings of Facts and Conclusions of Law as detailed below, those changes must be specified.

1. *Based on the evidence contained in Case Nos. 20-10-S, 20-07-ZC and 20-26-DR, this proposal does generally comply with the City Code.*

Staff Finding: *The applicant has submitted a complete application, and following staff review for technical compliance the application appears to be in general compliance with the design requirements, public improvement requirements, objectives and considerations listed in Kuna City Code Title 5 and Title 6.*

2. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

Staff Finding: *The applicant held a neighborhood meeting on July 21, 2020 and July 23, 2020. Neighborhood Notices were mailed out to residents within 300-FT of the proposed project site on January 6, 2021 and a legal notice was published in the Kuna Melba Newspaper on January 6, 2021. The applicant posted sign on the property on January 13, 2021.*

3. *Based on the evidence contained in Case Nos. 20-10-S, 20-7-ZC and 20-26-DR, this proposal does generally comply with the Comprehensive Plan.*

Staff Finding: *The Comp Plan has listed numerous goals for providing a variety of housing densities and types to accommodate various lifestyles, ages and economic group in Kuna, as well as the installation of pathways and open space. The project proposes C-1 (neighborhood Commercial), R-4 and R-6 (Medium Density Residential) and R-8 (Medium/High Density Residential) zoning districts, the Comp Plan Map designates the property as Mixed Use.*

4. The contents of the proposed preliminary plat and rezone applications do contain all of the necessary requirements as listed in Kuna City Code.

Staff Finding: Review by staff of the proposed rezone and preliminary plat confirms all technical requirements listed in KCC were provided.

5. The availability of existing and proposed public services and streets *can* accommodate the proposed development.

Staff Finding: Correspondence from ACHD confirms that the streets are suitable and adequate for this project. Correspondence from ACHD and the submitted Traffic Impact Study states the current roadway segments of Columbia Road between Meridian Road and Linder Road, and Linder Road between Columbia and Hubbard Road will not meet minimum operational thresholds with the buildout of this development. Additionally, the current intersections of Meridian Road and Lake Hazel Road, Linder Road and Hubbard Road and Meridian Road and Columbia Road will not meet minimum operational thresholds with the buildout of this development. ACHD has listed several mitigation improvements to be completed by certain lot counts throughout the development process. Once the mitigation improvements are completed, per the submitted TIS the surrounding roadways and intersection will be back to within an acceptable operational threshold. Per Kuna City Engineer comments (Exhibit B-7), the developer has committed to participate with sewer upgrades including the Mason Creek Gravity Trunkline.

6. The proposed development is continuous with Master Utility Plans (Sewer/Water/Pressurized Irrigation).

Staff Finding: Correspondence from Kuna Public Works recommends the applicant be required to conform to the Master Sewer Plan, Master Water Plan and Master Pressurized Irrigation Plan, therefore satisfying this requirement.

7. The public *does* have the financial capability to provide supporting services to the proposed development.

Staff Finding: Throughout the development of the project and beyond, connection fees, impact fees (Fire, police, Park and Ada County Highway District), and property taxes will be collected, therefore satisfying the financial capability to provide supporting services.

8. The proposed project *does* consider health and safety of the public and the surrounding area's environment.

Staff Finding: Connection to City services, as well as other public improvements such as streetlights, fire hydrants, sidewalks, bike lanes, etc. are required to be implemented as a part of this project. No major wildlife habitats will be impacted by the proposed development.

9. The applicant and/or owner of the property have the right to request a written regulatory taking analysis.

Staff Finding: Pursuant to Idaho Code 67-8003, the owner of private property that is subject of such action may submit a written request for a regulatory taking analysis with the City Clerk. Not more than twenty-eight (28) days after the final decision concerning the matter at issue, the City shall prepare a written taking analysis concerning the action if requested.

H. Proposed Comprehensive Plan Analysis:

Kuna Planning and Zoning Commission may (accept or reject) the Comprehensive Plan components, and shall determine if the proposed preliminary plat and rezone requests for the site (*are/are not*) consistent with the following Comprehensive Plan components as described below:

Goal Area 2: Kuna will be a healthy, safe community.

- Goal 2.A: Maintain and expand an interconnected greenbelt, pathways and trail system.
 - Objective 2.A.2 Maintain and expand the pathway and trail network with a focus on building connectivity to key activity and population centers that serve all areas of Kuna.

- Policy 2.A.2.a: Ensure the trails and pathways system promotes bike and pedestrian connectivity to key activity centers such as schools, parks, retail centers and downtown.
 - Policy 2.A2.d: Work with private developers and landowners to direct expansion of the trails and pathways system throughout Kuna.
 - Goal 2.B: Maintain and expand parks and public gathering spaces.
 - Objective 2.B.1 Maintain and expand the parks system
 - Policy 2.B.1.b: Continue to require neighborhood park development through the subdivision development process.

Goal Area 3: Kuna’s land uses will support a desirable, distinctive and well-designed community.

- Goal 3.A: Ensure community design directs growth and implements sustainable land use patterns.
 - Objective 3.A.1: Use the Future Land Use Map and land use regulations to direct development, encourage complementary and compatible land uses, and achieve good community design.
 - Policy 3.A.1.b: Concentrate commercial and mixed-use areas along main entryway corridors, and reserve areas for low-density residential development, open space, industrial and agricultural uses at Kuna’s outer areas and along the rail line.
 - Policy 3.A.1.c: Define “mixed-use” designations in Kuna’s adopted zoning code to encourage a mix of uses at several scales – within zones, on individual and adjacent parcels, and within single structures – that encourage complementary residential, commercial and industrial activities to achieve true mixed uses.
 - Objective 3.A.2: Encourage development in priority areas.
 - Policy 3.A.2.a: Promote development and concentrate mixed land uses to create and support strong commercial activity centers.
- Goal 3.C: Encourage development of commercial areas with good connectivity and character.
 - Objective 3.C.1: Create well-planned regional commercial centers that provide employment and services.
 - Policy 3.C.1.c: Support commercial centers with high- and medium-density residential and mixed-use designations in surrounding areas, while providing transitions and buffers between commercial and residential development. Require integration of bike and pedestrian access to commercial centers from nearby neighborhoods.
 - Objective 3.C.2: Create neighborhood-serving mixed-use centers that incorporate commercial activities.
 - Policy 3.C.2.a: Integrate neighborhood-serving mixed-use centers both vertically and horizontally.
- Goal 3.D: Encourage development of housing options and strong neighborhoods.
 - Objective 3.D.1: Encourage development of housing options for all citizens.
 - Policy 3.D.1.a: Encourage preservation and development of housing that meets demand for household sizes, lifestyles and settings.
 - Objective 3.D.2: Create strong neighborhoods through preservation, new development, connectivity and programming.
 - Policy 3.D.2.b: In urban and suburban residential areas, encourage development of neighborhood-serving mixed-use and commercial activity centers that allow residents to play, shop, eat and interact with neighbors without leaving their neighborhood. Utilize mechanisms such as planned unit developments, subdivision ordinances, development agreements, payment and use of impact fees for needed infrastructure and amenities or other regulatory means or incentives to achieve this result.
 - Policy 3.D.2.d: Work to ensure that all neighborhoods in Kuna benefit from good connectivity through sidewalk, pathway and trail, on-street and transit infrastructure.
- Goal 3.G: Respect and protect private property rights.
 - Objective 3.G.1: Ensure land use policies, restrictions, and fees do not violate private property rights.

- Policy 3.G.1.b: Ensure City land use actions, decisions and regulations will not cause an unconstitutional regulatory taking of private property; and do not effectively eliminate all economic value of the subject property.
- Policy 3.G.1.c: Ensure City land use actions, decisions and regulations do not prevent a private property owner from taking advantage of a fundamental property right. Ensure city actions do not impose a substantial and significant limitation on the use of the property.

Goal Area 4: Kuna will be a connected community through strong transportation and infrastructure systems.

- Goal 4.A: Use overlay districts to create mixed-use entryway corridors with strong character and managed access.
 - Objective 4.A.2: Preserve Linder Road as a Neighborhood Entryway Corridor using a coordinated, planned approach.
 - Policy 4.A.2.a: Ensure adequate corridor width along Linder Road to support neighborhood connectivity, school bus routes and alternative bicycle and pedestrian routes.
 - Policy 4.A.2.c: Ensure improvements to and along Linder Road incorporate community value elements.
- Goal 4.B: Increase sidewalk coverage and connectivity and invest in pedestrian facilities to increase walkability.
 - Objective 4.B.2: Maintain and expand sidewalks and pedestrian facilities within the community.
 - Policy 4.B.2b: Install detached sidewalks and/or protected pedestrian routes/facilities along high trafficked roads as development occurs.
 - Policy 4.B.2.c: Promote the installation of off-system pedestrian pathways to create neighborhood connections and reduce the length of non-motorized transportation routes.
 - Policy 4.B.2.g: Coordinate with developers to connect and/or enhance pedestrian facilities, including on and off-system pathways, footbridges (across canals, etc.), road bridges, sidewalks, pedestrian crossings and wayfinding signage.
- Goal 4.D: Promote a connected street network that incorporates mid-mile collectors and crossings for improved neighborhood connectivity.
 - Objective 4.D.2: Ensure the continued expansion/development of a mid-mile collector system throughout the community.
 - Policy 4.D.2.a: Extend and expand mid-mile roads as growth occurs.

I. Proposed Kuna City Code Analysis:

1. This request appears to be consistent and in compliance with all Kuna City Code (KCC).

Comment: *The proposed applications (adhere/do not adhere) to the applicable requirements of Title 5 and Title 6 of KCC.*

2. The Planning and Zoning Commission feels the site (*is/is not*) physically suitable for the proposed development.

Comment: *The 113.25-acre (approximate) site (does/does not) appear to be suitable for the proposed development.*

3. The preliminary plat, rezone and design review requests are not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.

Comment: *The land to be developed is not used as wildlife habitat. Roads, driveways, family units and open spaces are planned for construction according the City and ACHD requirements and best practices and will therefore not cause environmental damage or loss of habitat.*

4. These applications (*are/are not*) likely to cause adverse public health problems.

Comment: *The project would connect to public sewer and potable water systems, therefore eliminating the occurrence of adverse public health problems.*

5. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

Comment: *The preliminary plat, rezone and design review requests consider the location of the property and adjacent uses. The adjacent uses are agriculture (Kuna City) and rural residential (Ada County).*

J. Commission's Recommendation:

Note: These motions are for the approval, conditional approval or denial of the design review application and the recommendation of approval, conditional approval or denial of the preliminary plat and rezone applications to the City Council. However, if the planning and Zoning Commission wishes to approve or deny specific parts of these requests as detailed in the report, those changes must be specified.

Based on the facts outlined in staff's report and public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby recommends (*approval/conditional approval/denial*) of Case Nos. 20-10-S (Preliminary Plat), and 20-07-ZC (Rezone) a request from Sabrina Durtschi and Toll Southwest, LLC to rezone an approximately 113.25-acre parcel from an A (Agriculture) to C-1 (Neighborhood Commercial), R-4 (Medium Density Residential), R-6 (Medium Density Residential) and R-8 (Medium/High Density Residential) zoning districts and to subdivide the 113.25 acres into 388 total lots (341 residential lots, 42 common lots and five (5) commercial lots); AND (*approves/conditionally approves/denies*) Case No. 20-26-DR (Design Review), subject to the following conditions of approval:

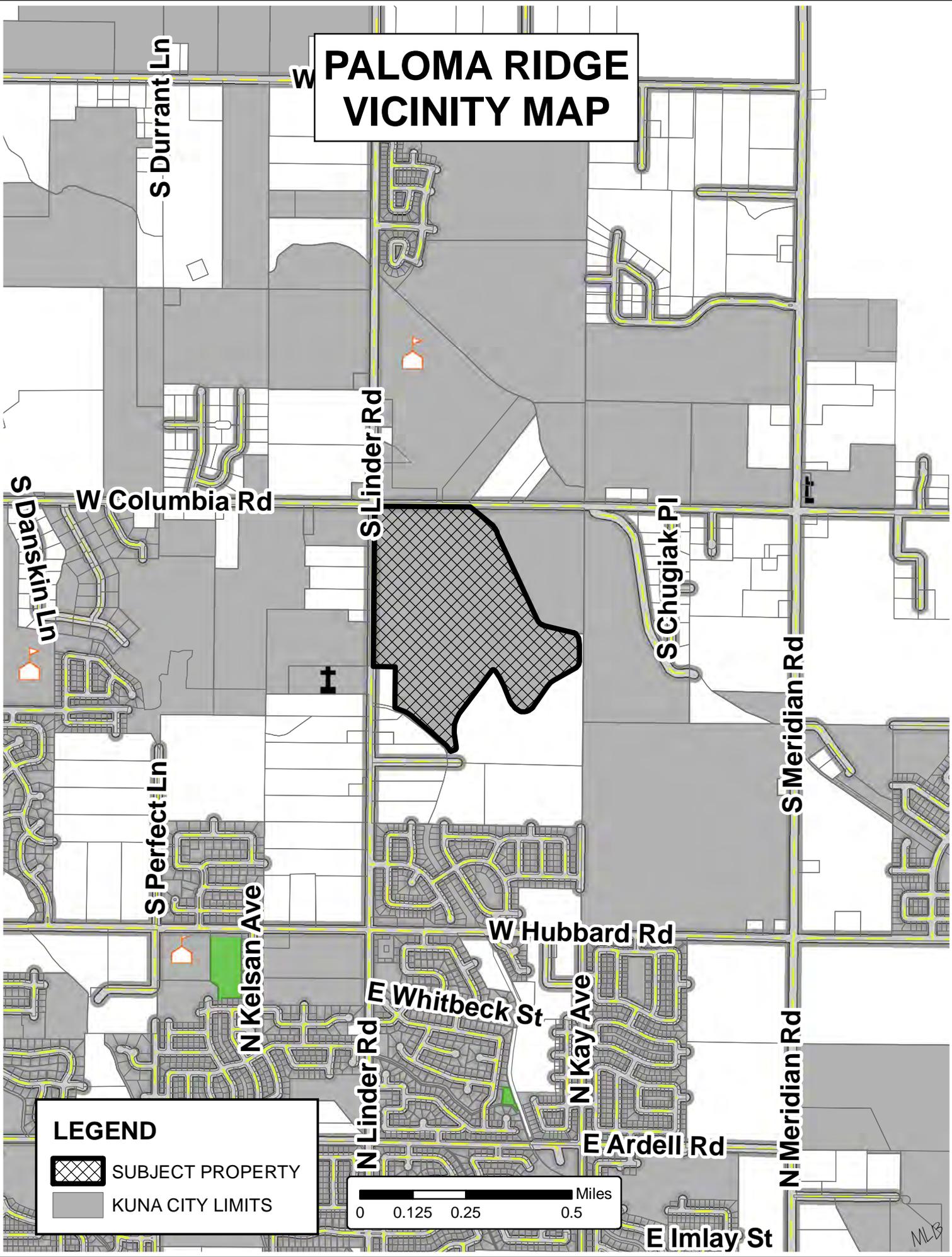
1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
 - a. The City Engineer shall approve the sewer hook-ups.
 - b. The City Engineer shall approve all civil plans. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
 - c. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties".
 - d. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District are required.
 - e. The Kuna Municipal Irrigation System and Boise Project Board of Control shall approve any modifications to the existing irrigation system.
 - f. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
 - g. All public rights-of-way shall be dedicated and constructed to standards of the City and Ada County Highway District. No public street construction may commence without the approval and permit from Ada County Highway District.
2. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see KCC 6-4-2-W.
3. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
4. When required, submit a petition to the City (as necessary, confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and request to annex the irrigation surface

water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation system of the City (KMID).

5. Connection to City Services (Sewer, Water, Pressurized Irrigation) is required. The applicant shall conform all corresponding Master Plans.
6. The Developer/owner/applicant shall be required to participate, as determined by the City Engineer, in the development of additional sewer capacity.
7. Curb, gutter and sidewalk (attached and detached) shall be installed in accordance with Kuna City Code Title 5 Chapter 17 and Title 6 Chapter 4.
8. Applicant/Developer shall install a sign at the terminus of every proposed stub street stating these roads will continue in the future. Applicant/Developer shall obtain proper language from Ada County Highway District.
9. Applicant shall work with staff in order to provide final locations of street lights as required by Kuna City Code.
10. Street lights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Sky practices.
11. Fencing within and around the site shall comply with Kuna City Code (Unless specifically approved otherwise and permitted).
12. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
13. Landscaping shall not be placed within ten (10) feet of any and all meter pits, pressurized irrigation valves and/or ACHD underground facilities and must honor all vision triangles.
14. The applicant shall install sod wherever the landscape plan (dated September 8, 2020) identifies "Lawn" and provide staff an updated landscaping plan accommodating the requested change.
15. All signage within/for the project shall comply with Kuna City Code, and shall be approved through the applicable sign approval process listed in KCC 5-10.
16. If any revisions are made, the applicant shall provide the Planning and Zoning Staff with a revised copy of the preliminary plat.
17. Any revisions of the plat are subject to administrative determination to rule if the revision is substantial.
18. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through public hearing processes.
19. Developer/owner/applicant shall follow staff, City Engineer and other agency recommended requirements as applicable.
20. Developer/owner/applicant shall comply with all local, state and federal laws.
21. Applicant shall not request final plat approval until the City's Public Works Director issues the Will-Serve Letter to the applicant that states the City's Springhill Lift Station or some other City appurtenance has capacity to accept the wastewater discharged from the proposed subdivision.
22. In the event a Will-Serve Letter is not issued within the time the Applicant is required to record a final plat, the Applicant shall have good cause and be eligible to receive, pursuant to KCC § 6-2-3 (J), a time extension to file a final plat up to and until a Will-Serve Letter has been issued.

DATED this 9th day of February, 2021.

PALOMA RIDGE VICINITY MAP



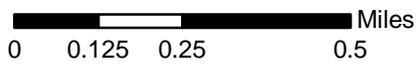
LEGEND



SUBJECT PROPERTY

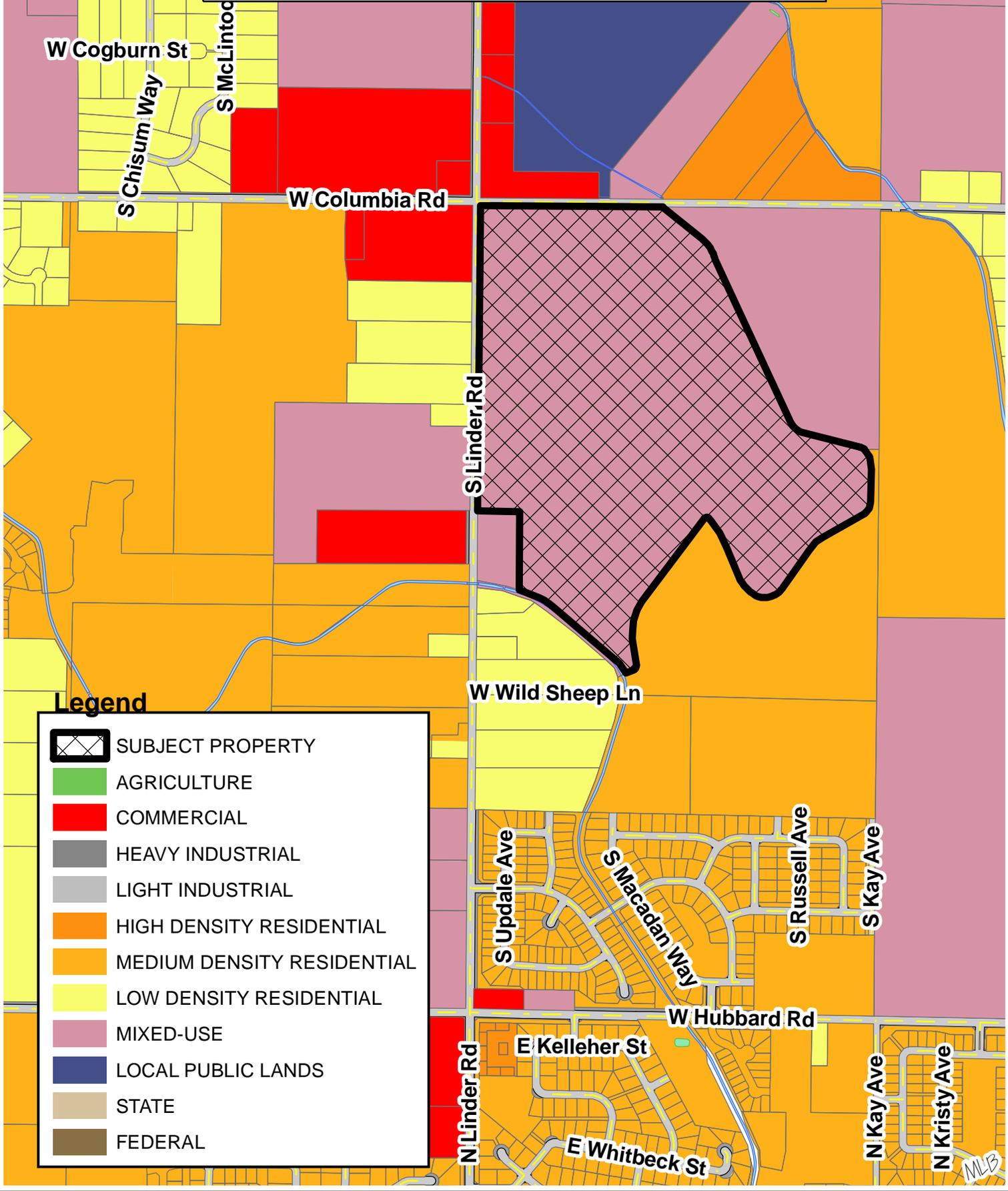


KUNA CITY LIMITS



MLB

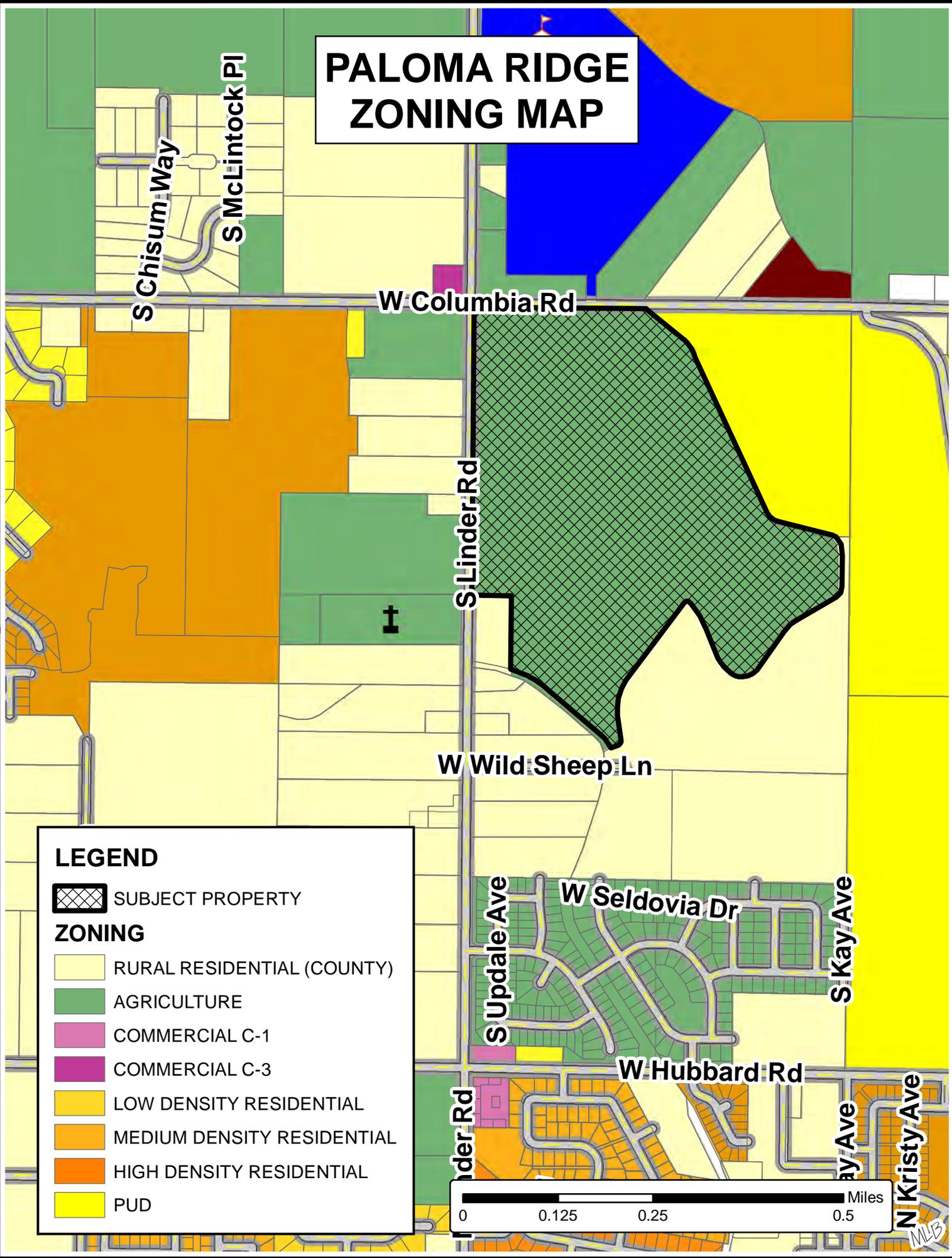
PALOMA RIDGE COMPREHENSIVE PLAN MAP



Legend

-  SUBJECT PROPERTY
-  AGRICULTURE
-  COMMERCIAL
-  HEAVY INDUSTRIAL
-  LIGHT INDUSTRIAL
-  HIGH DENSITY RESIDENTIAL
-  MEDIUM DENSITY RESIDENTIAL
-  LOW DENSITY RESIDENTIAL
-  MIXED-USE
-  LOCAL PUBLIC LANDS
-  STATE
-  FEDERAL

PALOMA RIDGE ZONING MAP

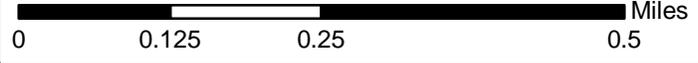


LEGEND

 SUBJECT PROPERTY

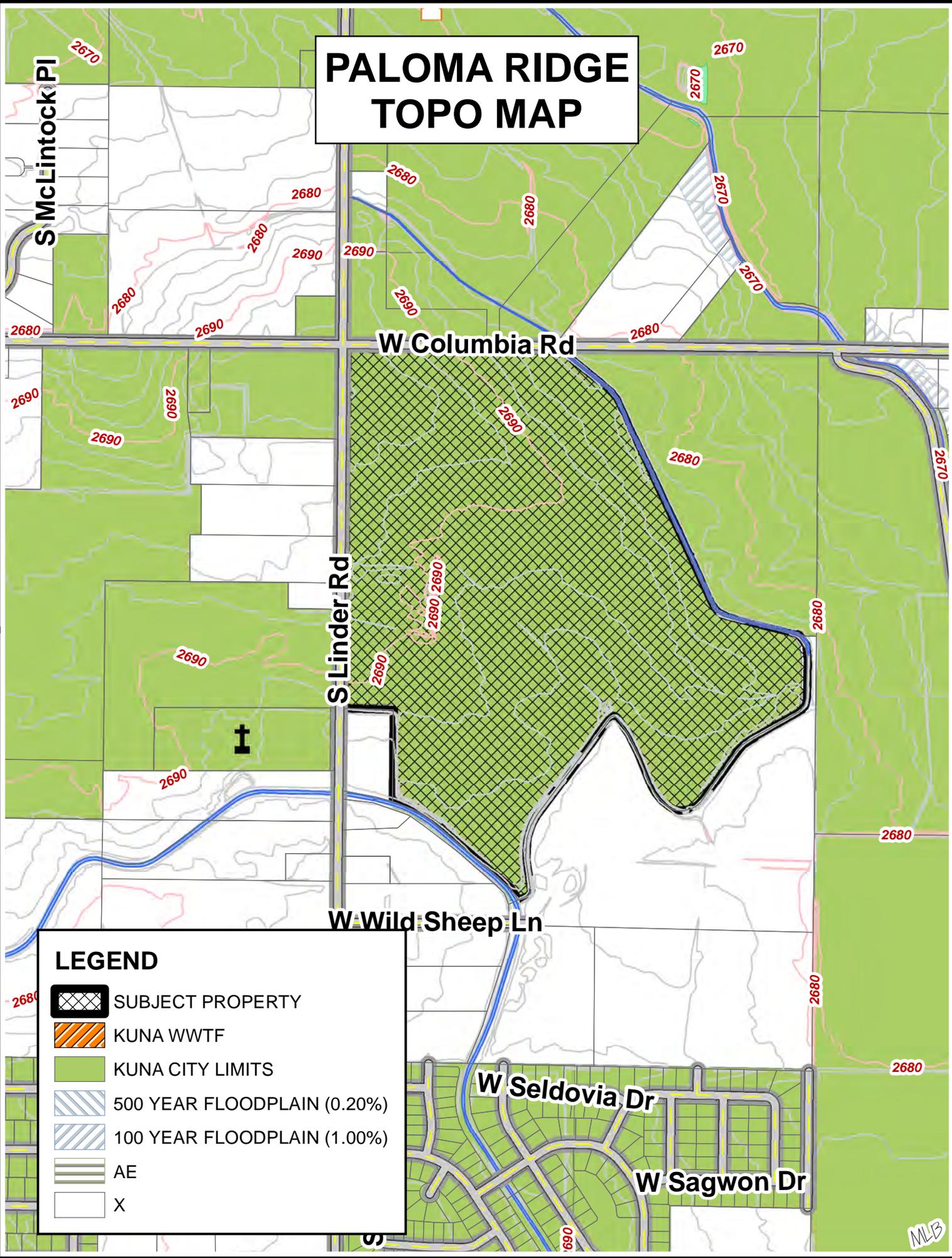
ZONING

-  RURAL RESIDENTIAL (COUNTY)
-  AGRICULTURE
-  COMMERCIAL C-1
-  COMMERCIAL C-3
-  LOW DENSITY RESIDENTIAL
-  MEDIUM DENSITY RESIDENTIAL
-  HIGH DENSITY RESIDENTIAL
-  PUD



N Kristy Ave
MLB

PALOMA RIDGE TOPO MAP



LEGEND

-  SUBJECT PROPERTY
-  KUNA WWTF
-  KUNA CITY LIMITS
-  500 YEAR FLOODPLAIN (0.20%)
-  100 YEAR FLOODPLAIN (1.00%)
-  AE
-  X

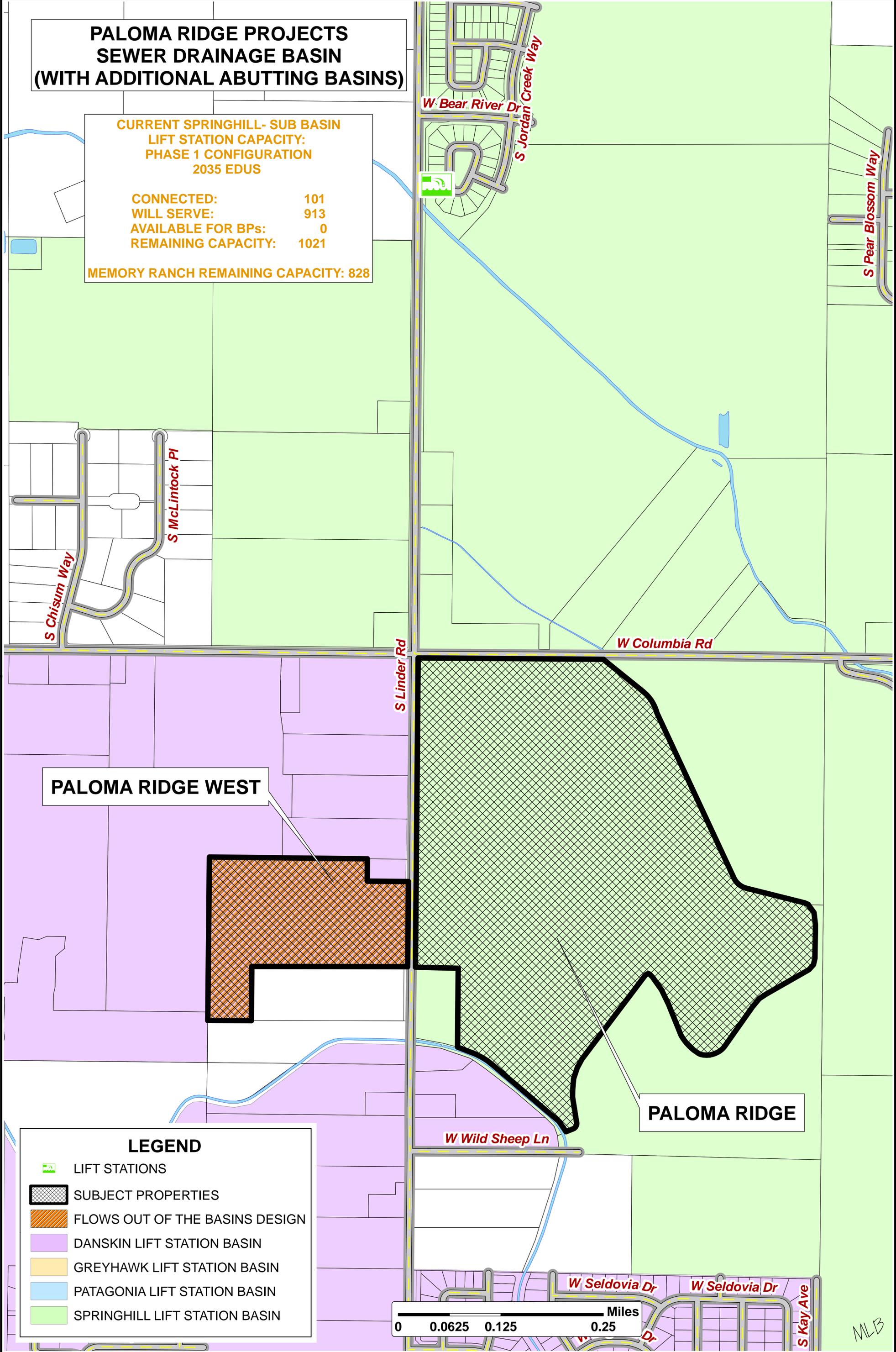
MLB

PALOMA RIDGE PROJECTS SEWER DRAINAGE BASIN (WITH ADDITIONAL ABUTTING BASINS)

**CURRENT SPRINGHILL- SUB BASIN
LIFT STATION CAPACITY:
PHASE 1 CONFIGURATION
2035 EDUS**

CONNECTED:	101
WILL SERVE:	913
AVAILABLE FOR BPs:	0
REMAINING CAPACITY:	1021

MEMORY RANCH REMAINING CAPACITY: 828



PALOMA RIDGE WEST

PALOMA RIDGE

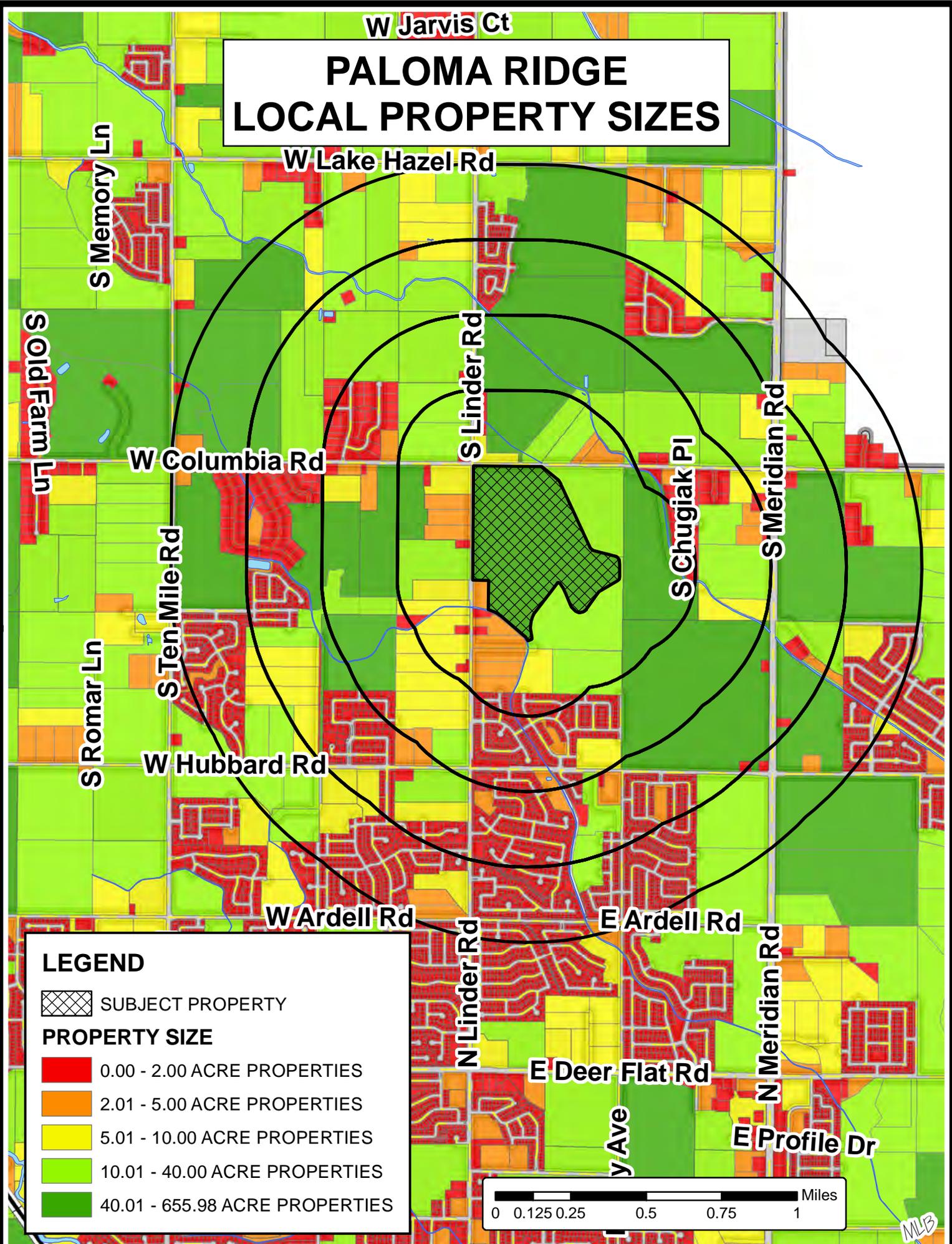
LEGEND

-  LIFT STATIONS
-  SUBJECT PROPERTIES
-  FLOWS OUT OF THE BASINS DESIGN
-  DANSKIN LIFT STATION BASIN
-  GREYHAWK LIFT STATION BASIN
-  PATAGONIA LIFT STATION BASIN
-  SPRINGHILL LIFT STATION BASIN



MLB

PALOMA RIDGE LOCAL PROPERTY SIZES



LEGEND

 SUBJECT PROPERTY

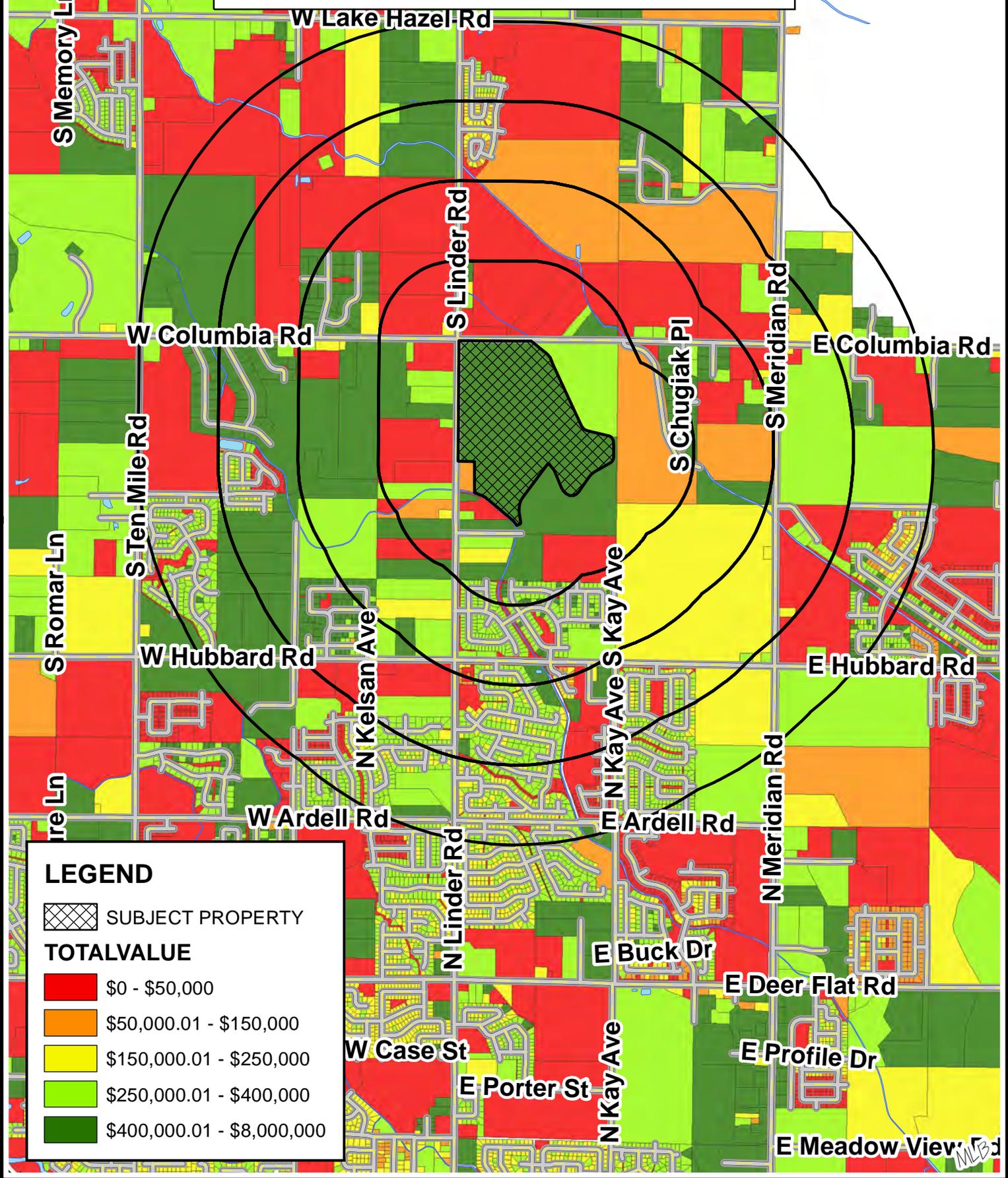
PROPERTY SIZE

-  0.00 - 2.00 ACRE PROPERTIES
-  2.01 - 5.00 ACRE PROPERTIES
-  5.01 - 10.00 ACRE PROPERTIES
-  10.01 - 40.00 ACRE PROPERTIES
-  40.01 - 655.98 ACRE PROPERTIES



MLB

ASHTON EAST LOCAL PROPERTY VALUES



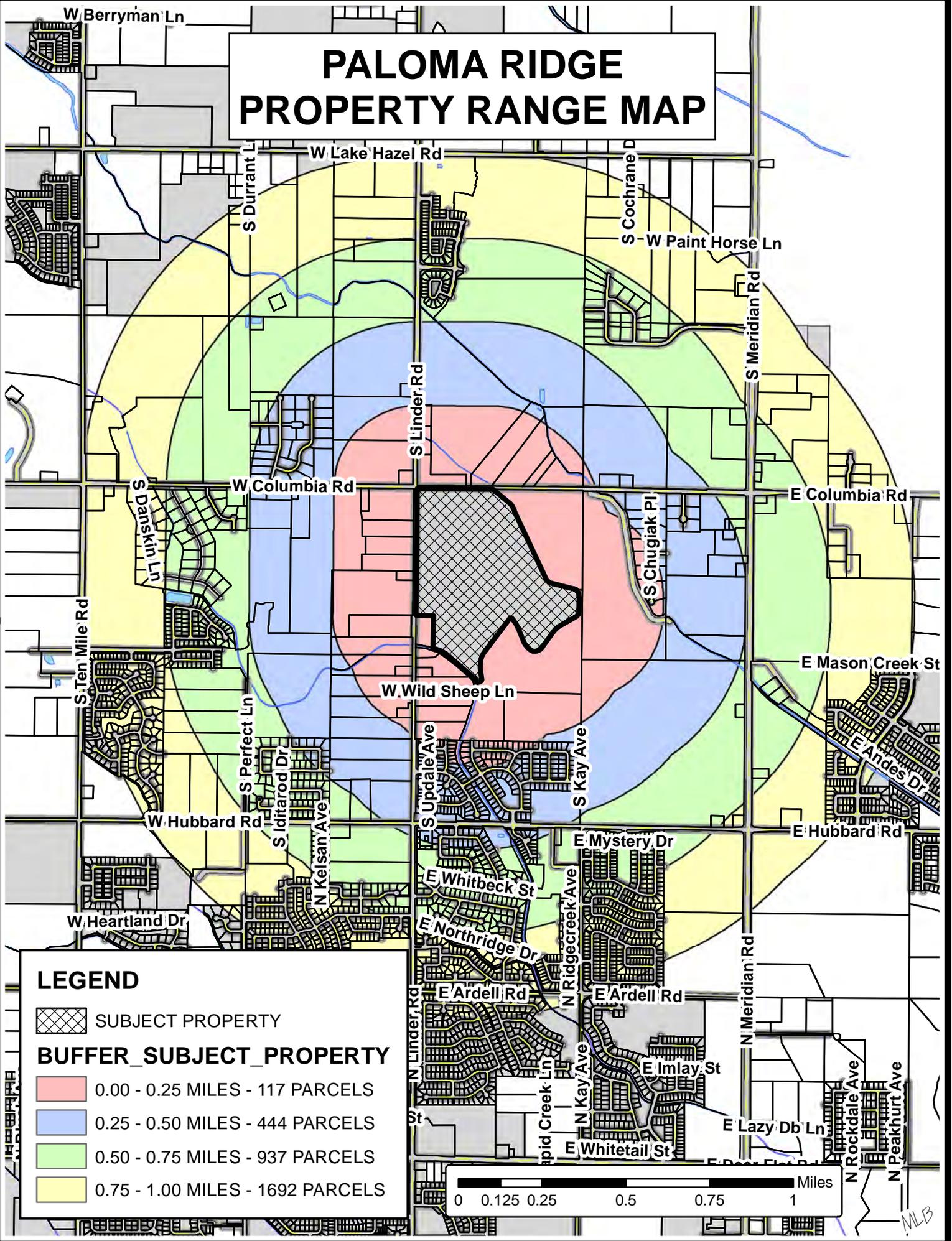
LEGEND

 SUBJECT PROPERTY

TOTAL VALUE

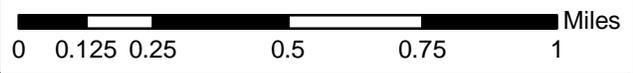
-  \$0 - \$50,000
-  \$50,000.01 - \$150,000
-  \$150,000.01 - \$250,000
-  \$250,000.01 - \$400,000
-  \$400,000.01 - \$8,000,000

PALOMA RIDGE PROPERTY RANGE MAP

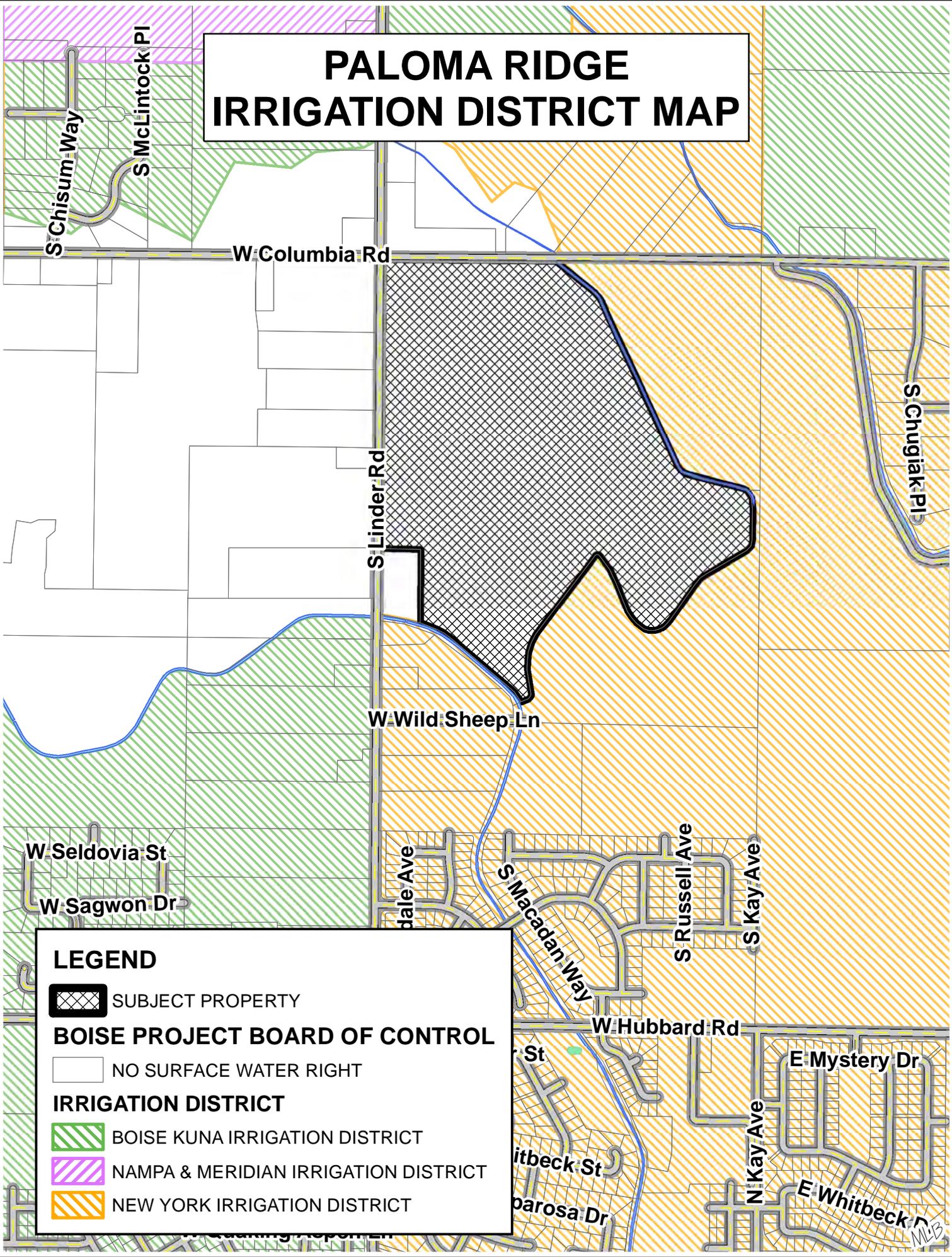


LEGEND

-  SUBJECT PROPERTY
- BUFFER_SUBJECT_PROPERTY**
-  0.00 - 0.25 MILES - 117 PARCELS
-  0.25 - 0.50 MILES - 444 PARCELS
-  0.50 - 0.75 MILES - 937 PARCELS
-  0.75 - 1.00 MILES - 1692 PARCELS



PALOMA RIDGE IRRIGATION DISTRICT MAP



LEGEND



SUBJECT PROPERTY

BOISE PROJECT BOARD OF CONTROL



NO SURFACE WATER RIGHT

IRRIGATION DISTRICT



BOISE KUNA IRRIGATION DISTRICT



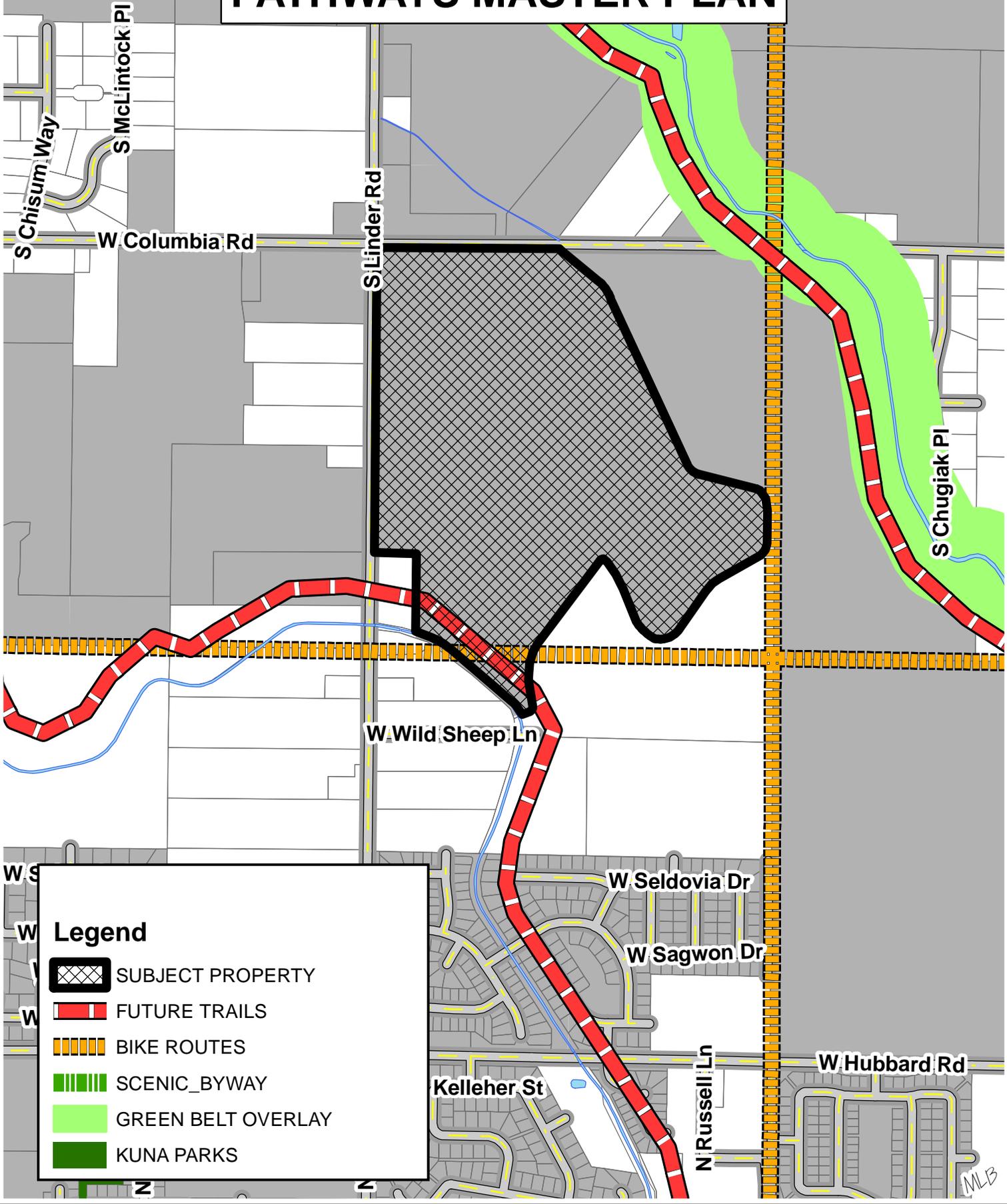
NAMPA & MERIDIAN IRRIGATION DISTRICT



NEW YORK IRRIGATION DISTRICT

MLB

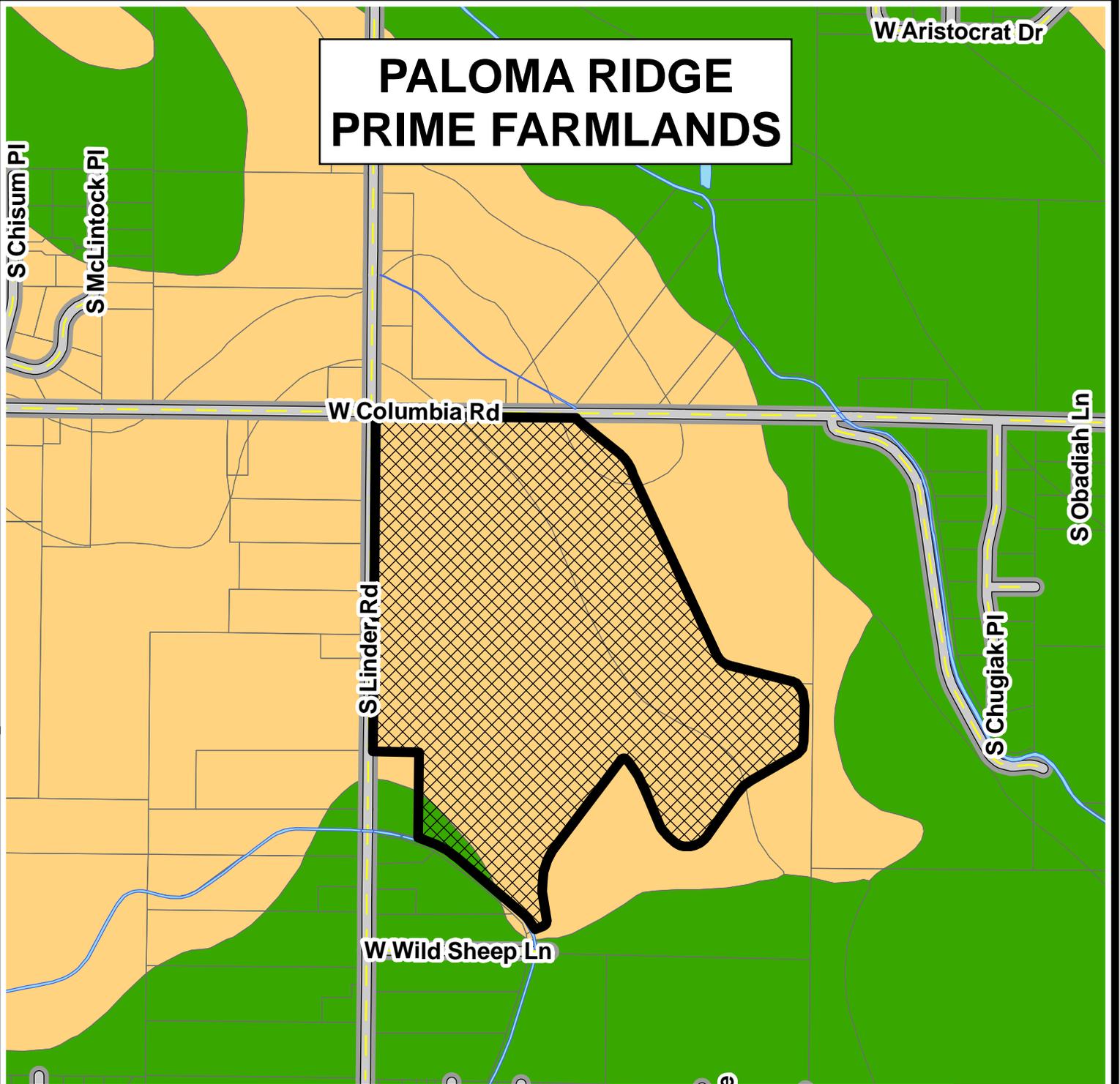
PALOMA RIDGE PATHWAYS MASTER PLAN



Legend

-  SUBJECT PROPERTY
-  FUTURE TRAILS
-  BIKE ROUTES
-  SCENIC_BYWAY
-  GREEN BELT OVERLAY
-  KUNA PARKS

PALOMA RIDGE PRIME FARMLANDS



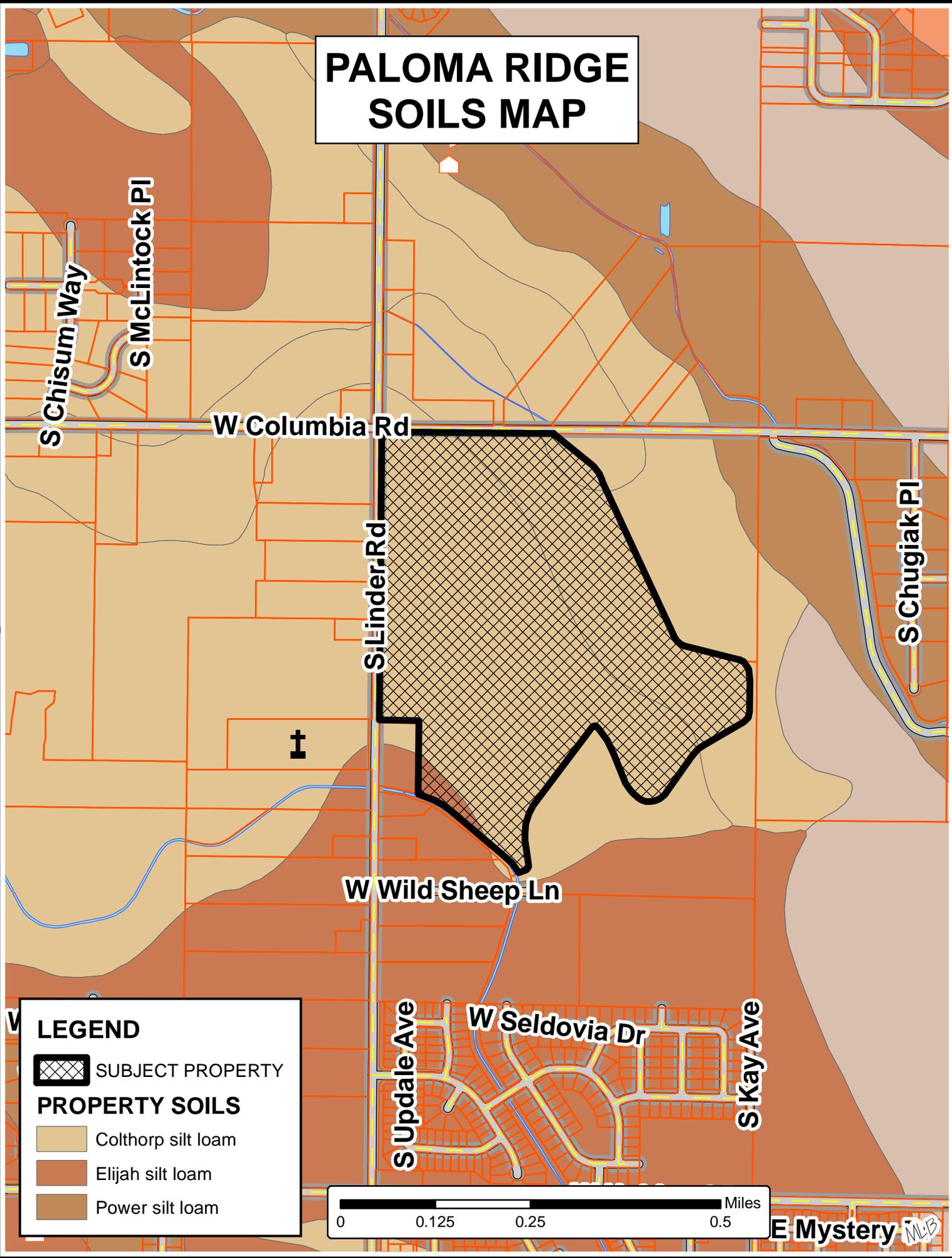
Legend

PRIME FARM GROUND

-  N/A ~ 530 ACRES
-  NOT PRIME
-  PRIME FARMLAND IF IRRIGATED AND SALTS REMOVED
-  PRIME FARMLAND IF IRRIGATED
-  FARMLAND OF STATEWIDE IMPORTANCE IF IRRIGATED AND SALTS REMOVED
-  FARMLAND OF STATEWIDE IMPORTANCE IF IRRIGATED

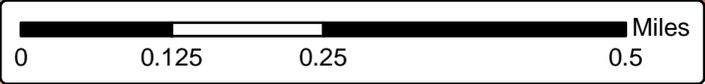
MLB

PALOMA RIDGE SOILS MAP



LEGEND

-  SUBJECT PROPERTY
- PROPERTY SOILS**
-  Colthorp silt loam
-  Elijah silt loam
-  Power silt loam





City of Kuna
 Planning & Zoning
 Department
 P.O. Box 13
 Kuna, Idaho 83634
 208.922.5274
 Fax: 208.922.5989
 Website: www.kunacity.id.gov

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	20-10-S, 20-07-ZC 20-26-DR
Project name	Paloma Ridge
Date Received	09.25.2020
Date Accepted/ Complete	
Cross Reference Files	
Commission Hearing Date	2.9.2021
City Council Hearing Date	

Contact/Applicant Information

Owners of Record: <u>Patterson Family Enterprises</u>	Phone Number: <u>208-371-8887</u>
Address: <u>4051 Mountain Vista Lane S</u>	E-Mail: <u>Rpatterson@grouponesir.com</u>
City, State, Zip: <u>Filler Idaho 83328-5555</u>	Fax #: _____
Applicant (Developer): <u>Toll Southwest LLC</u>	Phone Number: <u>208-780-6726</u>
Address: <u>3103 W Sheryl Drive</u>	E-Mail: <u>acapell@tollbrothers.com</u>
City, State, Zip: <u>Meridian, Idaho 83642</u>	Fax #: _____
Engineer/Representative: <u>Sabrina Durtschi</u>	Phone Number: <u>208-250-6161</u>
Address: <u>3103 W Sheryl Drive</u>	E-Mail: <u>sdurtschi@tollbrothers.com</u>
City, State, Zip: <u>Meridian Idaho 83642</u>	Fax #: _____

Subject Property Information

Site Address: <u>8430 S Linder Road</u>
Site Location (Cross Streets): <u>SE corner of Linder and Columbia Roads</u>
Parcel Number (s): <u>S1312223000</u>
Section, Township, Range: <u>Section 12, 2N, 1W</u>
Property size: <u>113 acres</u>
Current land use: <u>Agriculture</u> Proposed land use: <u>single family residential</u>
Current zoning district: <u>Ag</u> Proposed zoning district: <u>C-1, R-8, R-6 & R-4</u>

Project Description

Project / subdivision name: Paloma Ridge Subdivision
General description of proposed project / request: Rezone and preliminary plat for 341 single-family residential lots and 5 commercial lots
Type of use proposed (check all that apply):
 Residential _____
 Commercial _____
 Office _____
 Industrial _____
 Other _____
Amenities provided with this development (if applicable): Pool, pool-house, playground, walking paths

Residential Project Summary (if applicable)

Are there existing buildings? Yes No
Please describe the existing buildings: Existing home and out-buildings
Any existing buildings to remain? Yes No
Number of residential units: 341 Number of building lots: 346
Number of common and/or other lots: 42
Type of dwellings proposed:
 Single-Family _____
 Townhouses _____
 Duplexes _____
 Multi-Family _____
 Other _____
Minimum Square footage of structure (s): 1,278
Gross density (DU/acre-total property): 3.01 Net density (DU/acre-excluding roads): 5.20
Percentage of open space provided: 12.1% Acreage of open space: 13.32 acres
Type of open space provided (i.e. landscaping, public, common, etc.): Parks, walking paths

Non-Residential Project Summary (if applicable)

Number of building lots: 5 Other lots: _____
Gross floor area square footage: _____ Existing (if applicable): _____
Hours of operation (days & hours): _____ Building height: _____
Total number of employees: _____ Max. number of employees at one time: _____
Number and ages of students/children: _____ Seating capacity: _____
Fencing type, size & location (proposed or existing to remain): _____
Proposed Parking: a. Handicapped spaces: _____ Dimensions: _____
b. Total Parking spaces: _____ Dimensions: _____
c. Width of driveway aisle: _____
Proposed Lighting: _____
Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): _____

Applicant's Signature:  Date: 9-11-20



City of Kuna
 Planning & Zoning
 Department
 PO. Box 13
 Kuna, ID 83634
 208.922.5274
 www.kunacity.id.gov

Preliminary Plat Checklist

Preliminary Plats require public hearings with both the Planning & Zoning Commission and City Council. Public hearing signs will be required to be posted by the applicant for both meetings. Sign posting regulations are available online.

Project Name: Paloma Ridge Subdivision	Applicant: Toll Southwest LLC
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All applications are required to contain on copy of the following:

Applicant (✓)	Description	Staff (✓)
<input checked="" type="checkbox"/>	Electronic copy of all required submittal items.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Completed and signed Commission & Council Review Application.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Vicinity map showing relationship of the proposed plat to the surrounding area with a 2-mile radius.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Homeowner's maintenance agreement for the care of landscaped common areas.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Legal description of the preliminary plat area: Include a metes & bounds description to the section line of all adjacent roadways stamped & signed by a registered professional land surveyor with a calculated closure sheet & a map showing the boundaries of the legal description.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Proof of ownership—A copy of your deed and Affidavit of Legal Interest (for all interested parties involved).	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Letter of intent indicating reasons and details for preliminary plat.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Commitment of Property Posting form signed by the applicant/agent.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	If preliminary plat includes 100 lots or more, please submit a traffic impact study.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	A letter from Ada County Engineer with the Subdivision Name reservation. A name change needs to be submitted and approved by the Planning & Zoning Director and Ada County Engineer.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Phasing Plan	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Landscape plan for subdivision entrances, buffers, common areas, etc.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Neighborhood meeting certification (certification & neighborhood meeting list forms shall accompany this application).	<input type="checkbox"/>
<input checked="" type="checkbox"/>	8 1/2 x 11 proposed preliminary plat.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Preliminary plat drawing on 24x36 quality paper drawn to scale of 1 to 100' or more. The following information shall be contained on the preliminary plat: <ul style="list-style-type: none"> ◇ Topography at two-foot (2') intervals ◇ Land uses (location, layout, types & dimensions): residential, commercial & industrial land uses. ◇ Street right-of-way: dimensions of right-of-way dedication for all roadways, street sections, improvements, etc. ◇ Easements/common space: utility easements, parks, community spaces ◇ Lots: layout and dimensions of lots ◇ Preliminary improvement drawing: show water, sewer, drainage, electricity, irrigation, telephone, natural gas, proposed street lighting, proposed street names, proposed subdivision name, fire hydrant placement, storm water disposal, underground utilities, and sidewalks. 	<input type="checkbox"/>

*NOTE: One copy of the above items need to be submitted when applying for multiple applications. This application shall not be considered complete (nor will a public hearing be set) until staff has received **all required information**. Once the application is deemed complete, staff will notify the applicant of the scheduled hearing date, fees due, additional copies needed, etc.*



City of Kuna
 Planning & Zoning
 Department
 P.O. Box 13
 Kuna, Idaho 83634
 208.922.5274
 Fax: 208.922.5989
 Website: www.kunacity.id.gov

Rezoning Checklist

Rezoning requires public hearings with both the Planning & Zoning Commission and City Council. Public hearing signs will be required to be posted by the applicant for both meetings. Sign posting regulations are available online.

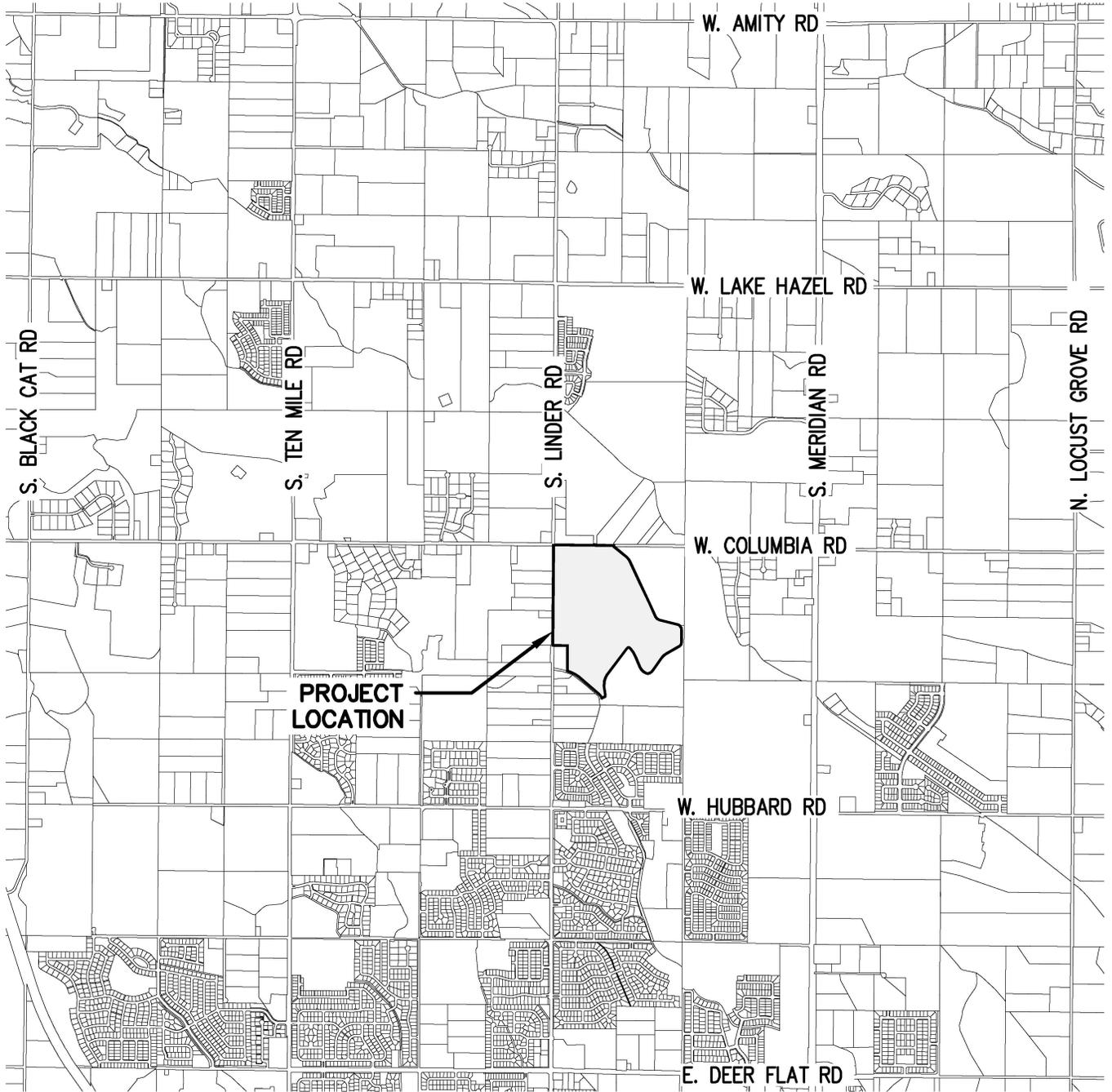
Project name:	Applicant:
Paloma Ridge Subdivision	Toll Southwest LLC

All applications are required to contain one copy of the following:

Applicant (✓)	Description	Staff (✓)
✓	Completed and signed Commission & Council Review Application.	
✓	Letter of Intent indicating reasons for proposed rezoning.	
✓	Vicinity map drawn to scale, showing the location of the subject property. Map shall contain the following information: Shaded area showing the rezoning property, Street names and names of surrounding subdivisions.	
✓	Legal description of the rezoning area: Include a metes & bounds description to the section line of all adjacent roadways stamped & signed by a registered professional land surveyor with a calculated closure sheet & a map showing the boundaries of the legal description.	
N/A	Development Agreement & Development Agreement Checklist	
✓	Recorded warranty deed for the property.	
✓	Proof of ownership—A copy of your deed <u>and</u> Affidavit of Legal Interest. (All parties involved)	
✓	Neighborhood meeting certification (certification & neighborhood meeting list forms shall accompany this application).	
✓	Commitment of Property Posting form signed by the applicant/agent.	

Note: Only one copy of the above items need to be submitted when applying for multiple applications.

This application shall not be considered complete (nor will a Public Hearing be set) until staff has received all required information. Once the application is deemed complete, staff will notify the applicant of the scheduled hearing date, fees due, additional copies needed, etc.



ESE CONSULTANTS

ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.
 3103 W. Sheryl Drive • Suite 100 • Meridian, ID 83642
 T: 208-424-0020

VICINITY MAP

PALOMA RIDGE EAST SUBDIVISION

REV.	DATE	DESCRIPTION	DATE:	SCALE:	DESIGN:	DRAWN:	JOB NO.:	FILE NAME:	SHEET NO.:	1	OF	1
			8/17/2020	NTS	JB	KL	7636					

Paloma Ridge Site Photos



Figure 1: Looking east onto Columbia Rd and Property



Figure 2: Looking SE from Linder Road



Figure 3: Looking NE at the intersection of Linder and Columbia Road



Figure 4: Looking west down Columbia Road



Figure 5: looking north at future High School Site



Figure 6: Looking NE at property across Columbia Road



Figure 7: Looking East down Columbia Road



Figure 8: Looking west down Columbia Road



Figure 9: Looking South down Linder Road



Figure 10: Looking on the property to existing house

**DECLARATION OF
COVENANTS, CONDITIONS
AND RESTRICTIONS
FOR
PALOMA RIDGE SUBDIVISION**

Toll Southwest LLC
3103 W. SHERYL DR., SUITE 100
MERIDIAN, IDAHO 83642
TELEPHONE: (208) 424-0020
FAX: (208) 424-0030
WWW.MYCOLEMANHOME.COM

5.1.5 Common Areas may be used by the public as established from time to time by Grantor on any portion of the Property by specifically describing such area as an area for public use on a recorded Plat, by granting or reserving it in a deed or other instrument or by designating it as such in this Declaration;

5.1.6 The Common Area cannot be mortgaged or conveyed without the approval of the Owners, excluding Grantor, of at least two-thirds (2/3) of the total voting power in the Association. If ingress or egress to any Lot is through the Common Area, any conveyance or encumbrance of the Common Area shall be subject to an easement of the Owners of such Lots for the purpose of ingress and egress.

5.2 Delegation of Right to Use. Any Owner may delegate, in accordance with the Project Documents, such Owner's right of enjoyment to the Common Area to the members of such Owner's family residing within the Owner's residence and/or to such Owner's contract purchasers who reside on such Owner's Lot. Only Grantor or the Association shall have the right to delegate the right of enjoyment to the Common Area to the general public, and such delegation to the general public shall be for a fee set by Grantor or the Association.

5.3 Damages. Each Owner shall be fully liable for any damage to any Common Area that may be sustained by reason of the negligence or willful misconduct of the Owner, such Owner's contract purchasers or such Owner's family and guests, both minor and adult. In the case of joint ownership of a Lot, the liability of such Owners shall be joint and several. The cost of correcting such damage shall be a Limited Assessment against the Lot and may be collected as provided herein for the collection of other Assessments.

5.4 Association's Responsibility. The Association shall maintain and keep the Common Area in good repair, such maintenance to be funded as provided in this Declaration. This maintenance shall include, without limitation, maintenance, repair and replacement, subject to any insurance then in effect, of all landscaping and other flora, structures, fencing installed by Grantor along exterior portions of the Property and other Improvements situated within the Common Area.

5.5 No Warranty for Improvements. Grantor makes no warranty, guarantee or undertaking, express or implied, oral or written, with respect to Common Area or the construction thereof. All warranties, guarantees and undertakings are hereby expressly disclaimed, including but not limited to the implied warranties of habitability, merchantability and fitness for a particular purpose.

5.6 Water Bodies. By acceptance of a deed to a Lot, each Owner acknowledges that the water levels of all water bodies may vary. There is no guarantee by the Grantor or the Association that water levels will be constant or aesthetically pleasing at any particular time. In fact, water levels may be non-existent from time to time. Without limiting the generality of the foregoing, this applies to the waters within the Common Area as well as any wetlands or riparian areas within the Common Areas or encroaching on Lots (if any).

Legal Description
Paloma Ridge Subdivision

A parcel of land being a portion of the W ½ of Section 12, Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho, more particularly described as follows:

BEGINNING at a Brass Cap Monument marking the Northwest corner of said Section 12, from which an Aluminum Cap monument marking the North 1/4 corner of said Section 12 bears South 89°32'42" East a distance of 2640.54 feet;

Thence along the North line of said Section 12 South 89°32'42" East a distance of 1218.68 feet to a 5/8" iron pin marking the centerline of the Painter Lateral;

Thence along the centerline of said Painter Lateral the following courses and distances:

Thence South 00°27'18" West a distance of 28.14 feet to a point;

Thence South 50°57'37" East a distance of 340.35 feet to a point of curvature;

Thence 69.71 feet along the arc of a 150.00 foot radius curve right, said curve having a central angle of 26°37'40" and a long chord bearing South 37°38'49" East a distance of 69.08 feet to a point of tangency;

Thence South 24°20'02" East a distance of 187.48 feet to a point;

Thence South 25°20'02" East a distance of 299.24 feet to a point;

Thence South 25°10'02" East a distance of 494.78 feet to a point;

Thence South 24°30'02" East a distance of 274.53 feet to a point of curvature;

Thence 109.27 feet along the arc of a 122.00 foot radius curve left, said curve having a central angle of 51°19'00" and a long chord bearing South 50°09'32" East a distance of 105.65 feet to a point of tangency;

Thence South 75°49'02" East a distance of 345.64 feet to a point;

Thence South 75°49'02" East a distance of 39.98 feet to a point;

Thence South 66°37'42" East a distance of 25.41 feet to a point;

Thence South 35°00'00" East a distance of 65.28 feet to a point;

Thence South 07°00'00" East a distance of 80.00 feet to a point;

Thence South 01°00'00" West a distance of 215.00 feet to a point;

Thence South 12°00'00" West a distance of 42.00 feet to a point;

Thence South 42°00'00" West a distance of 44.00 feet to a point;

Thence South 60°15'00" West a distance of 315.00 feet to a point;
Thence South 56°00'00" West a distance of 56.00 feet to a point;
Thence South 40°00'00" West a distance of 68.00 feet to a point;
Thence South 35°00'00" West a distance of 300.00 feet to a point;
Thence South 41°42'04" West a distance of 44.95 feet to a point;
Thence South 59°01'54" West a distance of 42.52 feet to a point;
Thence South 69°47'16" West a distance of 34.78 feet to a point;
Thence North 82°00'00" West a distance of 40.00 feet to a point;
Thence North 58°30'00" West a distance of 56.00 feet to a point;
Thence North 45°30'00" West a distance of 67.00 feet to a point;
Thence North 32°30'00" West a distance of 55.00 feet to a point;
Thence North 22°40'00" West a distance of 216.00 feet to a point;
Thence North 26°00'00" West a distance of 104.00 feet to a point;
Thence North 35°45'00" West a distance of 100.00 feet to a point;
Thence North 45°00'00" West a distance of 22.00 feet to a point of curvature;
Thence 59.86 feet along the arc of a 35.00 foot radius curve left, said curve having a central angle of 98°00'00" and a long chord bearing South 86°00'00" West a distance of 52.83 feet to a point of tangency;
Thence South 37°00'00" West a distance of 674.00 feet to a point;
Thence South 28°05'27" West a distance of 65.12 feet to a point;
Thence South 18°00'00" West a distance of 72.00 feet to a point;
Thence South 05°00'00" West a distance of 67.00 feet to a point;
Thence South 02°00'00" West a distance of 50.00 feet to a point;
Thence South 09°00'00" East a distance of 175.00 feet to a point of curvature;
Thence 40.32 feet along the arc of a 30.00 foot radius curve right, said curve having a central angle of 77°00'00" and a long chord bearing South 29°30'00" West a distance of 37.35 feet to a point of tangency;

Thence South 68°00'00" West a distance of 55.21 feet to a point on the Northeasterly line of the Kuna Canal, from which a 1/2" iron pin witness corner bears North 33°55'37" West a distance of 5.00 feet;

Thence along the Northeasterly and Northerly line of said Kuna Canal the following courses and distances:

Thence North 33°55'37" West a distance of 80.33 feet to a 5/8" iron pin tagged PLS 11463;

Thence North 49°27'31" West a distance of 560.33 feet to a 5/8" iron pin tagged PLS 11463 marking a point of curvature;

Thence a distance of 141.27 feet along the arc of a 450.00 foot radius curve left, said curve having a central angle of 17°59'13" and a long chord bearing North 58°15'57" West a distance of 140.69 feet to a 5/8" iron pin tagged PLS 11463 marking a point of tangency;

Thence North 68°52'04" West a distance of 113.97 feet to a 5/8" iron pin tagged PLS 11463;

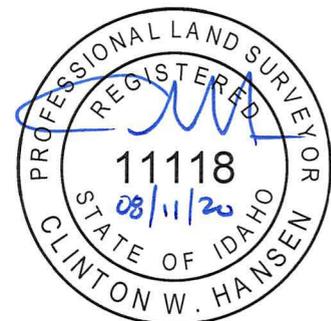
Thence leaving said Northerly line of the Kuna Canal and parallel with the West line of said Section 12 North 00°29'22" East a distance of 509.61 feet to a 5/8" iron pin tagged PLS 11463;

Thence North 88°31'03" West, parallel with the East and West centerline of said Section 12, a distance of 299.99 feet to a point on the West line of said Section 12 from which a 5/8" iron pin witness corner tagged PLS 11463 bears South 88°31'03" East a distance of 25.00 feet;

Thence along the West line of said Section 12 North 00°29'22" East a distance of 2022.32 feet to the **POINT OF BEGINNING**.

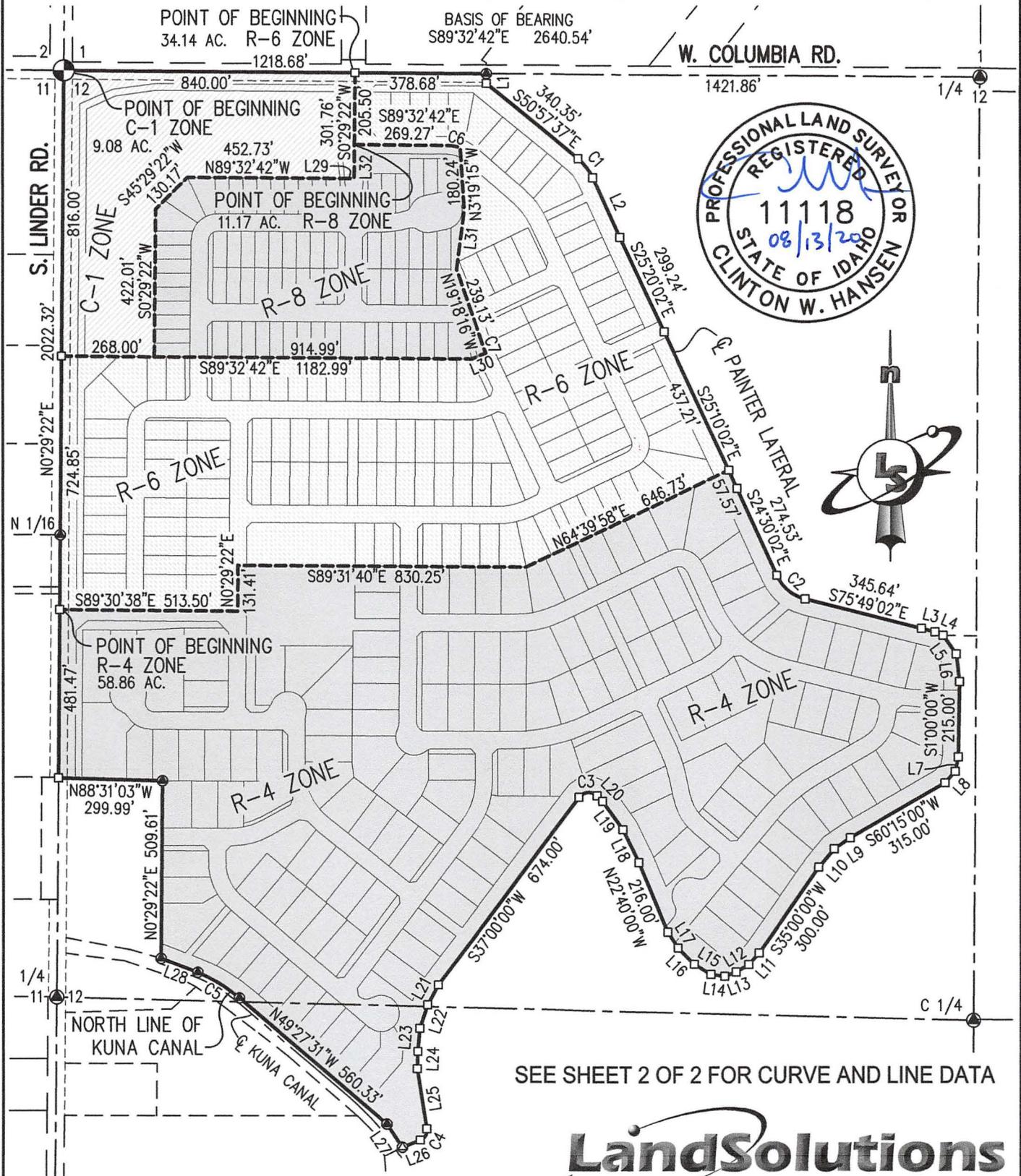
Said parcel contains 113.26 acres, more or less.

Clinton W. Hansen, PLS
Land Solutions, PC
August 11, 2020



PROPOSED CITY OF KUNA REZONE EXHIBIT PALOMA RIDGE SUBDIVISION

LOCATED IN THE W 1/2 OF SECTION 12, T.2 N., R.1 W., B.M., CITY OF KUNA, ADA COUNTY, IDAHO



SEE SHEET 2 OF 2 FOR CURVE AND LINE DATA

LandSolutions
Land Surveying and Consulting

231 E. 5TH ST., STE. A
MERIDIAN, ID 83642
(208) 288-2040 (208) 288-2557 fax
www.landsolutions.biz

SHEET 1 OF 2
JOB NO. 20-17



**PROPOSED CITY OF KUNA REZONE EXHIBIT
PALOMA RIDGE SUBDIVISION**

LOCATED IN THE W 1/2 OF SECTION 12, T.2 N., R.1 W., B.M., CITY OF KUNA, ADA COUNTY, IDAHO

LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	28.14'	S0°27'18"W
L2	187.48'	S24°20'02"E
L3	39.98'	S75°49'02"E
L4	25.41'	S66°37'42"E
L5	65.28'	S35°00'00"E
L6	80.00'	S7°00'00"E
L7	42.00'	S12°00'00"W
L8	44.00'	S42°00'00"W
L9	56.00'	S56°00'00"W
L10	68.00'	S40°00'00"W
L11	44.95'	S41°42'04"W
L12	42.52'	S59°01'54"W
L13	34.78'	S69°47'16"W
L14	40.00'	N82°00'00"W
L15	56.00'	N58°30'00"W
L16	67.00'	N45°30'00"W

LINE TABLE		
LINE #	LENGTH	DIRECTION
L17	55.00'	N32°30'00"W
L18	104.00'	N26°00'00"W
L19	100.00'	N35°45'00"W
L20	22.00'	N45°00'00"W
L21	65.12'	S28°05'27"W
L22	72.00'	S18°00'00"W
L23	67.00'	S5°00'00"W
L24	50.00'	S2°00'00"W
L25	175.00'	S9°00'00"E
L26	55.21'	S68°00'00"W
L27	80.33'	N33°55'37"W
L28	113.97'	N68°52'04"W
L29	27.22'	S89°57'13"W
L30	43.96'	N67°38'28"E
L31	168.30'	N7°23'03"E
L32	96.26'	S0°29'22"W

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	BEARING	CHORD
C1	69.71'	150.00'	26°37'35"	S37°38'49"E	69.08'
C2	109.27'	122.00'	51°19'00"	S50°09'32"E	105.65'
C3	59.86'	35.00'	98°00'00"	S86°00'00"W	52.83'
C4	40.32'	30.00'	77°00'00"	S29°30'00"W	37.35'
C5	141.27'	450.00'	17°59'13"	N58°15'57"W	140.69'
C6	36.47'	100.00'	20°53'52"	N79°05'46"W	36.27'
C7	15.99'	300.00'	3°03'16"	N20°49'54"W	15.99'



LandSolutions
Land Surveying and Consulting

231 E. 5TH ST., STE. A
MERIDIAN, ID 83642
(208) 288-2040 (208) 288-2557 fax
www.landsolutions.biz

SHEET 2 OF 2
JOB NO. 20-17

Legal Description
R-4 Zone
Paloma Ridge Subdivision

A parcel of land being a portion of the W ½ of Section 12, Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho, more particularly described as follows:

Commencing at a Brass Cap Monument marking the Northwest corner of said Section 12, from which an Aluminum Cap monument marking the North 1/4 corner of said Section 12 bears South 89°32'42" East a distance of 2640.54 feet;

Thence along the West line of said Section 12 South 0°29'22" West a distance of 1540.85 feet to the **POINT OF BEGINNING**;

Thence leaving said West line South 89°30'38" E a distance of 513.50 feet to a point;

Thence North 0°29'22" East a distance of 131.41 feet to a point;

Thence South 89°31'40" East a distance of 830.25 feet to a point;

Thence North 64°39'58" East a distance of 646.73 feet to a point on the centerline of the Painter Lateral;

Thence along said centerline the following courses and distances:

Thence South 25°10'02" East a distance of 57.57 feet to a point;

Thence South 24°30'02" East a distance of 274.53 feet to a point of curvature;

Thence 109.27 feet along the arc of a 122.00 foot radius curve left, said curve having a central angle of 51°19'00" and a long chord bearing South 50°09'32" East a distance of 105.65 feet to a point of tangency;

Thence South 75°49'02" East a distance of 345.64 feet to a point;

Thence South 75°49'02" East a distance of 39.98 feet to a point;

Thence South 66°37'42" East a distance of 25.41 feet to a point;

Thence South 35°00'00" East a distance of 65.28 feet to a point;

Thence South 07°00'00" East a distance of 80.00 feet to a point;

Thence South 01°00'00" West a distance of 215.00 feet to a point;

Thence South 12°00'00" West a distance of 42.00 feet to a point;

Thence South 42°00'00" West a distance of 44.00 feet to a point;

Thence South 60°15'00" West a distance of 315.00 feet to a point;

Thence South 56°00'00" West a distance of 56.00 feet to a point;
Thence South 40°00'00" West a distance of 68.00 feet to a point;
Thence South 35°00'00" West a distance of 300.00 feet to a point;
Thence South 41°42'04" West a distance of 44.95 feet to a point;
Thence South 59°01'54" West a distance of 42.52 feet to a point;
Thence South 69°47'16" West a distance of 34.78 feet to a point;
Thence North 82°00'00" West a distance of 40.00 feet to a point;
Thence North 58°30'00" West a distance of 56.00 feet to a point;
Thence North 45°30'00" West a distance of 67.00 feet to a point;
Thence North 32°30'00" West a distance of 55.00 feet to a point;
Thence North 22°40'00" West a distance of 216.00 feet to a point;
Thence North 26°00'00" West a distance of 104.00 feet to a point;
Thence North 35°45'00" West a distance of 100.00 feet to a point;
Thence North 45°00'00" West a distance of 22.00 feet to a point of curvature;
Thence 59.86 feet along the arc of a 35.00 foot radius curve left, said curve having a central angle of 98°00'00" and a long chord bearing South 86°00'00" West a distance of 52.83 feet to a point of tangency;
Thence South 37°00'00" West a distance of 674.00 feet to a point;
Thence South 28°05'27" West a distance of 65.12 feet to a point;
Thence South 18°00'00" West a distance of 72.00 feet to a point;
Thence South 05°00'00" West a distance of 67.00 feet to a point;
Thence South 02°00'00" West a distance of 50.00 feet to a point;
Thence South 09°00'00" East a distance of 175.00 feet to a point of curvature;
Thence 40.32 feet along the arc of a 30.00 foot radius curve right, said curve having a central angle of 77°00'00" and a long chord bearing South 29°30'00" West a distance of 37.35 feet to a point of tangency;

Thence South 68°00'00" West a distance of 55.21 feet to a point on the Northeasterly line of the Kuna Canal, from which a 1/2" iron pin witness corner bears North 33°55'37" West a distance of 5.00 feet;

Thence along the Northeasterly and Northerly line of said Kuna Canal the following courses and distances:

Thence North 33°55'37" West a distance of 80.33 feet to a 5/8" iron pin tagged PLS 11463;

Thence North 49°27'31" West a distance of 560.33 feet to a 5/8" iron pin tagged PLS 11463 marking a point of curvature;

Thence a distance of 141.27 feet along the arc of a 450.00 foot radius curve left, said curve having a central angle of 17°59'13" and a long chord bearing North 58°15'57" West a distance of 140.69 feet to a 5/8" iron pin tagged PLS 11463 marking a point of tangency;

Thence North 68°52'04" West a distance of 113.97 feet to a 5/8" iron pin tagged PLS 11463;

Thence leaving said Northerly line of the Kuna Canal and parallel with the West line of said Section 12 North 00°29'22" East a distance of 509.61 feet to a 5/8" iron pin tagged PLS 11463;

Thence North 88°31'03" West, parallel with the East and West centerline of said Section 12, a distance of 299.99 feet to a point on the West line of said Section 12 from which a 5/8" iron pin witness corner tagged PLS 11463 bears South 88°31'03" East a distance of 25.00 feet;

Thence along the West line of said Section 12 North 00°29'22" East a distance of 481.47 feet to the **POINT OF BEGINNING**.

Said parcel contains 58.86 acres, more or less.

Clinton W. Hansen, PLS
Land Solutions, PC
August 13, 2020



Legal Description
R-6 Zone
Paloma Ridge Subdivision

A parcel of land being a portion of the NW ¼ of Section 12, Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho, more particularly described as follows:

Commencing at a Brass Cap Monument marking the Northwest corner of said Section 12, from which an Aluminum Cap monument marking the North 1/4 corner of said Section 12 bears South 89°32'42" East a distance of 2640.54 feet;

Thence along the North line of said Section 12 South 89°32'42" East a distance of 840.00 feet to a 5/8" iron pin marking the **POINT OF BEGINNING**;

Thence continuing along said North line South 89°32'42" East a distance of 378.68 feet to a 5/8" iron pin marking the centerline of the Painter Lateral;

Thence along the centerline of said Painter Lateral the following courses and distances:

Thence South 00°27'18" West a distance of 28.14 feet to a point;

Thence South 50°57'37" East a distance of 340.35 feet to a point of curvature;

Thence 69.71 feet along the arc of a 150.00 foot radius curve right, said curve having a central angle of 26°37'40" and a long chord bearing South 37°38'49" East a distance of 69.08 feet to a point of tangency;

Thence South 24°20'02" East a distance of 187.48 feet to a point;

Thence South 25°20'02" East a distance of 299.24 feet to a point;

Thence South 25°10'02" East a distance of 437.21 feet to a point;

Thence leaving said centerline South 64°39'58" West a distance of 646.73 feet to a point;

Thence North 89°31'40" West a distance of 830.25 feet to a point;

Thence South 0°29'22" West a distance of 131.41 feet to a point;

Thence North 89°30'38" West a distance of 513.50 feet to a point on the West line of said Section 12;

Thence along said West line North 0°29'22" East a distance of 724.85 feet to a point;

Thence leaving said West line South 89°32'42" East a distance of 1182.99 feet to a point;

Thence North 67°38'28" East a distance of 43.96 feet to a point on a curve;

Thence 15.99 feet along the arc of a 300.00 foot radius non-tangent curve right, said curve having a central angle of 3°03'16" and a long chord bearing North 20°49'54" West a distance of 15.99 feet to a point of tangency;

Thence North 19°18'16" West a distance of 239.13 feet to a point;

Thence North 7°23'03" East a distance of 168.30 feet to a point;

Thence North 3°19'15" West a distance of 180.24 feet to a point on a curve;

Thence 36.47 feet along the arc of a 100.00 foot radius non-tangent curve left, said curve having a central angle of 20°53'52" and a long chord bearing North 79°05'46" West a distance of 36.27 feet to a point of tangency;

Thence North 89°32'42" West a distance of 269.27 feet to a point;

Thence North 0°29'22" East a distance of 205.50 feet to the **POINT OF BEGINNING**.

Said parcel contains 34.14 acres, more or less.

Clinton W. Hansen, PLS
Land Solutions, PC
August 12, 2020



Legal Description
R-8 Zone
Paloma Ridge Subdivision

A parcel of land being a portion of the NW ¼ of Section 12, Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho, more particularly described as follows:

Commencing at a Brass Cap Monument marking the Northwest corner of said Section 12, from which an Aluminum Cap monument marking the North 1/4 corner of said Section 12 bears South 89°32'42" East a distance of 2640.54 feet;

Thence along the North line of said Section 12 South 89°32'42" East a distance of 840.00 feet to a point;

Thence leaving said North line South 0°29'22" West a distance of 205.50 feet to the **POINT OF BEGINNING**;

Thence South 89°32'42" East a distance of 269.27 feet to a point of curvature;

Thence 36.47 feet along the arc of a 100.00 foot radius curve right, said curve having a central angle of 20°53'52" and a long chord bearing South 79°05'46" East a distance of 36.27 feet to a point;

Thence South 3°19'15" East a distance of 180.24 feet to a point;

Thence South 7°23'03" West a distance of 168.30 feet to a point;

Thence South 19°18'16" East a distance of 239.13 feet to a point of curvature;

Thence 15.99 feet along the arc of a 300.00 foot radius curve left, said curve having a central angle of 3°03'16" and a long chord bearing South 20°49'54" East a distance of 15.99 feet to a point;

Thence South 67°38'28" West a distance of 43.96 feet to a point;

Thence North 89°32'42" West a distance of 914.99 feet to a point;

Thence North 0°29'22" East a distance of 422.01 feet to a point;

Thence North 45°29'22" East a distance of 130.17 feet to a point;

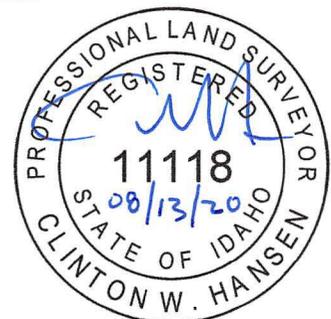
Thence South 89°32'42" East a distance of 452.73 feet to a point;

Thence North 89°57'13" East a distance of 27.22 feet to a point;

Thence North 0°29'22" East a distance of 96.26 feet to the **POINT OF BEGINNING**.

Said parcel contains 11.17 acres, more or less.

Clinton W. Hansen, PLS
Land Solutions, PC
August 12, 2020



Legal Description
C-1 Zone
Paloma Ridge Subdivision

A parcel of land being a portion of the NW ¼ of Section 12, Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho, more particularly described as follows:

BEGINNING at a Brass Cap Monument marking the Northwest corner of said Section 12, from which an Aluminum Cap monument marking the North 1/4 corner of said Section 12 bears South 89°32'42" East a distance of 2640.54 feet;

Thence along the North line of said Section 12 South 89°32'42" East a distance of 840.00 feet to a point;

Thence leaving said North line South 0°29'22" West a distance of 301.76 feet to a point;

Thence South 89°57'13" West a distance of 27.22 feet to a point;

Thence North 89°32'42" West a distance of 452.73 feet to a point;

Thence South 45°29'22" West a distance of 130.17 feet to a point;

Thence South 0°29'22" West a distance of 422.01 feet to a point;

Thence North 89°32'42" West a distance of 268.00 feet to a point on the West line of said Section 12;

Thence along the West line of said Section 12 North 00°29'22" East a distance of 816.00 feet to the **POINT OF BEGINNING**.

Said parcel contains 9.08 acres, more or less.

Clinton W. Hansen, PLS
Land Solutions, PC
August 12, 2020





City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

City of Kuna AFFIDAVIT OF LEGAL INTEREST

State of Idaho)

) ss TWIN FALLS
County of Ada)

I, Keith F. Patterson
Name

Signing Member for Patterson Family Enterprises LLC

4051 Mountain Vista Lane
Address

Filer
City

Idaho
State

83328
Zip Code

being first duly sworn upon oath, depose and say:

(If Applicant is also Owner of Record, skip to B)

A. That I am the record owner of the property described on the attached, and I grant my

Permission to Sabrina Durtschi with Toll Brothers 3103 W. Sheryl Drive, Meridian Idaho 83642
Name Address

to submit the accompanying application pertaining to that property.

B. I agree to indemnify, defend and hold City of Kuna and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

C. I hereby grant permission to the City of Kuna staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 3rd day of August, 2020

Keith F. Patterson
Signature

Subscribed and sworn to before me the day and year first above written.

Krisjaan E Will
Notary Public for Idaho

Residing at: Westmark CU 524 Pole Line Rd Twin Falls

My commission expires: 11-5-2024



ADA COUNTY RECORDER Christopher D. Rich
BOISE IDAHO 01/27/11 08:08 AM
DEPUTY Lisa Batt
RECORDED - REQUEST OF
Patterson Family Ent

AMOUNT 28.00 7



7

QUITCLAIM DEED

FOR VALUE RECEIVED,

**Patterson Family Trust A
Patterson Family Trust B**

Do hereby convey, release, remise and forever quit claim unto

Patterson Family Enterprises, L.L.C., an Idaho Limited Liability Company

whose address is: 2664 West 5200 South, Rexburg, Idaho 83440-4302

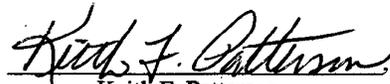
the following described premises:

See Exhibit "A" and Exhibit "B"

TO HAVE AND TO HOLD the said premises, unto the said grantees, heirs and assigns forever.

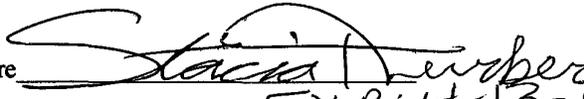
Date: January 24, 2011

By: Patterson Family Trust A and Patterson Family Trust B

 Trustee
Keith F. Patterson

State of Idaho
County of Madison

On this 24th day of January in the year 2011, before me, the undersigned, a notary public in and for said state personally appeared Keith F. Patterson, known or identified to me to be the person whose name is subscribed to the within instrument, as Trustee of the Patterson Family Trust A and the Patterson Family Trust B and acknowledged to me that he executed the same on behalf of said trusts.

Notary Signature 
EXP: 4-13-13

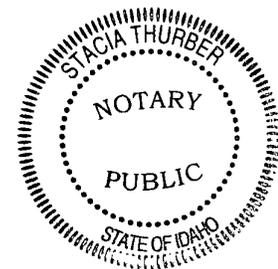




Exhibit A

A parcel of land being a portion of the Northwest $\frac{1}{4}$ and a portion of the Southwest $\frac{1}{4}$ of Section 12, Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho, and being more particularly described as follows:

BEGINNING at the Northwest corner of said Section 12, marked by a found Brass Cap monument, from which the North $\frac{1}{4}$ corner of said Section 12, marked by a found Aluminum Cap monument, bears South $89^{\circ}32'42''$ East, 2640.54 feet;

Thence, along the North line of said Section 12, South $89^{\circ}32'42''$ East, 1218.68 feet to the centerline of the Painter Lateral, marked by a found $\frac{5}{8}''$ iron pin tagged PLS 4431;

Thence, along the centerline of said Painter Lateral the following courses and distances:

South $00^{\circ}27'18''$ West, 28.14 feet;

South $50^{\circ}57'37''$ East, 340.35 feet;

Along a curve to the right 69.71 feet, said curve having a radius of 150.00 feet, a central angle of $26^{\circ}37'40''$, and a long chord bearing South $37^{\circ}38'49''$ East, 69.09 feet;

South $24^{\circ}20'02''$ East, 187.48 feet;

South $25^{\circ}20'02''$ East, 299.24 feet;

South $25^{\circ}10'02''$ East, 494.78 feet;

South $24^{\circ}30'02''$ East, 274.53 feet;

Along a curve to the left 109.27 feet, said curve having a radius of 122.00 feet, a central angle of $51^{\circ}19'01''$, and a long chord bearing South $50^{\circ}09'32''$ East, 105.65 feet;

South $75^{\circ}49'02''$ East, 345.64 feet;

South $75^{\circ}49'02''$ East, 39.98 feet;

South $66^{\circ}37'42''$ East, 25.41 feet;

South $35^{\circ}00'00''$ East, 65.28 feet;

South $07^{\circ}00'00''$ East, 80.00 feet;

South $01^{\circ}00'00''$ West, 215.00 feet;

South $12^{\circ}00'00''$ West, 42.00 feet;

South $42^{\circ}00'00''$ West, 44.00 feet;

South $60^{\circ}15'00''$ West, 315.00 feet;

South $56^{\circ}00'00''$ West, 56.00 feet;

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South 40°00'00" West, 68.00 feet;
South 35°00'00" West, 300.00 feet;
South 41°42'04" West, 44.95 feet;
South 59°01'54" West, 42.52 feet;
South 69°47'16" West, 34.78 feet;
North 82°00'00" West, 40.00 feet;
North 58°30'00" West, 56.00 feet;
North 45°30'00" West, 67.00 feet;
North 32°30'00" West, 55.00 feet;
North 22°40'00" West, 216.00 feet;
North 26°00'00" West, 104.00 feet;
North 35°45'00" West, 100.00 feet;
North 45°00'00" West, 22.00 feet;

Along a curve to the left 59.87 feet, said curve having a radius of 35.00 feet, a central angle of 98°00'03", and a long chord bearing South 86°00'00" West, 52.83 feet;

South 37°00'00" West, 674.00 feet;
South 28°05'27" West, 65.12 feet;
South 18°00'00" West, 72.00 feet;
South 05°00'00" West, 67.00 feet;
South 02°00'00" West, 50.00 feet;
South 09°00'00" East, 175.00 feet;

Along a curve to the left 38.83 feet, said curve having a radius of 40.32 feet, a central angle of 55°11'01", and a long chord bearing South 29°30'00" West, 37.35 feet;

South 68°00'00" West, 55.21 feet to the Northeasterly line of the Kuna Canal, from which a 1/2" iron pin witness corner bears North 33°55'37" West, 5.00 feet;

Thence, along the Northeasterly and Northerly line of said Kuna Canal the following courses and distances:

North 33°55'37" West, 80.33 feet, to a set 5/8" iron pin tagged PLS 11463;
North 49°27'31" West, 560.33 feet, to a set 5/8" iron pin tagged PLS 11463;

2

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www accuratesurveyors.com

Accurate Surveying & Mapping

A Professional Corporation



Along a curve to the left 141.27 feet, said curve having a radius of 450.00 feet, a central angle of $17^{\circ}59'12''$, and a long chord bearing North $58^{\circ}15'57''$ West, 140.69 feet, to a set 5/8" iron pin tagged PLS 11463;

North $68^{\circ}52'04''$ West, 113.97 feet, to a set 5/8" iron pin tagged PLS 11463;

Thence, leaving said Northerly line of the Kuna Canal, parallel with the West line of said Section 12, North $00^{\circ}29'22''$ East, 509.61 feet, to a set 5/8" iron pin tagged PLS 11463;

Thence, parallel with the East and West centerline of said Section 12, North $88^{\circ}31'03''$ West, 300.00 feet to the West line of said Section 12, from which a set 5/8" iron pin witness corner tagged PLS 11463 bears South $88^{\circ}31'03''$ East, 25.00 feet;

Thence, along the West line of said Section 12, North $00^{\circ}29'22''$ East, 2022.33 feet to the **Point of Beginning**.

Said parcel contains 113.252 acres more or less.

Together with all water and water rights, ditches and ditch rights used thereon or appurtenant thereto, including, but not limited to, water and ditch rights under the New York Irrigation District and the Boise-Kuna Irrigation District, and also including, but not limited to, rights to underground water produced from wells located on the premises, especially under License Nos. 20704 and 25289.

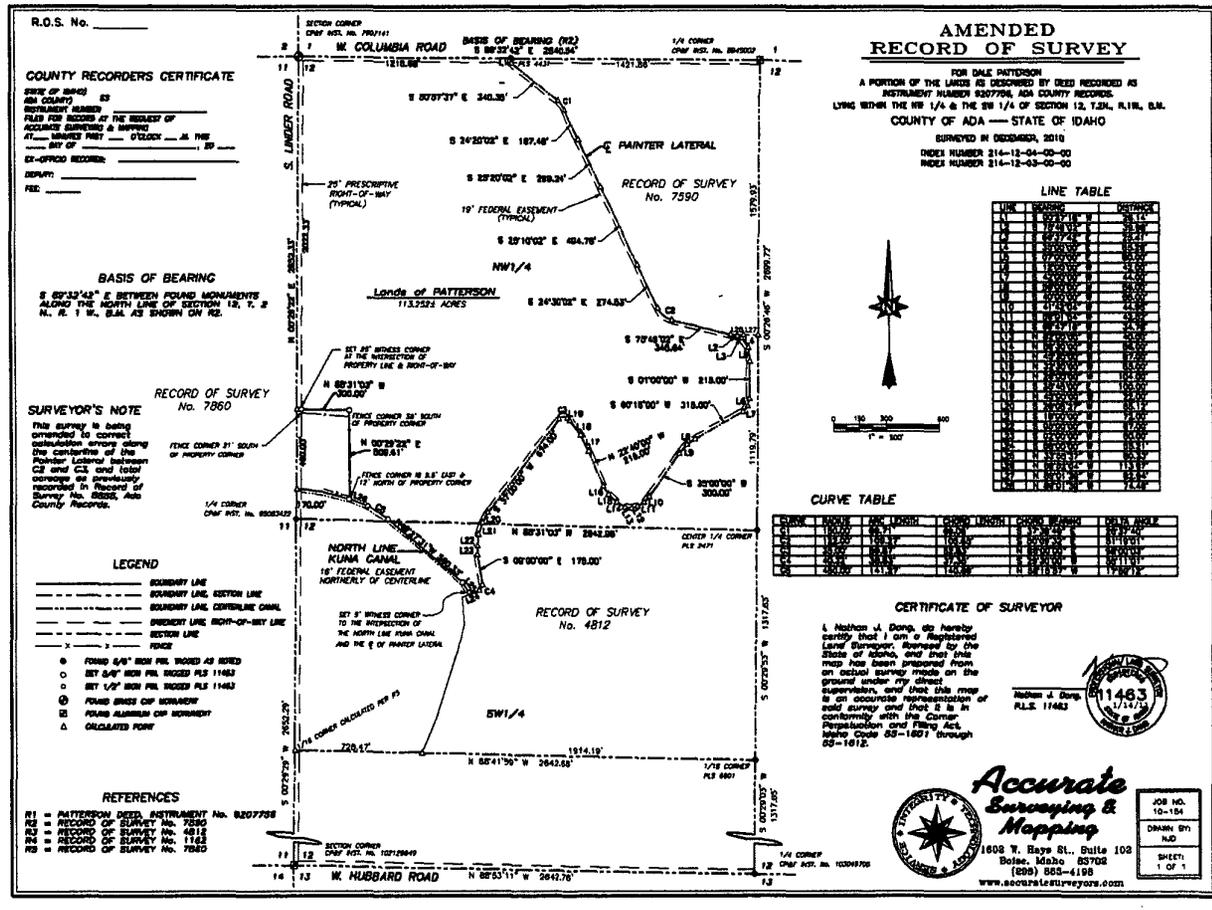
Subject to exceptions and reservations contained in patents from the United States.

Subject to existing easements for roads, highways, ditches, canals, laterals, and power and transmission lines.



3

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www accuratesurveyors.com





GPS, BOUNDARY,
TOPOGRAPHIC AND A.L.T.A.
SURVEYS
CONSTRUCTION STAKING
3D SCANNING

1121 E. State Street • Suite 105 • Eagle, Idaho 83616 • office: 1-208-939-7373 • fax: 1-208-939-7321

EXHIBIT B.

Job No. 04944
J.B.F.
9-20-05

LEGAL DESCRIPTION
FOR
PATTERSON

North Parcel

Part of the Southeast 1/4 of the Northeast 1/4 of Section 11, Township 2 North, Range 1 West of the Boise Meridian, Ada County, Idaho described as:

Commencing at the Northeast corner of Section 11, Township 2 North, Range 1 West of the Boise Meridian, Ada County, Idaho and running thence S00°00'00"E 1326.21 feet along the East line of said Section to the North 1/16 corner of said Section; thence S00°00'00"E 150.00 feet to the Point of Beginning; thence S00°00'00"E 544.21 feet along said East line; thence N89°53'06"W 1026.78 feet; thence S00°00'00"E 350.00 feet; thence N89°53'06"W 282.34 feet; thence N00°09'26"E 1044.44 feet; thence S89°52'29"E 1016.25 feet; thence S00°00'00"E 150.00 feet; thence S89°52'29"E 290.00 feet to the point of beginning.

Parcel contains 22.10 acres.

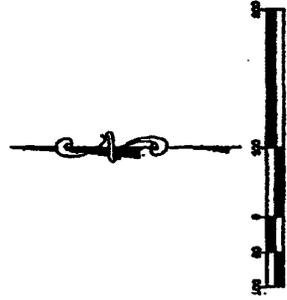


**RECORD OF SURVEY-BOUNDARY LINE ADJUSTMENT
PART OF THE SE 1/4 OF THE NE 1/4 OF
SECTION 11, T. 2 N., R. 1 W., B.M.
ADA COUNTY, IDAHO**

RECORDER'S CERTIFICATE

STATE OF IDAHO S.S. INSTRUMENT NO. _____
COUNTY OF ADA _____
I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS INSTRUMENT WAS
FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF ADA COUNTY, IDAHO,
ON THIS _____ DAY OF _____, 2020.

J. DAVID HARRIS, RECORDER



LEGEND

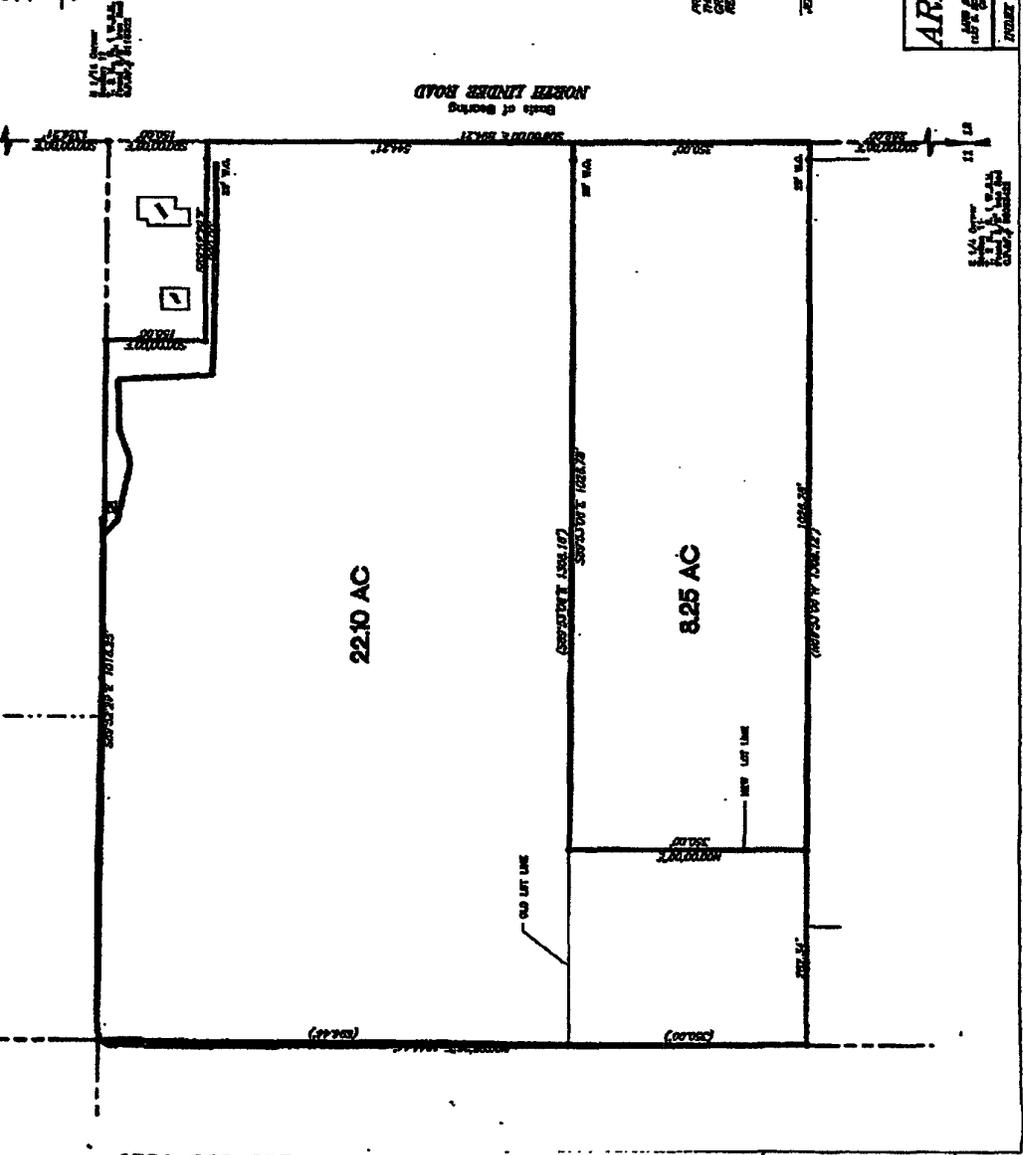
- Round Section Corner
- Round 1/2" x 3/4" Iron Pin
- Round 3/8" Iron Pin
- Round 1/2" Iron Pin
- Round 3/4" Iron Pin
- () Original Survey Measurements

SURVEYOR'S CERTIFICATE

I, JEREMY S. FELDNER, MEMBER NO. 11414, A
PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF IDAHO, AND
THAT THIS MAP WAS EXAMINED FROM AN ORIGINAL SURVEY MADE BY THE
CONTRACTOR OF SAID SURVEY, AND THAT THIS MAP IS AN ACCURATE
REPRODUCTION OF SAID ORIGINAL.



JEREMY S. FELDNER, P.L.S. GRAND LEASER NO. 7828



ARR
L.L. WILSON
Land Surveying, Inc.
1000 E. 10th St., Boise, ID 83702
PHONE 208-333-1111 FAX 208-333-1112
WWW.ARRSURVEYING.COM

RECORD OF SURVEY
NO. _____
PARTY/STORY
SECT. 11, T. 2 N., R. 1 W., B.M.
DATE _____
PAGE _____ OF _____

Toll Brothers®

LAND DEVELOPMENT

PAVING THE WAY FOR AMERICA'S LUXURY HOMEBUILDER

September 18, 2020

City of Kuna
Community Development
751 W 4th Street
Kuna, Idaho 83634

RE: Rezone and Preliminary Plat for Paloma Ridge Subdivision

Dear Troy Behunin,

Attached for your review are the applications for Rezone and Preliminary Plat for Paloma Ridge Subdivision. The subject site is located at 8430 S. Linder Road and is approximately 113 acres. Based on City of Kuna's Comprehensive Plan, Zoning Code, and public agency input received, we have thoughtfully designed a community that includes 341 single-family residential lots and 5 commercial lots for your consideration.

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Site History and Characteristics	2
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Preliminary Plat	6
Open Space	8
Amenities	8
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Exhibit H – Elevations of Garden Collection	18
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Exhibit J – Amenities	20

Paloma Ridge Subdivision

Paloma Ridge Subdivision is going to be a welcoming community. Situated atop a ridge, Paloma Ridge offers a special place to call home in the rolling plains of Kuna. Homeowners living here will enjoy a central amenity area with a pool, pool-house, pickle-ball court, and playgrounds. We have also included various walking paths, playground areas and complimentary amenities throughout the community.

Along with all the great amenities provided this site is located near schools, conveniences, and Meridian Road for an easy commute. With close proximity to the Birds of Prey Conservation area and the Snake River, the landscape and amenities will incorporate elements such as tall grasses, wood beams and stone accents to bring in the natural beauty of the area. Paloma Ridge will be a great fit for all ranges of families, from young families just starting out, to people preparing for retirement and everyone in between who are ready to call Kuna their “forever home.”

Subject Site History and Site Characteristics

The subject property is located at the southeast intersection of Columbia and Linder Roads. The site is currently annexed into the City of Kuna with an (A) Agriculture district zone designation.

Characteristics of the site include street frontage on both Columbia and Linder Roads. The Kuna Canals runs along the southern boundary of the property. The Painter Lateral runs along the eastern boundary of the site.

The site is relatively flat with elevations that vary from 2692 at the corner of Columbia and Linder, 2685 at the mid-point of the property, then finishes 2682 at the bottom southeast corner of the site. Historically this site has been farmed.

The City has approved several residential developments near the site, including the new Swan Falls High School located directly north of this application.

The following approved subdivisions are directly adjacent or near our subject site:

- Silverstar Trail Addition Subdivision - is east of our site, with a R-6 (Medium Density Residential) for a total of 421 buildable lots.
- Timbermist Subdivision - south of our site was approved for 253 residential lots, with a R-4 (Medium Density Residential).
- Springhill Meadows - is northwest of our application and was approved for a total of 702 single-family and multifamily units. This site has two zones of R-6 (Medium Density Residential) and R-20 (High Density/Multi-Family Residential).
- Whispering Meadows - is directly north of our site, was recently approved in March of 2019. This site was rezoned to R-6 (Medium Density Residential) with a total of 310 single-family residential lots.

Comprehensive Plan, Zoning and Goals

The subject site has been designated as Mixed Use from the Envision Kuna’s Comprehensive Plan. Based on the Comprehensive Plan and the characteristics of the surrounding area, this application will be requesting four (4) zoning classifications: (1) C-1 Neighborhood Commercial district, (2)

R-8 High-Density residential, (3) R-6 Medium-Density residential and (4) R-4 Medium-Density residential.

During the recent comprehensive plan, residents of the City of Kuna expressed desires for higher densities that include opportunities for mixed residential with light commercial activity. Within our proposed applications we are doing just that; neighborhood commercial and higher density residential, that transitions into medium density zoning. Our diverse zoning options will lead to a range of lot sizes and price points that will appeal to a wide variety of citizens.

Although we are proposing C-1 Neighborhood Commercial at the northwest corner of the site, we will not be developing the C-1 area as apart of our community. Any future commercial development applications will be submitted separately at a later date.

The following Comprehensive Plan goals are being met with our application:

Goal 2.A. - Maintain and expand an interconnected greenbelt, pathways and trail system (pg. 37).

Objective 2.A.2 Maintain and expand the pathway and trail network with a focus on building connectivity to key activity and population centers that serve all areas of Kuna.

Objective 2.A.2.a. Ensure the trails and pathways system promoted bike and pedestrian connectivity to key activity centers such as schools, parks, retail centers and downtown.

Objective 2.A.2.d. Work with private developers and landowners to direct expansion of the trails and pathways system throughout Kuna

Walkability and interconnectivity are a high priority for our development. Walking paths have been designed throughout the site to ensure pedestrian connectivity and walkability. In addition to our interior walking paths, there will also be a nine-foot wide, asphalt paved walking path/trail available to the public along the Kuna Canal and Painter Lateral. Please refer to Exhibit D which illustrates our walking/trail paths and interconnectivity for Paloma Ridge.

Goal 3.A. - Ensure community design directs growth and implements sustainable land use patterns (pg. 58).

Objective 3.A.1.b. Concentrate commercial and mixed-use area along main entryway corridors and reserve areas for low-density residential development, open space, industrial and agricultural uses at Kuna's outer areas and along the rail line.

Objective 3.A.1.c. Define "mixed-use" designations in Kuna's adopted zoning code to encourage a mix of uses at several scales – within zones, on individual and adjacent parcels, and within single

structures – that encourage complementary residential, commercial and industrial activities to achieve true mixed uses.

Objective 3.A.2.a Promote development and concentrate mixed land uses to create and support strong commercial activity centers.

Toll Brothers understands the importance of Linder Road and the vision that the City of Kuna has for this neighborhood entryway corridor. Therefore, we are proposing neighborhood commercial along Linder and Columbia Roads. In addition, we are providing a mix of residential zones that will transition and complement the surrounding land uses and help support our proposed commercial center.

Goal 3.C. - Encourage development of commercial areas with good connectivity and character (pg. 66).

Objective 3.C.1.c. Support commercial centers with high and medium-density residential and mixed-use designations in surrounding areas, while providing transitions and buffers between commercial and residential development. Require integrations of bike and pedestrian access to commercial centers from nearby neighborhoods.

Objective 3.C.2.a Integrate neighborhood serving mixed-use centers both vertically and horizontally.

Paloma Ridge Subdivision is designed with the appropriate amount of density to support our proposed commercial within the development. With a transition from higher density, abutting our commercial lots, to medium density, this provides the density needed to support the neighborhood commercial center. Pedestrian and bicycle access will also be available to the site via our expansive pathway and sidewalk system.

Goal 3.D - Encourage development of housing options and strong neighborhoods (pg. 68).

Objective 3.D.1.a. Encourage preservation and development of housing that meets demands for household sizes, lifestyles and settings.

Objective 3.D.2.b. In urban and suburban residential areas, encourage development of neighborhood-serving mixed-use and commercial activity centers that allow residents to play, shop, eat and interact with neighbors without leaving their neighborhood. Utilize mechanisms such as planned unit developments, subdivision ordinances, development agreements, payment and use of impact fees for needed infrastructure and amenities of their regulatory means or incentives to achieve this result.

Paloma Ridge Subdivision has been designed to meet and exceed the land use goals for Kuna. Consideration of household size, lifestyle, and income levels has been the foundation of what makes Paloma Ridge so diversified in its housing options. From young families just starting out, to people preparing for retirement and everyone in between, the public will have a variety of housing options to meet their needs.

We have also incorporated market research from commercial developers to ensure the sizing of our neighborhood commercial is both sustainable and marketable to appeal to the commercial development entities seeking this type of project.

In addition to the diverse housing options, Paloma Ridge will provide opportunities for community residents to walk to our proposed commercial activity center, through the interconnected network of pathways and sidewalks. This commercial component will give future residents a true walkable community, where they can play, shop, and interact with their neighbors without ever needing to get into a vehicle.

Goal 4.A - Use overlay districts to create mixed-use entryway corridors with strong character and managed access (pg. 78).

Objective 4.A.2. Preserve Linder Road as a Neighborhood Entryway Corridor using a coordinated, planned approach.

Objective 4.A.2.a. Ensure adequate corridor width along Linder Road to support neighborhood connectivity, school bus routes and alternative bicycle and pedestrian routes.

Objective 4.A 2.c. Ensure improvements to and along Linder Road incorporate community value elements.

Coordination and planning have been considered for both Linder and Columbia Roads. Necessary right-of-way and landscape buffering to create a corridor that is safe and inviting has been provided. All required improvements will be constructed, including dedicated right-of-way for a future bicycle lane on both Linder and Columbia Roads.

Goal 4. B Increase sidewalk coverage and connectivity and invest in pedestrian facilities to increase walkability (pg. 82).

Objective 4.B.2.b. Install detached sidewalks and/or protected pedestrian routes/facilities along high trafficked roads as development occurs.

Paloma Ridge Subdivision

Objective 4.B.2.c. Promote the installation of off-system pedestrian pathways to create neighborhood connections and reduce the length of non-motorized transportation routes.

Objective 4.B.2.g. Coordinate with developers to connect and/or enhance pedestrian facilities including on and off-system pathways, footbridges, road bridges, sidewalks, pedestrian crossings and wayfinding signage.

Within Paloma Ridge all public streets will have detached sidewalks, this will create a visually pleasing streetscape, but also help pedestrians feel safe while walking along our public roads. As already noted, walkability and connectivity are a priority for this development. Off-system pedestrian pathways are proposed through-out the site that create connection points to all the site amenities and proposed commercial center.

Goal 4.F Ensure water, sewer, irrigation, street lighting, storm water and solid waste systems are capable of serving the current and future population, (pg. 91).

4.F.2.g. Comply with the most current zoning and engineering development requirements.

4.F.3.a. Install street lighting in accordance with most current city requirements.

4.F.4.c. Ensure developers employ stormwater mitigation strategies that retain storm waters onsite, expect for natural/historic pass through flows.

Paloma Ridge’s infrastructure will meet all requirements set forth by the City of Kuna and all public reviewing agencies.

Preliminary Plat

Paloma Ridge Subdivision is a residential and neighborhood commercial community that will consist of 341 residential lots and 5 commercial lots. The breakdown of lots is as follows:

Overall Project Data	
Single Family Residential Lots	341
Common Lots	42
Commercial Lot	5
Single-Family Residential Area	65.59 acres
Common Lot Area	17.48 acres
Gross Density	3.01 Units/Acre
Net Density	5.20 Units/Acre
Minimum Residential Lot Size	3,846 s.f.
Average Residential Lot Size	8,381 s.f.

Paloma Ridge Subdivision

Table 1: Overall Project Data

	R-8	R-6	R-4
Area in Acres	11.18 Acres	34.12 Acres	58.87 Acres
Lot Count	73 - Lots	129 - Lots	139 - Lots
Gross Density	6.53 Units/Acre	3.78 Units/Acre	2.36 Units/Acre
Net Density	11.20 Units/Acre	6.11 Units/Acre	3.73 Units/Acre
Minimum lot size	6,483 s.f.	6,483 s.f.	9,509 s.f.
Average Lot Size	7,132 s.f.	7,132 s.f.	11,680 s.f.

Table 2: Zoning Data

Sewer for the site has been reviewed and coordinated with the City of Kuna’s Public Works Department. Our site is proposing a gravity sewer to a new lift station within our development and then to a force-main to an existing system. Water is existing in Linder Road adjacent to the site.

All storm drainage run-off will be collected on site within common lots via underground seepage beds. The site does not have any existing surface water rights. Sufficient ground water rights are available and will be utilized for the development of a private pressurized irrigation system. This system will be owned and maintained by the HOA. Although this community will not connect into the City of Kuna’s public pressure irrigation system, we are proposing to install “dry” pressure irrigation lines along our Columbia and Linder frontage to ensure the City continues to expand its area of service for public pressure irrigation.

Paloma Ridge Subdivision will take ingress/egress from Linder Road and Columbia Road, and will provide three stub locations for future roadway connections to the east and south parcel. Interior local streets will have a typical 47’ ROW with detached sidewalks and all streets will be public. Attached with this application is the proposed traffic study for Paloma Ridge. This study has been submitted to ACHD and ITD for review. Paloma Ridge will meet all requirements set by ACHD.

Toll Brothers understands the importance of dark sky lighting for this area. Paloma Ridge Subdivision will provide Dark Sky outdoor lighting throughout the site to minimize glare and light pollution onto neighboring properties and throughout the immediate area.

Phasing of the site is currently proposed as eight (8) phases. Phasing and construction timeline have been proposed but may change due to future market conditions, please see Exhibit F for more details.

Open Space

Paloma Ridge Subdivision will have approximately 13.32 acres of open space making our qualified percentage of open space 12.11%. Lush landscape and useable open space can be seen throughout our site, as illustrated in Exhibit C – Open Space.

Starting at the main entrance, all Paloma Ridge’s collectors and local roads will meet the City of Kuna’s standards, these public roadways will include detached sidewalks that will be thoughtfully landscaped to provide treelined roadways.

At the heart of the development will be a central-open space. This space will be the development’s focal point and gathering place for residents. Pedestrian walking paths will fan out across Paloma Ridge, providing interconnectivity and easy access to all the open space amenities within the development. Several pocket parks are included throughout the development in different locations and phases for residents to recreate and gather.

Along the site’s irrigation canal and lateral, we will be providing the City of Kuna an easement for a trail location. The trail will be paved and will border our property from the south and eastern boundaries of Paloma Ridge. The walking paths and trail locations will meet the City of Kuna’s pathway standards. The trails and pathways have also been designed to provide safe routes to the Swan Falls High School for students.

Paloma Ridge Subdivision Amenities

Within Paloma Ridge’s 12.11% qualified usable open space, green spaces, and pathways will create connectivity and a serene setting for residents and the public. These open spaces will be maximized with a wide variety of amenities for the community to utilize. In addition to the pathways, playgrounds, and pocket parks, useable open space will be provided.

Covered shelters and benches will be provided throughout the site and the main central greenspace will have a community pool, pool-house, and a large children’s play structure. Along with those amenities a pickleball court is proposed next to the pool area.

As a commitment to residents and the City of Kuna, the main primary amenity features are always constructed at the beginning of every development that Toll Brothers builds. This also guarantees a great community from the very beginning.

Building Styles

Paloma Ridge Subdivision

Paloma Ridge Subdivision will offer three housing styles: Arbor, Garden, and Woodland Collections. Each collection will have numerous floorplans and elevation styles to choose from. Please refer to Exhibit's G, H, & I for elevations. These collections help ensure that Paloma Ridge has many housing options available and are harmonious in appearance.

The Arbor Collection is the newest housing addition for Toll Brothers, Idaho. This product will be in the R-8 zone and will be approximately 1800 square feet. This compact design will provide designer-curated fit and finish packages and move in ready homes.

The Garden Collection will range from 1200 to 2400 square feet and will offer function and charm throughout the design and finishes. This collection will be within the R-6 zone.

The Woodland Collection floor plans will range from 1,580 to 2,890 square feet. This collection specializes in open floor plans, extra exterior accents, and quality craftsmanship throughout. This collection will be within the R-4 zone.

Neighborhood Meetings

Meetings with the surrounding neighbors were held on two different occasions.

Meeting	Date	Number in Attendance
1.	July 21 st – via zoom	2
2.	July 23 rd – on site	3

Table 3: Neighborhood Meeting Information

During both meetings minimal amount of concerns were brought up by neighbors. One neighbor attended the on-site neighborhood meeting, where they were curious how the site will gain access to sewer and what the proposed uses within the C-1 commercial designation would be. During the zoom neighborhood meeting one neighbor attended inquiring about the adjacent landing strip located south of our site.

We appreciated meeting with future neighbors and discussing the project. Toll Brothers holds the highest commitment to developments from the initial planning to the last house being built. And that commitment includes listening and being good neighbors to the existing residents. A good working dialogue will be maintained with all neighbors throughout the development process.

Summary

Toll Brothers has an unwavering commitment to the quality of product and design that goes into their communities and homes. Paloma Ridge Subdivision will epitomize the vision and commitment that Toll Brothers has in making a community special. What makes Paloma Ridge

Paloma Ridge Subdivision

Subdivision special? It's all in the details that this narrative has covered. From ample open space, interconnecting trails and walking paths, usable amenities, to the landscaped street corridors throughout the development's public roads. All these details add up to a high quality of life and creates livability opportunities for current and future residents of the City of Kuna.

Overall, we are extremely proud of our proposed community and look forward to working with staff on our applications. If you have any questions, please don't hesitate to contact me at sdurtschi@tollbrothers.com or at 208-780-6723.

Thanks for your time, consideration and assistance with our applications.

Sincerely,



Sabrina Durtschi
Land Development Entitlement Manager

Exhibit A – Site Plan

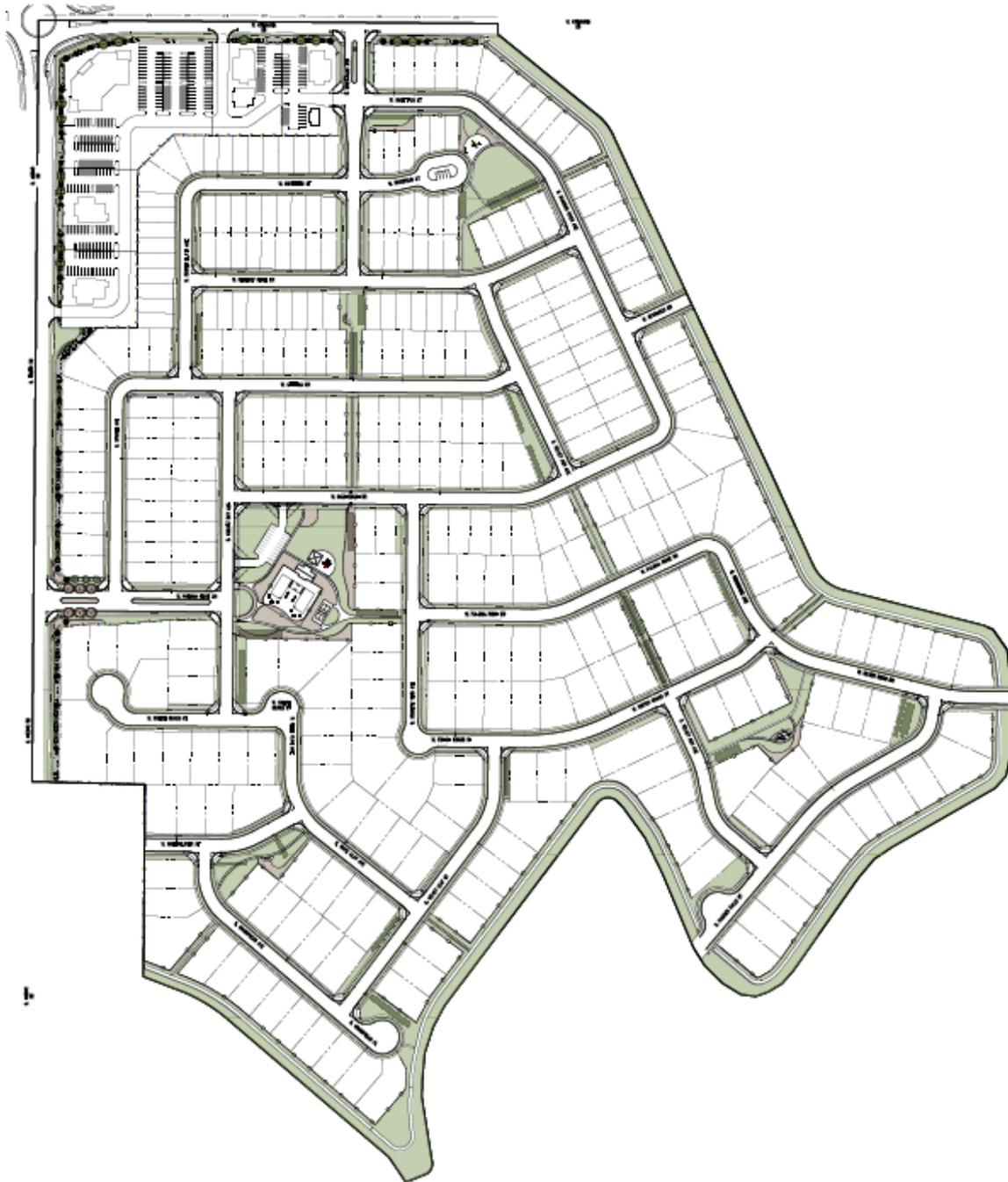


Exhibit B – Zoning Map Request



Paloma Ridge Subdivision

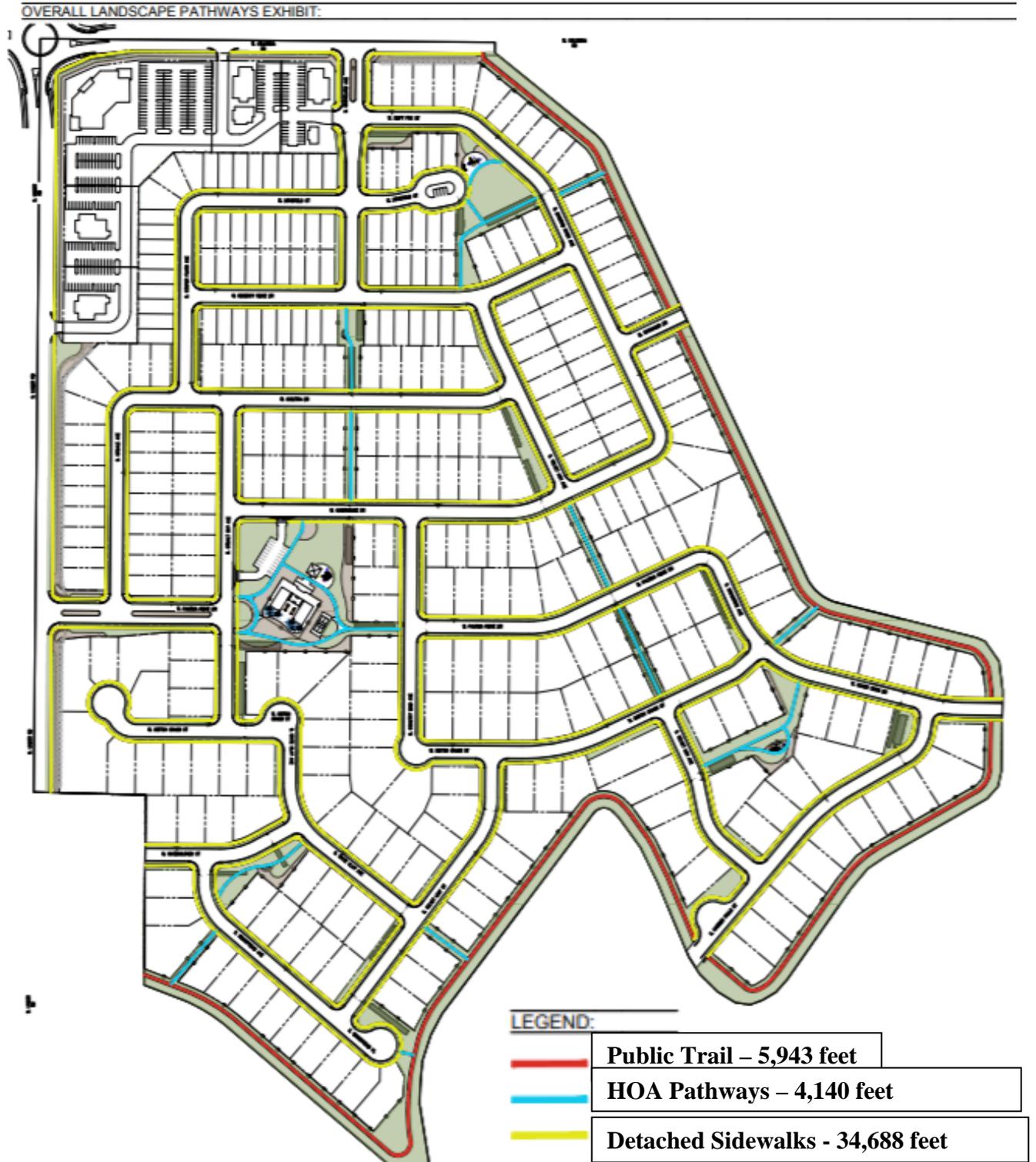
Exhibit C – Open Space



OPEN SPACE CALCULATIONS		
PARKS AND PATHWAYS	QUALIFIED OPEN SPACE AREA	
	SF	ACRES
1	38,915	0.88
2	54,971	1.26
3	12,180	0.28
4	3,563	0.08
5	61,587	1.41
6	11,423	0.26
7	7,410	0.17
8	7,755	0.18
9	120,303	2.76
10	10,251	0.24
11	8,100	0.19
12	35,083	0.81
13	20,569	0.47
14	52,011	1.19
15	136,364	3.13
TOTAL	580,087	13.32

PROJECT AREA 109.97
 PERCENT OPEN SPACE 12.11%

Exhibit D – Pathway and Interconnectivity Map



Paloma Ridge Subdivision

Exhibit G – Elevations of Arbor Collection



Exhibit H- Elevations of Garden Collection



Exhibit I– Elevations of Woodland Collection



Exhibit J – Amenities



Figure 1: Main Pool Amenity



Figure 2: Northern Pocket Park



Figure 1: Southern Pocket Park



City of Kuna
**COMMITMENT TO
PROPERTY POSTING**

City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

Per City Code 5-1A-8, the applicant for all applications requiring a public hearing shall post the subject property not less than ten (10) days prior to the hearing. The applicant shall post a copy of the public hearing notice or the application(s) on the property under consideration.

The applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the City no later than seven (7) days prior to the public hearing attesting to where and when the sign(s) were posted. Unless such Certificate is received by the required date, the hearing will be continued.

The sign(s) shall be removed no later than three (3) days after the end of the public hearing for which the sign(s) had been posted.

I am aware of the above requirements and will comply with the posting requirements as stated in Kuna City Code 5-1A-8.

Applicant/agent signature:

8/28/20

Date:

TRANSPORTATION IMPACT STUDY

Paloma Ridge Mixed-Use Development

September 2020

PREPARED FOR
TOLL BROTHERS
3103 W. Sheryl Drive, Suite 100
Meridian, ID 83642
(208) 780-6737

PREPARED BY
KITTELSON & ASSOCIATES, INC.
101 S Capitol Boulevard, Suite 600
Boise, ID 83702
208.338.2683

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Transportation Impact Study

Paloma Ridge Mixed-Use Development TIS

Kuna, Idaho

Prepared For:
Toll Brothers
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Meridian, ID 83642
(208) 780-6737



Prepared By:
Kittelson & Associates, Inc.
101 South Capitol Boulevard, Suite 600
Boise, ID 83702
(208) 338-2683

Project Manager: Lauren Nuxoll, PE
Project Principal: Sonia Daleiden, PE, PTOE
Project Analyst: Alyssa Loveday, PE and Sam Mantsch

Project No. 24991

September 2020



Transportation Impact Study

Paloma Ridge Mixed-Use Development TIS

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September 2020



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Section 1
Executive Summary

EXECUTIVE SUMMARY

The Paloma Ridge Development is located in the southeast quadrant of the Columbia Road/Linder Road intersection. The proposed site is currently 113.1 acres of vacant farmland and will be across Columbia Road from the new Kuna High School across Columbia Road. The site is currently in Kuna, Idaho and zoned Mixed Use. The development is planned to be built in two phases. The first phase will be approximately 350 single-family houses and the second phase will be approximately 6.46 acres of commercial retail uses. The anticipated buildout year of Phase 1 is 2025. Phase 2 will follow as market conditions allow, however, a buildout analysis year of 2025 was assumed for this study.

FINDINGS

Existing Conditions

- The study evaluated four off-site intersections during the a.m. and p.m. peak hour of a typical weekday.
- All study intersections were found to operate acceptably during the existing weekday a.m. and p.m. peak hours with the exception of:
 - **SH 69 / Lake Hazel Road (PM Peak Hour)**
 - The westbound through/right approach operates at $V/C = 0.94$ and LOS F during the weekday p.m. peak hour.
 - The overall the intersection operates at a 0.88 v/c ratio in the weekday p.m. peak hour, which is under ITD's desired 0.90 v/c ratio.
 - **Linder Road / Hubbard Road (AM and PM Peak Hour)**
 - The intersection operates at LOS F in the weekday p.m. peak hour. Several lane groups have a v/c greater than 1.0.
 - The intersection is projected to meet the 8-hour, 4-hour, and peak hour traffic signal volume warrants under 2020 existing conditions.
 - The intersection is shown as a future roundabout on the ACHD Master Street Map. In addition, an interim traffic signal with left-turn lanes or a single lane roundabout mitigates this intersection to meet ACHD standards.
- All ACHD study roadway segments operate at acceptable levels-of-service.
- Crash data at the study intersections and roadway segments for the most recent five years of complete data (2015-2019) were analyzed for any existing crash trends. The most common crash type was an angle crash at SH 69 / Lake Hazel Road. A traffic signal was installed in September 2018 at this intersection which should reduce angle crashes.

Year 2025 Background Traffic Conditions

- Year 2025 background traffic volumes were forecasted using a 3% compounded annual growth rate on SH 69 and Linder Road and a 6% compounded annual growth rate on all other roadways as well as the addition of in-process traffic from Whispering Meadows Subdivision and the new Kuna High School.
- Year 2025 background traffic analysis (without inclusion of site-generated traffic) found that none of the study intersections are expected to operate at acceptable operating standards during the weekday a.m. and p.m. peak hours.
 - **SH 69 / Lake Hazel Road (AM and PM Peak Hour)**
 - The intersection is operating with a $V/C = 0.95$ during the weekday a.m. peak hour with the following movements with a $V/C > 0.90$:
 - WBTR: $V/C = 0.96$
 - NBTR: $V/C = 0.94$
 - The intersection is operating with a $V/C = 0.98$ during the weekday p.m. peak hour with the following movements with a $V/C > 0.90$:
 - WBTR: $V/C = 1.02$
 - NBTR: $V/C = 0.97$
 - To meet ACHD operating standards, the following are required:
 - Westbound right-turn lane (it should be noted that some vehicles use the wide approach similar to a westbound right-turn lane)
 - To meet ITD operating standards an additional northbound and southbound through lane on SH 69 with a westbound right-turn lane is needed.
 - ITD is currently completing a corridor study for SH 69 in this area and the vision presented by that study identifies a future Median U Turn (MUT) intersection at this location along with widening of SH 69 to three lanes in each direction from Overland Road to Lake Hazel Road (likely through the intersection and then tapering to two lanes in each direction south of Lake Hazel Road).
 - **SH 69 / Columbia Road (AM Peak Hour)**
 - The intersection is operating with a v/c ratio of 0.89 overall but has the eastbound through-right movement operating with a v/c ratio of 0.94.
 - ITD is currently completing a corridor study for SH 69 in this area and the vision presented by that study identifies a future Median U Turn (MUT) intersection at this location.

- **Linder Road / Hubbard Road (AM and PM Peak Hour)**
 - As found in the 2020 existing traffic conditions, the intersection is operating over capacity and can be mitigated by an interim traffic signal with left-turn lanes or a single lane roundabout in the 2025 background conditions.
- All ACHD study roadway segments are projected to continue operating at acceptable levels of service except for Columbia Road between Linder Road and SH 69.
 - **Columbia Road (AM and PM Peak Hour)**
 - This section on roadway is not on ACHD's CIP, however the roadway will need to be widened to a three-lane cross section with a center turn lane to meet ACHD roadway segment operation standards under 2025 background or total traffic conditions.

Trip Generation and Distribution

- The *ITE Trip Generation Manual, 10th Edition* was used to estimate the trip generation for the proposed Paloma Ridge Development.
- The proposed Paloma Ridge Development is located on the southeast quadrant of Columbia Road / Linder Road.
 - The development is divided into two phases. The first phase proposes 350 single family homes. The second phase proposes 6.46 square acres of retail uses.
 - Phase 1 of the proposed Paloma Ridge Mixed-Use Development is estimated to generate a total of 3,214 daily net new trip ends, of these 253 are estimated to occur in the weekday a.m. peak hour (63 inbound / 190 outbound), and 338 are estimated to occur in the weekday p.m. peak hour (213 inbound / 125 outbound).
 - Phases 1 + 2 of the proposed Paloma Ridge Mixed-Use Development are estimated to generate a total of 5,435 daily net new trip ends, of these 427 are estimated to occur in the weekday a.m. peak hour (172 inbound / 255 outbound), and 465 are estimated to occur in the weekday p.m. peak hour (270 inbound / 195 outbound).
- The distribution pattern for site-generated trips was developed by evaluating a select zone analysis from COMPASS' regional travel demand model.

Year 2025 Total Traffic Conditions – Phase 1 (Residential)

- Phase 1 of the development only studied the following intersections:
 - SH 69 / Columbia Road
 - Linder Road / Columbia Road

- As under the 2025 background conditions, the year 2025 phase 1 total traffic analysis (with the inclusion of phase 1 site-generated traffic) found that the following study intersection is expected to exceed operational guidelines during the weekday a.m. and p.m. peak hours.
 - **SH 69 / Columbia Road (AM Peak Hour)**
 - This intersection is operating at LOS E in the weekday a.m. peak hour. The overall intersection operates with a v/c ratio of 0.94 and 0.92 in the weekday a.m. and p.m. peak hours, respectively. The eastbound left-turn lane group is over capacity while several other lane groups operate with a v/c ratio > 0.90.
 - ITD is currently completing a corridor study for SH 69 in this area and the vision presented by that study identifies a future Median U Turn (MUT) intersection at this location.
 - The Phase 1 development traffic is projected to be approximately 4.6% of the 2025 total traffic at this intersection. The MUT intersection is the planned 2040 horizon year mitigation so the development's proportional share for contributions for this intersection should be calculated based on the 2040 projected intersection volumes.

Year 2025 Total Traffic Conditions – Phases 1 + 2 (Residential + Commercial)

- As under the 2025 background conditions, the year 2025 phases 1 + 2 total traffic analysis (with the inclusion of phases 1 + 2 site-generated traffic) found that the following study intersections are expected to exceed operational guidelines during the weekday a.m. and p.m. peak hours.
 - **SH 69 / Lake Hazel Road (AM and PM Peak Hour)**
 - As found in the 2025 background traffic conditions, this intersection operates overcapacity.
 - ITD is currently completing a corridor study for SH 69 in this area and the vision presented by that study identifies a future Median U Turn (MUT) intersection at this location along with widening of SH 69 to three lanes in each direction from Overland Road to Lake Hazel Road (likely through the intersection and then tapering to two lanes in each direction south of Lake Hazel Road).
 - The Phase 2 total development traffic is projected to be approximately 1.8% of the 2025 total traffic at this intersection. The MUT intersection is the planned 2040 horizon year mitigation so the development's proportional share for contributions for this intersection should be calculated based on the 2040 projected intersection volumes.

- **SH 69 / Columbia Road (AM Peak Hour)**
 - This intersection is operating at LOS E and D in the weekday a.m. and p.m. peak hours, respectively. The overall intersection operates with a v/c ratio of 1.05 and 0.96 in the weekday a.m. and p.m. peak hours, respectively. The eastbound left-turn lane group is over capacity while several other lane groups operate with a v/c ratio > 0.90.
 - ITD is currently completing a corridor study for SH 69 in this area and the vision presented by that study identifies a future Median U Turn (MUT) intersection at this location.
 - The Phase 2 development traffic is an additional approximately 2.4% of the 2025 total traffic at this intersection (in addition to the 4.6% of Phase 1 traffic at this intersection). The MUT intersection is the planned 2040 horizon year mitigation so the development's proportional share for contributions for this intersection should be calculated based on the 2040 projected intersection volumes.
- **Linder Road / Hubbard Road (AM and PM Peak Hour)**
 - As found in the 2020 existing traffic conditions, the intersection does not meet standards and can be mitigated by an interim traffic signal with left-turn lanes or a single lane roundabout.
 - The proposed Phase 2 development traffic is projected to be approximately 2.0% of the 2025 total traffic at this intersection.
- The ACHD study roadway segments are projected to exceed operate at acceptable levels of service:
 - **Columbia Road (AM and PM Peak Hour)**
 - As under 2025 background conditions, this section on roadway is not on ACHD's CIP, however, needs to be widened in order to meet ACHD roadway segment level-of-service standards.
 - The key intersections on either side of this section will be either widened to include left-turn lanes or converted into a single lane roundabout which increases the capacity of the roadway.
 - **Linder Road (AM Peak Hour)**
 - This section of roadway barely doesn't meeting ACHD segment level-of-service standards. However, the key intersections along the site frontage of this section is already or will be widened to include left-turn lanes which increases the capacity of the roadway.

Site Access Evaluation

- The turn lane analysis using ACHD procedures resulted in turn lane warrants at the following site access streets:
 - Phase 1 (Residential)
 - Columbia Road / Site Access A
 - Westbound Left-Turn Lane
 - Linder Road / Site Access D
 - Southbound Left-Turn Lane
 - Phase 1 + 2 (Residential + Commercial)
 - Columbia Road / Site Access A
 - Westbound Left-Turn Lane
 - Columbia Road / Site Access B
 - Westbound Left-Turn Lane
 - Eastbound Right-Turn Lane
 - Linder Road / Site Access C
 - Southbound Left-Turn Lane
 - Linder Road / Site Access D
 - Southbound Left-Turn Lane
- The intersection sight distance evaluation identified that intersection sight distance can be achieved at all the site intersections. However, the following are recommendations for all site accesses when designed and constructed:
 - Remove miscellaneous vegetation and shrubbery, and potential obstructions along Columbia Road or Linder Road as necessary to obtain and maintain adequate intersection sight distance.
 - Site accesses are assumed to match the existing grade of the connected roadway at the intersection and back at least one car length. Significant changes to the approach grade could impact the sight distances.
 - Shrubby, weeds, and landscaping near the internal intersections and site access points should be maintained to ensure adequate sight distance.
 - If widening occurs along any of the site access road, care should be taken to ensure adequate grades and intersection sight distance is maintained.
 - Intersection sight distance should be analyzed as part of the final access design and roadway widening.
- The following access is the only access that doesn't meet ACHD Policy:
 - **Columbia Road / Site Access B**
 - This access, a proposed driveway, accesses Columbia Road approximately 500 feet east of Linder Road. The nearest access is Site Access A which is

approximately 340 feet to the east. ACHD's spacing criteria for a driveway on a minor arterial is 425 feet. Therefore, the proposed access does not meet spacing requirements for Columbia Road.

- Based on this evaluation, the access should be approved by ACHD for the following reasons:
 - If Access B is not allowed, the daily traffic of Site Access A and Site Access B combined would exceed ACHD's daily local road threshold of 2,000 vehicles.
 - Right-turn and left-turn lanes are proposed on Columbia Road, which will reduce any impacts to the through traffic on Columbia Road.
 - The proposed access will still function acceptably as an unsignalized right-in/right-out/left-in access (without turn lanes).
 - This access is proposed as a driveway and will serve mostly commercial trips, while Site Access A will primarily serve residential trips.
- Therefore, the driveway is recommended as a right-in/right-out/left-in access.
- Based on the ACHD bicycle plan, Linder Road and Columbia Road are projected to be Level 3 facilities, including buffered/protected/raised bike lanes, cycle track or multi-use pathway. Therefore, as these roadways are built to ACHD arterial standards, Level 3 bike facilities should be considered.

RECOMMENDATIONS

Based on the report's analyses and evaluation findings, recommendations were developed accordingly for time scenario's conditions.

Year 2020 Existing Traffic Condition Mitigations (Without the Proposed Development)

The following mitigations are recommended to accommodate the year 2020 existing traffic volume and meet ACHD policy.

Linder Road / Hubbard Road

- Construct an interim traffic signal with left-turn lanes on all approaches or a single-lane roundabout if right-of-way is obtained by ACHD. This intersection meets signal warrants and is over capacity in existing traffic conditions. The Phase 2 development traffic accounts for 2.0 percent of the projected 2025 total traffic at the intersection.

Year 2025 Background Traffic Condition Mitigations (Without the Proposed Development)

The following mitigations are recommended to accommodate the year 2025 background traffic volume and meet ACHD policy.

SH 69 / Lake Hazel Road

- Install a westbound right-turn lane. Note that the development can build up to approximately 350 units and 20,000 sq ft of commercial occupied before the westbound left-turn is required for all v/c ratios to remain ≤ 1.0 . The Phase 2 development traffic accounts for approximately 1.8 percent of the proposed traffic at the intersection.

Additional Year 2025 Mitigations Needed With the Paloma Ridge Mixed-Use Development Phase 1 (Residential)

The following mitigations are recommended due to the inclusion of Paloma Ridge Mixed-Use Development's Phase 1 (Residential) site generated trips.

Columbia Road / Site Access A

- Construct a westbound left-turn lane with approximately 100 feet of vehicle storage.

Linder Road / Site Access D

- Construct a southbound left-turn lane with approximately 100 feet of vehicle storage.

Additional Year 2025 Mitigations Needed With the Paloma Ridge Mixed-Use Development Phases 1 + 2 (Residential + Commercial)

The following mitigations are recommended due to the inclusion of Paloma Ridge Mixed-Use Development's Phases 1 +2 (Residential + Commercial) site generated trips.

Columbia Road / Site Access B

- Construct a westbound left-turn lane with approximately 100 feet of vehicle storage.
- Construct an eastbound right-turn lane with approximately 100 feet of vehicle storage.

Linder Road / Site Access C

- Construct a southbound left-turn lane with approximately 100 feet of vehicle storage.

All Site Accesses

- With approval from ACHD, construct all accesses to the development with the following designations:
 - All local streets within the development should be constructed with one travel lane in each direction.
 - Site driveways with access to public streets should provide sufficient stacking distance for four vehicles (100 feet) to ensure acceptable operation and accommodate larger vehicles, including utility service and delivery vehicles.
 - Site accesses along Linder Road and Columbia Road should match the existing grade or be higher at the intersection to ensure the best possible sight distance.
 - All accesses and internal streets should be designed to provide adequate intersection site distance. Shrubbery and landscaping near the intersection and site access point should be maintained to ensure adequate sight distance is maintained.

April 24, 2020

Clint Hansen, Land Solutions
Sabrina Durtschi, Toll Brothers

RE: Subdivision Name Reservation: **PALOMA RIDGE SUBDIVISION**

At your request, I will reserve the name **Paloma Ridge Subdivision** for your project. I can honor this reservation only as long as your project is in the approval process. Final approval can only take place when the final plat is recorded. Depending on how these properties are phased, additional names may be required.

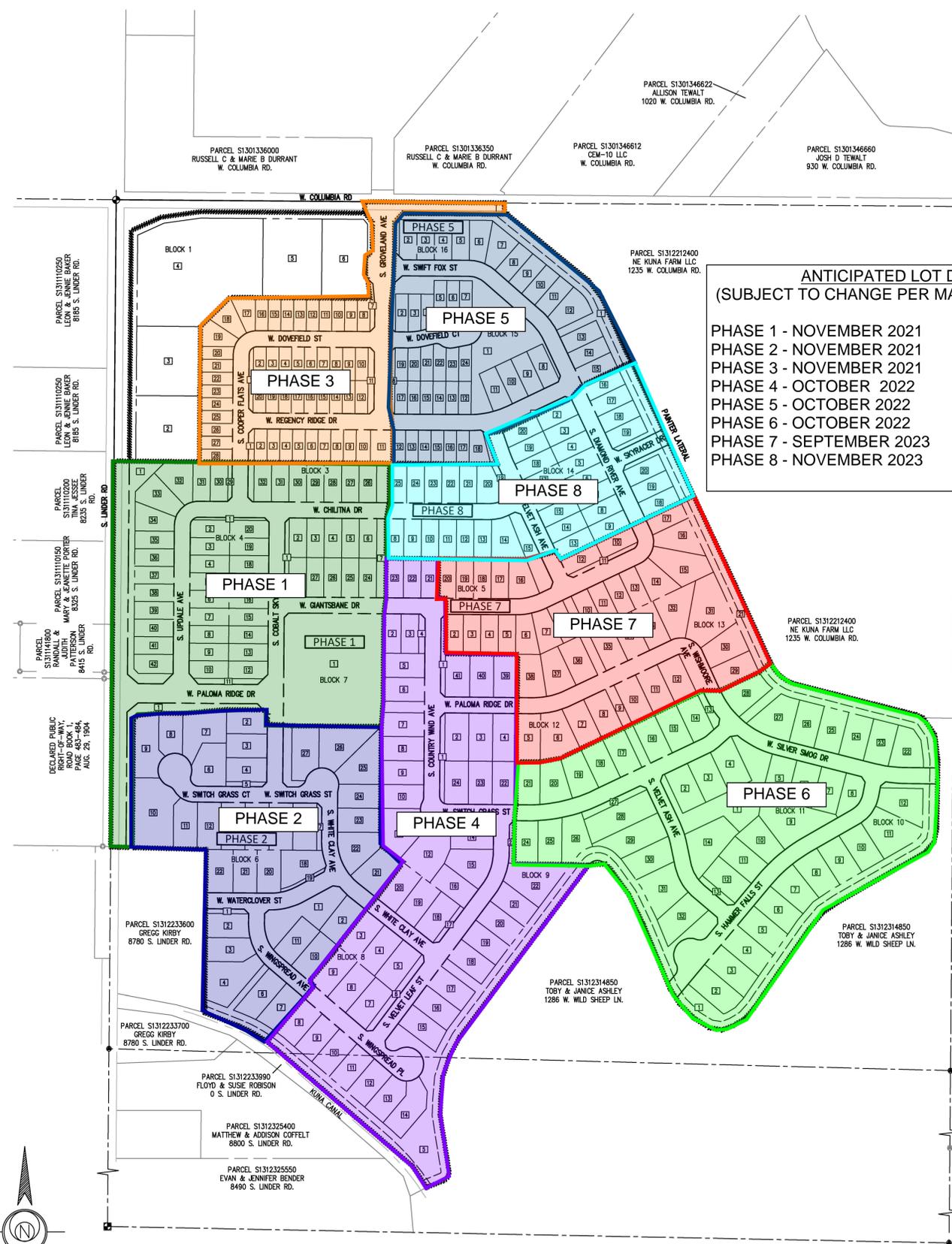
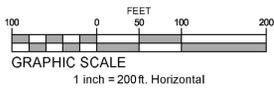
This reservation is available for the project as long as it is in the approval process unless the project is terminated by the client, the jurisdiction or the conditions of approval have not been met, in which case the name can be re-used by someone else.

Sincerely,

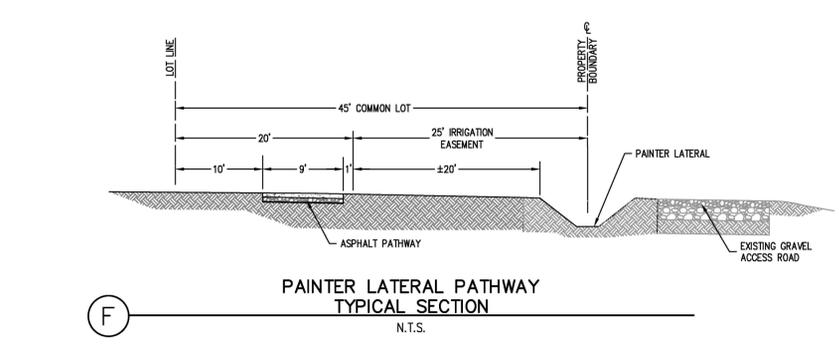
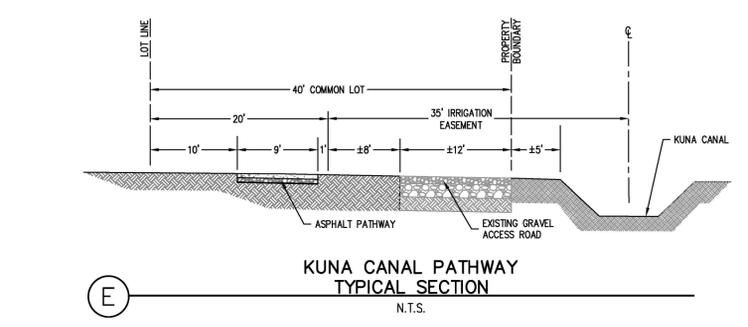
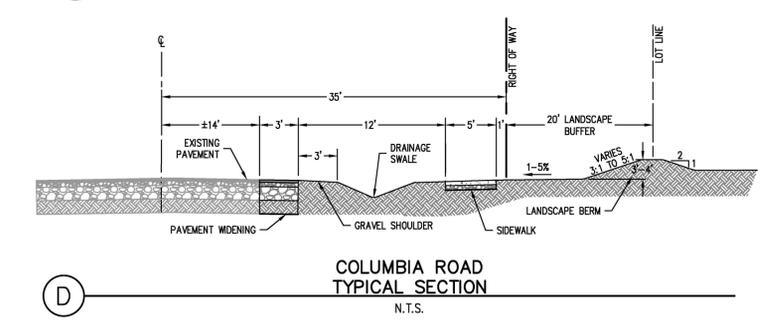
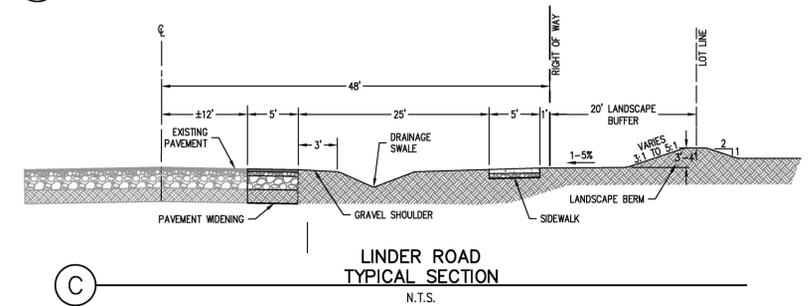
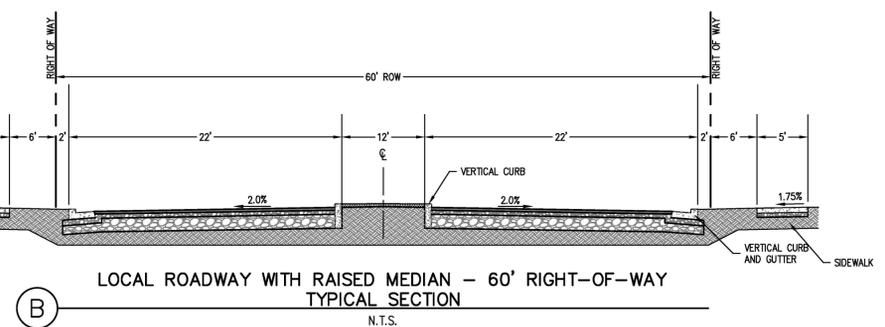
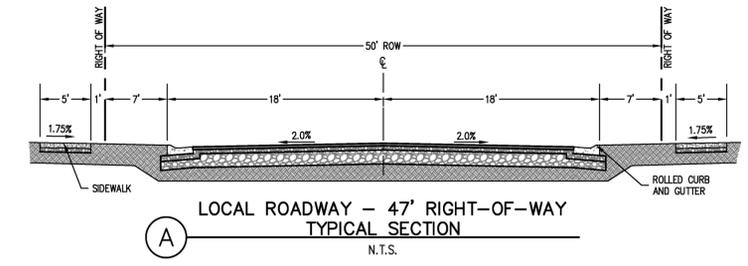


Glen Smallwood
Surveying Technician
Ada County Development Services
200 W. Front St., Boise, ID 83702
(208) 287-7926 *office*
(208) 287-7909 *fax*

N:\PROJECTS\IDAH07636 - PATTERSON\ENGINEERING\DRAWINGS\PRELIM\7636-S-PHASING-PP.DWG - Korrina_Lomax.dwg - 8/31/2020 2:40 PM



PHASING PLAN



ESE CONSULTANTS
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL
 ESE Consultants, Inc.
 3103 W. Sheryl Drive • Suite 100 • Meridian, ID 83642
 T: 208-424-0020

REV.	DATE	DESCRIPTION

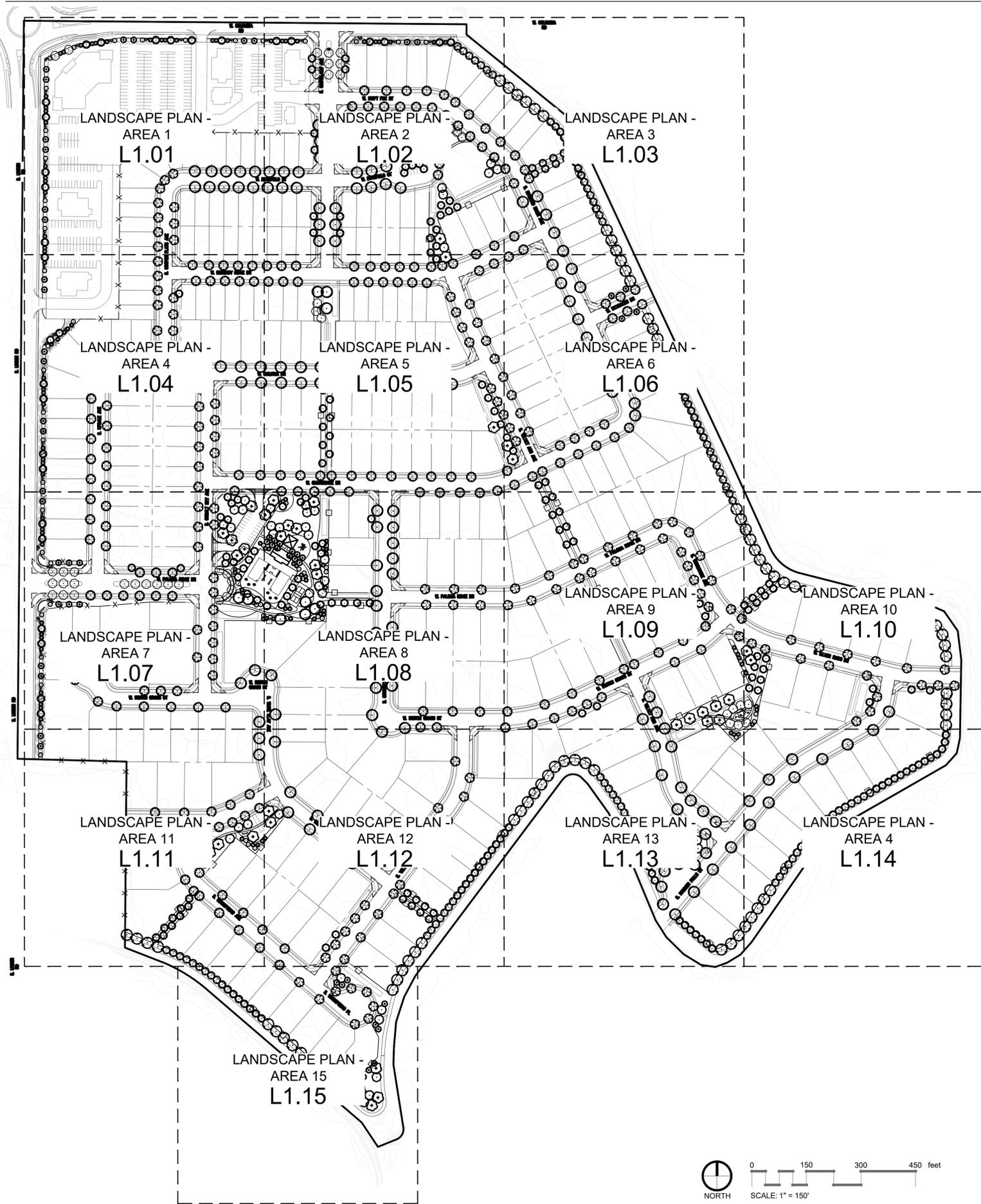
PRELIMINARY PHASING AND TYPICAL SECTIONS
PALOMA RIDGE SUBDIVISION
 SEC. 12, T. 2N., R. 1W., B.M., KUNA, ADA COUNTY, IDAHO

DATE:	8/31/2020	SCALE:	AS NOTED
DESIGN:	JEB	DRAWN:	MGF/KL
JOB NO.:	7636	FILE NAME:	7636-S-PHASING-PP
REF. NO.:	PP-1.2	SHEET NO.:	2 OF 9

LANDSCAPE NOTES:

1. REGULATIONS & STANDARDS
 - 1.1. All contractor work shall be conducted in accordance with ISPCW (Idaho Standard Public Works Construction), 2019; and Kuna, ID codes, standards and state and local regulations.
 - 2.1. All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense.
 - 2.2. The site has many existing improvements such as underground utilities, curb and gutter, light poles and sidewalks.
 - 2.3. See Engineer's plans for information about existing features; all drainage pipes and locations. Protect and retain drainage at all times.
3. GRADING & SITE PREPARATION
 - 3.1. Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".
 - 3.2. All gravel overprep to be removed and disposed of off site.
 - 3.3. Finish grade to be smooth transition to allow for entire site to be a natural flowing space.
 - 3.4. Refer to Engineer's plans for grading information & for all drainage pipes and locations. Protect and retain drainage at all times.
 - 3.5. No pooling or standing water will be accepted per industry standards.
4. SOILS
 - 4.1. All planter beds to receive a minimum of 18" depth of screened topsoil. Spread, compact, and fine grade to smooth and uniform grade 2.5" below adjacent surfaces.
 - 4.2. All lawn areas to receive a minimum of 12" depth of screened topsoil. Spread, compact, and fine grade topsoil to a smooth uniform grade 1" below adjacent surfaces.
 - 4.3. Reuse of existing topsoil that has been stockpiled on site is permitted if:
 - 4.3.1. Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests. And
 - 4.3.2. Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.
 - 4.3.3. Topsoil should have a pH of 6.5 to 8.
 - 4.3.4. If on site topsoil does not meet these minimum
5. PLANTER BED MULCH
 - 5.1. All planter beds to receive 3" depth of tan mini rock mulch, or approved other. Install over commercial grade weed barrier fabric per manufacturer recommendations.
6. LAWN AREAS
 - 6.1. All lawn areas shall be hydro-seeded with tall turf-type fescue or approved other seed mix. Apply at standard rates.
 - 6.2. All lawn areas to have cut edge.
7. PLANTS
 - 7.1. All plant material shall be installed per industry standards.
 - 7.2. All plant material shall meet or exceed the minimum federal standards as regulated by ANSI Z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.
 - 7.3. All trees and shrubs to be installed per details.
 - 7.4. Fertilize all trees and shrubs with 'Agriform' planting tablets or approved equal. Apply per manufacturer's recommendations.
 - 7.5. All plants shall adhere to plant schedule, species & sizes. Any necessary substitutions due to availability or alternatives shall be coordinated to the landscape architect via submittal.
8. IRRIGATION
 - 8.1. Irrigation system shall be built to the following specifications:
 - 8.1.1. Adhere to city codes when connecting to city water.
 - 8.1.2. All irrigation material to be new with manufacturer's warranty fully intact.
9. CONTRACTOR RESPONSIBILITIES
 - 9.1. Estimated quantities are shown for general reference only. Contractor shall be responsible for all quantity estimates.
 - 9.2. All plant material and workmanship shall be guaranteed for a period of one year beginning at the date of Acceptance by Owner. Replace all dead or unhealthy plant material immediately with same type and size at no cost to Owner.
 - 9.3. Landscape contractor to turn in as built drawings at the end of project. Substantial completion will not be granted until 2 copies @ 11"=30" scale are turned in and approved by owner's representative. Substantial completion is not complete until seed is fully grown in.
 - 9.4. Stake fence during construction around seed areas.
 - 9.5. In the event of a discrepancy, notify the General Contractor.

PLAN OVERVIEW:



LANDSCAPE REQUIREMENTS:

(PER KUNA MUNICIPAL CODE)

LANDSCAPE BUFFER REQUIREMENTS:

- (2) 2"-CAL TREE PER 100 LF
- (3) 6"-7" MIN HEIGHT EVERGREEN TREES PER 100 LF
- (12) 2 GALLON POT MINIMUM SHRUBS PER 100 LF

STREET	LENGTH (MINUS CURB CUTS)	DECID. TREES REQ./PROVIDED	EVGRN. TREES REQ./PROVIDED	SHRUBS REQ./PROVIDED
W. COLUMBIA RD.	1,038'	20 / 20	30 / 34	120 / 121
S. LINDER RD.	1,778'	36 / 36	54 / 58	216 / 283

COMMON LOT LANDSCAPING

- 1 TREE PER 800 SF

COMMON LOT	AREA (SF)	TREES REQUIRED	TREES PROVIDED
BLOCK 1 / LOT 3	2,164	3	3
BLOCK 1 / LOT 25	1,570	2	2
BLOCK 2 / LOT 1	2,571	3	3
BLOCK 2 / LOT 11	3,944	5	5
BLOCK 3 / LOT 1	4,000	5	5
BLOCK 3 / LOT 11	12,180	15	6**
BLOCK 3 / LOT 19	3,458	4	4
BLOCK 4 / LOT 1	1,937	2	2
BLOCK 4 / LOT 11	3,691	5	5
BLOCK 5 / LOT 1	3,120	4	4
BLOCK 5 / LOT 7	7,410	9	9
BLOCK 5 / LOT 15	11,423	14	14
BLOCK 6 / LOT 5	1,830	2	2
BLOCK 6 / LOT 17	2,150	3	3
BLOCK 6 / LOT 19	1,541	2	2
BLOCK 7 / LOT 1	120,303	150	127**
BLOCK 7 / LOT 4	2,372	3	3
BLOCK 7 / LOT 13	1,917	2	2
BLOCK 7 / LOT 17	2,070	3	3
BLOCK 8 / LOT 1	21,035	26	26
BLOCK 8 / LOT 6	5,703	7	7
BLOCK 9 / LOT 1	1,912	2	2
BLOCK 9 / LOT 5	145,935	182	143***
BLOCK 9 / LOT 23	1,943	2	0**
BLOCK 9 / LOT 27	4,344	5	5
BLOCK 10 / LOT 1	59,586	74	57***
BLOCK 11 / LOT 1	35,083	44	44
BLOCK 11 / LOT 8	7,466	9	6**
BLOCK 11 / LOT 13	2,581	3	3
BLOCK 12 / LOT 1	4,050	5	5
BLOCK 12 / LOT 9	8,100	10	0**
BLOCK 12 / LOT 13	5,478	7	7
BLOCK 13 / LOT 1	3,882	5	5
BLOCK 13 / LOT 9	7,755	10	10
BLOCK 13 / LOT 21	70,233	88	70***
BLOCK 14 / LOT 1	3,060	4	4
BLOCK 14 / LOT 11	3,113	4	4
BLOCK 15 / LOT 1	54,971	69	49
BLOCK 15 / LOT 18	2,909	4	4
BLOCK 16 / LOT 1	51,003	64	64

** REDUCED TREE COUNT DUE TO SEEPAGE BEDS LOCATIONS.
 *** REDUCED TREE COUNT DUE TO IRRIGATION EASEMENT.

GENERAL REQUIREMENTS:

- TREE SIZING:**
- SHADE TREES: MIN 2" CAL, B&B
 - ORNAMENTAL TREES: MIN 2" CAL, B&B
 - CONIFER TREES: MIN 6" H, B&B
- SHRUB SIZING:**
- WOODY SHRUBS: 2 GAL



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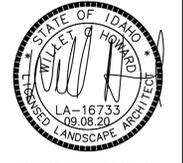
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PALOMA RIDGE KUNA, ID

REVISIONS

MRK	DATE	Description
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JOB NO: 20-1735
 DATE: 09.08.2020
 DRAWN BY: DW/EV
 CHECKED BY: WH

DRAWING TITLE

OVERALL LANDSCAPE PLAN

SHEET NUMBER

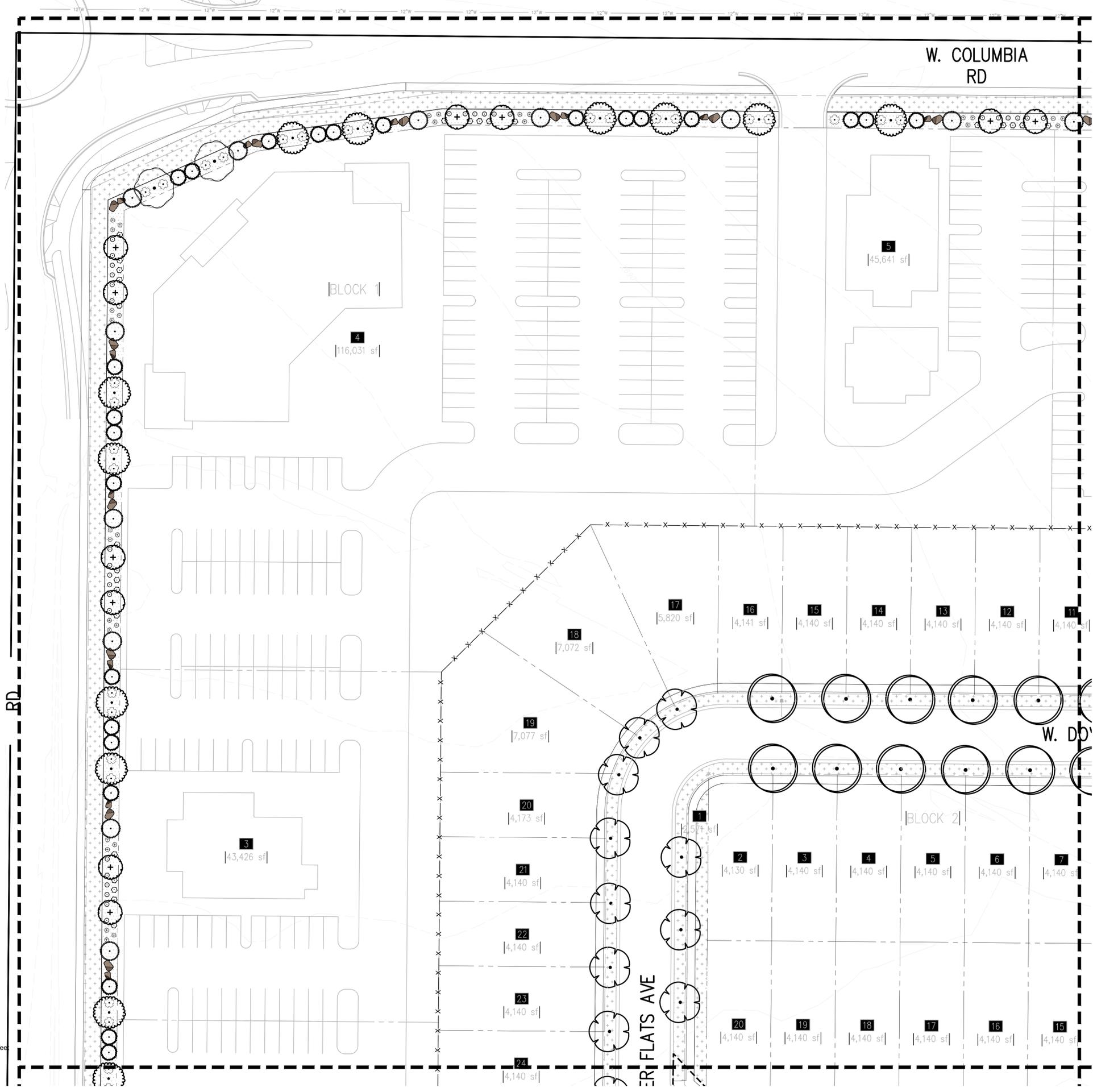
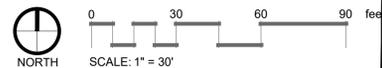
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PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Columnar Broad' / Parkway Maple	B & B	2"		78	45' h x 25' w Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		139	35' h x 25' w
	Carpinus betulus 'Franz Fontaine' / Franz Fontaine Hornbeam	B&B	2"		60	35' h x 15' w Class II
	Cercis canadensis / Eastern Redbud	25 gal			48	30' h x 25' w
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B & B	2"		44	40' h x 20' w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		38	50' h x 30' w Class II
	Liquidambar styraciflua 'Worplesdon' / Worplesdon Sweet Gum	B & B	2"		196	40' h x 25' w Class II
	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7' H	111	30' h x 10' w
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7' H	63	25' h x 12' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B & B	2"		244	25' h x 20' w Class II
	Tilia americana 'Redmond' / Redmond American Linden	B & B	2"		163	50' h x 30' w Class II
	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	B&B	2"		76	50' h x 35' w
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			228	5' h x 3' w
	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub	2 gal			15	3' h x 3' w
	Cornus sericea 'Ivory Halo' / Variegated Redtwig Dogwood	2 gal			72	4-6' H x 4-6' W
	Genista pilosa 'Gold Flash' / Pilosa Broom	2 gal			132	12' h x 3' w
	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass	1 gal			18	3' h x 3' w
	Juniperus squamata 'Blue Star' / Blue Star Juniper	2 gal			44	30' h x 4' w
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	2 gal			160	3' h x 3' w
	Pennisetum alopecuroides 'Red Head' / Red Head Fountain Grass	1 gal			14	3' h x 3' w
	Perovskia atriplicifolia 'Blue Spires' / Russian Sage	2 gal			200	4' h x 4' w
	Pinus strobus 'Blue Shag' / Blue Shag White Pine	5 gal			89	3' h x 3' w
	Prunus laurocerasus 'Otto Luyken' / Otto Luykens English Laurel	2 gal			62	3' h x 6' w
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			173	2' h x 6' w
	Rosa x 'Noaschnee' / Flower Carpet White Groundcover Rose	2 gal			80	3' H X 3' W

LANDSCAPE MATERIALS LEGEND:

- LAWN- SEED PER NOTE 6/L100
- LANDSCAPE MULCH PER NOTE 5/L100
- DECOMPOSED GRANITE SURFACING
- 6' CLOSED VISION FENCE
- 6' OPEN VISION FENCE
- SANDSTONE BOULDERS
BOULDERS ARE GRAPHIC REPRESENTATION ONLY. NO QUANTITY OR SIZE PROVIDED, AND THESE PLANS SHALL NOT BE HELD TO INSTALLING BOULDERS IF THEY BECOME COST PROHIBITIVE

NOTE: ALL PARKWAY LANDSCAPING INCLUDING TREES, LAWNS, IRRIGATION, AND CONCRETE APRONS ARE RESPONSIBILITY OF EACH LOTS BUILDER, NOT THE DEVELOPER



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PALOMA RIDGE
 KUNA, ID

REVISIONS

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JOB NO: 20-1735
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 CHECKED BY: WH

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LANDSCAPE PLAN - AREA 1
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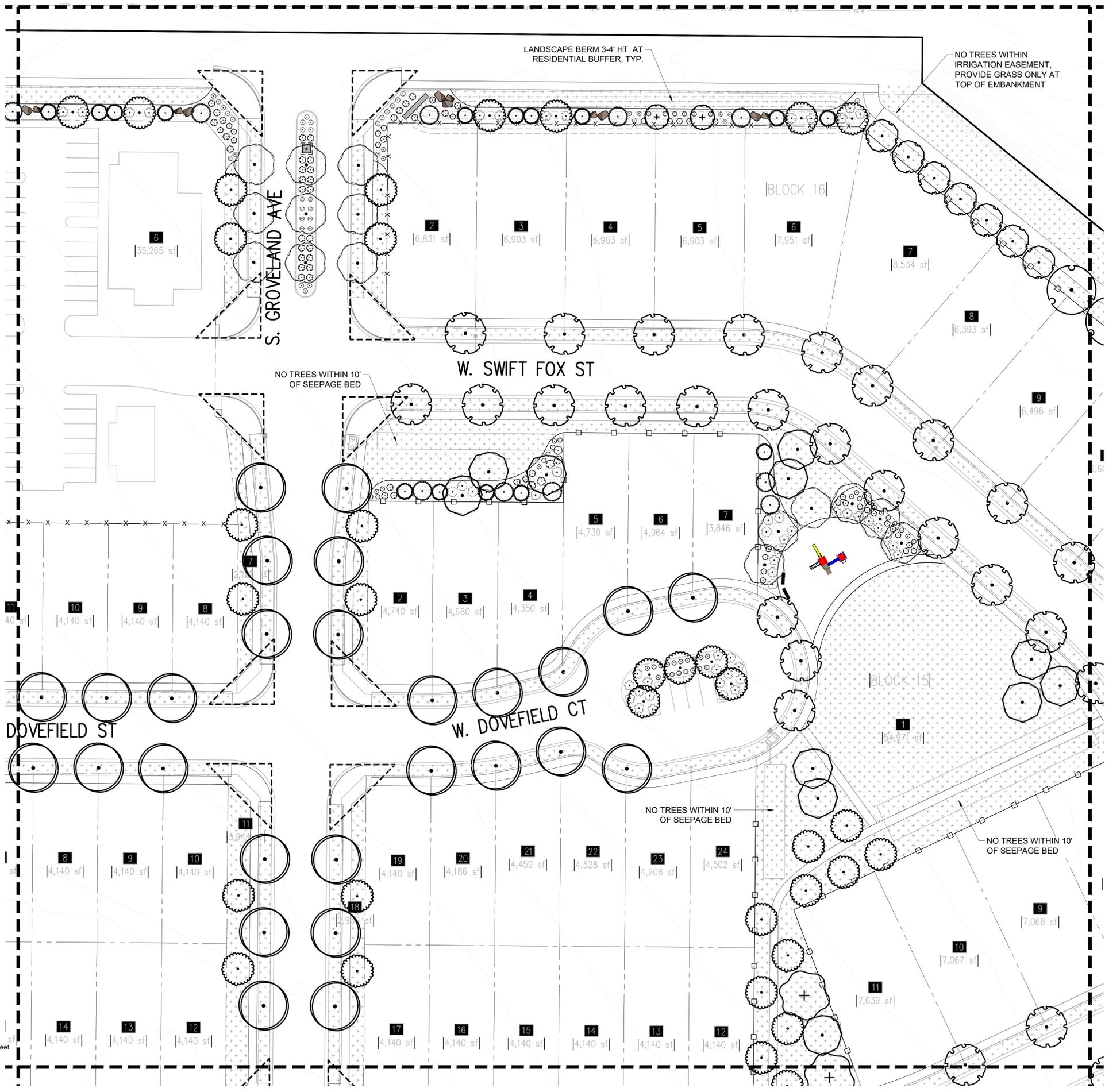
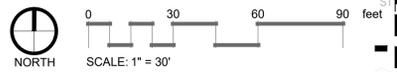
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	Prunus virginiana 'Canada Red' / Canada Red Cherry	B & B	2"		244	25' h x 20' w Class II
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 STATE OF IDAHO
 WILLET C HOWARD
 LA-16733
 09.08.20
 LICENSED LANDSCAPE ARCHITECT

NOT FOR CONSTRUCTION

PALOMA RIDGE
 KUINA, ID

REVISIONS

MRK	DATE	Description
△	**	**

JOB NO: 20-1735
 DATE: 09.08.2020
 DRAWN BY: DWIEV
 CHECKED BY: WH

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LANDSCAPE PLAN - AREA 2

SHEET NUMBER
L1.02

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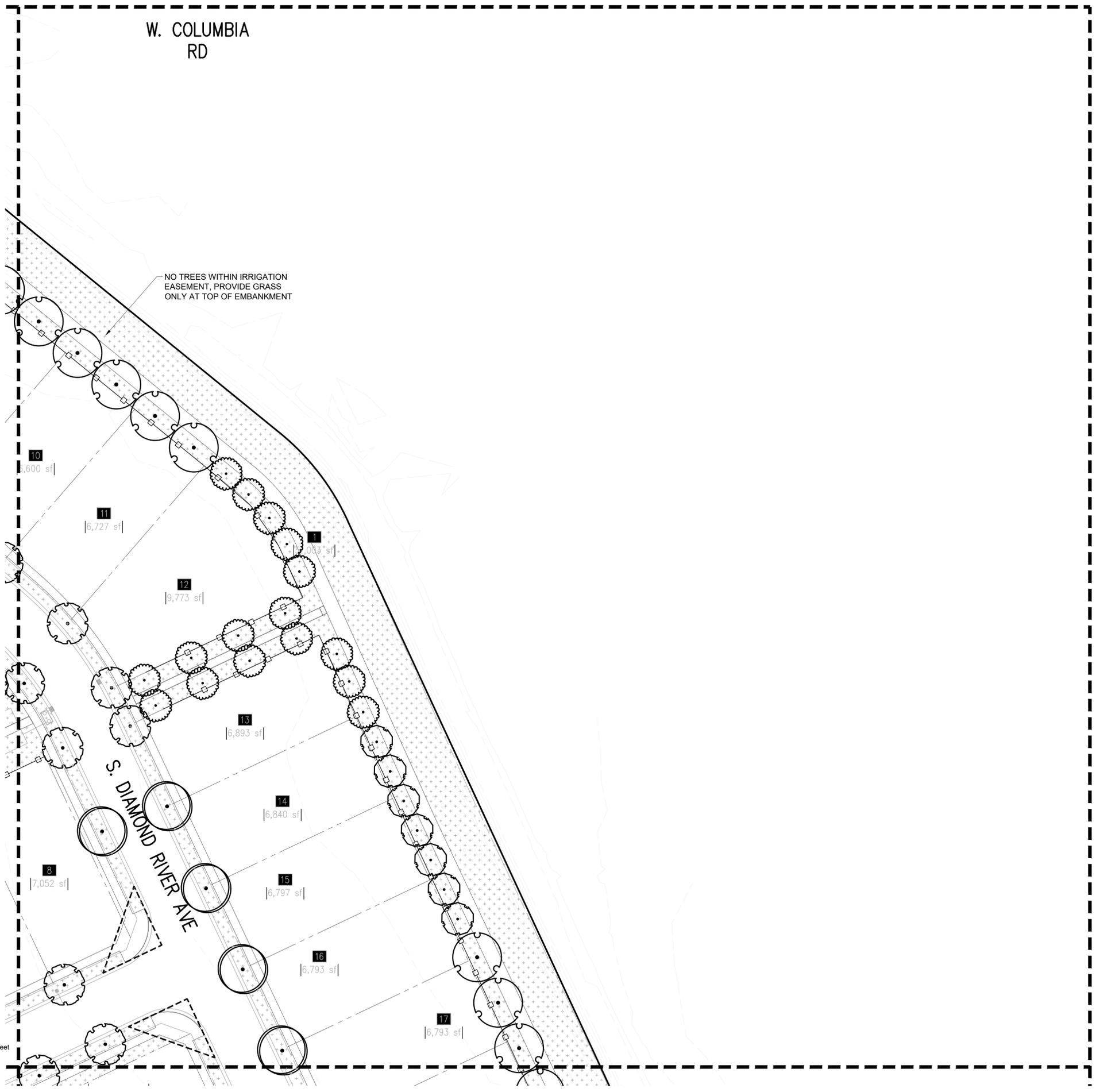
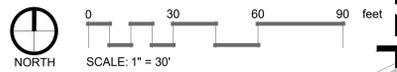
STACK ROCK GROUP - CITY REVIEW SET

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	Cornus sericea 'Ivory Halo' / Variegated Redtwig Dogwood	2 gal			72	4-6' H x 4-6' W
	Genista pilosa 'Gold Flash' / Pilosa Broom	2 gal			132	12'h x 3'w
	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass	1 gal			18	3'h x 3'w
	Juniperus squamata 'Blue Star' / Blue Star Juniper	2 gal			44	30'h x 4'w
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	2 gal			160	3'h x 3'w
	Pennisetum alopecuroides 'Red Head' / Red Head Fountain Grass	1 gal			14	3'h x 3'w
	Perovskia atriplicifolia 'Blue Spires' / Russian Sage	2 gal			200	4'h x 4'w
	Pinus strobus 'Blue Shag' / Blue Shag White Pine	5 gal			89	3'h x 3'w
	Prunus laurocerasus 'Otto Luyken' / Otto Luykens English Laurel	2 gal			62	3'h x 6'w
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			173	2'h x 6'w
	Rosa x 'Noaschnee' / Flower Carpet White Groundcover Rose	2 gal			80	3'H X 3'W

LANDSCAPE MATERIALS LEGEND:

- LAWN- SEED PER NOTE 6/L100
- LANDSCAPE MULCH PER NOTE 5/L100
- DECOMPOSED GRANITE SURFACING
- 6' CLOSED VISION FENCE
- 6' OPEN VISION FENCE
- SANDSTONE BOULDERS
BOULDERS ARE GRAPHIC REPRESENTATION ONLY. NO QUANTITY OR SIZE PROVIDED, AND THESE PLANS SHALL NOT BE HELD TO INSTALLING BOULDERS IF THEY BECOME COST PROHIBITIVE

NOTE: ALL PARKWAY LANDSCAPING INCLUDING TREES, LAWNS, IRRIGATION, AND CONCRETE APRONS ARE RESPONSIBILITY OF EACH LOTS BUILDER, NOT THE DEVELOPER

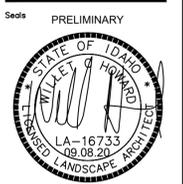


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PALOMA RIDGE

KUINA, ID

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MRK	DATE	Description
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JOB NO: 20-1735
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LANDSCAPE PLAN - AREA 3

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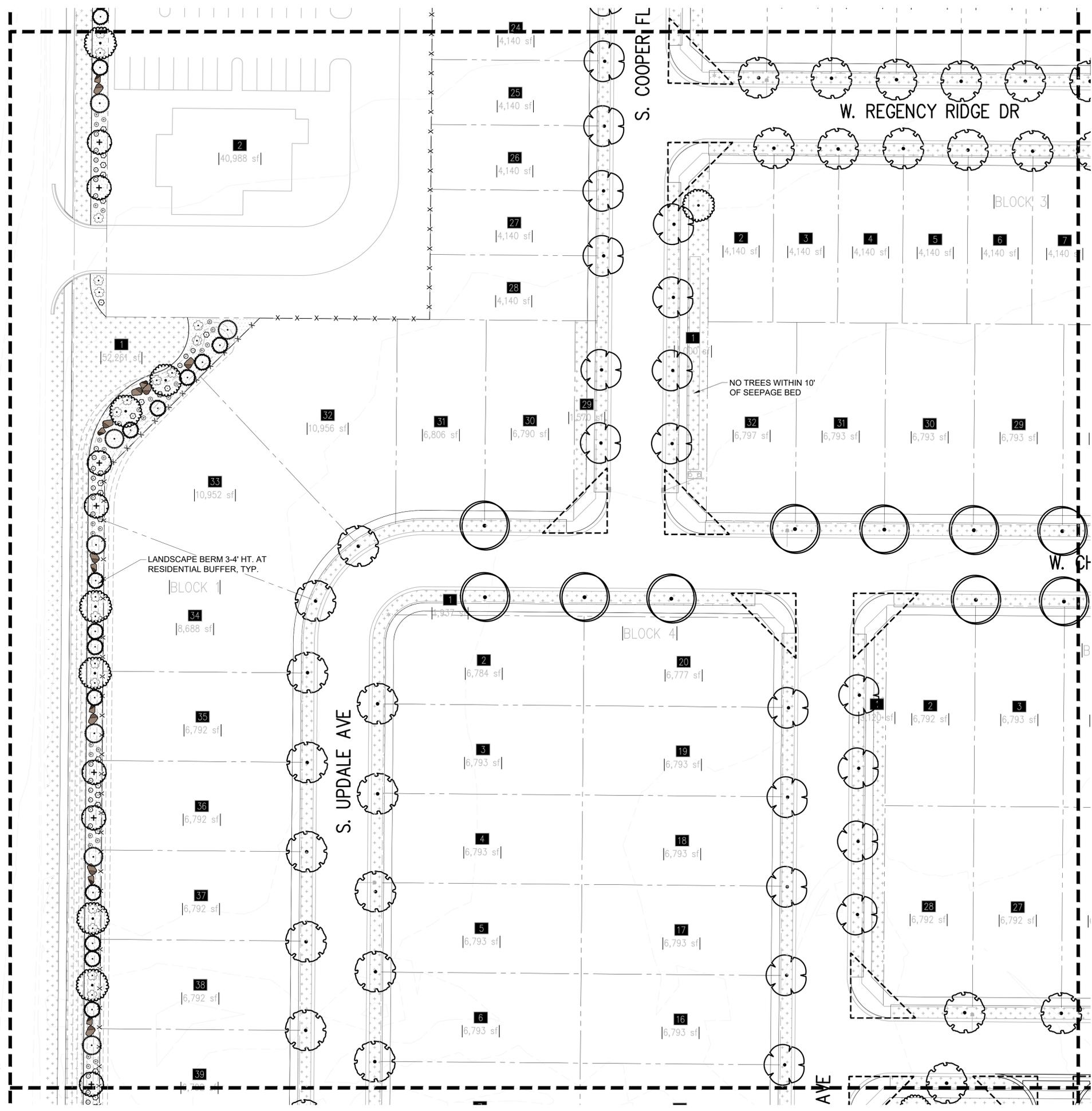
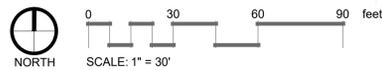
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PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Columnar Broad' / Parkway Maple	B & B	2"		78	45' h x 25' w Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		139	35' h x 25' w
	Carpinus betulus 'Franz Fontaine' / Franz Fontaine Hornbeam	B&B	2"		60	35' h x 15' w Class II
	Cercis canadensis / Eastern Redbud	25 gal			48	30' h x 25' w
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B & B	2"		44	40' h x 20' w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		38	50' h x 30' w Class II
	Liquidambar styraciflua 'Worplesdon' / Worplesdon Sweet Gum	B & B	2"		196	40' h x 25' w Class II
	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7' H	111	30' h x 10' w
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7' H	63	25' h x 12' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B & B	2"		244	25' h x 20' w Class II
	Tilia americana 'Redmond' / Redmond American Linden	B & B	2"		163	50' h x 30' w Class II
	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	B&B	2"		76	50' h x 35' w
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			228	5' h x 3' w
	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub	2 gal			15	3' h x 3' w
	Cornus sericea 'Ivory Halo' / Variegated Redtwig Dogwood	2 gal			72	4-6' H x 4-6' W
	Genista pilosa 'Gold Flash' / Pilosa Broom	2 gal			132	12' h x 3' w
	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass	1 gal			18	3' h x 3' w
	Juniperus squamata 'Blue Star' / Blue Star Juniper	2 gal			44	30' h x 4' w
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	2 gal			160	3' h x 3' w
	Pennisetum alopecuroides 'Red Head' / Red Head Fountain Grass	1 gal			14	3' h x 3' w
	Perovskia atriplicifolia 'Blue Spires' / Russian Sage	2 gal			200	4' h x 4' w
	Pinus strobus 'Blue Shag' / Blue Shag White Pine	5 gal			89	3' h x 3' w
	Prunus laurocerasus 'Otto Luyken' / Otto Luykens English Laurel	2 gal			62	3' h x 6' w
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			173	2' h x 6' w
	Rosa x 'Noaxschnee' / Flower Carpet White Groundcover Rose	2 gal			80	3' H X 3' W

LANDSCAPE MATERIALS LEGEND:

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Paloma Ridge
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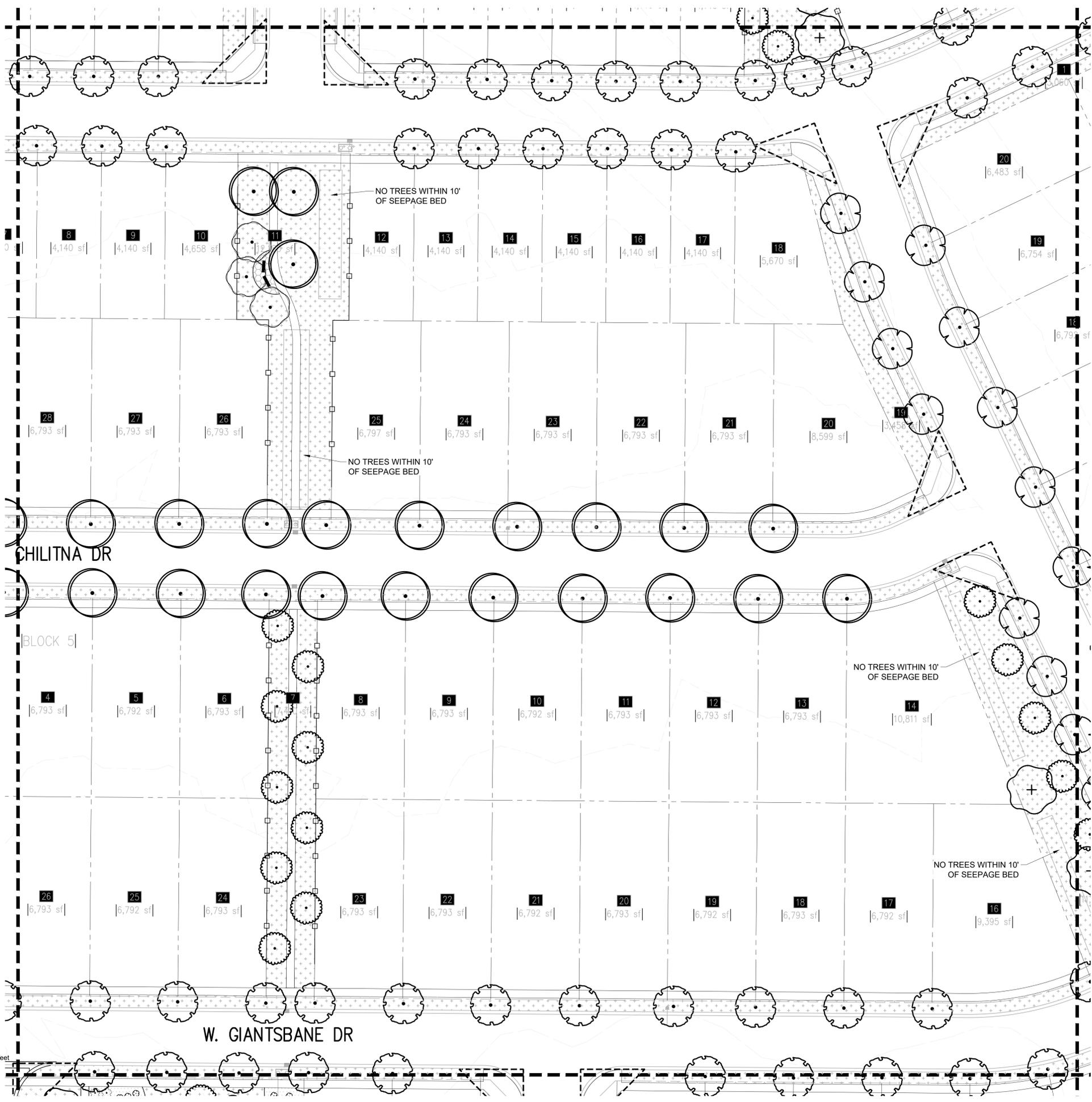
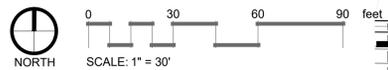
PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Columnar Broad' / Parkway Maple	B & B	2"		78	45'h x 25'w Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		139	35'h x 25'w
	Carpinus betulus 'Franz Fontaine' / Franz Fontaine Hornbeam	B&B	2"		60	35'h x 15'w Class II
	Cercis canadensis / Eastern Redbud	25 gal			48	30'h x 25'w
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B & B	2"		44	40'h x 20'w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		38	50'h x 30'w Class II
	Liquidambar styraciflua 'Worplesdon' / Worplesdon Sweet Gum	B & B	2"		196	40'h x 25'w Class II
	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7' H	111	30'h x 10'w
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7' H	63	25'h x 12'w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B & B	2"		244	25'h x 20'w Class II
	Tilia americana 'Redmond' / Redmond American Linden	B & B	2"		163	50'h x 30'w Class II
	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	B&B	2"		76	50'h x 35'w
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			228	5'h x 3'w
	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub	2 gal			15	3'h x 3'w
	Cornus sericea 'Ivory Halo' / Variegated Redtwig Dogwood	2 gal			72	4-6' H x 4-6' W
	Genista pilosa 'Gold Flash' / Pilosa Broom	2 gal			132	12'h x 3'w
	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass	1 gal			18	3'h x 3'w
	Juniperus squamata 'Blue Star' / Blue Star Juniper	2 gal			44	30'h x 4'w
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	2 gal			160	3'h x 3'w
	Pennisetum alopecuroides 'Red Head' / Red Head Fountain Grass	1 gal			14	3'h x 3'w
	Perovskia atriplicifolia 'Blue Spires' / Russian Sage	2 gal			200	4'h x 4'w
	Pinus strobus 'Blue Shag' / Blue Shag White Pine	5 gal			89	3'h x 3'w
	Prunus laurocerasus 'Otto Luyken' / Otto Luykens English Laurel	2 gal			62	3'h x 6'w
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			173	2'h x 6'w
	Rosa x 'Noaxschnee' / Flower Carpet White Groundcover Rose	2 gal			80	3'H X 3'W

LANDSCAPE MATERIALS LEGEND:

- LAWN- SEED PER NOTE 6/L100
- LANDSCAPE MULCH PER NOTE 5/L100
- DECOMPOSED GRANITE SURFACING
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PALOMA RIDGE
 KUNA, ID

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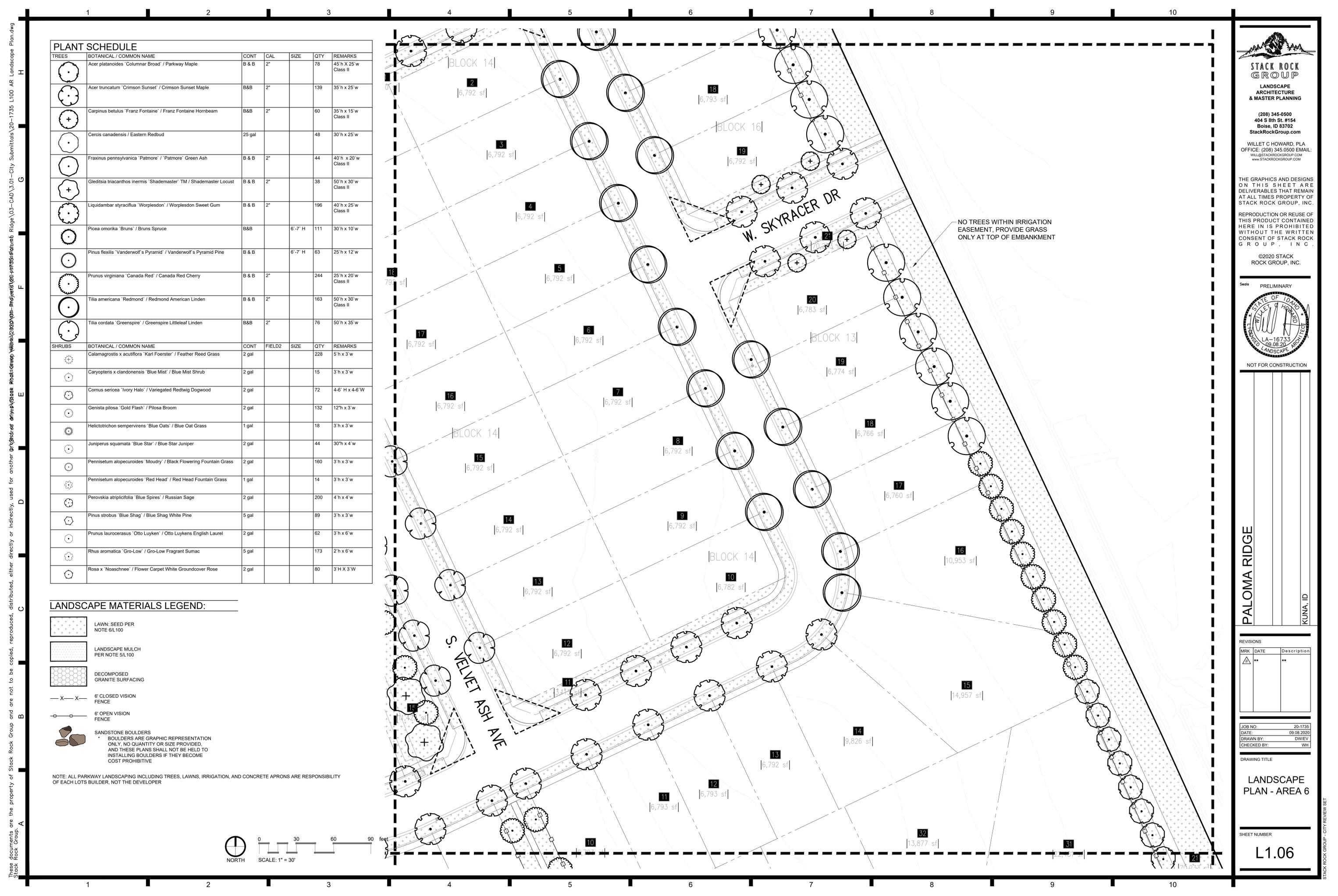
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DRAWING TITLE
LANDSCAPE PLAN - AREA 5
 SHEET NUMBER
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PLANT SCHEDULE

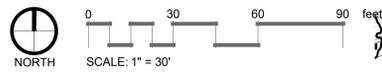
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
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	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		139	35'h x 25'w
	Carpinus betulus 'Franz Fontaine' / Franz Fontaine Hornbeam	B&B	2"		60	35'h x 15'w Class II
	Cercis canadensis / Eastern Redbud	25 gal			48	30'h x 25'w
	Fraxinus pennsylvanica 'Patmore' / Patmore Green Ash	B & B	2"		44	40'h x 20'w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		38	50'h x 30'w Class II
	Liquidambar styraciflua 'Worplesdon' / Worplesdon Sweet Gum	B & B	2"		196	40'h x 25'w Class II
	Picea omorika 'Bruns' / Bruns Spruce	B&B	6'-7' H		111	30'h x 10'w
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B	6'-7' H		63	25'h x 12'w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B & B	2"		244	25'h x 20'w Class II
	Tilia americana 'Redmond' / Redmond American Linden	B & B	2"		163	50'h x 30'w Class II
	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	B&B	2"		76	50'h x 35'w

SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			228	5'h x 3'w
	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub	2 gal			15	3'h x 3'w
	Cornus sericea 'Ivory Halo' / Variegated Redtwig Dogwood	2 gal			72	4-6' H x 4-6' W
	Genista pilosa 'Gold Flash' / Pilosa Broom	2 gal			132	12'h x 3'w
	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass	1 gal			18	3'h x 3'w
	Juniperus squamata 'Blue Star' / Blue Star Juniper	2 gal			44	30'h x 4'w
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	2 gal			160	3'h x 3'w
	Pennisetum alopecuroides 'Red Head' / Red Head Fountain Grass	1 gal			14	3'h x 3'w
	Perovskia atriplicifolia 'Blue Spires' / Russian Sage	2 gal			200	4'h x 4'w
	Pinus strobus 'Blue Shag' / Blue Shag White Pine	5 gal			89	3'h x 3'w
	Prunus laurocerasus 'Otto Luyken' / Otto Luykens English Laurel	2 gal			62	3'h x 6'w
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			173	2'h x 6'w
	Rosa x 'Noaschnee' / Flower Carpet White Groundcover Rose	2 gal			80	3'H X 3'W

LANDSCAPE MATERIALS LEGEND:

- LAWN- SEED PER NOTE 6/L100
- LANDSCAPE MULCH PER NOTE 5/L100
- DECOMPOSED GRANITE SURFACING
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LANDSCAPE PLAN - AREA 6

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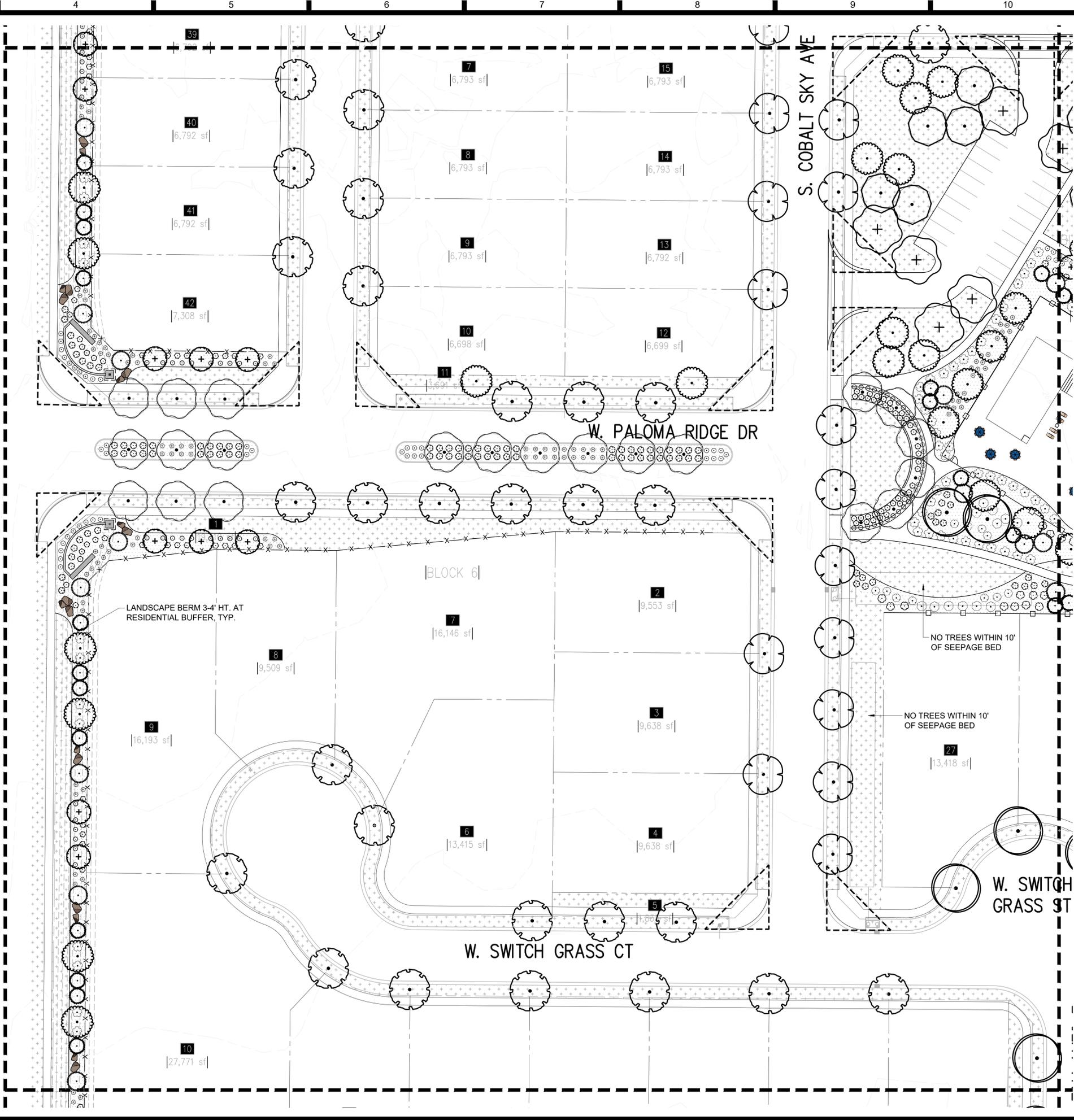
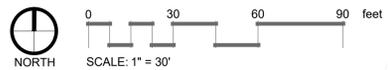
STACK ROCK GROUP - CITY REVIEW SET

PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Columnar Broad' / Parkway Maple	B & B	2"		78	45' h x 25' w Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		139	35' h x 25' w
	Carpinus betulus 'Franz Fontaine' / Franz Fontaine Hornbeam	B&B	2"		60	35' h x 15' w Class II
	Cercis canadensis / Eastern Redbud	25 gal			48	30' h x 25' w
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B & B	2"		44	40' h x 20' w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		38	50' h x 30' w Class II
	Liquidambar styraciflua 'Worplesdon' / Worplesdon Sweet Gum	B & B	2"		196	40' h x 25' w Class II
	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7' H	111	30' h x 10' w
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7' H	63	25' h x 12' w
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	Pennisetum alopecuroides 'Red Head' / Red Head Fountain Grass	1 gal			14	3' h x 3' w
	Perovskia atropurpurea 'Blue Spires' / Russian Sage	2 gal			200	4' h x 4' w
	Pinus strobus 'Blue Shag' / Blue Shag White Pine	5 gal			89	3' h x 3' w
	Prunus laurocerasus 'Otto Luyken' / Otto Luykens English Laurel	2 gal			62	3' h x 6' w
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			173	2' h x 6' w
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LANDSCAPE MATERIALS LEGEND:

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LANDSCAPE PLAN - AREA 7

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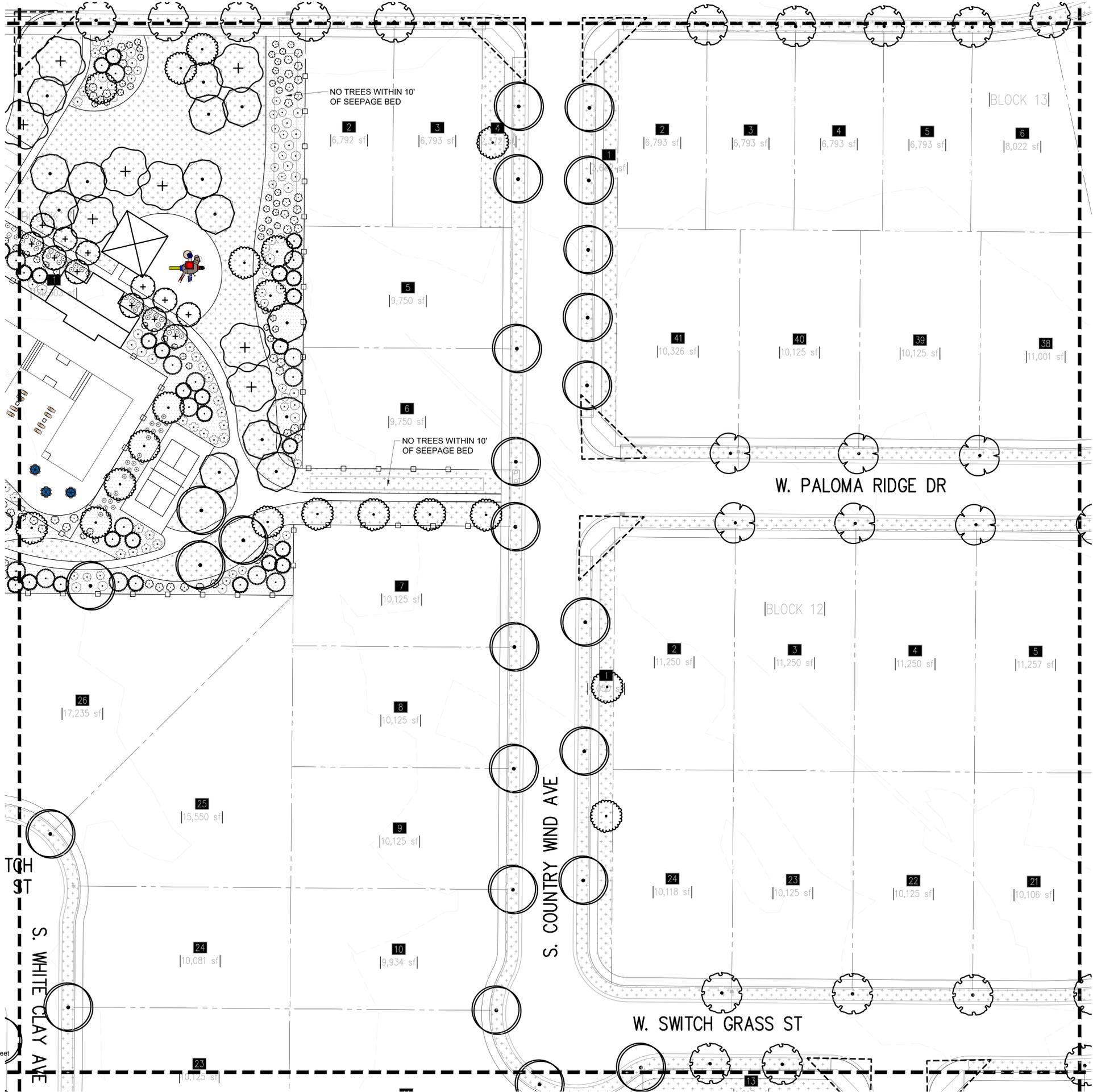
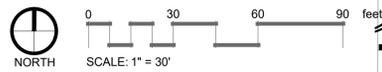
STACK ROCK GROUP - CITY REVIEW SET

PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Columnar Broad' / Parkway Maple	B & B	2"		78	45' h x 25' w Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		139	35' h x 25' w
	Carpinus betulus 'Franz Fontaine' / Franz Fontaine Hornbeam	B&B	2"		60	35' h x 15' w Class II
	Cercis canadensis / Eastern Redbud	25 gal			48	30' h x 25' w
	Fraxinus pennsylvanica 'Patmore' / Patmore Green Ash	B & B	2"		44	40' h x 20' w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		38	50' h x 30' w Class II
	Liquidambar styraciflua 'Worplesdon' / Worplesdon Sweet Gum	B & B	2"		196	40' h x 25' w Class II
	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7' H	111	30' h x 10' w
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7' H	63	25' h x 12' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B & B	2"		244	25' h x 20' w Class II
	Tilia americana 'Redmond' / Redmond American Linden	B & B	2"		163	50' h x 30' w Class II
	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	B&B	2"		76	50' h x 35' w
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			228	5' h x 3' w
	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub	2 gal			15	3' h x 3' w
	Cornus sericea 'Ivory Halo' / Variegated Redtwig Dogwood	2 gal			72	4-6' H x 4-6' W
	Genista pilosa 'Gold Flash' / Pilosa Broom	2 gal			132	12' h x 3' w
	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass	1 gal			18	3' h x 3' w
	Juniperus squamata 'Blue Star' / Blue Star Juniper	2 gal			44	30' h x 4' w
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	2 gal			160	3' h x 3' w
	Pennisetum alopecuroides 'Red Head' / Red Head Fountain Grass	1 gal			14	3' h x 3' w
	Perovskia atriplicifolia 'Blue Spires' / Russian Sage	2 gal			200	4' h x 4' w
	Pinus strobus 'Blue Shag' / Blue Shag White Pine	5 gal			89	3' h x 3' w
	Prunus laurocerasus 'Otto Luyken' / Otto Luykens English Laurel	2 gal			62	3' h x 6' w
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			173	2' h x 6' w
	Rosa x 'Noaschnee' / Flower Carpet White Groundcover Rose	2 gal			80	3' H X 3' W

LANDSCAPE MATERIALS LEGEND:

- LAWN- SEED PER NOTE 6/L100
- LANDSCAPE MULCH PER NOTE 5/L100
- DECOMPOSED GRANITE SURFACING
- 6' CLOSED VISION FENCE
- 6' OPEN VISION FENCE
- SANDSTONE BOULDERS
BOULDERS ARE GRAPHIC REPRESENTATION ONLY. NO QUANTITY OR SIZE PROVIDED, AND THESE PLANS SHALL NOT BE HELD TO INSTALLING BOULDERS IF THEY BECOME COST PROHIBITIVE

NOTE: ALL PARKWAY LANDSCAPING INCLUDING TREES, LAWNS, IRRIGATION, AND CONCRETE APRONS ARE RESPONSIBILITY OF EACH LOTS BUILDER, NOT THE DEVELOPER



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 KUINA, ID

REVISIONS		
MRK	DATE	Description
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JOB NO: 20-1735
 DATE: 09.08.2020
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 CHECKED BY: WH

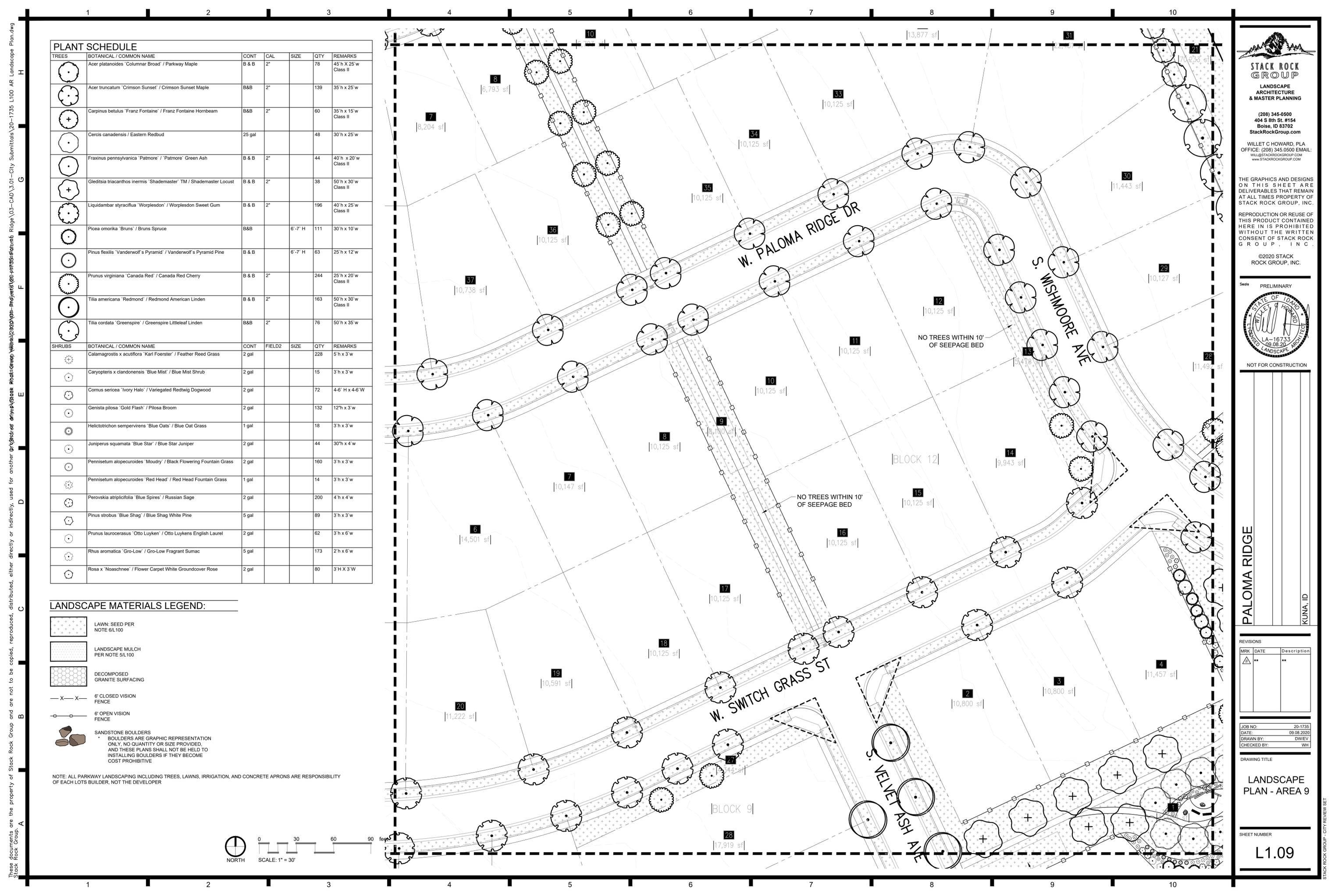
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LANDSCAPE PLAN - AREA 8

SHEET NUMBER
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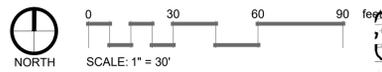
PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Columnar Broad' / Parkway Maple	B & B	2"		78	45' h x 25' w Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		139	35' h x 25' w
	Carpinus betulus 'Franz Fontaine' / Franz Fontaine Hornbeam	B&B	2"		60	35' h x 15' w Class II
	Cercis canadensis / Eastern Redbud	25 gal			48	30' h x 25' w
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B & B	2"		44	40' h x 20' w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		38	50' h x 30' w Class II
	Liquidambar styraciflua 'Worplesdon' / Worplesdon Sweet Gum	B & B	2"		196	40' h x 25' w Class II
	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7' H	111	30' h x 10' w
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7' H	63	25' h x 12' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B & B	2"		244	25' h x 20' w Class II
	Tilia americana 'Redmond' / Redmond American Linden	B & B	2"		163	50' h x 30' w Class II
	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	B&B	2"		76	50' h x 35' w
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			228	5' h x 3' w
	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub	2 gal			15	3' h x 3' w
	Cornus sericea 'Ivory Halo' / Variegated Redtwig Dogwood	2 gal			72	4-6' H x 4-6' W
	Genista pilosa 'Gold Flash' / Pilosa Broom	2 gal			132	12' h x 3' w
	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass	1 gal			18	3' h x 3' w
	Juniperus squamata 'Blue Star' / Blue Star Juniper	2 gal			44	30' h x 4' w
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	2 gal			160	3' h x 3' w
	Pennisetum alopecuroides 'Red Head' / Red Head Fountain Grass	1 gal			14	3' h x 3' w
	Perovskia atriplicifolia 'Blue Spires' / Russian Sage	2 gal			200	4' h x 4' w
	Pinus strobus 'Blue Shag' / Blue Shag White Pine	5 gal			89	3' h x 3' w
	Prunus laurocerasus 'Otto Luyken' / Otto Luykens English Laurel	2 gal			62	3' h x 6' w
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			173	2' h x 6' w
	Rosa x 'Noaxschnee' / Flower Carpet White Groundcover Rose	2 gal			80	3' H X 3' W

LANDSCAPE MATERIALS LEGEND:

- LAWN- SEED PER NOTE 6/L100
- LANDSCAPE MULCH PER NOTE 5/L100
- DECOMPOSED GRANITE SURFACING
- 6' CLOSED VISION FENCE
- 6' OPEN VISION FENCE
- SANDSTONE BOULDERS
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 WILLET C HOWARD
 LANDSCAPE ARCHITECT
 LA-16733
 08.08.20

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PALOMA RIDGE
 KUINA, ID

REVISIONS

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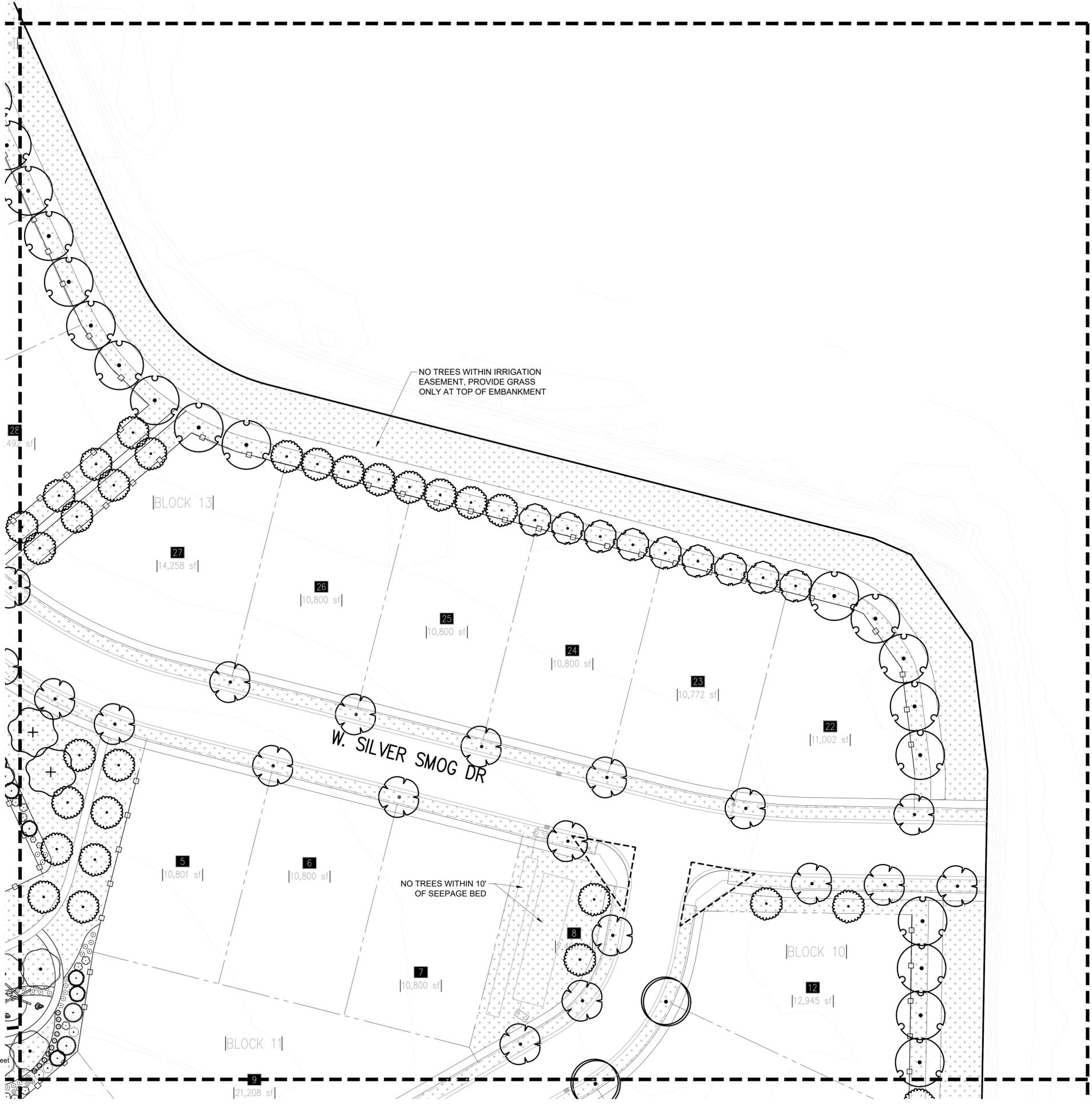
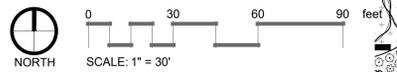
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LANDSCAPE PLAN - AREA 9
 SHEET NUMBER
L1.09

PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Columnar Broad' / Parkway Maple	B & B	2"		78	45' h x 25' w Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		139	35' h x 25' w
	Carpinus betulus 'Franz Fontaine' / Franz Fontaine Hornbeam	B&B	2"		60	35' h x 15' w Class II
	Cercis canadensis / Eastern Redbud	25 gal			48	30' h x 25' w
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B & B	2"		44	40' h x 20' w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		38	50' h x 30' w Class II
	Liquidambar styraciflua 'Worplesdon' / Worplesdon Sweet Gum	B & B	2"		196	40' h x 25' w Class II
	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7' H	111	30' h x 10' w
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7' H	63	25' h x 12' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B & B	2"		244	25' h x 20' w Class II
	Tilia americana 'Redmond' / Redmond American Linden	B & B	2"		163	50' h x 30' w Class II
	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	B&B	2"		76	50' h x 35' w
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			228	5' h x 3' w
	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub	2 gal			15	3' h x 3' w
	Cornus sericea 'Ivory Halo' / Variegated Redtwig Dogwood	2 gal			72	4-6' H x 4-6' W
	Genista pilosa 'Gold Flash' / Pilosa Broom	2 gal			132	12' h x 3' w
	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass	1 gal			18	3' h x 3' w
	Juniperus squamata 'Blue Star' / Blue Star Juniper	2 gal			44	30' h x 4' w
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	2 gal			160	3' h x 3' w
	Pennisetum alopecuroides 'Red Head' / Red Head Fountain Grass	1 gal			14	3' h x 3' w
	Perovskia atriplicifolia 'Blue Spires' / Russian Sage	2 gal			200	4' h x 4' w
	Pinus strobus 'Blue Shag' / Blue Shag White Pine	5 gal			89	3' h x 3' w
	Prunus laurocerasus 'Otto Luyken' / Otto Luykens English Laurel	2 gal			62	3' h x 6' w
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			173	2' h x 6' w
	Rosa x 'Noaschnee' / Flower Carpet White Groundcover Rose	2 gal			80	3' H X 3' W

LANDSCAPE MATERIALS LEGEND:

- LAWN: SEED PER NOTE 6/L100
- LANDSCAPE MULCH PER NOTE 5/L100
- DECOMPOSED GRANITE SURFACING
- 6' CLOSED VISION FENCE
- 6' OPEN VISION FENCE
- SANDSTONE BOULDERS
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 KUINA, ID

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LANDSCAPE PLAN - AREA 10

SHEET NUMBER
L1.10

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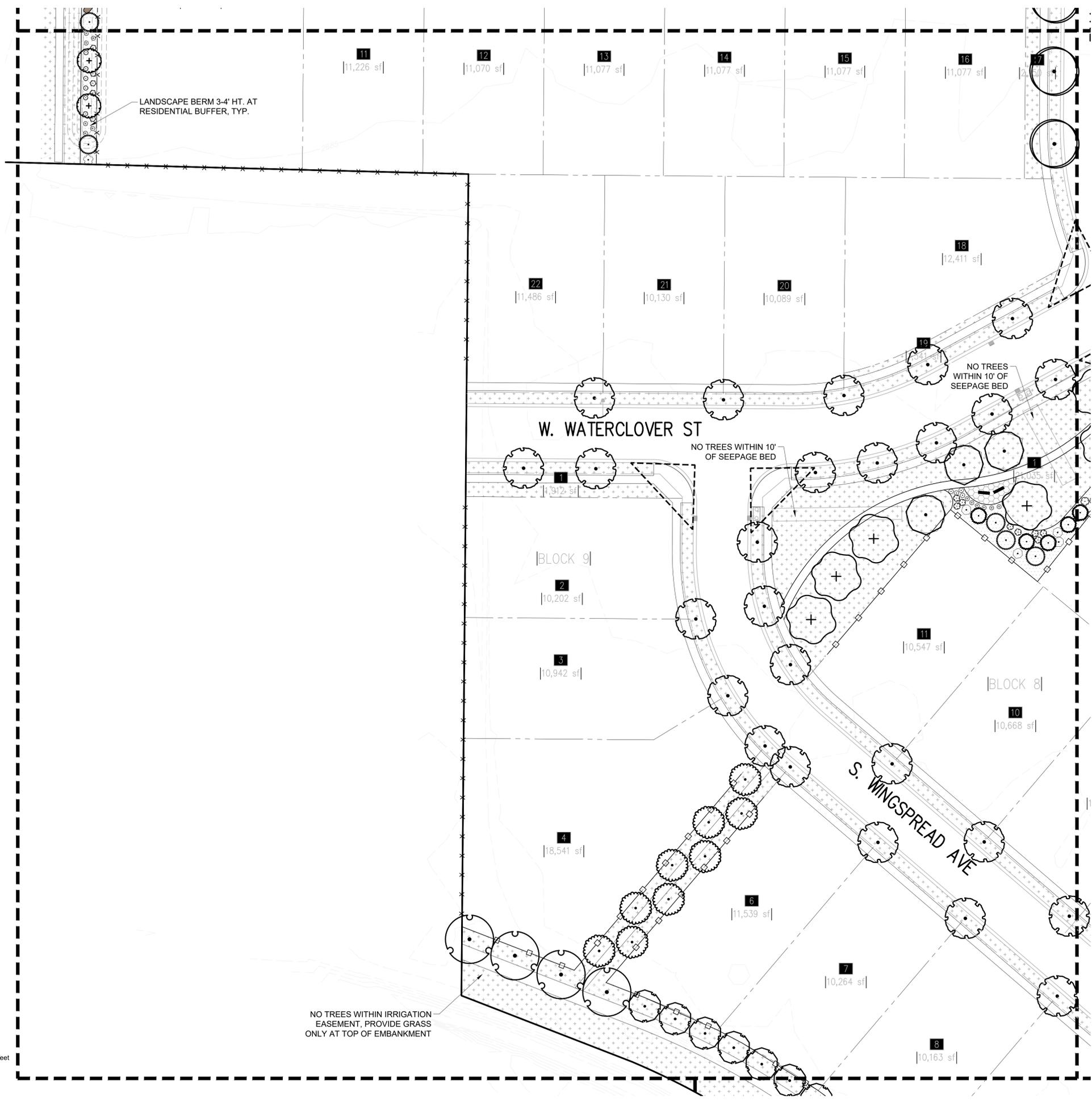
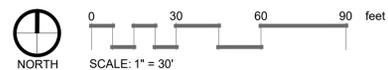
STACK ROCK GROUP - CITY REVIEW SET

PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Columnar Broad' / Parkway Maple	B & B	2"		78	45'h x 25'w Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		139	35'h x 25'w
	Carpinus betulus 'Franz Fontaine' / Franz Fontaine Hornbeam	B&B	2"		60	35'h x 15'w Class II
	Cercis canadensis / Eastern Redbud	25 gal			48	30'h x 25'w
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B & B	2"		44	40'h x 20'w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		38	50'h x 30'w Class II
	Liquidambar styraciflua 'Worplesdon' / Worplesdon Sweet Gum	B & B	2"		196	40'h x 25'w Class II
	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7' H	111	30'h x 10'w
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7' H	63	25'h x 12'w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B & B	2"		244	25'h x 20'w Class II
	Tilia americana 'Redmond' / Redmond American Linden	B & B	2"		163	50'h x 30'w Class II
	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	B&B	2"		76	50'h x 35'w
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			228	5'h x 3'w
	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub	2 gal			15	3'h x 3'w
	Cornus sericea 'Ivory Halo' / Variegated Redtwig Dogwood	2 gal			72	4-6' H x 4-6' W
	Genista pilosa 'Gold Flash' / Pilosa Broom	2 gal			132	12'h x 3'w
	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass	1 gal			18	3'h x 3'w
	Juniperus squamata 'Blue Star' / Blue Star Juniper	2 gal			44	30" h x 4' w
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	2 gal			160	3'h x 3'w
	Pennisetum alopecuroides 'Red Head' / Red Head Fountain Grass	1 gal			14	3'h x 3'w
	Perovskia atriplicifolia 'Blue Spires' / Russian Sage	2 gal			200	4'h x 4'w
	Pinus strobus 'Blue Shag' / Blue Shag White Pine	5 gal			89	3'h x 3'w
	Prunus laurocerasus 'Otto Luyken' / Otto Luykens English Laurel	2 gal			62	3'h x 6'w
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			173	2'h x 6'w
	Rosa x 'Noaschnee' / Flower Carpet White Groundcover Rose	2 gal			80	3'H X 3'W

LANDSCAPE MATERIALS LEGEND:

- LAWN- SEED PER NOTE 6/L100
- LANDSCAPE MULCH PER NOTE 5/L100
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LANDSCAPE PLAN - AREA 11

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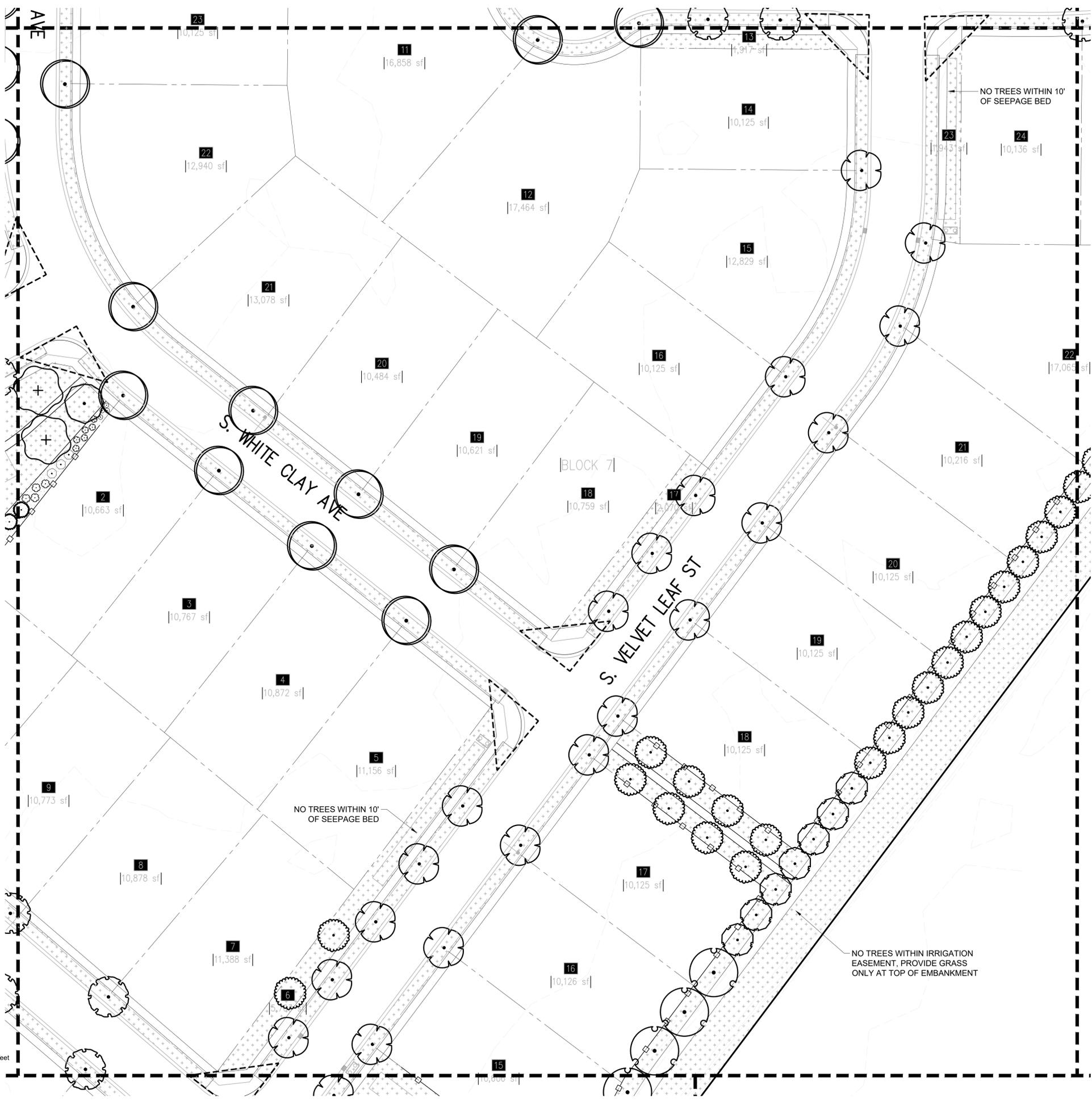
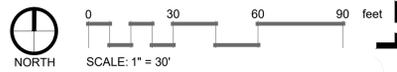
STACK ROCK GROUP - CITY REVIEW SET

PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Columnar Broad' / Parkway Maple	B & B	2"		78	45' h x 25' w Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		139	35' h x 25' w
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	Cercis canadensis / Eastern Redbud	25 gal			48	30' h x 25' w
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B & B	2"		44	40' h x 20' w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		38	50' h x 30' w Class II
	Liquidambar styraciflua 'Worplesdon' / Worplesdon Sweet Gum	B & B	2"		196	40' h x 25' w Class II
	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7' H	111	30' h x 10' w
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7' H	63	25' h x 12' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B & B	2"		244	25' h x 20' w Class II
	Tilia americana 'Redmond' / Redmond American Linden	B & B	2"		163	50' h x 30' w Class II
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	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass	1 gal			18	3' h x 3' w
	Juniperus squamata 'Blue Star' / Blue Star Juniper	2 gal			44	30' h x 4' w
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	2 gal			160	3' h x 3' w
	Pennisetum alopecuroides 'Red Head' / Red Head Fountain Grass	1 gal			14	3' h x 3' w
	Perovskia atriplicifolia 'Blue Spires' / Russian Sage	2 gal			200	4' h x 4' w
	Pinus strobus 'Blue Shag' / Blue Shag White Pine	5 gal			89	3' h x 3' w
	Prunus laurocerasus 'Otto Luyken' / Otto Luykens English Laurel	2 gal			62	3' h x 6' w
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			173	2' h x 6' w
	Rosa x 'Noaschnee' / Flower Carpet White Groundcover Rose	2 gal			80	3' H X 3' W

LANDSCAPE MATERIALS LEGEND:

- LAWN- SEED PER NOTE 6/L100
- LANDSCAPE MULCH PER NOTE 5/L100
- DECOMPOSED GRANITE SURFACING
- 6' CLOSED VISION FENCE
- 6' OPEN VISION FENCE
- SANDSTONE BOULDERS
BOULDERS ARE GRAPHIC REPRESENTATION ONLY. NO QUANTITY OR SIZE PROVIDED, AND THESE PLANS SHALL NOT BE HELD TO INSTALLING BOULDERS IF THEY BECOME COST PROHIBITIVE

NOTE: ALL PARKWAY LANDSCAPING INCLUDING TREES, LAWNS, IRRIGATION, AND CONCRETE APRONS ARE RESPONSIBILITY OF EACH LOTS BUILDER, NOT THE DEVELOPER



STACK ROCK GROUP
 LANDSCAPE ARCHITECTURE & MASTER PLANNING
 (208) 345-0500
 404 S 8th St, #154
 Boise, ID 83702
 StackRockGroup.com
 WILLET C HOWARD, PLA OFFICE: (208) 345.0500 EMAIL: WILLET@STACKROCKGROUP.COM WWW.STACKROCKGROUP.COM

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PALOMA RIDGE
 KUINA, ID

REVISIONS

MRK	DATE	Description
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JOB NO: 20-1735
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LANDSCAPE PLAN - AREA 12

SHEET NUMBER
L1.12

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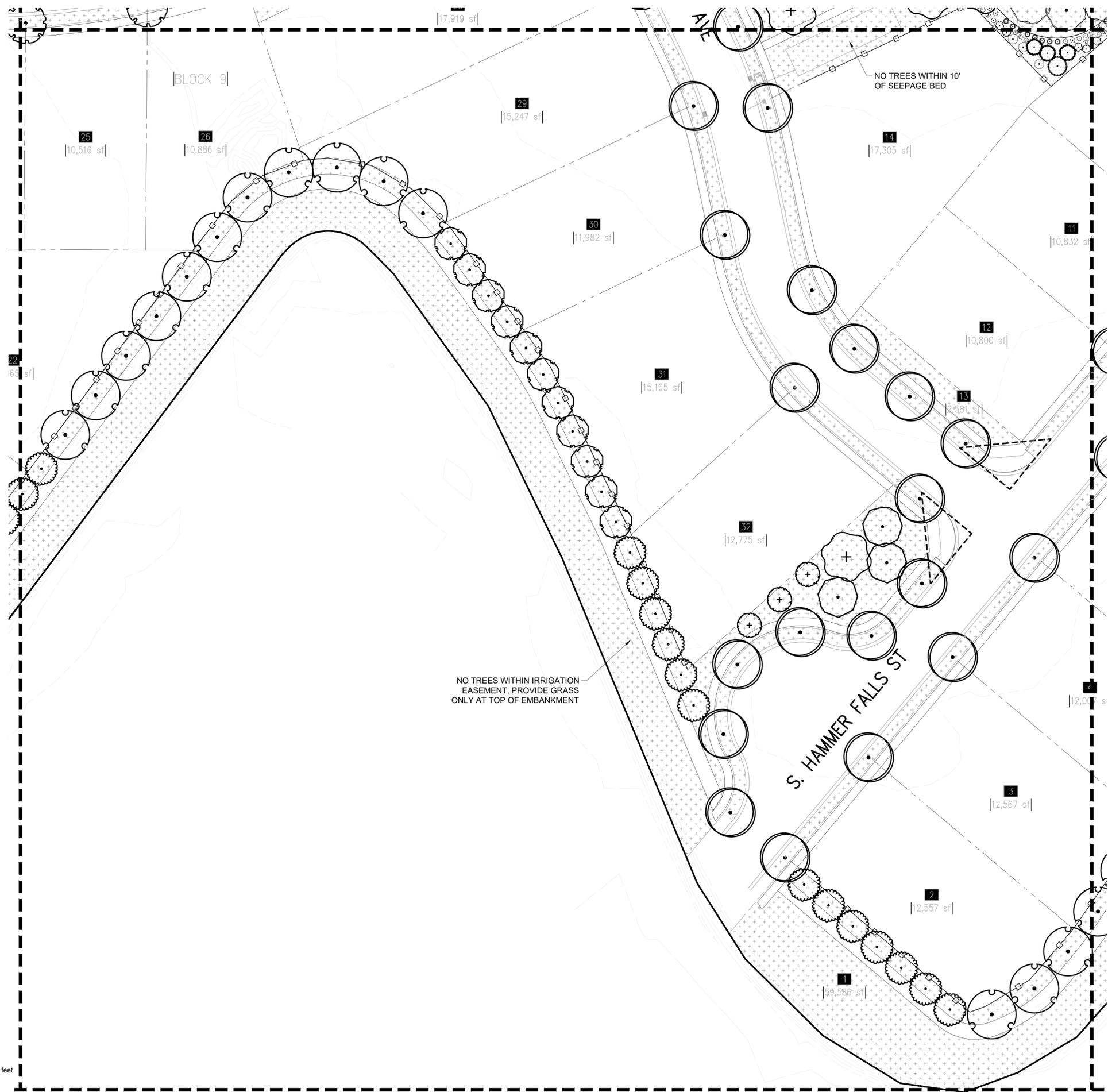
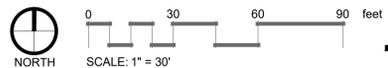
STACK ROCK GROUP - CITY REVIEW SET

PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Columnar Broad' / Parkway Maple	B & B	2"		78	45' h x 25' w Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		139	35' h x 25' w
	Carpinus betulus 'Franz Fontaine' / Franz Fontaine Hornbeam	B&B	2"		60	35' h x 15' w Class II
	Cercis canadensis / Eastern Redbud	25 gal			48	30' h x 25' w
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B & B	2"		44	40' h x 20' w Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		38	50' h x 30' w Class II
	Liquidambar styraciflua 'Worplesdon' / Worplesdon Sweet Gum	B & B	2"		196	40' h x 25' w Class II
	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7' H	111	30' h x 10' w
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7' H	63	25' h x 12' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B & B	2"		244	25' h x 20' w Class II
	Tilia americana 'Redmond' / Redmond American Linden	B & B	2"		163	50' h x 30' w Class II
	Tilia cordata 'Greenspire' / Greenspire Littleleaf Linden	B&B	2"		76	50' h x 35' w
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			228	5' h x 3' w
	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub	2 gal			15	3' h x 3' w
	Cornus sericea 'Ivory Halo' / Variegated Redtwig Dogwood	2 gal			72	4-6' H x 4-6' W
	Genista pilosa 'Gold Flash' / Pilosa Broom	2 gal			132	12' h x 3' w
	Helictotrichon sempervirens 'Blue Oats' / Blue Oat Grass	1 gal			18	3' h x 3' w
	Juniperus squamata 'Blue Star' / Blue Star Juniper	2 gal			44	30' h x 4' w
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	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			173	2' h x 6' w
	Rosa x 'Noaschnee' / Flower Carpet White Groundcover Rose	2 gal			80	3' H X 3' W

LANDSCAPE MATERIALS LEGEND:

- LAWN- SEED PER NOTE 6/L/100
- LANDSCAPE MULCH PER NOTE 5/L/100
- DECOMPOSED GRANITE SURFACING
- 6' CLOSED VISION FENCE
- 6' OPEN VISION FENCE
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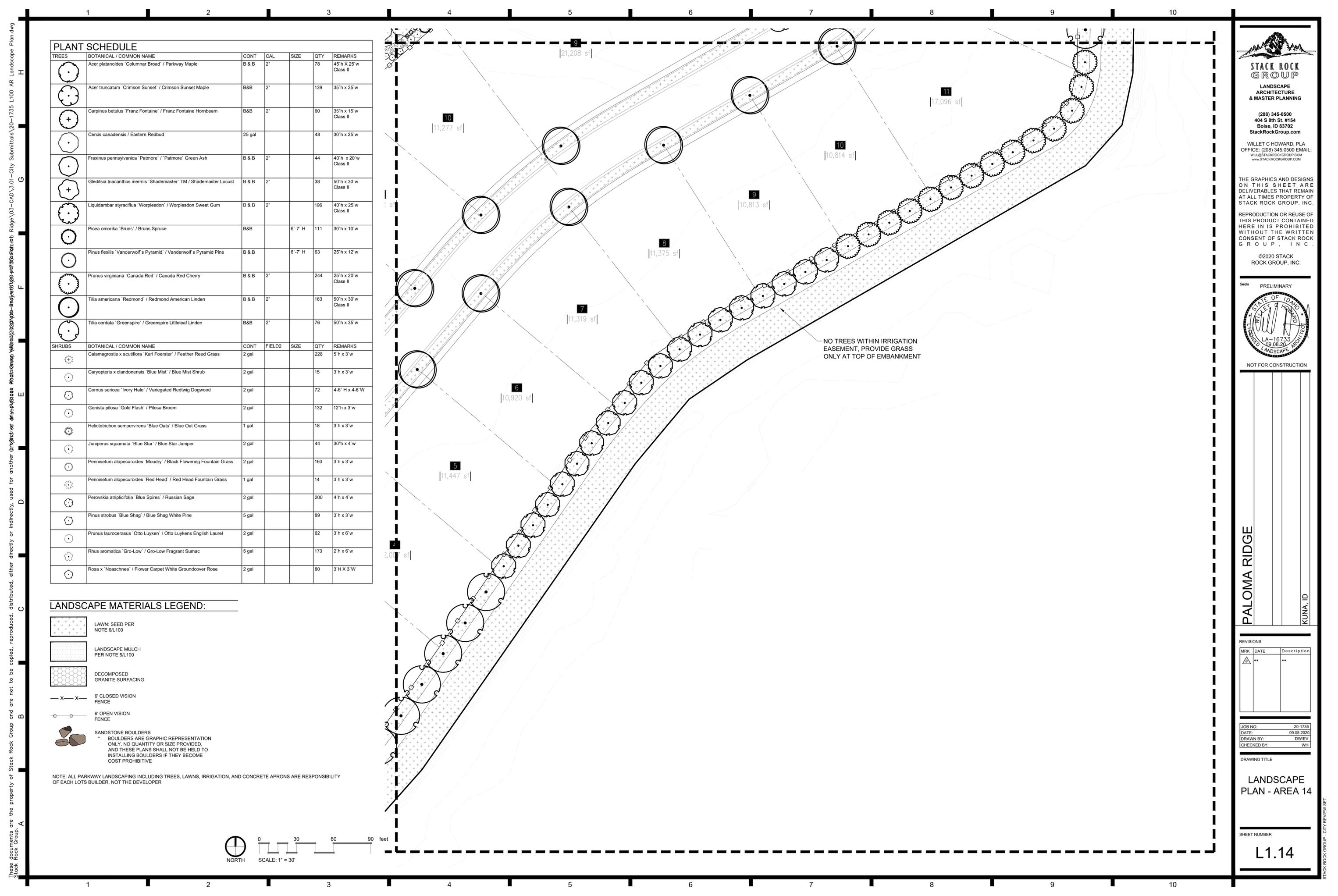
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LANDSCAPE PLAN - AREA 13
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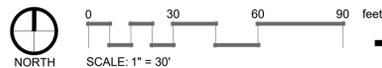
PLANT SCHEDULE

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JOB NO: 20-1735
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LANDSCAPE PLAN - AREA 14
 SHEET NUMBER
L1.14

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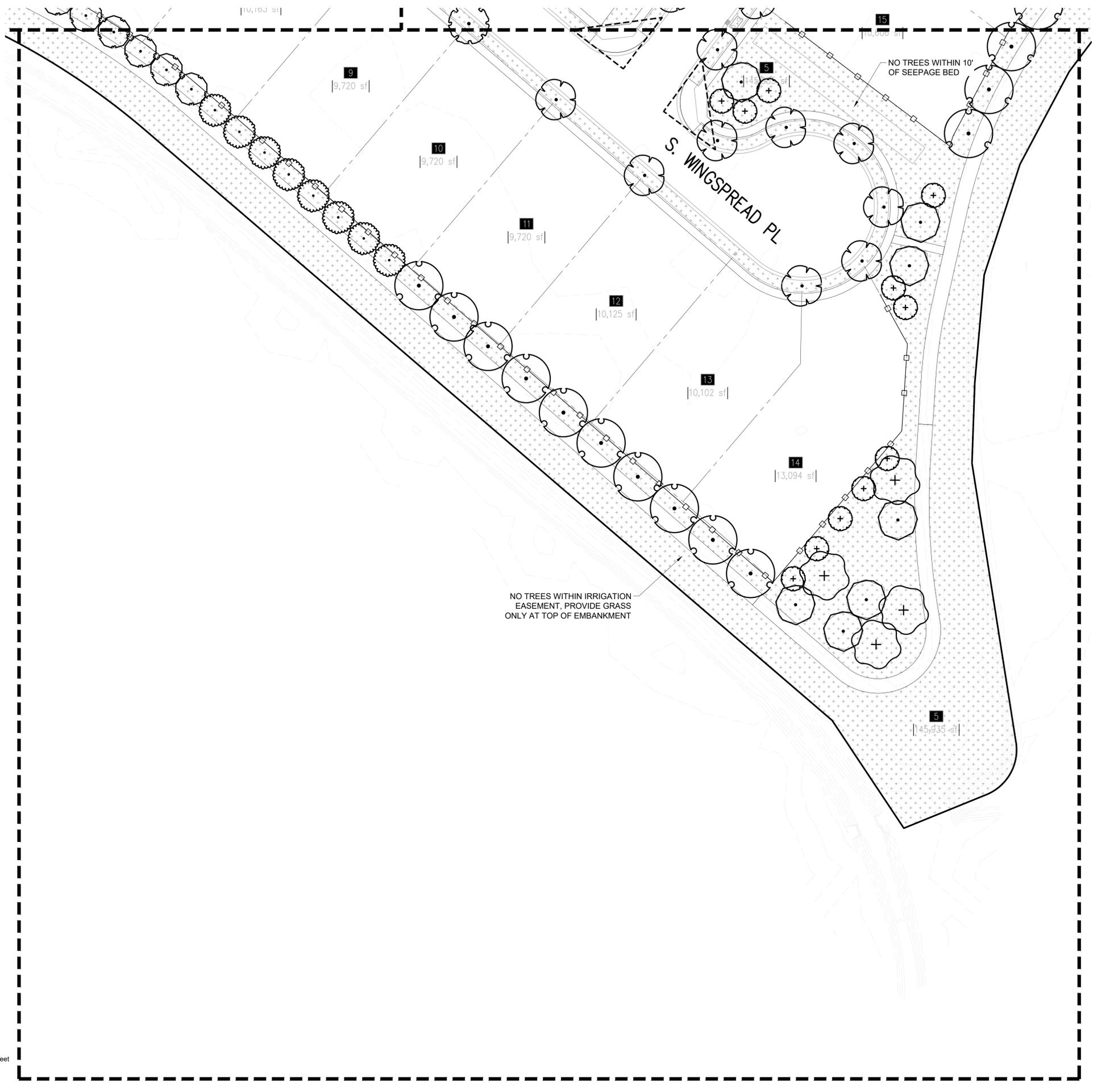
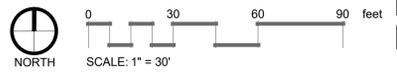
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LANDSCAPE MATERIALS LEGEND:

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PALOMA RIDGE
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LANDSCAPE PLAN - AREA 15

SHEET NUMBER
L1.15

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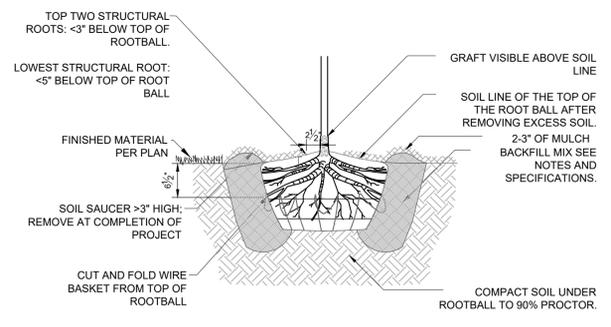


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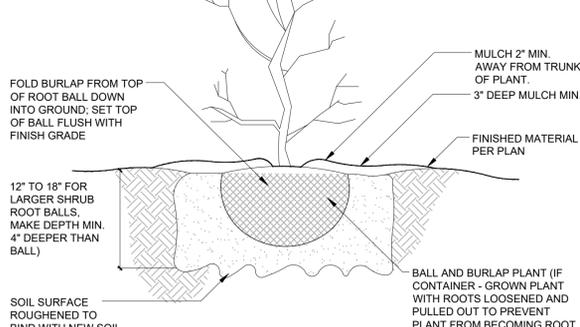
KUNA, ID

- NOTES:
- DO NOT DAMAGE OR CUT LEADER
 - DO NOT DISTURB ROOT OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES.
 - TREE STAKING SHALL BE AT THE DISCRETION OF CONTRACTOR. HOWEVER ANY TREES DISTURBED FROM PLUMB DURING THE PLANT WARRANTY PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
 - WATER PLANTS THOROUGHLY IMMEDIATELY AFTER INSTALLATION.
 - REMOVE ALL BURLAP, TWINE, ROPE, OR MATERIAL FROM THE TOP 1/4 OF THE ROOTBALL.
 - 4' DIAMETER PLANTER BED/MULCH RING AROUND THE TRUNK OF THE TREE. 3" OF MULCH MIN. DO NOT PLACE MULCH WITHIN 2" OF TRUNK OF TREE.



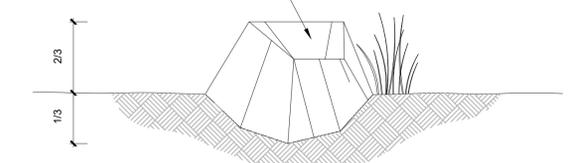
1 BALL AND BURLAP TREE PLANTING
3/4" = 1'-0" 329343.33-04

- NOTE: REMOVE ALL TAGS, TWINE OR OTHER NON BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS.
- BACKFILL SHALL BE 100% TOPSOIL. WATER SETTLE ALL PLANTINGS TO ENSURE PLANT ROOTBALL MAINTAINS 1/2" HEIGHT ABOVE EXISTING SOILS WHEN COMPLETE.



2 SHRUB PLANTING
1" = 1'-0" 329333.16-01

INSTALL BOULDERS WITH WEATHERED FACE EXPOSED AND A MINIMUM OF 1/3 OF STONE BELOW FINISH GRADE



3 LANDSCAPE BOULDER PLACEMENT (TYP)
1" = 1'-0" DETAIL-FILE

REVISIONS

MRK	DATE	Description
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JOB NO: 20-1735
DATE: 09.08.2020
DRAWN BY: DW/EV
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LANDSCAPE DETAILS

SHEET NUMBER
L1.50

STACK ROCK GROUP - CITY REVIEW SET



Neighborhood Meeting Certification

CITY OF KUNA PLANNING & ZONING * 763 W. Avalon, Kuna, Idaho, 83634 * www.kunacity.id.gov * (208) 922-5274 * Fax: (208) 922-5989

GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 5-1A-2 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.

Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.

Description of proposed project: Paloma Ridge Subdivision application for rezone and prel

Date and time of neighborhood meeting: July 21st and July 23rd

Location of neighborhood meeting: July 21st was via zoom and July 23rd was onsite

SITE INFORMATION:

Location: Quarter: _____ Section: 12 Township: 2N Range: 1W Total Acres: 113

Subdivision Name: N/A Lot: N/A Block: N/A

Site Address: 8430 S Linder Road Tax Parcel Number(s): S1312223000

Please make sure to include **all** parcels & addresses included in your proposed use.

CURRENT PROPERTY OWNER:

Name: Patterson Family Enterprises LLC

Address: 4051 Mountain Vista Lane City: Filler State: Idaho Zip: 83328-555

CONTACT PERSON (Mail recipient and person to call with questions):

Name: Sabrina Durtschi Business (if applicable): Toll Brothers

Address: 3103 W Sheryl Drive City: Meridian State: Idaho Zip: 83642

PROPOSED USE:

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

Application Type

Brief Description

Annexation

Re-zone

Subdivision (Sketch Plat and/or Prelim. Plat)

Special Use

Variance

Expansion of Extension of a Nonconforming Use

Zoning Ordinance Map Amendment

Rezone property to C1, R-8, R-6 and R-4

Preliminary Plat of 341 residential lots 5 commercial lots

APPLICANT:

Name: Toll Southwest LLC

Address: 3103 W Sheryl Drive

City: Meridian State: Idaho Zip: 83642

Telephone: 208-250-6161 Fax: _____

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 5-1A-2 of the Kuna City Code

Signature: (Applicant)  Date 9-11-20

NEIGHBORHOOD MEETING MINUTES

Meeting Date: July 21st Number of Attendees: 2

Meeting Location: Zoom Meeting

Description of Project Presented:

Via a zoom meeting, we conducted our neighborhood meeting with two neighbors that called in. Each call we went over the project overview and site plan.

Attendee's comments:

The 1st person who called was the property owner of the site, they wanted to know the timeline of the project.

The second caller was Jennifer Bender at 8940 S Linder Road, who called into to inform us that there is a landing strip located at 1286 W Wild Sheep Lane and recommended we contact the FAA.

I hereby certify that the above information is complete and correct to the best of my knowledge.

Sabrina Durtschi
Printed Name


Signature

9-11-20
Date

<p>Delbert Bishop 8855 S Linder Rd Meridian, ID 83642</p>	<p>Challenger Development Inc 1977 E Overland Rd Meridian, ID 83642</p>	<p>Church of Jesus Christ of Latter-Day Saints 50 E North Temple St. FL 22 Salt Lake City, UT 84150</p>
<p>Tina Jessee 716 13th ST Colusa, CA 95932</p>	<p>Gregg Kirby 8780 S Linder Rd Meridian, ID 83642</p>	<p>Steve & Cheryl Palmer 8735 S Linder Rd Meridian, ID 83642</p>
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<p>Floyd and Susie Robison 9101 Gardenia Dr Denton, TX 76207-8621</p>	<p>Allison Tewalt 1020 W Columbia Rd Meridian, ID 83642</p>	

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LAND DEVELOPMENT

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+16699009128,,95660191595#,,,,0#,,8893742# US (San Jose)

Dial by your location

+1 346 248 7799 US (Houston)

+1 669 900 9128 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

+1 301 715 8592 US (Germantown)

Meeting ID: 956 6019 1595

Password: 8893742

Find your local number: <https://tollbrothers.zoom.us/j/95660191595>

2. Meeting on the property site – 8430 S Linder Road (in the area highlighted in yellow) this location is closer to the intersection of W Columbia and S Linder Road, Thursday July 23 from 6:00 p.m. to 7:00 p.m.

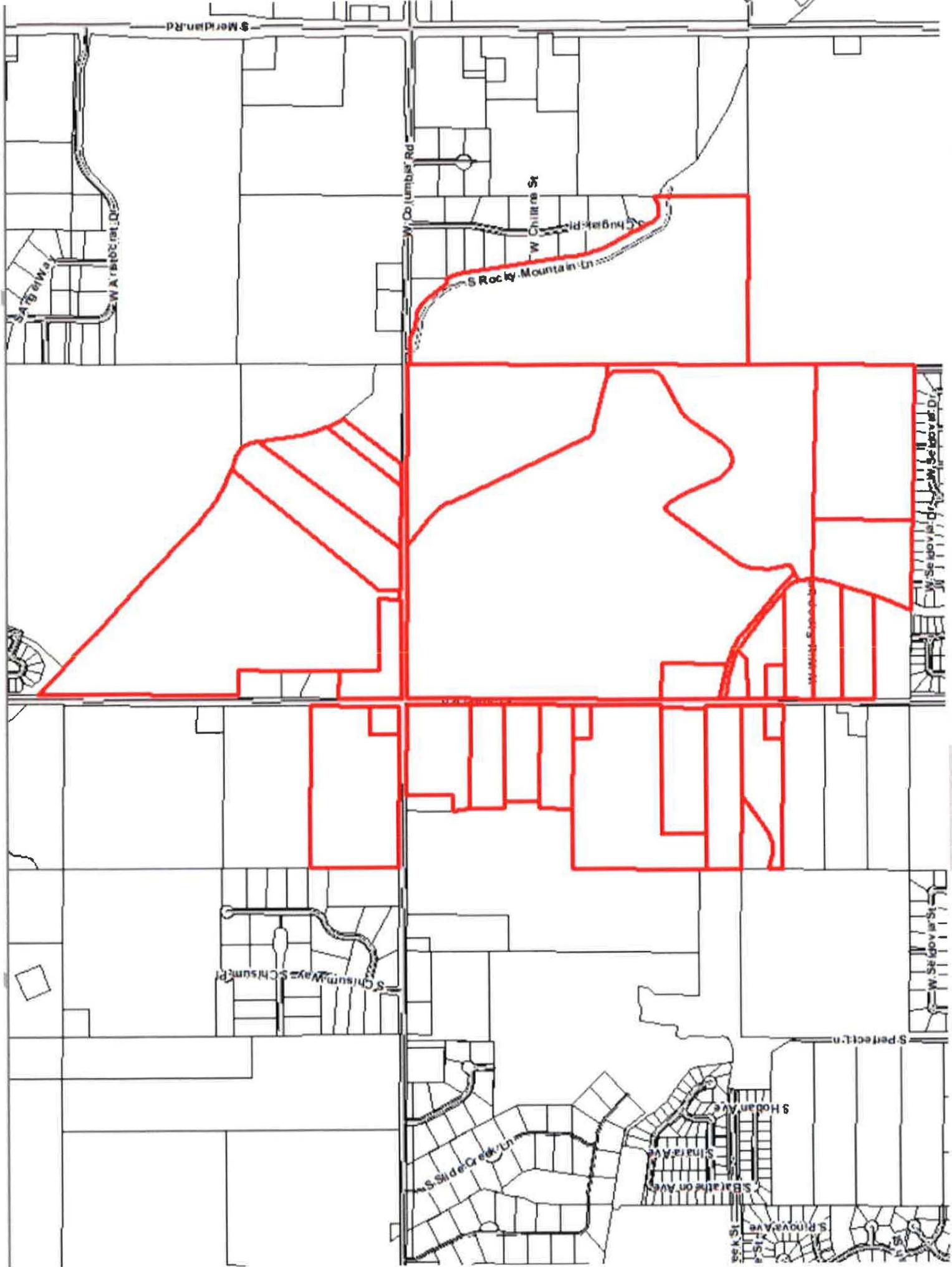


If those times or meeting styles don't suit you and you prefer to communicate with me individually, please contact me at 208-780-6723 or at sdurtschi@tollbrothers.com to set up a more convenient time/method of meeting.

I look forward to meeting with you and discussing our project.

A handwritten signature in black ink, appearing to read 'Sabrina Durtschi'.

Sabrina Durtschi
Land Entitlement Manager





Neighborhood Meeting Certification

CITY OF KUNA PLANNING & ZONING * 763 W. Avalon, Kuna, Idaho, 83634 * www.kunacity.id.gov * (208) 922-5274 * Fax: (208) 922-5989

GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 5-1A-2 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.

Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.

Description of proposed project: Paloma Ridge Subdivision application for rezone and prel

Date and time of neighborhood meeting: July 21st and July 23rd

Location of neighborhood meeting: July 21st was via zoom and July 23rd was onsite

SITE INFORMATION:

Location: Quarter: _____ Section: 12 Township: 2N Range: 1W Total Acres: 113

Subdivision Name: N/A Lot: N/A Block: N/A

Site Address: 8430 S Linder Road Tax Parcel Number(s): S1312223000

Please make sure to include **all** parcels & addresses included in your proposed use.

CURRENT PROPERTY OWNER:

Name: Patterson Family Enterprises LLC

Address: 4051 Mountain Vista Lane City: Filler State: Idaho Zip: 83328-555

CONTACT PERSON (Mail recipient and person to call with questions):

Name: Sabrina Durtschi Business (if applicable): Toll Brothers

Address: 3103 W Sheryl Drive City: Meridian State: Idaho Zip: 83642

PROPOSED USE:

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

Application Type

Brief Description

Annexation

Re-zone

Subdivision (Sketch Plat and/or Prelim. Plat)

Special Use

Variance

Expansion of Extension of a Nonconforming Use

Zoning Ordinance Map Amendment

Rezone property to C1, R-8, R-6 and R-4

Preliminary Plat of 341 residential lots 5 commercial lots

APPLICANT:

Name: Toll Southwest LLC

Address: 3103 W Sheryl Drive

City: Meridian State: Idaho Zip: 83642

Telephone: 208-250-6161 Fax: _____

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 5-1A-2 of the Kuna City Code

Signature: (Applicant)  Date 9-11-20

NEIGHBORHOOD MEETING MINUTES

Meeting Date: July 23rd Number of Attendees: 3

Meeting Location: Subject Site

Description of Project Presented:

Meeting held one site, we conducted our neighborhood meeting with one neighbor attending. We went over project details, application and posting process for the site. We discussed construction timelines and utilities to the site.

Attendee's comments:

Attendees for the project were the Patterson Roger and Randall who own the property. They gave us detail of the property history of being a dairy farm and how the area has been transitioning.

Leon Baker was the only neighbor who attended he was interested in the property and location and routing of the sewer. We did remark he would be disappointed his view would be gone.

I hereby certify that the above information is complete and correct to the best of my knowledge.

Sabrina Durtschi

Printed Name


Signature

9-11-20
Date

Paloma Ridge Subdivision
8430 S. Linder Road
Kuna, Idaho

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PAVING THE WAY FOR AMERICA'S LUXURY HOMEBUILDER

Neighborhood Meeting
Thursday July 23, 2020
6:00pm - 7:00pm

	Name	Address	Email
1	Roger Patterson	734 Wickham Fen Way Boise	roty97@gmail.com
2	Kimball Patterson	8415 So. LINDER Rd	ibnpacm@qmail.com
3	Leon Baker	8185 S. LINDER Rd 82642	LEONBAKER3@MSN.COM
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<p>Delbert Bishop 8855 S Linder Rd Meridian, ID 83642</p>	<p>Challenger Development Inc 1977 E Overland Rd Meridian, ID 83642</p>	<p>Church of Jesus Christ of Latter-Day Saints 50 E North Temple St. FL 22 Salt Lake City, UT 84150</p>
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+1 646 558 8656 US (New York)

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Meeting ID: 956 6019 1595

Password: 8893742

Find your local number: <https://tollbrothers.zoom.us/j/95660191595>

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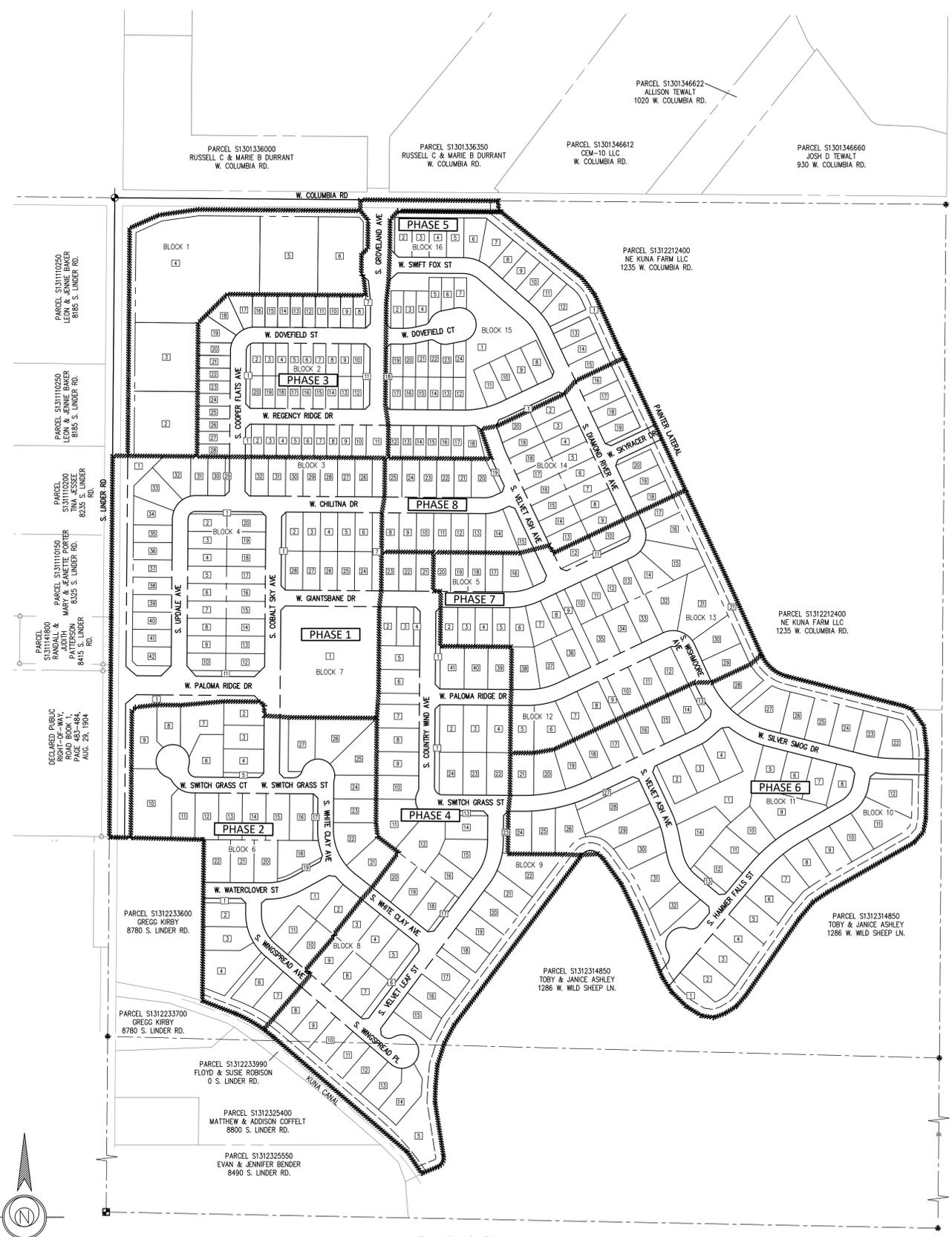
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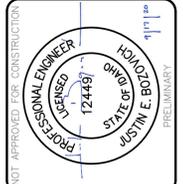
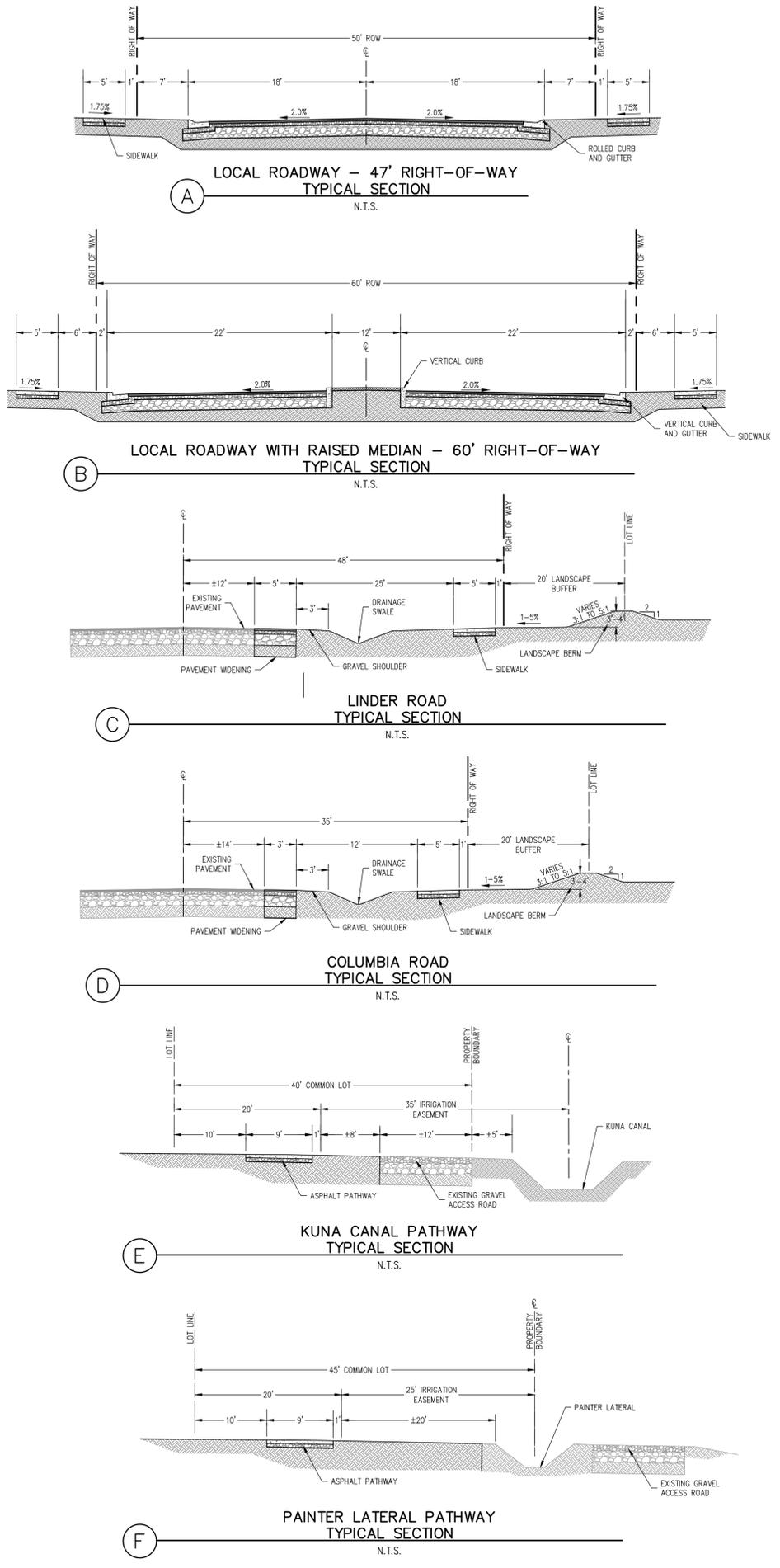
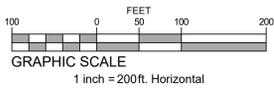
Sabrina Durtschi

Land Entitlement Manager

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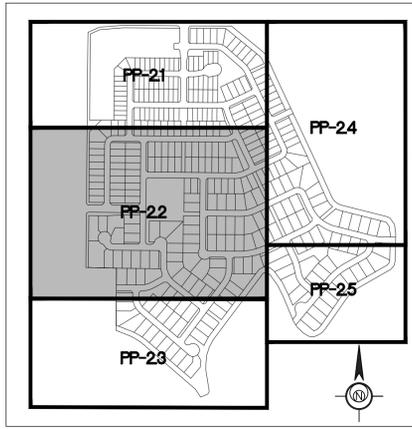
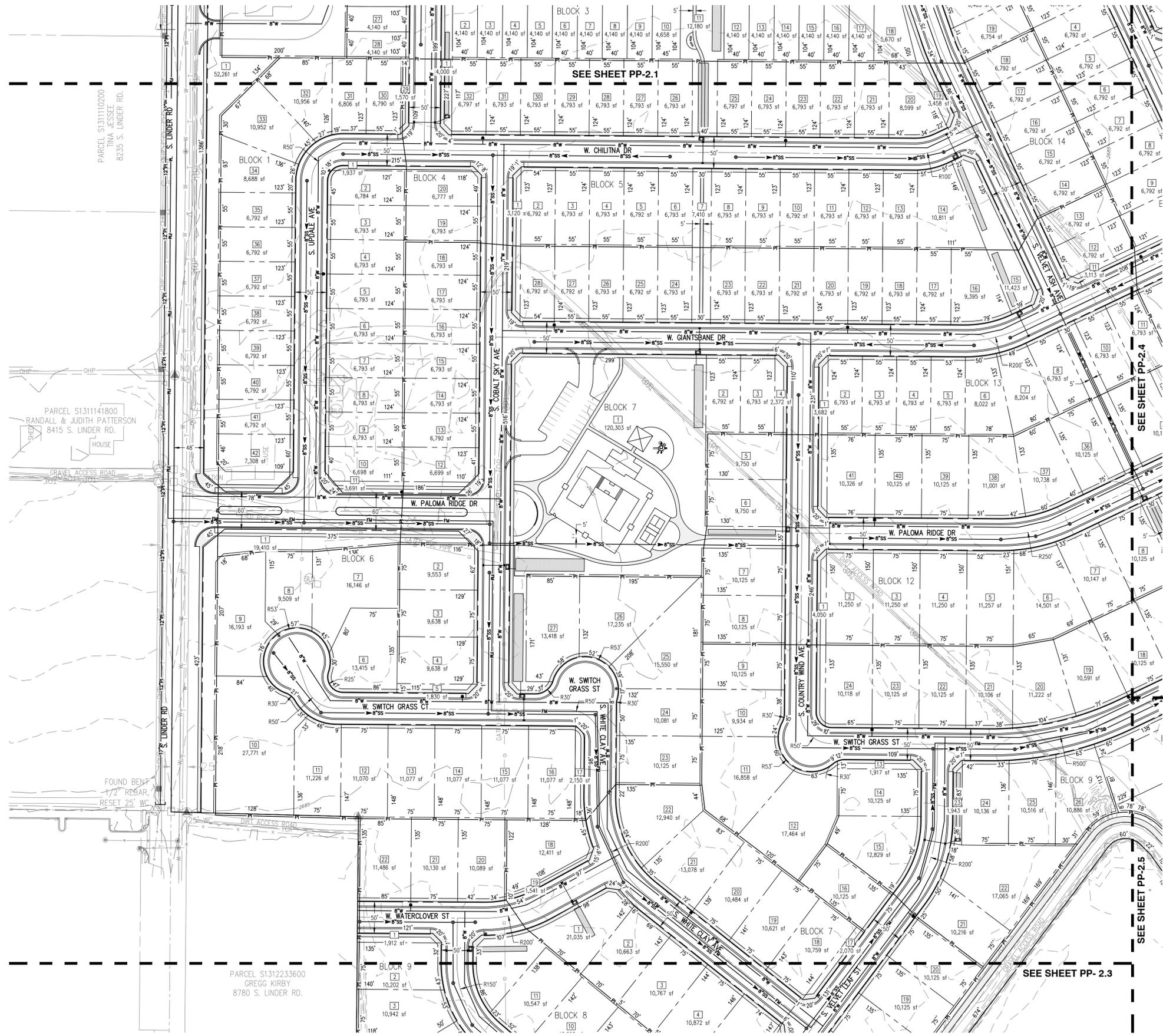
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 ESE Consultants, Inc.
 3103 W. Sheryl Drive • Suite 100 • Meridian, ID 83642
 T: 208-424-0020

REV.	DATE	DESCRIPTION

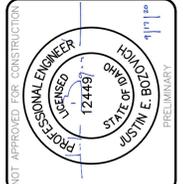
PRELIMINARY PHASING AND TYPICAL SECTIONS
PALOMA RIDGE SUBDIVISION
 SEC. 12, T. 2N., R. 1W., B.M., KUNA, ADA COUNTY, IDAHO

DATE:	8/31/2020	SCALE:	AS NOTED
DESIGN:	JEB	DRAWN:	MGF/KL
JOB NO.:	7636	FILE NAME:	7636-S-PHASING-PP
REF. NO.:	PP-1.2	SHEET NO.:	2 OF 9

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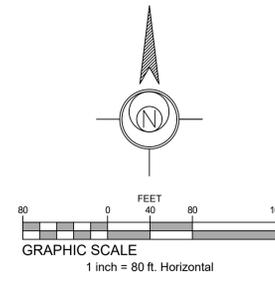


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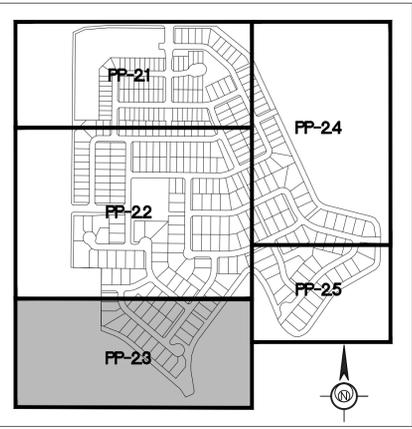
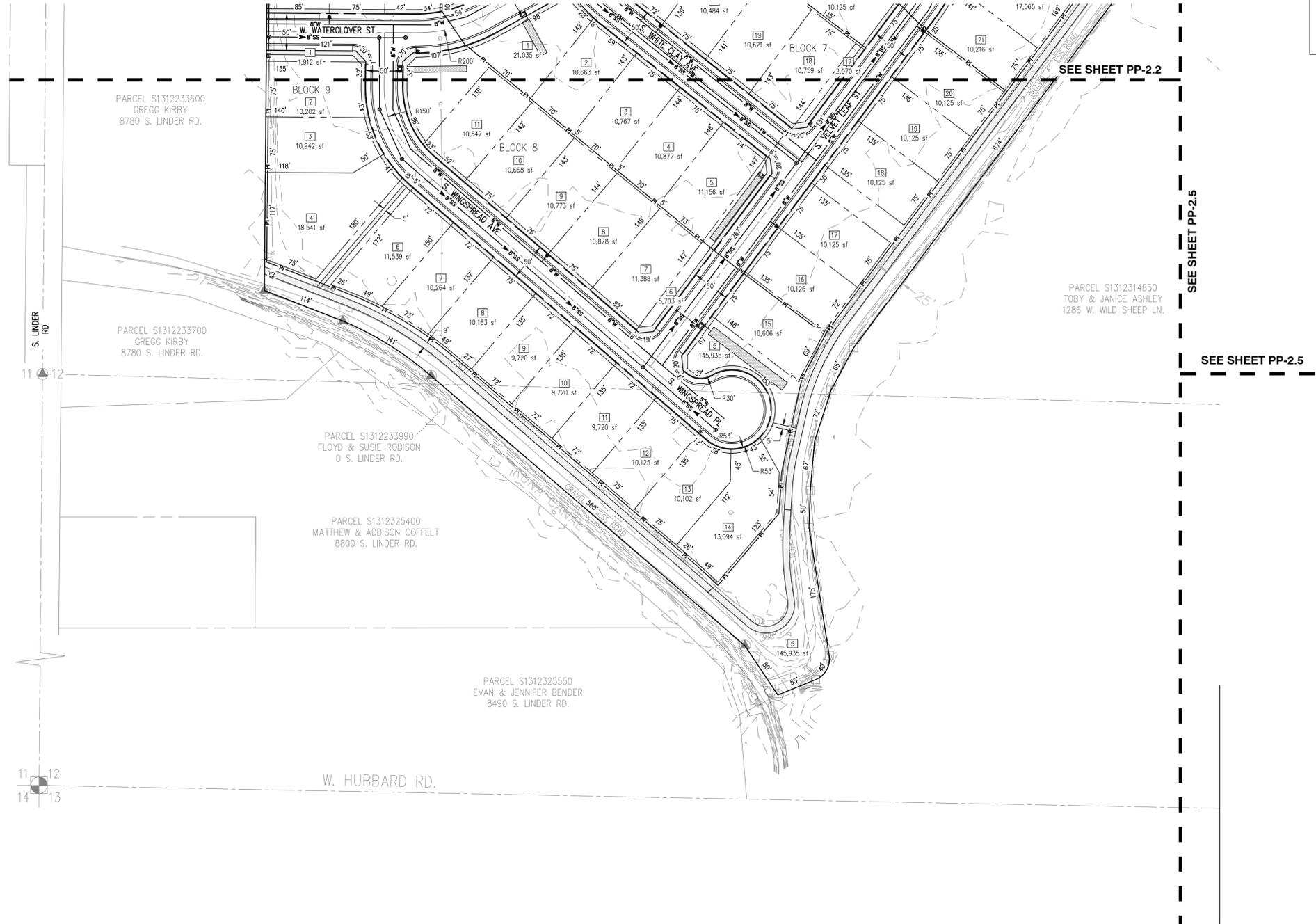
REV.	DATE	DESCRIPTION	DRAWN

PRELIMINARY PLAT
PALOMA RIDGE SUBDIVISION
SEC. 12, T. 2N., R. 1W., B.M., KUNA, ADA COUNTY, IDAHO

DATE:	9/17/2020	SCALE:	AS NOTED
DESIGN:	JEB	DRAWN:	MGF/KL
JOB NO.:	7636	FILE NAME:	7636-S-PLAN-PP
REF. NO.:	PP-2.2	SHEET NO.:	4 OF 9

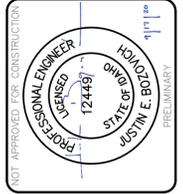
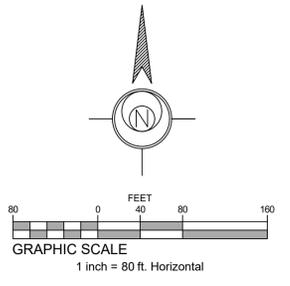


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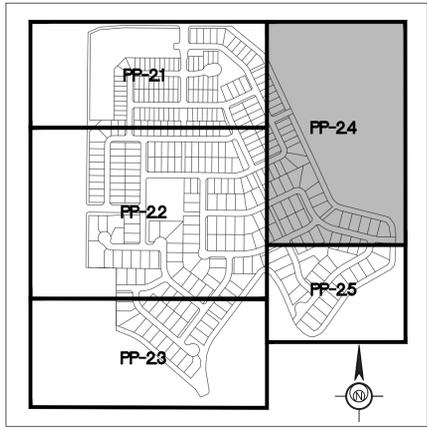
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REV.	DATE	DESCRIPTION	DRAWN

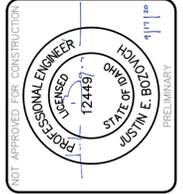
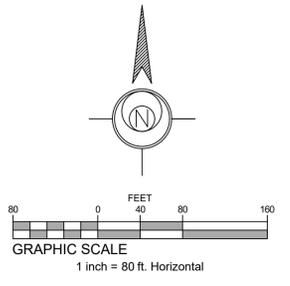
PRELIMINARY PLAT
**PALOMA RIDGE
SUBDIVISION**
SEC. 12, T. 2N., R. 1W., B.M., KUNA, ADA COUNTY, IDAHO

DATE: 9/17/2020	SCALE: AS NOTED
DESIGN: JEB	DRAWN: MGF/KL
JOB NO.: 7636	FILE NAME: 7636-S-PLAN-PP
REF. NO.:	PP-2.3
SHEET NO.:	5 OF 9

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REV.	DATE	DESCRIPTION	DRAWN

PRELIMINARY PLAT
PALOMA RIDGE
SUBDIVISION
SEC. 12, T. 2N., R. 1W., B.M., KUNA, ADA COUNTY, IDAHO

DATE: 9/17/2020	SCALE: AS NOTED
DESIGN: JEB	DRAWN: MGF/KL
JOB NO.: 7636	FILE NAME: 7636-S-PLAN-PP
REF. NO.:	PP-2.4
SHEET NO.:	6 OF 9



City of Kuna
 Planning & Zoning Department

City of Kuna
 P.O. Box 13
 Kuna, Idaho 83634
 Phone: (208) 922-5274
 Fax: (208) 922-5989
www.Kunacity.id.gov

Agency Transmittal

November 5, 2020

Notice is hereby given by the City of Kuna the following actions are under consideration:

FILE NUMBER:	20-07-ZC (Rezone) and 20-10-S (Preliminary Plat), for the proposed PALOMA RIDGE Subdivision.
PROJECT DESCRIPTION	Applicant requests a rezone for approx. 113.26 total acres to the following zones; From Agriculture: to C-1 (Commercial) 9.08 ac., to R-4 (MDR) 58.86 ac., to R-6 (MDR) 34.14 ac. and to R-8 (MDR) 11.17 ac.. Applicant also requests preliminary plat approval in order to subdivide the approx. 113 ac into 388 total lots including residential, commercial, and common lots. The proposed gross density is 3.01 DUA, and the net density is approx. 5.20 DUA. Applicant proposes 12.1% open space, or 13.32 acres. The site is in Sec. 12, T2N, R1W, BM.
SITE LOCATION	The site is on the SEC of Columbia and Linder Roads, Kuna, Idaho, 83634.
REPRESENTATIVE	Toll Southwest, LLC; Sabrina Durtschi 3103 W. Sheryl Dr. Meridian, ID, 83642 sdurtschi@tollbrothers.com
SCHEDULED HEARING DATE	Tuesday, January 12, 2021 (<i>Tentative Date</i>) 6:00 P.M.
STAFF CONTACT	Troy Behunin Tbehunin@Kunald.Gov Phone: 922.5274 Fax: 922.5989

Enclosed is information to assist you with your consideration and response. *No response within 15 business days will indicate you have no objection or comments for this project.* We would appreciate any information as to how this action would affect the service(s) your agency provides. The hearing is scheduled to begin at 6:00 p.m. or as soon as it may be heard. Kuna City Hall is located at 751 W. 4th Street, Kuna, ID 83634. Please contact staff with questions. ***If your agency needs different plans or paper copies to review, notify our office know and we will send them. Please notify our office who future packets should be sent to, included their email as well.*** If your agency needs additional time for review, please let our office know ASAP.



Ada County Transmittal
Division of Community and Environmental Health

Return to:

- ACZ
- Boise
- Eagle
- Garden City
- Meridian
- Kuna
- Star

Rezone # _____

Conditional Use # _____

Preliminary / Final / Short Plat 20-10-S

Paloma Ridge

- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
 - high seasonal ground water
 - bedrock from original grade
 - waste flow characteristics
 - other _____
- 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- 8. After written approvals from appropriate entities are submitted, we can approve this proposal for:
 - central sewage
 - interim sewage
 - individual sewage
 - community sewage system
 - central water
 - individual water
 - community water well
- 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
 - central sewage
 - sewage dry lines
 - community sewage system
 - central water
 - community water
- 10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- 11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 12. We will require plans be submitted for a plan review for any:
 - food establishment
 - beverage establishment
 - swimming pools or spas
 - grocery store
 - child care center
- 13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDH.
- 14. _____

Reviewed By: [Signature]
 Date: 11/10/2020

RON PLATT
CHAIRMAN OF THE BOARD

BRIAN MCDEVITT
VICE CHAIRMAN OF THE BOARD

ROBERT D. CARTER
PROJECT MANAGER

THOMAS RITTHALER
ASSISTANT PROJECT MANAGER

APRYL GARDNER
SECRETARY-TREASURER

MARY SUE CHASE
ASSISTANT SECRETARY-
TREASURER

BOISE PROJECT BOARD OF CONTROL

(FORMERLY BOISE U.S. RECLAMATION PROJECT)

2465 OVERLAND ROAD
BOISE, IDAHO 83705-3155

RECEIVED
NOV 12 2020
CITY OF KUNA

OPERATING AGENCY FOR 167,000
ACRES FOR THE FOLLOWING
IRRIGATION DISTRICTS

NAMPA-MERIDIAN DISTRICT
BOISE-KUNA DISTRICT
WILDER DISTRICT
NEW YORK DISTRICT
BIG BEND DISTRICT

TEL: (208) 344-1141
FAX: (208) 344-1437

09 November 2020

City of Kuna
751 W. 4th street
Kuna, Idaho 83634

RE: Paloma Ridge Subdivision 20-07-ZC, 20-10-S
Columbia and Linder Roads
New York Irrigation District
NO SURFACE IRRIGATION WATER RIGHT (HIGH GROUND)
Kuna Canal 231+40, Painter Lateral All
Sec. 12, T2N, R1W, BM.

Troy Behunin:

Boise Project will not allow this property to be connected into the City of Kuna's pressurized irrigation system, serviced from our canal systems, unless it acquires a legal surface water irrigation right from the New York Irrigation District. High ground water spreading is against the Idaho State Statutes.

The United States' Kuna Canal and Painter Lateral lie within the boundary of the above-mentioned location. The easement for this canal and lateral is held in the name of the United States through the Bureau of Reclamation under the authority of the Act of August 30, 1890. (26 Stat. 391; 43 U.S.C. 945)

The Boise Project Board of Control is contracted to operate and maintain this lateral. We assert the federal easement 28 feet northeasterly and 25 feet southwesterly of the Kuna Canal centerline and 25 feet in both directions of the Painter Lateral's centerline. Whereas this area is for the operation and maintenance of our facility, no activity should hinder our ability to do so.

The Boise Project does not approve landscaping (other than grass or gravel) within its easements, as this will certainly increase our cost of maintenance. All easements must remain a flat drivable surface.

Fencing/pathways (as may be required) must be constructed just off the canal easement, to ensure public safety and prevent encroachments.

Please note the appropriate easements on all future preliminary/final plats.

Wording on the preliminary and final recorded plat needs to state that any proposed and/or future usage of the Boise Project Board of Control facilities are subject to Idaho Statues, Title 42-1209.

Project facilities and/or easements that parallel, and are within and/or intended to be within road right-of-ways due to any development of this property must be relocated outside of road right-of-ways. The easements of Boise Project facilities will remain the same unless agreed upon and/or approved with written permission from Boise Project Board of Control.

The construction of any roadway crossings must be conducted only during the non-irrigation season when the lateral is dewatered. In any case no work shall take place within the easement before the proper crossing agreements have been secured through the Bureau of Reclamation and the Boise Project Board of Control.

Utilities planning to cross any project facility must do so in accordance with the master policies now held between the Bureau of Reclamation and most of the utilities. In any case, no work shall take place within the easement before proper crossing agreements have been secured through both the Bureau of Reclamation and the Boise Project Board of Control.

Parking lots, curbing, light poles, signs, etc. and the placing of asphalt and/or cement over Project facility easements must be approved by Boise Project Board of Control prior to construction.

Boise Project Board of Control must approve any requests and/or relocation of delivery points prior to construction.

Storm Drainage and/or Street Runoff must be retained on site.

NO DISCHARGE into any live irrigation system is permitted.

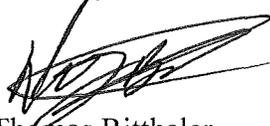
Local irrigation/drainage ditches that cross this property, in order to serve neighboring properties, must remain unobstructed and protected by an appropriate easement.

This development is subject to Idaho Code 31-3805, in accordance, this office is requesting a copy of the irrigation and drainage plans.

Whereas this development is in its preliminary stages, Boise Project Board of Control reserves the right to review plans and require changes when our easements and/or facilities are affected by unknown factors.

If you have any further questions or comments regarding this matter, please do not hesitate to contact me at (208) 344-1141.

Sincerely,

A handwritten signature in black ink, appearing to read 'Thomas Ritthaler', with a stylized flourish at the end.

Thomas Ritthaler
Assistant Project Manager, BPBC

tbr/tr

cc: Clint McCormick Watermaster, Div; 2 BPBC
Terri Hasson Secretary – Treasurer, NYID
File



STATE OF IDAHO
DEPARTMENT OF
ENVIRONMENTAL QUALITY

RECEIVED
NOV 30 2020
CITY OF KUNA

1445 N Orchard Street, Boise, ID 83706
(208) 373-0550

Brad Little, Governor
Jess Byrne, Director

November 24, 2020

By e-mail: TBehunin@KunaId.Gov

Troy Behunin
Planner III
City of Kuna
751 W. 4th Street
Kuna, ID 83634

Subject: Paloma Ridge Subdivision, 20-07-ZC and 20-10-S

Dear Mr. Behunin:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at: deq.idaho.gov/assistance-resources/environmental-guide-for-local-govts.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. AIR QUALITY

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).
- All property owners, developers, and their contractor(s) must ensure that reasonable controls to prevent fugitive dust from becoming airborne are utilized during all phases of construction activities per IDAPA 58.01.01.651.
- DEQ recommends the city/county require the development and submittal of a dust prevention and control plan prior to final plat approval. Dust prevention and control plans incorporate appropriate best management practices to control fugitive dust that may be generated at sites. Information on fugitive dust control plans can be found at: http://www.deq.idaho.gov/media/61833-dust_control_plan.pdf
- Citizen complaints received by DEQ regarding fugitive dust from development and construction activities approved by cities or counties will be referred to the city/county to address under their ordinances.

- Per IDAPA 58.01.01.600-617, the open burning of any construction waste is prohibited. The property owner, developer, and their contractor(s) are responsible for ensuring no prohibited open burning occurs during construction.
- For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

2. WASTEWATER AND RECYCLED WATER

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

3. WASTEWATER AND RECYCLED WATER

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: deq.idaho.gov/water-quality/drinking-water.aspx). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.

- DEQ recommends using an existing drinking water system whenever possible or construction of a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.
- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

4. SURFACE WATER

- A DEQ short-term activity exemption (STAE) from this office is required if the project will involve de-watering of ground water during excavation and discharge back into surface water, including a description of the water treatment from this process to prevent excessive sediment and turbidity from entering surface water.
- Please contact DEQ to determine whether this project will require a National Pollution Discharge Elimination System (NPDES) Permit. A Construction General Permit from EPA may be required if this project will disturb one or more acres of land, or will disturb less than one acre of land but are part of a common plan of development or sale that will ultimately disturb one or more acres of land.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at: <https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

5. HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.

- No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste Management Regulations and Standards, Rules and Regulations for Hazardous Waste, and Rules and Regulations for the Prevention of Air Pollution.
- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852).
- Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.
- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

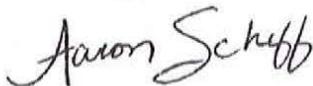
For questions, contact Albert Crawshaw, Waste & Remediation Manager, at (208) 373-0550.

6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website deq.idaho.gov/waste-mgmt-remediation/storage-tanks.aspx for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Aaron Scheff
Regional Administrator
DEQ-Boise Regional Office

EDMS#: 2020AEK264



**Your Safety • Your Mobility
Your Economic Opportunity**

IDAHO TRANSPORTATION DEPARTMENT
P.O. Box 8028 • Boise, ID 83707-2028
(208) 334-8300 • itd.idaho.gov

October 20, 2020

*Corrections made by Erika Bowen (12/9/2020)

Adam Capell
Toll Brothers
3103 W. Sheryl Drive, Suite 100
Meridian, DI 83642
acapell@tollbrothers.com

VIA EMAIL

RE: Paloma Ridge Mixed Use Development – ITD Development Condition Memo

Dear Mr. Capell,

I really appreciate the work you are doing to help those who are living in this beautiful area of Kuna, ID. The Paloma Ridge Mixed Use Development (TIS) provided by Kittelson & Associates has been reviewed. The trips generated by your development adds congestion to SH-69. ITD is working with the city of Kuna to collect a proportionate share contribution from each new development for impacts to the State highway system. The city of Kuna shall include the recommended proportionate share amount into their development agreement with you and ITD shall collect the funds. As two agencies we will work together to accelerate highway construction on SH-69 to accommodate new development growth. ITD values your contribution to the transportation system so we can help keep goods, services and the public moving efficiently.

ITD determined ~~Lugarno Terra North's~~ ^{Paloma Ridge's} total proportionate share contribution to be \$249,557 (4.85%). This is based off site traffic volumes versus 2040 total traffic volumes at the intersection of SH-69/~~Deer Flat Road~~ ^{Columbia Road}. ITD's preliminary findings in the Sh-69 Corridor Study is that the future SH-69/~~Deer Flat~~ ^{Columbia Road} intersection is anticipated to be a Median U-turn Crossing (MUT). Details of the proportionate share calculations are included in the attached *ITD Staff Technical Report*.

The TIS identified that there are two separate developers for the residential versus commercial portions of the Paloma Ridge Development. ITD is willing to consider the proportionate share be split by land use. In doing so, the department arrived at the following proportionate share contributions by land use.

Residential (350 units):	\$136,757
Commercial (562,800 sqft):	\$112,800

Thank you again for your partnership. If there are any questions or concerns, please do not hesitate to email me at Justin.Price@itd.idaho.gov or give me a call at 208-334-8340.



**Your Safety • Your Mobility
Your Economic Opportunity**

IDAHO TRANSPORTATION DEPARTMENT

P.O. Box 8028 • Boise, ID 83707-2028
(208) 334-8300 • itd.idaho.gov

Sincerely,

Justin Price

Justin Price

ITD District 3 Traffic Engineer

Cc:

Troy Behunin – City of Kuna

Paige Bankhead – ACHD

Communities in Motion 2040 2.0 Development Review

The Community Planning Association of Southwest Idaho (COMPASS) is the metropolitan planning organization (MPO) for Ada and Canyon Counties. COMPASS has developed this review as a tool for local governments to evaluate whether land developments are consistent with the goals of *Communities in Motion 2040 2.0* (CIM 2040), the regional long-range transportation plan for Ada and Canyon Counties. This checklist is not intended to be prescriptive, but rather a guidance document based on CIM 2040 2.0 goals.

Development Name: Paloma Ridge

Agency: Kuna

CIM Vision Category: Future Neighborhoods

New households: 341

New jobs: ±100

Exceeds CIM forecast: No

	<p>CIM Corridor: Linder Road Pedestrian level of stress: R Bicycle level of stress: R</p>	<p>Level of Stress considers facility type, number of vehicle lanes, and speed. Roads with G or PG ratings better support bicyclists and pedestrians of all ages and comfort levels.</p>
	<p>Housing within 1 mile: 680 Jobs within 1 mile: 90 Jobs/Housing Ratio: 0.1</p>	<p>A good jobs/housing balance – a ratio between 1 and 1.5 – reduces traffic congestion. Higher numbers indicate the need for more housing and lower numbers indicate an employment need.</p>
	<p>Nearest police station: 3.3 miles Nearest fire station: 2.4 miles</p>	<p>Developments within 1.5 miles of police and fire stations ensure that emergency services are more efficient and reduce the cost of these important public services.</p>
	<p>Farmland consumed: Yes Farmland within 1 mile: 1,002 acres</p>	<p>Farmland contributes to the local economy, creates additional jobs, and provides food security to the region. Development in farm areas decreases the productivity and sustainability of farmland.</p>
	<p>Nearest bus stop: >4 miles Nearest public school: 1.9 miles Nearest public park: 1.2 miles Nearest grocery store: 2.9 miles</p>	<p>Residents who live or work less than ½ mile from critical services have more transportation choices. Walking and biking reduces congestion by taking cars off the road, while supporting a healthy and active lifestyle.</p>

Recommendations

This location is still in a predominately farmland area and on the fringe of urban development. The nearest employment centers and other services are likely accessed only by vehicle and the site is not currently served by public transportation. ValleyConnect 2.0 proposes bus service along Linder Road from downtown Kuna to northwest Boise via downtown Meridian. Work with Valley Regional Transit on design that would accommodate future service.

More information about COMPASS and *Communities in Motion 2040 2.0*:

Web: www.compassidaho.org

Email: info@compassidaho.org

More information about the development review process:

<http://www.compassidaho.org/dashboard/devreview.htm>



COMPASS
 COMMUNITY PLANNING ASSOCIATION
 of Southwest Idaho



CITY OF KUNA
P.O. BOX 13
KUNA, ID 83634
www.kunacity.id.gov

Paul A. Stevens, P.E.
Kuna City Engineer

PRELIMINARY PLAT MEMORANDUM

Date: 6 January 2021

From: Paul A. Stevens, P.E.

Catherine Feistner, E.I.T.

To: Jace Hellman, Planning and Zoning Director

RE: Paloma Ridge Subdivision – 20-10-S (Preliminary Plat), 20-07-ZC (Rezone)

The Paloma Ridge Subdivision, located at 8430 S. Linder Road, preliminary plat and rezone with Planning and Zoning acceptance date of 5 November 2020 has been reviewed. The applicant's proposed development has been formatted to comply with City of Kuna (City) C-1 (neighborhood commercial), R-4 (medium density residential), R-6 (medium density residential) and R-8 (medium density residential) zone requirements. The rezone request rests with the Planning and Zoning Department. Review of civil design drawings is accomplished separately, when received.

These comments may be expanded or refined based on future land-use actions.

1. Inspection Fees

- a. An inspection fee will apply to inspect the final construction of water, sewer and irrigation facilities associated with this development.
- b. The developer shall retain a qualified responsible, Idaho registered professional engineer to provide sufficient inspection to certify to DEQ that the project was completed in accordance with approved plans and specifications and to provide accurate as-built drawings to the City.
- c. The developer's engineer and the City's inspector are permitted to coordinate inspections. The current inspection fee is \$1.00 per lineal foot of sewer, water and pressure irrigation pipe. *Payment is due and payable prior to the pre-construction meeting.*
- d. The Kuna Rural Fire District's current hydrant flow testing and plat base fee are \$300.00 and \$75.00 respectively for a total of \$375.00. *Payment is due and payable prior to the pre-construction meeting.*

2. General

- a. The development site consists of 113.26 acres with City of Kuna A- (Agriculture) zoning designation.
- b. Toll Brothers Land Development requests five (5) lots for commercial use and 341 lots for single family residential lots, for a total of 346 building lots.
- c. Equivalent Dwelling Units (EDUs) are reckoned at approximately 3.18 people per household. The resultant projected population for this subdivision is approximately 1085. A commensurate

impact on the City of Kuna's street infrastructure, pressurized irrigation, sewer, and water utilities will result.

- d. Toll Brothers Land Development requests 9.08 acres of the northwest corner be rezoned from A- (Agriculture) to C-1 (Neighborhood Commercial).
- e. Toll Brothers Land Development requests 58.86 acres of the southern section be rezoned from A- (Agriculture) to R-4 (medium density residential) for 139 lots. This makes the realized density approximately 8 people/acre.
- f. Toll Brothers Land Development requests 34.14 acres of the south-center section be rezoned from A- (Agriculture) to R-6 (medium density residential) for 129 lots. This makes the realized density approximately 12 people/acre.
- g. Toll Brothers Land Development requests 11.17 acres of the north-center section be rezoned from A- (Agriculture) to R-8 (medium density residential) for 73 lots. This makes the realized density approximately 21 people/acre.
- h. The preliminary plat shows two (2) total accesses to the subdivision, with the potential for four (4) additional accesses in the future. The accesses include one (1) access to S Linder Road and one (1) access to W. Columbia Road.
- i. At least two access points are required in Phase I per Kuna Rural Fire District (KRFD).
- j. A plan approval letter will be required if this project affects any local irrigation districts.
- k. Elevations shall be actual NAVD 88 datum elevations. A localized elevation system is not acceptable.
- l. All positional information shall be from the most recent state plane coordinate system.
- m. Provide engineering certification on all final engineering drawings.
- n. The City of Kuna requires streetlights in all subdivisions. Streetlights are required along arterial roads bordering the subdivision, at the entrances of the subdivision, at intersections, and at every 250' interval. Streetlights should be coincident with Fire Hydrants whenever possible. The streetlight standards drawing detail is K-1116 and can be located at <http://www.kunacity.id.gov/408/Engineering>
- o. KRFD requires fire hydrants located every 500-ft and in strategic locations.

3. Right-of-Way

- a. Sufficient right-of-way for existing and future classified streets shall be provided pursuant to City & ACHD standards.
- b. Approaches onto classified streets must comply with ACHD approach policies.
- c. All street construction must meet or exceed City of Kuna and ACHD development standards.
- d. All city mainlines crossing proposed lots or located on the backs or sides of lots shall have easements that allow the City of Kuna to access and maintain the utilities.
- e. The KRFD Deputy Fire Marshal must approve fire access to the subdivision and any traffic calming measures.
- f. Roads must continue to and through to the next road connection to promote connectivity throughout the City.
- g. Paloma Ridge Subdivision must conform to the Pathways Master Plan.

4. Sanitary Sewer

- a. The applicant's property is not connected to City services and is subject to connection fees for the ultimate connected sewer load. City Code 6-4-2-O requires the subdivision to connect to the City sewer system. City code 5-16-3-B.2 states public sewer utilities shall be extended to each parcel when sewer is available within three hundred (300) feet of the parcels.

- b. The proposed Paloma Ridge Subdivision must convey its associated sewage directly to the Springhill Lift Station; there are no pipeline connection points. Springhill Lift Station has capacity to serve the 346 proposed EDUs.
- c. All sewer infrastructure must meet or exceed City of Kuna requirements.
- d. The developer has committed to participate with sewer upgrades including the Mason Creek Gravity Trunkline.
- e. Sewer flow models will be required to verify pipe sizes.
- f. Sewer connection fees apply to each lot containing a home or other facility.
- g. All existing sewage treatment facilities (septic tank and drain field) must be decommissioned in accordance with Idaho Department of Environmental Quality requirements. Documentation shall be provided to the City of Kuna.
- h. This application shall conform to the sewer master plan as applicable. The sewer master plan specifies minimum pipe sizes and supports the “to and through” utility policy.

5. Potable Water

- a. The applicant’s property is not connected to City services and is subject to connection fees for the ultimate connected water demand. City Code 6-4-2-X requires the subdivision to connect to the City water system. City code 5-16-3-B.2 states public water utilities shall be extended to each parcel when water is available within three hundred (300) feet of the parcels.
- b. The nearest available water main line runs along the property site on S. Linder Rd.
- c. All water infrastructure must meet or exceed City of Kuna requirements.
- d. Water flow models will be required to verify adequate water supply and fire suppression.
- e. Water connection fees apply to each lot containing a home or other facility.
- f. All existing wells shall be abandoned in accordance with Idaho Department of Water Resources (IDWR) requirements. Documentation shall be provided to the City of Kuna.
- g. This application shall conform to the water master plan as applicable.
- h. Fire hydrants must be placed in a layout approved in writing by the KRFD Fire Marshall.

6. Pressurized Irrigation

- a. The applicant’s property does not possess any irrigation water rights. The subdivision must support their own PI system, and cannot connect to the City’s PI system.
- b. PI mainline must be constructed on the subdivisions’ frontages but the subdivision may not connect to it.
- c. Relying on drinking water for irrigation purposes is contrary to City Code 6-4-2-I.
- d. All pressurized irrigation infrastructure shall meet or exceed City of Kuna standards.
- e. Existing irrigation ditches (supply & drain) must be relocated as needed and as approved by the irrigation ditch company/users.
- f. Pressurized irrigation flow model will be required to verify adequate pressurized irrigation supply.
- g. This application shall be conditioned to conform to the Pressure Irrigation Master Plan where applicable.

7. Grading and Storm Drainage

- a. Provide a grading and drainage plan which supports and maintains all upstream drainage rights and all downstream irrigation delivery rights as they presently exist for this property.
- b. The City of Kuna relies on the ACHD Stormwater Policy Manual to establish the requirements for design of private storm water disposal systems.
- c. Sidewalk, curb and gutter, street widening and any related storm drainage facilities, consistent with city code and policies, shall be provided in connection with property development.
- d. Verify that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties. Slopes shall not be steeper than 3:1 on lots adjacent to a street or common lot and no steeper than 4:1 for lots with common rear lot lines.
- e. Verify that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties.
- f. Runoff from public right-of-way is regulated by ACHD. On site storm water retention shall be reviewed in conjunction with the City's Civil Engineering Construction Improvements Review. Provide a storm water disposal & treatment plan which accounts for increased on-site storm water runoff volumes. Provide detailed drawings of drainage & treatment facilities with supporting calculations for review and approval.

8. As-Built Drawings

- a. As-built drawings are required at the conclusion of any public facility construction project and are the responsibility of the developer's engineer. The city may help track changes but will not be responsible for the finished product. As-built drawings will be required before occupancy or final plat approval is granted.

9. Property Description

- a. The applicant provided a preliminary plat and supporting documents as part of the application.

10. Exhibits

- a. The following exhibits are attached:
 - a. Vicinity Map
 - b. Comprehensive Plan Map
 - c. Zoning Map
 - d. Topographic Map
 - e. Utility Map
 - f. Sewer Drainage Basin Map
 - g. Local Property Sizes Map
 - h. Local Property Values Map
 - i. Property Range Map
 - j. Irrigation District Map
 - k. Pathways Master Plan Map
 - l. Prime Farmlands Map
 - m. Nitrate Priority Map
 - n. Soils Map



Project/File: Paloma Ridge East/ KPP20-0013/ 20-10-S/ 20-07-ZC
 This is a rezone and a preliminary plat application to allow for the development of 388 lots on 113 acres. The site is located at the southeast corner of Linder Road and Columbia Road.

Lead Agency: City of Kuna

Site address: 8430 S. Linder Road

Staff Approval: January 25, 2021

Applicant/ Representative: Adam Capell
 Sabrina Durtschi
 Toll Southwest
 3103 W. Sheryl Drive
 Meridian, ID 83642

Owner: Patterson Family Enterprises
 4051 Mountain Vista Lane
 Filer, ID 83328

Staff Contact: Dawn Battles
 Phone: 387-6218
 E-mail: dbattles@achdidaho.org



A. Findings of Fact

- Description of Application:** The applicant is requesting approval of a rezone of 9 acres from A (Agriculture) to C-1 (Commercial), 59 acres to R-4 (Medium Density Residential), 34 acres to R-6 (Medium Density Residential), 11 acres to R-8 (Medium Density Residential) and a preliminary plat application to allow for the development of 388 lots consisting of 341 single family residential lots, 5 commercial lots and 42 common lots on 113 acres.

The applicant's rezone proposal is consistent with the City of Kuna's comprehensive plan which designates this site as mixed-use.

- Description of Adjacent Surrounding Area:**

Direction	Land Use	Zoning
North	Medium Density Residential and Rural Residential (Ada County)	R-6 and RR
South	Agriculture and Rural Residential (Ada County)	A and RR
East	Agriculture	A
West	Medium Density Residential	R-6

- Site History:** ACHD has not previously reviewed this site for a development application.

4. Adjacent Development: The following developments are pending or underway in the vicinity of the site:

- Paloma Ridge West, a residential subdivision consisting of 78 buildable lots and 12 common lots is located on the west side of Linder Road across from this site and is currently being reviewed by ACHD.
- CTE High School, proposed to be built in multiple phases is located north of the site and was approved by ACHD in October 2018.
- Whisper Meadows, a 310 single family residential subdivision with 38 common lots, located north of the site on the west side of Linder Road between Lake Hazel Road and Columbia Road was approved by ACHD in September 2018.
- Springhill, a subdivision consisting of 677 single family building lots and 30 common lots is located north of the site and was approved by ACHD in April 2018.
- Silver Trail, a 421 residential lot subdivision with 56 common lots, located across Linder Road to the west across from the site was approved by ACHD in October 2016.

5. Transit: Transit services are not available to serve this site.

6. Pathway Crossings: United States Access Board R304.5.1.2 Shared Use Paths. In shared use paths, the width of curb ramps runs, and blended transitions shall be equal to the width of the shared use path.

AASHTO's Guidelines for the Development of Bicycle Facilities 5.3.5 Other Intersection Treatments: The opening of a shared use path at the roadway should be at least the same width as the shared use path itself. If a curb ramp is provided, the ramp should be the full width of the path, not including any flared sides if utilized. . . . Detectable warnings should be placed across the full width of the ramp.

FHWA's "Designing Sidewalks and Trails for Access" (1999) reflected common ADA-related concepts: Chapter 6, Page 16-6: The width of the ramp should be at least as wide as the average width of the trail to improve safety for users who will be traveling at various speeds. In addition, the overall width of the trail should be increased, so the curb ramp can be slightly offset to the side. The increased width reduces conflict at the intersection by providing more space for users at the bottom of the ramp.

7. New Center Lane Miles: The proposed development includes 3.3 centerline miles of new public road.

8. Impact Fees: There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time. The impact fee assessment will not be released until the civil plans are approved by ACHD.

9. Capital Improvements Plan (CIP)/ Integrated Five Year Work Plan (IFYWP):

- The intersection of Lake Hazel Road and Meridian Road (SH-69) is listed in the CIP to be widened to 6-lanes on the north leg, 6-lanes on the south, 7-lanes east, and 7-lanes on the west leg, and signalized between 2036 and 2040.

10. Roadways to Bikeways Master Plan: ACHD's Roadways to Bikeways Master Plan (BMP) was adopted by the ACHD Commission in May of 2009 and was update in 2018. The plan seeks to implement the Planned Bicycle Network to support bicycling as a viable transportation option for Ada County residents with a wide range of ages and abilities, maintain bicycle routes in a state of good repair in order to ensure they are consistently available for use, promote awareness of existing bicycle routes and features and support encouragement programs and to facilitate coordination and

cooperation among local jurisdictions in implementing the Roadways to Bikeways Plan recommendations.

The BMP identifies Linder Road as a Level 3 facility and Columbia Road as a Level 2 facility that will be constructed as part of a future ACHD project.

B. Traffic Findings for Consideration

1. **Trip Generation:** This development is estimated to generate 5,435 vehicle trips per day; 465 vehicle trips per hour in the PM peak hour, based on the traffic impact study.

2. **Traffic Impact Study**

Kittelson & Associates prepared a traffic impact study for the proposed Paloma Ridge Subdivision. The executive summary of the findings **as presented by Kittelson & Associates** can be found as Attachment 3. ACHD has reviewed the submitted traffic impact study for consistency with ACHD policies and practices and may have additional requirements beyond what is noted in the summary. ACHD Staff comments on the submitted traffic impact study can be found below under staff comments.



a. **Policy**

Mitigation Proposals: Mitigation recommendations shall be provided within the report. At a minimum, for each roadway segment and intersection that does not meet the minimum acceptable level of service planning threshold or v/c ratio, the report must discuss feasible

measures to avoid or reduce the impact to the system. To be considered adequate, measures should be specific and feasible. Mitigation may also include:

- Revision to the Phasing Plan to coincide with the District’s planning Capital Projects.
- Reducing the scope and/or scale of the project.

Alternative Mitigation Measures: 7106.7.3 states that if traditional mitigation measures such as roadway widening and intersection improvements are infeasible as determined by ACHD, the TIS may recommend alternative mitigation measures. Alternative mitigation measures shall demonstrate that impacts from the project will be offset.

- If the impacted roadway segments and/or intersections are programmed as funded in the Integrated Five Year Work Plan (IFYWP) or the Capital Improvements Plan (CIP); no alternative mitigation is required.
- If the impacted roadway segments and/or intersections are not programmed in either the IFYWP or the CIP; the applicant may (i) analyze the shoulder hour and (ii) provide a safety analysis to determine alternative mitigation requirements.
 - If the impacted roadway segments and intersections meet the minimum acceptable level of service planning thresholds in the shoulder hour the applicant may suggest feasible alternative mitigation such as: sidewalks, bike facilities, connectivity, safety improvements, etc. within 1.5 miles of the proposed development.
 - If the shoulder hour planning thresholds are exceeded the applicant may request to enter into a Development Agreement and pay into the Priority Corridor Fund an amount determined by the ACHD to offset impacts from the project.
- Alternative Mitigation may also include:
 - Revision to the Phasing Plan to coincide with the District’s future Capital Projects.
 - Reducing the scope and/or scale of the project.

Level of Service Planning Thresholds: District Policy 7206.4.1 states that, Level of Service Planning Thresholds have been established for principal arterials and minor arterials within ACHD’s Capital Improvement Plan and are also listed in section 7106. Unless otherwise required to provide a Traffic Impact Study under section 7106, a proposed development with site traffic less than 10% of the existing downstream roadway or intersection peak hour traffic shall not be required to provide mitigation for a roadway or intersection that currently exceeds the minimum acceptable level of service planning threshold or V/C ratio.

- a. **Staff Comments/Recommendations:** The TIS included an analysis of two different phases with the first phase including all of the residential and Phase 2 including all of the commercial portion of the development. The applicant has proposed to construct the residential portion of this development in the first phase and complete the commercial portion in the future. The TIS indicates that all roadway segments in the study area are expected to operate at an acceptable level of service planning threshold under existing traffic conditions.

The TIS notes that Linder Road from Columbia Road to Hubbard Road is anticipated to operate at an acceptable level of service planning threshold under existing traffic, 2025 background and 2025 total traffic conditions in the PM peak hour.

The TIS recommends mitigation measures for the following intersections to mitigate the existing traffic conditions and the following intersections and roadway segment to mitigate 2025 background and total traffic conditions. The percentage of site generated traffic under total traffic conditions (2025) in the PM peak hour is provided in parentheses.

Intersections:

- SH-69/Lake Hazel Road (1.8%)
 - Westbound right-turn lane for existing traffic
 - Additional northbound and southbound through lane on SH-69 and westbound right-turn lane for 2025 background and 2025 total traffic conditions

The approaches of this intersection that are anticipated to fall below acceptable level of service planning thresholds in the PM peak hour, the westbound right turn and the northbound and southbound through lanes are on SH-69 and are under the jurisdiction of ITD. The applicant should work with the City of Kuna and the Idaho Department of Transportation (ITD) to determine if additional improvements are necessary on SH-69 and at the intersection of SH-69 and Lake Hazel Road.

- Linder Road/Hubbard Road (2.0%)
 - Single lane roundabout or interim 3X3 traffic signal for existing traffic, 2025 background, and 2025 total traffic conditions

This intersection listed is located offsite and is not scheduled for improvements in ACHD's IFYWP or CIP. The TIS recommended improvements are infeasible at this time as there is currently not enough right-of-way on the north approach of the intersection to allow for the construction of an interim signal. Additionally, the traffic impact study notes that the site generated traffic at this intersection is approximately 2% of the total traffic entering the Linder Road/Hubbard Road intersection. Therefore, consistent with District Level of Service Planning Threshold policy that states a proposed development with site traffic less than 10% of the existing downstream roadway or intersection peak hour traffic shall not be required to provide mitigation for a roadway or intersection that currently exceeds minimum acceptable level of service planning threshold or V/C ratio.

- SH-69/Columbia Road (4.6% 1st Phase additional 2.4% 2nd Phase)
 - Eastbound through-right movement exceeds ITD's threshold for 2025 background traffic and 2025 total traffic conditions

ITD's current study identifies a future Median U-Turn (MUT) intersection at this location. See Findings for Consideration 1 for ITD's comments on this intersection.

Roadway Segment:

- Columbia Road from SH-69 to Linder Road (18.5%)
 - Widened to three lanes for 2025 background traffic
 - Widened to five lanes with the 210th residential unit plus 33,000 square feet of commercial land use for 2025 background and 2025 total traffic conditions

The roadway segment listed above is located partially off-site and is not scheduled for improvements in ACHD's IFYWP or CIP. The TIS recommends that this segment of Columbia Road be widened to 3-lanes or that a single lane roundabout be constructed at the Columbia Road/Linder Road intersection to accommodate the 2025 background traffic with the 50th residential unit. Subsequently the TIS recommends that this segment of Columbia Road be widened to 5-lanes to accommodate the 2025 background traffic with the development of the 210th residential unit and 33,000 square feet of commercial land use.

Staff would typically recommend that the applicant be required to improve this segment of Columbia Road since the site generated PM peak hour trips is anticipated to be 14.6% for phase

1 and 18.5% for phase 2 of the total traffic entering the roadway segment under 2025 total traffic conditions in the PM peak hour. However, improvements to this roadway segment may not be feasible since there is not enough right-of-way to allow for the recommended widening of Columbia Road to 3 or 5-lanes. To ensure that improvements are made when necessary and to allow for additional analysis such as for the shoulder hour, staff would recommend that an updated roadway segment analysis be provided when 50 single family building lots have final platted. However, staff does not believe there would be any new or relevant information with the final platting of the 50th building lot, as this will likely be with the first phase of the development. Because of this staff recommends that the applicant be required to submit an updated roadway segment analysis for Columbia Road from SH-69 to Linder Road prior to ACHD's approval of the final plat or plat that contains the 209th residential unit plus 33,000 square feet of commercial land use or the equivalent of 419 PM peak trips. The traffic impact study recommended the widening of Columbia Road to 5-lanes when 419 PM peak hour trips are generated by this development, as the PM peak our traffic count on Columbia Road is anticipated to be 730 under total traffic conditions, exceeding ACHD's level of service planning threshold for a 3-lane minor arterial by only 10 trips.

If it is determined through the review of the updated roadway segment analysis for Columbia Road that improvements are infeasible at that time, then alternative mitigation measures should be recommended in the updated traffic impact study. As an alternative, the applicant may stop final platting and wait for ACHD to make improvements to Columbia Road.

To verify the assumptions of the TIS and to ensure that improvements are made when necessary to serve the site the applicant should be required to submit an updated roadway segment analysis for Columbia Road from SH-69 to Linder Road prior to ACHD's signature on the final plat that contains the 209th residential unit plus 33,000 square feet of commercial land use or the equivalent of 419 PM peak hour trips. A shoulder hour analysis should be provided per ACHD policy 7106.7.3 for Columbia Road from SH-69 to Linder Road, if necessary. Additional improvements may be required based on the findings of the updated traffic impact study.

Turn Lanes

The TIS notes turn lanes are warranted at the following locations:

- Columbia Road/ Site Access A
 - Westbound left-turn lane
- Columbia Road/ Site Access B
 - Westbound left-turn lane
 - Eastbound right-turn lane
- Linder Road/ Site Access C
 - Southbound left-turn lane
- Linder Road/ Site Access D
 - Southbound left-turn lane

Site Access Evaluation

- Site Access A, on Columbia Road, a proposed local street to be located 840-feet east of Linder Road and in alignment with an access proposed to be constructed as part of the CTE Highschool located on the north side of Columbia Road across from the site. The TIS notes a westbound left-turn lane is required, and that this street is anticipated to operate

acceptably as a full access and will primarily provide access to the residential portion of the site. Staff recommends approval of the location of the local street as it meets District policy.

- Site Access B, on Columbia Road, a proposed driveway to be located 500-feet east of Linder Road and 340-feet west of site access A. The TIS notes that a westbound left-turn lane and an eastbound right-turn lane are required on Columbia Road. Additionally, the TIS notes this driveway does not meet ACHD spacing requirements; however, it should be approved due the following reasons; the daily traffic would all use Site Access A exceeding ACHD’s daily local threshold of 2,000 vehicles, the right-turn and left-turn lanes proposed on Columbia will reduce any impacts to the through traffic on Columbia Road and this access will mainly serve commercial trips.

As noted in the study, the location of the proposed driveway does not meet District Driveway Location or Successive Driveway policies which requires full access driveways to be located 660-feet from a signalized intersection and 425-feet from any other driveways and should not be approved, as alternative access is available to the commercial parcels off of Columbia Road via Groveland Avenue. Groveland Avenue is a local street proposed to be located 840-feet east of Linder Road and is proposed to abut the commercial lots. The TIS notes that the ADT for this local street may exceed 2,000 trips per day without the driveway, however, Groveland Avenue between Regency Ridge Drive and Columbia Road has no front-on housing and will provide direct access to the commercial parcels acting as a local commercial street. ACHD policy allows up to 8,500 trips per day on a local commercial street, negating concerns regarding ADT. The applicant should be required to submit a turn lane analysis for the commercial driveway proposed onto Groveland Avenue to determine if turn lanes are necessary for the driveway and to determine if a dedicated right turn lane is required on Columbia Road at Groveland Avenue. The turn lane analysis should be submitted for review and approval prior to ACHD’s signature on the first final plat. If another access is desired to the commercial portion of the site, then the applicant should redesign the site to include an additional access from local roadways within the site.

- Site Access C, on Linder Road, a proposed driveway located 660-feet south of Columbia Road and 935-feet north of site Access D. The TIS notes a southbound left-turn lane is required, and that this driveway is anticipated to operate acceptably as a full movement driveway and will serve mostly commercial trips. Staff recommends approval of a temporary full access driveway as the location of the driveway meets District policy. The driveway is restricted to a maximum width of 36-feet.
- Site Access D, on Linder Road a proposed local street to be located 1,535-feet south of Columbia Road and 935-feet south of Site Access C. The TIS notes a southbound left-turn lane is required, and this street is anticipated to operate acceptably as a full access and will primarily provide access to the residential portion of the site. Staff recommends approval of the location of the local street as it meets District policy.

3. Condition of Area Roadways

Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Columbia Road (Linder Road to SH-69)	1,195-feet	Minor Arterial	438	Better than “E”
Linder Road Columbia Road to Hubbard Road)	2,010-feet	Minor Arterial	404	Better than “E”

* Acceptable level of service for a two-lane minor arterial is “E” (575 VPH).

4. **Average Daily Traffic Count (VDT)**

Average daily traffic counts are based on ACHD's most current traffic counts.

- The average daily traffic count for Columbia Road west of Meridian Road (SH-69) was 5,558 on December 17, 2019.
- The average daily traffic count for Linder Road south of Columbia Road was 3,726 on April 10, 2019.

C. Findings for Consideration

1. **Area Development**

The developer of this site has also submitted a preliminary plat application for Paloma Ridge West located on the west side of Linder Road across from the site. A TIS was required for Paloma Ridge East due to the site generated vehicle trips; however, Paloma Ridge West did not meet the criteria to complete a traffic impact study. However, the same findings and recommendations, as presented in the traffic impact study for Paloma Ridge East and the thresholds for improvements will be reported the same for Paloma Ridge East and Paloma Ridge West.

2. **State Highway SH-69/Meridian Road**

SH-69 is under the jurisdiction of the Idaho Transportation Department (ITD). The applicant, City of Kuna, and ITD should work together to determine if additional right-of-way or improvements are necessary on SH-69.

Staff Comments/Recommendations: On December 9, 2020 ITD issued a comment letter on the traffic impact study prepared for the Paloma Ridge Mixed Use Development, see attachment 4.

As part of ITD's SH-69/Meridian Road corridor study, the construction of a Median U-turn (MUT) is recommended at the SH-69/ Columbia Road intersection. To accommodate the planned intersection improvement and other improvements to the state highway system ITD has recommended that the applicant provide a road trust deposit for their proportionate share of the improvements, \$249,557 to the City of Kuna.

3. **Linder Road**

a. **Existing Conditions:** Linder Road is improved with 2-travel lanes, 24-feet of pavement and no curb, gutter or sidewalk abutting the site. There is 50-feet of right-of-way for Linder Road (25-feet from centerline).

b. **Policy:**

Arterial Roadway Policy: District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Master Street Map and Typology Policy: District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map and Livable Streets Design Guide. The developer or engineer should contact the District before starting any design.

Street Section and Right-of-Way Width Policy: District Policies 7205.2.1 & 7205.5.2 state that the standard 5-lane street section shall be 72-feet (back-of-curb to back-of-curb) within 96-feet of right-of-way. This width typically accommodates two travel lanes in each direction, a continuous center left-turn lane, and bike lanes on a minor arterial and a safety shoulder on a principal arterial.

Right-of-Way Dedication: District Policy 7205.2 states that The District will provide compensation for additional right-of-way dedicated beyond the existing right-of-way along arterials listed as impact fee eligible in the adopted Capital Improvements Plan using available impact fee revenue in the Impact Fee Service Area.

No compensation will be provided for right-of-way on an arterial that is not listed as impact fee eligible in the Capital Improvements Plan.

The District may acquire additional right-of-way beyond the site-related needs to preserve a corridor for future capacity improvements, as provided in Section 7300.

Sidewalk Policy: District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all arterial streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Frontage Improvements Policy: District Policy 7205.2.1 states that the developer shall widen the pavement to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site. Curb, gutter and additional pavement widening may be required (See Section 7205.5.5).

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. This segment of Linder Road is designated in the MSM as a Residential Arterial with 5-lanes and on-street bike lanes, a 72-foot street section within 100-feet of right-of-way.

- c. **Applicant Proposal:** The applicant is proposing to dedicate additional right-of-way to total 48-feet from the centerline of Linder Road abutting the site.

The applicant is proposing to improve Linder Road with 17-feet of pavement from centerline, a 3-foot gravel shoulder and 5-foot wide detached concrete sidewalk abutting the site.

The applicant has requested a crosswalk on Linder Road at the entrance to the site.

- d. **Staff Comments/Recommendations:** Consistent with the MSM, the applicant should be required to dedicate additional right-of-way to total 50-feet from centerline of Linder Road abutting the site. The applicant will not be compensated for this right-of-way dedication, as Linder Road is not listed in ACHD's IFYWP or CIP.

The applicant's proposal to improve Linder Road with 17-feet of pavement from centerline, a 3-foot gravel shoulder and 5-foot wide detached concrete sidewalk abutting the site meets District policy and should be approved as proposed. Locate the sidewalk a minimum of 43-feet from centerline of Linder Road. If street trees are desired, then an 8-foot wide planter strip should be provided.

Provide a permanent right-of-way easement to 2-feet behind back of sidewalk for any sidewalk placed outside of the dedicated right-of-way.

Consistent with the findings and recommendations of the traffic impact study the applicant should be required to construct southbound center left-turn lanes on Linder Road at the driveway located 660-feet south of Columbia Road, site access C and Paloma Ridge Drive, site access D. Coordinate the design of the turn lanes with ACHD's Development Review staff.

The applicant's proposal for a crosswalk on Linder Road is not approved. The applicant did not provide any supporting information for their request and a crosswalk in this location would not be warranted. Additionally, this site is located within close proximity to the existing crosswalk located at the signalized Columbia Road/Linder Road intersection. Staff recommends that pedestrians use the existing signalized intersection and crosswalk to cross Linder Road.

4. Columbia Road

a. **Existing Conditions:** Columbia Road is improved with 2-travel lanes, 26-feet of pavement and no curb, gutter or sidewalk abutting the site. There is 50-feet of right-of-way for Columbia Road (25-feet from centerline).

b. **Policy:**

Arterial Roadway Policy: District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Master Street Map and Typology Policy: District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map and Livable Streets Design Guide. The developer or engineer should contact the District before starting any design.

Street Section and Right-of Way Width Policy: District Policy 7205.2.1 & 7205.5.2 states that the standard 3-lane street section shall be 46-feet (back-of-curb to back-of-curb) within 70 feet of right-of-way. This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

Right-of-Way Dedication: District Policy 7205.2 states that The District will provide compensation for additional right-of-way dedicated beyond the existing right-of-way along arterials listed as impact fee eligible in the adopted Capital Improvements Plan using available impact fee revenue in the Impact Fee Service Area.

No compensation will be provided for right-of-way on an arterial that is not listed as impact fee eligible in the Capital Improvements Plan.

The District may acquire additional right-of-way beyond the site-related needs to preserve a corridor for future capacity improvements, as provided in Section 7300.

Sidewalk Policy: District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all arterial streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Frontage Improvements Policy: District Policy 7205.2.1 states that the developer shall widen the pavement to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site. Curb, gutter and additional pavement widening may be required (See Section 7205.5.5).

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. This segment of Columbia Road is designated in the MSM as a Residential Arterial with 3-lanes and on-street bike lanes, a 46-foot street section within 78-feet of right-of-way.

- c. **Applicant Proposal:** The applicant is proposing to dedicate additional right-of-way to total 35-feet from centerline of Columbia Road abutting the site.

The applicant is proposing to improve Columbia Road with 17-feet of pavement from centerline, a 3-foot gravel shoulder and 5-foot wide detached concrete sidewalk abutting the site.

- d. **Staff Comments/Recommendations:** Consistent with the MSM, the applicant should be required to dedicate additional right-of-way to total 39-feet from centerline of Columbia Road abutting the site. The applicant will not be compensated for any right-of-way dedication, as Columbia Road is not listed in ACHD's IFYWP or CIP.

The applicant's proposal to improve Columbia Road with 17-feet of pavement from centerline, a 3-foot gravel shoulder and 5-foot wide detached concrete sidewalk abutting the site meets District policy and should be approved as proposed. Locate the sidewalk a minimum of 32-feet from centerline of Columbia Road. If street trees are desired, then an 8-foot wide planter strip should be provided.

Provide a permanent right-of-way easement to 2-feet behind back of sidewalk for any sidewalk placed outside of the dedicated right-of-way.

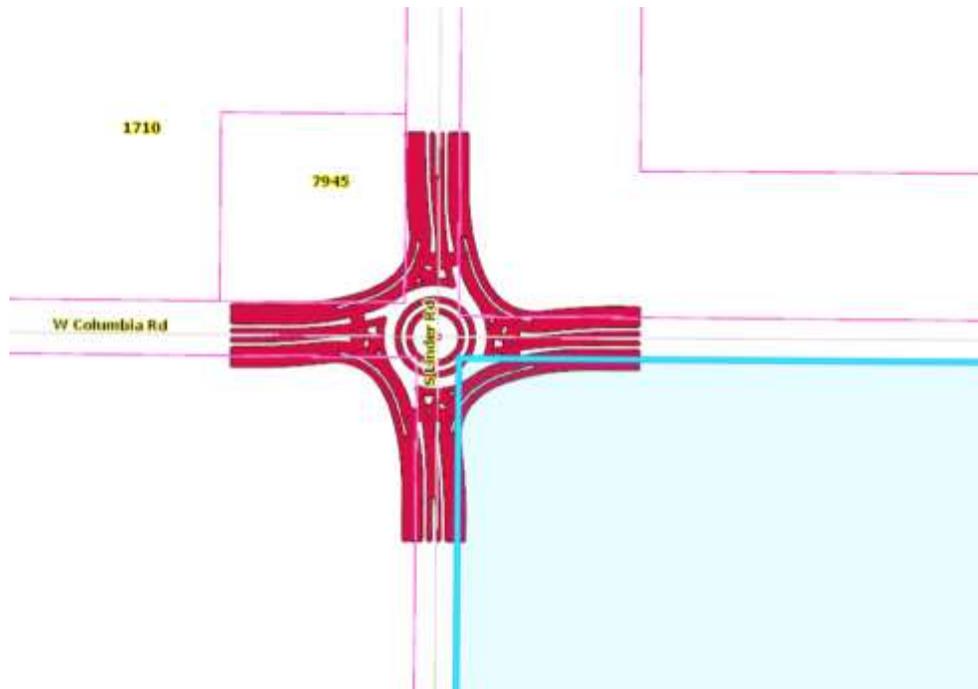
Consistent with the findings and recommendations of the traffic impact study the applicant should be required to construct a westbound center left-turn lane on Columbia Road at Groveland Avenue. Coordinate the design of the turn lane with ACHD's Development Review staff. Based on the findings of the updated turn lane analysis a dedicated right turn lane may be required to be constructed on Columbia Road at Groveland Avenue.

5. Columbia Road/Linder Road Intersection

- a. **Policy:**

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, roundabout requirement, and specific roadway features required through development. A new roundabout was identified on the MSM. A single-lane roundabout is planned at the Columbia Road/ Linder Road intersection.

- b. **Staff Comments/Recommendations:** As noted above, the intersection of Columbia Road and Linder Road is shown as a single-lane roundabout on the MSM. To accommodate the future construction of the single-lane roundabout, the applicant should dedicate additional right-of-way to match the image below. The applicant will not be compensated for this additional dedicated right-of-way, as the intersection is not listed in ACHD's CIP.



6. East-West (Mid-Mile Collector)

a. **Existing Conditions:** There are no collector roadways within the site.

b. **Policy:**

Collector Street Policy: District policy 7206.2.1 states that the developer is responsible for improving all collector frontages adjacent to the site or internal to the development as required below, regardless of whether access is taken to all of the adjacent streets.

Master Street Map and Typologies Policy: District policy 7206.5 states that if the collector street is designated with a typology on the Master Street Map, that typology shall be considered for the required street improvements. If there is no typology listed in the Master Street Map, then standard street sections shall serve as the default.

Street Section and Right-of-Way Policy: District policy 7206.5.2 states that the standard right-of-way width for collector streets shall typically be 50 to 70-feet, depending on the location and width of the sidewalk and the location and use of the roadway. The right-of-way width may be reduced, with District approval, if the sidewalk is located within an easement; in which case the District will require a minimum right-of-way width that extends 2-feet behind the back-of-curb on each side.

The standard street section shall be 46-feet (back-of-curb to back-of-curb). This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

Residential Collector Policy: District policy 7206.5.2 states that the standard street section for a collector in a residential area shall be 36-feet (back-of-curb to back-of-curb). The District will consider a 33-foot or 29-foot street section with written fire department approval and taking into consideration the needs of the adjacent land use, the projected volumes, the need for bicycle lanes, and on-street parking.

Sidewalk Policy: District policy 7206.5.6 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all collector streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed

7. Internal Local Streets

a. **Existing Conditions:** There are no local streets within the site.

b. **Policy:**

Local Roadway Policy: District Policy 7207.2.1 states that the developer is responsible for improving all local street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Street Section and Right-of-Way Policy: District Policy 7207.5 states that right-of-way widths for all local streets shall generally not be less than 47-feet wide and that the standard street section shall be 33-feet (back-of-curb to back-of-curb).

Standard Urban Local Street—33-foot Street Section and Right-of-way Policy: District Policy 7207.5.2 states that the standard street section shall be 33-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 47-feet of right-of-way.

For the City of Kuna and City of Star: Unless otherwise approved by Kuna or Star, the standard street section shall be 36-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 50-feet of right-of-way.

Street Section and Right-of-Way Policy: District Policy 7208.5 states that right-of-way widths for new commercial streets shall typically be 50 and 70-feet wide and that the standard street section will vary depending on the need for a center turn lane, bike lanes, volumes, percentage of truck traffic, and/or on-street parking.

- A 36-foot street section (back-of-curb to back-of-curb) will typically accommodate two travel lanes and on-street parking.
- A 40-foot street section (back-of-curb to back-of-curb) will typically accommodate two travel lanes and a center turn lane.
- A 46-foot street section (back-of-curb to back-of-curb) will typically accommodate two travel lanes and a center turn lane and bike lanes.

Continuation of Streets Policy: District Policy 7207.2.4 states that an existing street, or a street in an approved preliminary plat, which ends at a boundary of a proposed development shall be extended in that development. The extension shall include provisions for continuation of storm drainage facilities. Benefits of connectivity include but are not limited to the following:

- Reduces vehicle miles traveled.
- Increases pedestrian and bicycle connectivity.
- Increases access for emergency services.
- Reduces need for additional access points to the arterial street system.
- Promotes the efficient delivery of services including trash, mail and deliveries.
- Promotes appropriate intra-neighborhood traffic circulation to schools, parks, neighborhood commercial centers, transit stops, etc.
- Promotes orderly development.

Sidewalk Policy: District Policy 7207.5.7 states that five-foot wide concrete sidewalk is required on both sides of all local street, except those in rural developments with net densities of one dwelling unit per 1.0 acre or less, or in hillside conditions where there is no direct lot

frontage, in which case a sidewalk shall be constructed along one side of the street. Some local jurisdictions may require wider sidewalks.

The sidewalk may be placed next to the back-of-curb. Where feasible, a parkway strip at least 8-feet wide between the back-of-curb and the street edge of the sidewalk is recommended to provide increased safety and protection of pedestrians and to allow for the planting of trees in accordance with the District's Tree Planting Policy. If no trees are to be planted in the parkway strip, the applicant may submit a request to the District, with justification, to reduce the width of the parkway strip.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Cul-de-sac Streets Policy: District policy 7207.5.8 requires cul-de-sacs to be constructed to provide a minimum turning radius of 45-feet; in rural areas or for temporary cul-de-sacs the emergency service providers may require a greater radius. Landscape and parking islands may be constructed in turnarounds if a minimum 29-foot street section is constructed around the island. The pavement width shall be sufficient to allow the turning around of a standard AASHTO SU design vehicle without backing. The developer shall provide written approval from the appropriate fire department for this design element.

The District will consider alternatives to the standard cul-de-sac turnaround on a case-by-case basis. This will be based on turning area, drainage, maintenance considerations and the written approval of the agency providing emergency fire service for the area where the development is located.

Landscape Medians Policy: District policy 7207.5.16 states that landscape medians are permissible where adequate pavement width is provided on each side of the median to accommodate the travel lanes and where the following is provided:

- The median is platted as right-of-way owned by ACHD.
- The width of an island near an intersection is 12-feet maximum for a minimum distance of 150-feet. Beyond the 150-feet, the island may increase to a maximum width of 30-feet.
- At an intersection that is signalized or is to be signalized in the future, the median width shall be reduced to accommodate the necessary turn lane storage and tapers.
- The Developer or Homeowners Association shall apply for a license agreement if landscaping is to be placed within these medians.
- The license agreement shall contain the District's requirements of the developer including, but not limited to, a "hold harmless" clause; requirements for maintenance by the developer; liability insurance requirements; and restrictions.
- Vertical curbs are required around the perimeter of any raised median. Gutters shall slope away from the curb to prevent ponding.

- c. **Applicant's Proposal:** The applicant has proposed to construct the entry roadway, Paloma Ridge, to intersect Linder Road with two 22-foot wide travel lanes, a 12-foot wide center landscape island, vertical curb and gutter within 60-feet of right-of-way and a 6-foot wide planter strip with a 5-foot wide detached concrete sidewalk located outside of the right-of-way.

The applicant has proposed to construct the entry roadway, Groveland Avenue, to intersect Columbia Road, with two 22-foot wide travel lanes, a 12-foot wide center landscape island, vertical curb, gutter and 5-foot wide attached concrete sidewalk within 70-feet of right-of-way.

The applicant is proposing to construct the internal local streets as 36-foot street sections with rolled curb, gutter and a 7-foot wide landscape strip within 50-feet of right-of-way, and 5-foot wide detached concrete sidewalk located outside of the right-of-way.

The applicant is proposing to construct a cul-de-sac at the terminus of Switch Grass Court and Wingspread Place.

The applicant is proposing to construct a cul-de-sac with a parking island at the terminus of Doverfield Court.

The applicant is proposing to construct a knuckle at the intersection of Switch Grass Street and White Clay Avenue, Switch Grass Street and Country Wind and at the terminus of Hammer Falls Street.

- d. Staff Comments/Recommendations:** The applicant's proposal to construct the entry roadway, Paloma Ridge, to intersect Linder Road with two 22-foot wide travel lanes, a 12-foot wide center landscape island, vertical curb, gutter within 60-feet of right-of-way, and a 6-foot wide planter strip with a 5-foot wide detached concrete sidewalk located outside of the right-of-way meets District policy and should be approved as proposed. If street trees are desired, then an 8-foot wide planter strip should be provided.

The applicant's proposal to construct the entry roadway, Groveland Avenue, to intersect Columbia Road, with two 22-foot wide travel lanes, a 12-foot wide center landscape island, vertical curb, gutter and 5-foot wide attached concrete sidewalk within 70-feet of right-of-way meets District policy and should be approved as proposed.

Center landscape islands on both roadways should be platted as right-of-way owned by ACHD. The applicant or homeowner's association should enter into a license agreement for any landscaping proposed within the islands.

The applicant's proposal to construct the internal local streets as 36-foot wide local street sections with rolled curb, gutter and a 7-foot wide landscape strip within 50-feet of right-of-way, and 5-foot wide detached concrete sidewalk located outside of the right-of-way meets District policy and should be approved as proposed.

Groveland Avenue between Regency Ridge Drive and Columbia Road should be constructed as a 36-foot wide local commercial street with curb, gutter, and 5-foot wide attached or detached concrete sidewalks. Additional turn lanes may be required on Groveland Avenue at the commercial driveway based on the required turn lane analysis.

Provide a permanent right-of-way easement to 2-feet behind back of sidewalk for any sidewalk placed outside of the dedicated right-of-way.

The applicant should be required to construct the cul-de-sac at the terminus of Switch Grass Court and Wingspread Place with a minimum 45-foot radius.

The applicant's proposal to construct a cul-de-sac with a parking island at the terminus of Doverfield Court should not be approved, as proposed, as parking within an island is not allowed due to safety concerns and maintenance issues. If additional parking is needed, then it should be provided on-site and not within the public right-of-way. If a cul-de-sac with a center landscape island is constructed, then a minimum 29-foot street section around the center island should be provided. Written approval from the Kuna Fire should be provided for use of the reduced street section. Parking within the center island of cul-de-sac is prohibited.

The center island should be platted as right-of-way owned by ACHD. The applicant or homeowner's association should enter into a license agreement for any landscaping proposed within the island.

The applicant's proposal to construct a knuckle at the intersection of Switch Grass Street and White Clay Avenue, Switch Grass Street and Country Wind and at the terminus of Hammer Falls Street meets District policy and should be approved as proposed.

8. Roadway Offsets

a. **Existing Conditions:** There are no roadways within the site.

b. **Policy:**

Local Street Intersection Spacing on Minor Arterials: District policy 7205.4.3 states that new local streets should not typically intersect arterials. Local streets should typically intersect collectors. If it is necessary, as determined by ACHD, for a local street to intersect an arterial, the minimum allowable offset shall be 660-feet as measured from all other existing roadways as identified in Table 1a (7205.4.6).

Local Offset Policy: District policy 7207.4.2, requires local roadways to align or provide a minimum offset of 125-feet from any other street (measured centerline to centerline).

c. **Applicant's Proposal:** The applicant is proposing to construct one new local roadway, Paloma Ridge Drive, to intersect Linder Road located 1,535-feet south of Columbia Road.

The applicant is proposing to construct one new local roadway, Groveland Avenue, to intersect Columbia Road located 840-feet east of Linder Road.

The applicant is proposing to construct all local internal streets to align or offset a minimum of 125-feet.

d. **Staff Comments/Recommendations:** The applicant's proposal to construct one new local roadway, Paloma Ridge Drive, to intersect Linder Road located 1,535-feet south of Columbia Road and one local roadway, Groveland Avenue, to intersect Columbia Road located 840-feet east of Linder Road meets District policy and should be approved as proposed.

The applicant's proposal to construct all local internal streets to align or offset a minimum of 125-feet meets District policy and should be approved, as proposed.

9. Stub Streets

a. **Existing Conditions:** There are no existing stub streets to or from the site.

b. **Policy:**

Stub Street Policy: District policy 7207.2.4.3 states that stub streets will be required to provide circulation or to provide access to adjoining properties. Stub streets will conform with the requirements described in Section 7207.2.4, except a temporary cul-de-sac will not be required if the stub street has a length no greater than 150-feet. A sign shall be installed at the terminus of the stub street stating that, "THIS ROAD WILL BE EXTENDED IN THE FUTURE."

In addition, stub streets must meet the following conditions:

- A stub street shall be designed to slope towards the nearest street intersection within the proposed development and drain surface water towards that intersection; unless an alternative storm drain system is approved by the District.
- The District may require appropriate covenants guaranteeing that the stub street will remain free of obstructions.

Temporary Dead End Streets Policy: District policy 7207.2.4.4 requires that the design and construction for cul-de-sac streets shall apply to temporary dead end streets. The temporary

cul-de-sac shall be paved and shall be the dimensional requirements of a standard cul-de-sac. The developer shall grant a temporary turnaround easement to the District for those portions of the cul-de-sac which extend beyond the dedicated street right-of-way. In the instance where a temporary easement extends onto a buildable lot, the entire lot shall be encumbered by the easement and identified on the plat as a non-buildable lot until the street is extended.

- c. **Applicant Proposal:** The applicant is proposing to construct 4 stub streets in the following locations:
 - Skyracer Drive to the northeast, located 370-feet south of Columbia Road.
 - Silver Smog Drive to the east, located 892-feet south of Columbia Road.
 - Hammer Falls Street to the southwest, located 124-feet north of the southeast property line.
 - Waterclover Street to the west located 1,094-feet south of Columbia Road.
- d. **Staff Comments/Recommendations:** The applicant’s proposal to construct 4 stub streets, two stub streets to the east, one to the southwest and one to the west meets District policy and should be approved as proposed.

The applicant should install a sign at the terminus of all 4 stub streets stating, “THIS ROAD WILL BE EXTENDED IN THE FUTURE.” A temporary turnaround is not required at the terminus of the stub street as they do not extend greater than 150-feet.

Skyracer Drive and Hammer Falls Street are proposed to stub to the Kuna Canal and the site’s property line extends to the middle of the canal. Because the site extends to the middle of the canal the applicant should be required to design a bridge or pipe crossing of the Kuna Canal and provide a road trust deposit for half the cost of construction of the crossing.

The property boundary does not extend to the middle of the Kuna Canal for the proposed stub street Silver Smog Drive; therefore, the applicant is not required to provide a road trust.

10. Driveways

10.1 Linder Road

- a. **Existing Conditions:** There are two existing driveways from the site onto Linder Road.
- b. **Policy:**
 - Access Points Policy:** District Policy 7205.4.1 states that all access points associated with development applications shall be determined in accordance with the policies in this section and Section 7202. Access points shall be reviewed only for a development application that is being considered by the lead land use agency. Approved access points may be relocated and/or restricted in the future if the land use intensifies, changes, or the property redevelops.
 - Access Policy:** District policy 7205.4.6 states that direct access to minor arterials is typically prohibited. If a property has frontage on more than one street, access shall be taken from the street having the lesser functional classification. If it is necessary to take access to the higher classified street due to a lack of frontage, the minimum allowable spacing shall be based on Table 1a under District policy 7205.4.6, unless a waiver for the access point has been approved by the District Commission.
 - Driveway Location Policy:** District policy 7205.4.5 requires driveways located on minor arterial roadways from a signalized intersection with a single left turn lane shall be located a minimum of 330-feet from the nearest intersection for a right-in/right-out only driveway and a minimum of 660-feet from the intersection for a full-movement driveway.

District policy 7205.4.5 requires driveways located on minor arterial roadways from a signalized intersection with a dual left turn lane shall be located a minimum of 330-feet from the nearest intersection for a right-in/right-out only driveway and a minimum of 710-feet from the intersection for a full-movement driveway.

Successive Driveways: District policy 7205.4.6 Table 1a, requires driveways located on minor arterial roadways with a speed limit of 50 MPH to align or offset a minimum of 425-feet from any existing or proposed driveway.

Driveway Width Policy: District policy 7205.4.8 restricts high-volume driveways (100 VTD or more) to a maximum width of 36-feet and low-volume driveways (less than 100 VTD) to a maximum width of 30-feet. Curb return type driveways with 30-foot radii will be required for high-volume driveways with 100 VTD or more. Curb return type driveways with 15-foot radii will be required for low-volume driveways with less than 100 VTD.

Driveway Paving Policy: Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7205.4.8, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway and install pavement tapers in accordance with Table 2 under District Policy 7205.4.8.

Cross Access Easements/Shared Access Policy: District Policy 7202.4.1 states that cross access utilizes a single vehicular connection that serves two or more adjoining lots or parcels so that the driver does not need to re-enter the public street system.

- c. **Applicant's Proposal:** The applicant is proposing to close the two existing driveways from the site onto Linder Road with 5-foot wide concrete sidewalk, landscaping and fencing.

The applicant is proposing to construct a 30-foot wide curb return type driveway from the site onto Linder Road, Site Access C, located 660-feet south of Columbia Road and 935-feet north of site Access D.

- d. **Staff Comments/Recommendations:** The applicant's proposal to close the two existing driveways from the site onto Linder Road with 5-foot wide concrete sidewalk, landscaping and fencing meets District policy and should be approved as proposed.

The applicant's proposal to construct a 30-foot wide curb return type driveway from the site onto Linder Road, located 660-feet south of Columbia Road and 935-feet north of Paloma Ridge Drive meets District policy, the need for the driveway was demonstrated in the TIS, and should be approved as proposed. This driveway may be restricted to right in/right-out only in the future, as conditions warrant as determined by ACHD.

10.2 Columbia Road

- a. **Existing Conditions:** There are no driveways from the site onto Columbia Road.

- b. **Policy:**

Access Points Policy: District Policy 7205.4.1 states that all access points associated with development applications shall be determined in accordance with the policies in this section and Section 7202. Access points shall be reviewed only for a development application that is being considered by the lead land use agency. Approved access points may be relocated and/or restricted in the future if the land use intensifies, changes, or the property redevelops.

Access Policy: District policy 7205.4.6 states that direct access to minor arterials is typically prohibited. If a property has frontage on more than one street, access shall be taken from the street having the lesser functional classification. If it is necessary to take access to the higher classified street due to a lack of frontage, the minimum allowable spacing shall be based on Table 1a under District policy 7205.4.6, unless a waiver for the access point has been approved by the District Commission.

Driveway Location Policy: District policy 7205.4.5 requires driveways located on minor arterial roadways from a signalized intersection with a single left turn lane shall be located a minimum of 330-feet from the nearest intersection for a right-in/right-out only driveway and a minimum of 660-feet from the intersection for a full-movement driveway.

District policy 7205.4.5 requires driveways located on minor arterial roadways from a signalized intersection with a dual left turn lane shall be located a minimum of 330-feet from the nearest intersection for a right-in/right-out only driveway and a minimum of 710-feet from the intersection for a full-movement driveway.

Successive Driveways: District policy 7205.4.6 Table 1a, requires driveways located on minor arterial roadways with a speed limit of 50 MPH to align or offset a minimum of 425-feet from any existing or proposed driveway.

Driveway Width Policy: District policy 7205.4.8 restricts high-volume driveways (100 VTD or more) to a maximum width of 36-feet and low-volume driveways (less than 100 VTD) to a maximum width of 30-feet. Curb return type driveways with 30-foot radii will be required for high-volume driveways with 100 VTD or more. Curb return type driveways with 15-foot radii will be required for low-volume driveways with less than 100 VTD.

Driveway Paving Policy: Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7205.4.8, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway and install pavement tapers in accordance with Table 2 under District Policy 7205.4.8.

Cross Access Easements/Shared Access Policy: District Policy 7202.4.1 states that cross access utilizes a single vehicular connection that serves two or more adjoining lots or parcels so that the driver does not need to re-enter the public street system.

Number of Driveways on Arterials Policy: District Policy 7205.4.4 states that the intent of this policy is to limit the number of access points to those that are warranted or necessary to serve the development, while maintain the function and performance of the arterial. The guidelines below shall be used when more than one access point is being requested with a development.

Additional driveways may be considered when one or more of the following conditions are met:

- The daily volume using one access exceeds 5,000 vehicles (total volume for entering and existing traffic).
- Traffic using one driveway exceeds the volume to capacity ratio (v/c) equal to or greater than 1, of a STOP controlled intersection during either the peak hour of the street or the peak hour of the site traffic generation.
- A District approved traffic impact study and analysis determines that conditions warrant additional driveways.

c. **Applicant's Proposal:** The applicant is proposing to construct a 30-foot wide curb return driveway from the site onto Columbia Road, located 500-feet east of Linder Road and 340-feet west of Groveland Avenue.

d. **Staff Comments/Recommendations:** The applicant's proposal to construct a driveway onto Columbia Road located 500-feet east of Linder Road and 340-feet west of Groveland Avenue is not approved, as the driveway location does not meet District Driveway Location and Successive Driveway policies and the TIS did not provide enough information for staff to support a modification of policy to allow this driveway to be located as proposed due to its proximity to Groveland Avenue and Groveland Avenue's ability to provide access to the commercial portion of the development see finding for consideration B. 2., Site Access Evaluation, page 7.

10.3 Groveland Avenue

- a. **Existing Conditions:** There are no local streets within the site.
- b. **Policy:**
 - Driveway Location Policy:** District policy 7207.4.1 requires driveways near intersections to be located a minimum of 75-feet (measured centerline-to-centerline) from the nearest local street intersection, and 150-feet from the nearest collector or arterial street intersection.
 - Successive Driveways:** District Policy 7207.4.1 states that successive driveways away from an intersection shall have no minimum spacing requirements for access points along a local street, but the District does encourage shared access points where appropriate.
 - Driveway Width Policy:** District policy 7207.4.3 states that where vertical curbs are required, residential driveways shall be restricted to a maximum width of 20-feet and may be constructed as curb-cut type driveways.
 - Driveway Paving Policy:** Graveled driveways abutting public streets create maintenance problems due to gravel being tracked onto the roadway. In accordance with District policy, 7207.4.3, the applicant should be required to pave the driveway its full width and at least 30-feet into the site beyond the edge of pavement of the roadway.
- c. **Applicant's Proposal:** The applicant is proposing to construct a 30-foot wide driveway onto Groveland Avenue located approximately 205-feet south of Columbia Road to provide access to the commercial portion of the site.
- d. **Staff Comments/Recommendations:** The applicant's proposal to construct a 30-foot wide curb return type driveway onto Groveland Avenue located approximately 205-feet south of Columbia Road to provide access to the commercial portion of the site meets District policy and should be approved as proposed.

11. Tree Planters

Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

12. Landscaping

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

13. Other Access

Linder Road and Columbia Road are classified as minor arterial roadways. Other than the access specifically approved with this application, direct lot access is prohibited to these roadways and should be noted on the final plat.

D. Site Specific Conditions of Approval

1. Prior to plan approval and ACHD's signature on the first final plat submit a turn lane analysis for the commercial driveway proposed onto Groveland Avenue to determine if turn lanes are necessary for the driveway and to determine if a dedicated right turn lane is required on Columbia Road at Groveland Avenue. If it is determined that the turn lanes are warranted on Groveland Avenue or

that a dedicated right turn lane is warranted on Columbia Road at Groveland Avenue, then the turn lanes should be constructed when Groveland Avenue is constructed to intersect Columbia Road.

2. Submit an updated roadway segment analysis for Columbia Road from SH-69 to Linder Road prior to ACHD's signature on the final plat for Paloma Ridge East and Paloma Ridge West that contains the 209th residential unit plus 33,000 square feet of commercial land use or the equivalent of 419 PM peak trips. If necessary, the analysis should include a shoulder hour analysis. Additional improvements may be required based on the findings of the updated roadway segment analysis.
3. Dedicate additional right-of-way to total 50-feet from centerline of Linder Road abutting the site. Compensation will not be provided, as this roadway is not listed in ACHD's CIP.
4. Improve Linder Road with 17-feet of pavement from centerline, a 3-foot gravel shoulder and 5-foot wide detached concrete sidewalk abutting the site. Locate the sidewalk a minimum of 43-feet from centerline of Linder Road. If street trees are desired, provide an 8-foot wide planter strip.
5. Construct a southbound center left-turn lane on Linder Road at the driveway located 660-feet south of Columbia Road and at Paloma Ridge Drive. Coordinate the design of the center turn lane with ACHD's Development Review staff.
6. Dedicate additional right-of-way to total 39-feet from centerline of Columbia Road abutting the site. Compensation will not be provided, as Columbia Road is not listed in ACHD's CIP.
7. Improve Columbia Road with 17-feet of pavement from centerline, a 3-foot gravel shoulder and 5-foot wide detached concrete sidewalk abutting the site. Locate the sidewalk a minimum of 32-feet from centerline of Columbia Road. If street trees are desired, provide an 8-foot wide planter strip.
8. Construct a westbound center left-turn lane on Columbia Road at Groveland Avenue. Coordinate the design of the center left turn lane with ACHD's Development Review staff.
9. Dedicate additional right-of-way at the Columbia Road and Linder Road intersection for the single lane roundabout to match the image above in Findings C5b. Compensation will not be provided, for the additional right-of-way dedication, as the intersection is not listed in ACHD's CIP.
10. Construct the entry roadway, Paloma Ridge, to intersect Linder Road with two 22-foot wide travel lanes, a 12-foot wide center landscape island, vertical curb, gutter within 60-feet of right-of-way, and a 6-foot wide planter strip with a 5-foot wide detached concrete sidewalk located outside of the right-of-way.
11. Construct the entry roadway, Groveland Avenue, to intersect Columbia Road, with two 22-foot wide travel lanes, a 12-foot wide center landscape island, vertical curb, gutter and 5-foot wide attached concrete sidewalk within 70-feet of right-of-way.
12. Plat the center landscape islands on both Paloma Ridge Drive and Groveland Avenue as right-of-way owned by ACHD. The applicant or homeowner's association shall enter into a license agreement for any landscaping proposed within the islands.
13. Construct the internal local streets as 36-foot street sections with rolled curb, gutter and a 7-foot wide landscape strip within 50-feet of right-of-way, and 5-foot wide detached concrete sidewalk located outside of the right-of-way. If street trees are desired, then 8-foot wide planter strips should be provided.
14. Provide a permanent right-of-way easement to 2-feet behind back of sidewalk for any sidewalk placed outside of the dedicated right-of-way.
15. Construct the cul-de-sac at the terminus of Switch Grass Court and Wingspread Place with a minimum 45-foot radius.

16. Construct a cul-de-sac with an island at the terminus of Doverfield Court with a minimum 29-foot street section around the center island. Provide written fire department approval for use of the reduced street section. Parking within the island is prohibited.
17. Plat the center island as right-of-way owned by ACHD. The applicant or homeowner's association should enter into a license agreement for any landscaping proposed within the island.
18. Construct a knuckle at the intersection of Switch Grass Street and White Clay Avenue, Switch Grass Street and Country Wind and at the terminus of Hammer Falls Street, as proposed.
19. Construct one new local roadway, Paloma Ridge Drive, to intersect Linder Road located 1,535-feet south of Columbia Road.
20. Construct one new local roadway, Groveland Avenue, to intersect Columbia Road located 840-feet east of Linder Road.
21. Construct all local internal streets to align or offset a minimum of 125-feet.
22. Construct 4 stub streets in the following locations:
 - Skyracer Drive to the northeast, located 370-feet south of Columbia Road.
 - Silver Smog Drive to the east, located 892-feet south of Columbia Road.
 - Hammer Falls Street to the southwest, located 124-feet north of the southeast property line.
 - Waterclover Street to the west located 1,094-feet south of Columbia Road.
23. Install a sign at the terminus of all 4 stub streets stating, "THIS ROAD WILL BE EXTENDED IN THE FUTURE."
24. Design a bridge or pipe crossing of the Kuna Canal for the stub streets, Skyracer Drive and Hammer Falls Street, and provide a road trust deposit for half the cost of construction of the crossing.
25. Close the two existing driveways onto Linder Road with 5-foot wide concrete sidewalk, landscaping and fencing.
26. Construct a 30-foot wide curb return type driveway from the site onto Linder Road, located 660-feet south of Columbia Road. This driveway may be restricted to right in/right-out only in the future, as determined by ACHD.
27. Construct a 30-foot wide driveway onto Groveland Avenue located approximately 205-feet south of Columbia Road.
28. Direct lot access is prohibited to Linder Road and Columbia Road and should be noted on the final plat.
29. Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
30. Payment of impact fees is due prior to issuance of a building permit.
31. Comply with all Standard Conditions of Approval.

E. Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).

2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.
3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

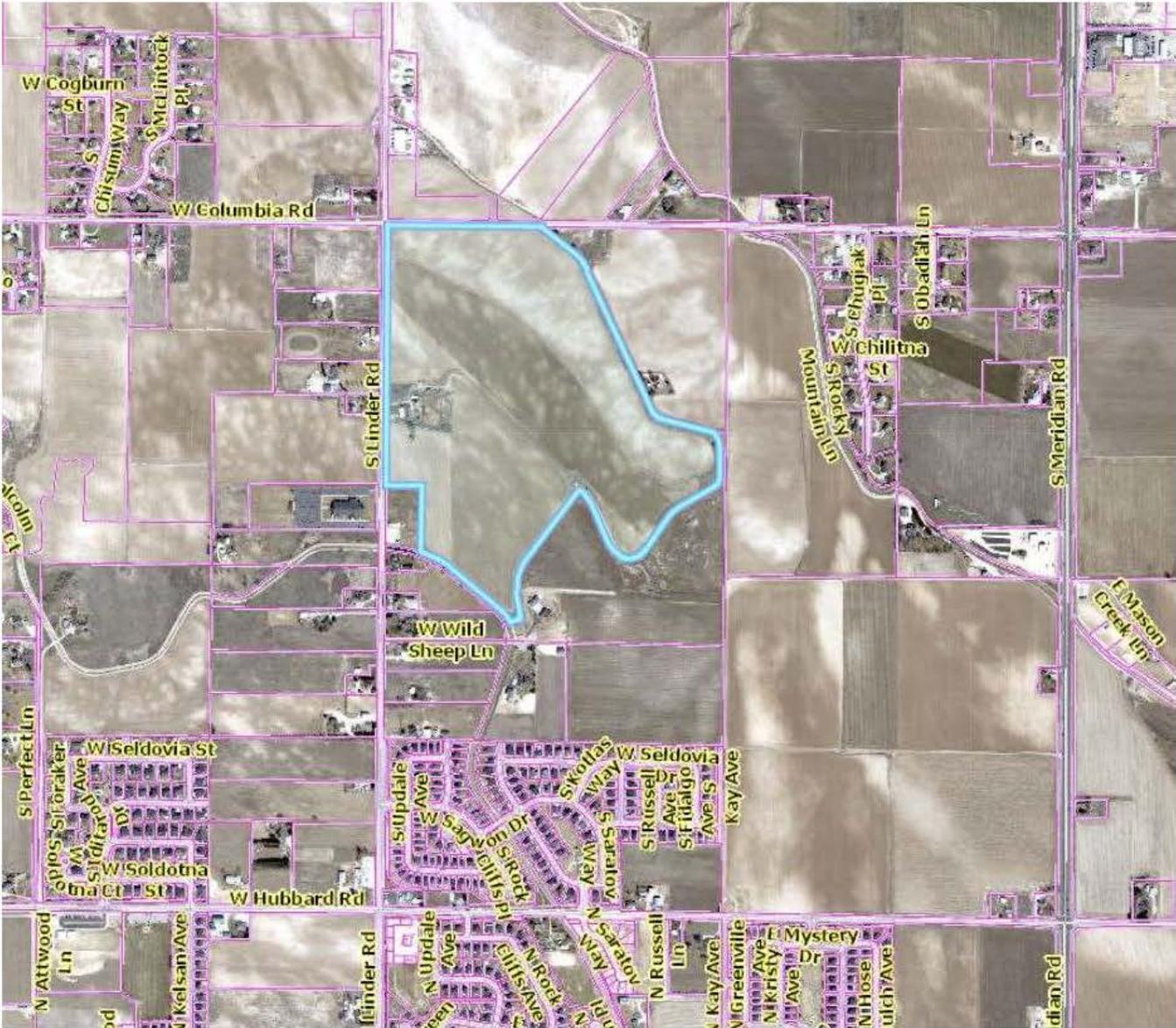
F. Conclusions of Law

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

G. Attachments

1. Vicinity Map
2. Site Plan
3. TIS Executive Summary
4. ITD Comment Letter
5. Utility Coordinating Council
6. Development Process Checklist
7. Appeal Guidelines

VICINITY MAP



EXECUTIVE SUMMARY

The Paloma Ridge Development is located in the southeast quadrant of the Columbia Road/Linder Road intersection. The proposed site is currently 113.1 acres of vacant farmland and will be across Columbia Road from the new Kuna High School across Columbia Road. The site is currently in Kuna, Idaho and zoned Mixed Use. The development is planned to be built in two phases. The first phase will be approximately 350 single-family houses and the second phase will be approximately 6.46 acres of commercial retail uses. The anticipated buildout year of Phase 1 is 2025. Phase 2 will follow as market conditions allow, however, a buildout analysis year of 2025 was assumed for this study.

FINDINGS

Existing Conditions

- The study evaluated four off-site intersections during the a.m. and p.m. peak hour of a typical weekday.
- All study intersections were found to operate acceptably during the existing weekday a.m. and p.m. peak hours with the exception of:
 - **SH 69 / Lake Hazel Road (PM Peak Hour)**
 - The westbound through/right approach operates at $V/C = 0.94$ and LOS F during the weekday p.m. peak hour.
 - The overall the intersection operates at a 0.88 v/c ratio in the weekday p.m. peak hour, which is under ITD's desired 0.90 v/c ratio.
 - **Linder Road / Hubbard Road (AM and PM Peak Hour)**
 - The intersection operates at LOS F in the weekday p.m. peak hour. Several lane groups have a v/c greater than 1.0.
 - The intersection is projected to meet the 8-hour, 4-hour, and peak hour traffic signal volume warrants under 2020 existing conditions.
 - The intersection is shown as a future roundabout on the ACHD Master Street Map. In addition, an interim traffic signal with left-turn lanes or a single lane roundabout mitigates this intersection to meet ACHD standards.
- All ACHD study roadway segments operate at acceptable levels-of-service.
- Crash data at the study intersections and roadway segments for the most recent five years of complete data (2015-2019) were analyzed for any existing crash trends. The most common crash type was an angle crash at SH 69 / Lake Hazel Road. A traffic signal was installed in September 2018 at this intersection which should reduce angle crashes.

Year 2025 Background Traffic Conditions

- Year 2025 background traffic volumes were forecasted using a 3% compounded annual growth rate on SH 69 and Linder Road and a 6% compounded annual growth rate on all other roadways as well as the addition of in-process traffic from Whispering Meadows Subdivision and the new Kuna High School.
- Year 2025 background traffic analysis (without inclusion of site-generated traffic) found that none of the study intersections are expected to operate at acceptable operating standards during the weekday a.m. and p.m. peak hours.
 - **SH 69 / Lake Hazel Road (AM and PM Peak Hour)**
 - The intersection is operating with a $V/C = 0.95$ during the weekday a.m. peak hour with the following movements with a $V/C > 0.90$:
 - WBTR: $V/C = 0.96$
 - NBTR: $V/C = 0.94$
 - The intersection is operating with a $V/C = 0.98$ during the weekday p.m. peak hour with the following movements with a $V/C > 0.90$:
 - WBTR: $V/C = 1.02$
 - NBTR: $V/C = 0.97$
 - To meet ACHD operating standards, the following are required:
 - Westbound right-turn lane (it should be noted that some vehicles use the wide approach similar to a westbound right-turn lane)
 - To meet ITD operating standards an additional northbound and southbound through lane on SH 69 with a westbound right-turn lane is needed.
 - ITD is currently completing a corridor study for SH 69 in this area and the vision presented by that study identifies a future Median U Turn (MUT) intersection at this location along with widening of SH 69 to three lanes in each direction from Overland Road to Lake Hazel Road (likely through the intersection and then tapering to two lanes in each direction south of Lake Hazel Road).
 - **SH 69 / Columbia Road (AM Peak Hour)**
 - The intersection is operating with a v/c ratio of 0.89 overall but has the eastbound through-right movement operating with a v/c ratio of 0.94.
 - ITD is currently completing a corridor study for SH 69 in this area and the vision presented by that study identifies a future Median U Turn (MUT) intersection at this location.

- **Linder Road / Hubbard Road (AM and PM Peak Hour)**
 - As found in the 2020 existing traffic conditions, the intersection is operating over capacity and can be mitigated by an interim traffic signal with left-turn lanes or a single lane roundabout in the 2025 background conditions.
- All ACHD study roadway segments are projected to continue operating at acceptable levels of service except for Columbia Road between Linder Road and SH 69.
 - **Columbia Road (AM and PM Peak Hour)**
 - This section on roadway is not on ACHD's CIP, however the roadway will need to be widened to a three-lane cross section with a center turn lane to meet ACHD roadway segment operation standards under 2025 background or total traffic conditions.

Trip Generation and Distribution

- The *ITE Trip Generation Manual, 10th Edition* was used to estimate the trip generation for the proposed Paloma Ridge Development.
- The proposed Paloma Ridge Development is located on the southeast quadrant of Columbia Road / Linder Road.
 - The development is divided into two phases. The first phase proposes 350 single family homes. The second phase proposes 6.46 square acres of retail uses.
 - Phase 1 of the proposed Paloma Ridge Mixed-Use Development is estimated to generate a total of 3,214 daily net new trip ends, of these 253 are estimated to occur in the weekday a.m. peak hour (63 inbound / 190 outbound), and 338 are estimated to occur in the weekday p.m. peak hour (213 inbound / 125 outbound).
 - Phases 1 + 2 of the proposed Paloma Ridge Mixed-Use Development are estimated to generate a total of 5,435 daily net new trip ends, of these 427 are estimated to occur in the weekday a.m. peak hour (172 inbound / 255 outbound), and 465 are estimated to occur in the weekday p.m. peak hour (270 inbound / 195 outbound).
- The distribution pattern for site-generated trips was developed by evaluating a select zone analysis from COMPASS' regional travel demand model.

Year 2025 Total Traffic Conditions – Phase 1 (Residential)

- Phase 1 of the development only studied the following intersections:
 - SH 69 / Columbia Road
 - Linder Road / Columbia Road

- As under the 2025 background conditions, the year 2025 phase 1 total traffic analysis (with the inclusion of phase 1 site-generated traffic) found that the following study intersection is expected to exceed operational guidelines during the weekday a.m. and p.m. peak hours.
 - **SH 69 / Columbia Road (AM Peak Hour)**
 - This intersection is operating at LOS E in the weekday a.m. peak hour. The overall intersection operates with a v/c ratio of 0.94 and 0.92 in the weekday a.m. and p.m. peak hours, respectively. The eastbound left-turn lane group is over capacity while several other lane groups operate with a v/c ratio > 0.90.
 - ITD is currently completing a corridor study for SH 69 in this area and the vision presented by that study identifies a future Median U Turn (MUT) intersection at this location.
 - The Phase 1 development traffic is projected to be approximately 4.6% of the 2025 total traffic at this intersection. The MUT intersection is the planned 2040 horizon year mitigation so the development's proportional share for contributions for this intersection should be calculated based on the 2040 projected intersection volumes.

Year 2025 Total Traffic Conditions – Phases 1 + 2 (Residential + Commercial)

- As under the 2025 background conditions, the year 2025 phases 1 + 2 total traffic analysis (with the inclusion of phases 1 + 2 site-generated traffic) found that the following study intersections are expected to exceed operational guidelines during the weekday a.m. and p.m. peak hours.
 - **SH 69 / Lake Hazel Road (AM and PM Peak Hour)**
 - As found in the 2025 background traffic conditions, this intersection operates overcapacity.
 - ITD is currently completing a corridor study for SH 69 in this area and the vision presented by that study identifies a future Median U Turn (MUT) intersection at this location along with widening of SH 69 to three lanes in each direction from Overland Road to Lake Hazel Road (likely through the intersection and then tapering to two lanes in each direction south of Lake Hazel Road).
 - The Phase 2 total development traffic is projected to be approximately 1.8% of the 2025 total traffic at this intersection. The MUT intersection is the planned 2040 horizon year mitigation so the development's proportional share for contributions for this intersection should be calculated based on the 2040 projected intersection volumes.

- **SH 69 / Columbia Road (AM Peak Hour)**
 - This intersection is operating at LOS E and D in the weekday a.m. and p.m. peak hours, respectively. The overall intersection operates with a v/c ratio of 1.05 and 0.96 in the weekday a.m. and p.m. peak hours, respectively. The eastbound left-turn lane group is over capacity while several other lane groups operate with a v/c ratio > 0.90.
 - ITD is currently completing a corridor study for SH 69 in this area and the vision presented by that study identifies a future Median U Turn (MUT) intersection at this location.
 - The Phase 2 development traffic is an additional approximately 2.4% of the 2025 total traffic at this intersection (in addition to the 4.6% of Phase 1 traffic at this intersection). The MUT intersection is the planned 2040 horizon year mitigation so the development's proportional share for contributions for this intersection should be calculated based on the 2040 projected intersection volumes.
- **Linder Road / Hubbard Road (AM and PM Peak Hour)**
 - As found in the 2020 existing traffic conditions, the intersection does not meet standards and can be mitigated by an interim traffic signal with left-turn lanes or a single lane roundabout.
 - The proposed Phase 2 development traffic is projected to be approximately 2.0% of the 2025 total traffic at this intersection.
- The ACHD study roadway segments are projected to exceed operate at acceptable levels of service:
 - **Columbia Road (AM and PM Peak Hour)**
 - As under 2025 background conditions, this section on roadway is not on ACHD's CIP, however, needs to be widened in order to meet ACHD roadway segment level-of-service standards.
 - The key intersections on either side of this section will be either widened to include left-turn lanes or converted into a single lane roundabout which increases the capacity of the roadway.
 - **Linder Road (AM Peak Hour)**
 - This section of roadway barely doesn't meeting ACHD segment level-of-service standards. However, the key intersections along the site frontage of this section is already or will be widened to include left-turn lanes which increases the capacity of the roadway.

Site Access Evaluation

- The turn lane analysis using ACHD procedures resulted in turn lane warrants at the following site access streets:
 - Phase 1 (Residential)
 - Columbia Road / Site Access A
 - Westbound Left-Turn Lane
 - Linder Road / Site Access D
 - Southbound Left-Turn Lane
 - Phase 1 + 2 (Residential + Commercial)
 - Columbia Road / Site Access A
 - Westbound Left-Turn Lane
 - Columbia Road / Site Access B
 - Westbound Left-Turn Lane
 - Eastbound Right-Turn Lane
 - Linder Road / Site Access C
 - Southbound Left-Turn Lane
 - Linder Road / Site Access D
 - Southbound Left-Turn Lane
- The intersection sight distance evaluation identified that intersection sight distance can be achieved at all the site intersections. However, the following are recommendations for all site accesses when designed and constructed:
 - Remove miscellaneous vegetation and shrubbery, and potential obstructions along Columbia Road or Linder Road as necessary to obtain and maintain adequate intersection sight distance.
 - Site accesses are assumed to match the existing grade of the connected roadway at the intersection and back at least one car length. Significant changes to the approach grade could impact the sight distances.
 - Shrubby, weeds, and landscaping near the internal intersections and site access points should be maintained to ensure adequate sight distance.
 - If widening occurs along any of the site access road, care should be taken to ensure adequate grades and intersection sight distance is maintained.
 - Intersection sight distance should be analyzed as part of the final access design and roadway widening.
- The following access is the only access that doesn't meet ACHD Policy:
 - **Columbia Road / Site Access B**
 - This access, a proposed driveway, accesses Columbia Road approximately 500 feet east of Linder Road. The nearest access is Site Access A which is

approximately 340 feet to the east. ACHD's spacing criteria for a driveway on a minor arterial is 425 feet. Therefore, the proposed access does not meet spacing requirements for Columbia Road.

- Based on this evaluation, the access should be approved by ACHD for the following reasons:
 - If Access B is not allowed, the daily traffic of Site Access A and Site Access B combined would exceed ACHD's daily local road threshold of 2,000 vehicles.
 - Right-turn and left-turn lanes are proposed on Columbia Road, which will reduce any impacts to the through traffic on Columbia Road.
 - The proposed access will still function acceptably as an unsignalized right-in/right-out/left-in access (without turn lanes).
 - This access is proposed as a driveway and will serve mostly commercial trips, while Site Access A will primarily serve residential trips.
- Therefore, the driveway is recommended as a right-in/right-out/left-in access.
- Based on the ACHD bicycle plan, Linder Road and Columbia Road are projected to be Level 3 facilities, including buffered/protected/raised bike lanes, cycle track or multi-use pathway. Therefore, as these roadways are built to ACHD arterial standards, Level 3 bike facilities should be considered.

RECOMMENDATIONS

Based on the report's analyses and evaluation findings, recommendations were developed accordingly for time scenario's conditions.

Year 2020 Existing Traffic Condition Mitigations (Without the Proposed Development)

The following mitigations are recommended to accommodate the year 2020 existing traffic volume and meet ACHD policy.

Linder Road / Hubbard Road

- Construct an interim traffic signal with left-turn lanes on all approaches or a single-lane roundabout if right-of-way is obtained by ACHD. This intersection meets signal warrants and is over capacity in existing traffic conditions. The Phase 2 development traffic accounts for 2.0 percent of the projected 2025 total traffic at the intersection.

Year 2025 Background Traffic Condition Mitigations (Without the Proposed Development)

The following mitigations are recommended to accommodate the year 2025 background traffic volume and meet ACHD policy.

SH 69 / Lake Hazel Road

- Install a westbound right-turn lane. Note that the development can build up to approximately 350 units and 20,000 sq ft of commercial occupied before the westbound left-turn is required for all v/c ratios to remain ≤ 1.0 . The Phase 2 development traffic accounts for approximately 1.8 percent of the proposed traffic at the intersection.

Additional Year 2025 Mitigations Needed With the Paloma Ridge Mixed-Use Development Phase 1 (Residential)

The following mitigations are recommended due to the inclusion of Paloma Ridge Mixed-Use Development's Phase 1 (Residential) site generated trips.

Columbia Road / Site Access A

- Construct a westbound left-turn lane with approximately 100 feet of vehicle storage.

Linder Road / Site Access D

- Construct a southbound left-turn lane with approximately 100 feet of vehicle storage.

Additional Year 2025 Mitigations Needed With the Paloma Ridge Mixed-Use Development Phases 1 + 2 (Residential + Commercial)

The following mitigations are recommended due to the inclusion of Paloma Ridge Mixed-Use Development's Phases 1 +2 (Residential + Commercial) site generated trips.

Columbia Road / Site Access B

- Construct a westbound left-turn lane with approximately 100 feet of vehicle storage.
- Construct an eastbound right-turn lane with approximately 100 feet of vehicle storage.

Linder Road / Site Access C

- Construct a southbound left-turn lane with approximately 100 feet of vehicle storage.

All Site Accesses

- With approval from ACHD, construct all accesses to the development with the following designations:
 - All local streets within the development should be constructed with one travel lane in each direction.
 - Site driveways with access to public streets should provide sufficient stacking distance for four vehicles (100 feet) to ensure acceptable operation and accommodate larger vehicles, including utility service and delivery vehicles.
 - Site accesses along Linder Road and Columbia Road should match the existing grade or be higher at the intersection to ensure the best possible sight distance.
 - All accesses and internal streets should be designed to provide adequate intersection site distance. Shrubbery and landscaping near the intersection and site access point should be maintained to ensure adequate sight distance is maintained.



**Your Safety • Your Mobility
Your Economic Opportunity**

IDAHO TRANSPORTATION DEPARTMENT
P.O. Box 8028 • Boise, ID 83707-2028
(208) 334-8300 • itd.idaho.gov

October 20, 2020

*Corrections made by Erika Bowen (12/9/2020)

Adam Capell
Toll Brothers
3103 W. Sheryl Drive, Suite 100
Meridian, ID 83642
acapell@tollbrothers.com

VIA EMAIL

RE: Paloma Ridge Mixed Use Development – ITD Development Condition Memo

Dear Mr. Capell,

I really appreciate the work you are doing to help those who are living in this beautiful area of Kuna, ID. The Paloma Ridge Mixed Use Development (TIS) provided by Kittelson & Associates has been reviewed. The trips generated by your development adds congestion to SH-69. ITD is working with the city of Kuna to collect a proportionate share contribution from each new development for impacts to the State highway system. The city of Kuna shall include the recommended proportionate share amount into their development agreement with you and ITD shall collect the funds. As two agencies we will work together to accelerate highway construction on SH-69 to accommodate new development growth. ITD values your contribution to the transportation system so we can help keep goods, services and the public moving efficiently.

ITD determined ~~Lugarno Terra North's~~ ^{Paloma Ridge's} total proportionate share contribution to be \$249,557 (4.85%). This is based off site traffic volumes versus 2040 total traffic volumes at the intersection of SH-69/~~Deer Flat Road~~ ^{Columbia Road}. ITD's preliminary findings in the Sh-69 Corridor Study is that the future SH-69/~~Deer Flat~~ ^{Columbia Road} intersection is anticipated to be a Median U-turn Crossing (MUT). Details of the proportionate share calculations are included in the attached *ITD Staff Technical Report*.

The TIS identified that there are two separate developers for the residential versus commercial portions of the Paloma Ridge Development. ITD is willing to consider the proportionate share be split by land use. In doing so, the department arrived at the following proportionate share contributions by land use.

Residential (350 units):	\$136,757
Commercial (562,800 sqft):	\$112,800

Thank you again for your partnership. If there are any questions or concerns, please do not hesitate to email me at Justin.Price@itd.idaho.gov or give me a call at 208-334-8340.



**Your Safety • Your Mobility
Your Economic Opportunity**

IDAHO TRANSPORTATION DEPARTMENT

P.O. Box 8028 • Boise, ID 83707-2028

(208) 334-8300 • itd.idaho.gov

Sincerely,

Justin Price

Justin Price

ITD District 3 Traffic Engineer

Cc:

Troy Behunin – City of Kuna

Paige Bankhead – ACHD

Ada County Utility Coordinating Council

Developer/Local Improvement District Right of Way Improvements Guideline Request

Purpose: To develop the necessary avenue for proper notification to utilities of local highway and road improvements, to help the utilities in budgeting and to clarify the already existing process.

- 1) **Notification:** Within five (5) working days upon notification of required right of way improvements by Highway entities, developers shall provide written notification to the affected utility owners and the Ada County Utility Coordinating Council (UCC). Notification shall include but not be limited to, project limits, scope of roadway improvements/project, anticipated construction dates, and any portions critical to the right of way improvements and coordination of utilities.
- 2) **Plan Review:** The developer shall provide the highway entities and all utility owners with preliminary project plans and schedule a plan review conference. Depending on the scale of utility improvements, a plan review conference may not be necessary, as determined by the utility owners. Conference notification shall also be sent to the UCC. During the review meeting the developer shall notify utilities of the status of right of way/easement acquisition necessary for their project. At the plan review conference each company shall have the right to appeal, adjust and/or negotiate with the developer on its own behalf. Each utility shall provide the developer with a letter of review indicating the costs and time required for relocation of its facilities. Said letter of review is to be provided within thirty calendar days after the date of the plan review conference.
- 3) **Revisions:** The developer is responsible to provide utilities with any revisions to preliminary plans. Utilities may request an updated plan review meeting if revisions are made in the preliminary plans which affect the utility relocation requirements. Utilities shall have thirty days after receiving the revisions to review and comment thereon.
- 4) **Final Notification:** The developer will provide highway entities, utility owners and the UCC with final notification of its intent to proceed with right of way improvements and include the anticipated date work will commence. This notification shall indicate that the work to be performed shall be pursuant to final approved plans by the highway entity. The developer shall schedule a preconstruction meeting prior to right of way improvements. Utility relocation activity shall be completed within the times established during the preconstruction meeting, unless otherwise agreed upon.

Notification to the Ada County UCC can be sent to: 50 S. Cole Rd. Boise 83707, or Visit iducc.com for e-mail notification information.

Development Process Checklist

Items Completed to Date:

- Submit a development application to a City or to Ada County
- The City or the County will transmit the development application to ACHD
- The ACHD **Planning Review Section** will receive the development application to review
- The **Planning Review Section** will do one of the following:
 - Send a “**No Review**” letter to the applicant stating that there are no site specific conditions of approval at this time.
 - Write a **Staff Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.
 - Write a **Commission Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.

Items to be completed by Applicant:

- For **ALL** development applications, including those receiving a “**No Review**” letter:
 - The applicant should submit one set of engineered plans directly to ACHD for review by the **Development Review Section** for plan review and assessment of impact fees. (Note: if there are no site improvements required by ACHD, then architectural plans may be submitted for purposes of impact fee assessment.)
 - The applicant is required to get a permit from Construction Services (ACHD) for **ANY** work in the right-of-way, including, but not limited to, driveway approaches, street improvements and utility cuts.
- Pay Impact Fees prior to issuance of building permit. Impact fees cannot be paid prior to plan review approval.

DID YOU REMEMBER:

Construction (Non-Subdivisions)

Driveway or Property Approach(s)

- Submit a “Driveway Approach Request” form to ACHD Construction (for approval by Development Services & Traffic Services). There is a one week turnaround for this approval.

Working in the ACHD Right-of-Way

- Four business days prior to starting work have a bonded contractor submit a “Temporary Highway Use Permit Application” to ACHD Construction – Permits along with:
 - a) Traffic Control Plan
 - b) An Erosion & Sediment Control Narrative & Plat, done by a Certified Plan Designer, if trench is >50’ or you are placing >600 sf of concrete or asphalt.

Construction (Subdivisions)

Sediment & Erosion Submittal

- At least one week prior to setting up a Pre-Construction Meeting an Erosion & Sediment Control Narrative & Plan, done by a Certified Plan Designer, must be turned into ACHD Construction to be reviewed and approved by the ACHD Stormwater Section.

Idaho Power Company

- Vic Steelman at Idaho Power must have his IPCO approved set of subdivision utility plans prior to Pre-Con being scheduled.

Final Approval from Development Services is required prior to scheduling a Pre-Con.

Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
 - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
 - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
 - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
 - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
 - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.

LEGAL NOTICE**Case Nos. 20-07-ZC & 20-10-S:
Paloma Ridge Subdivision; Rezone & Preliminary-Plat**

NOTICE IS HEREBY GIVEN the Planning & Zoning Commission will hold a public hearing via Zoom, **Tuesday, January 26, 2021, at 6:00 PM**, or as soon as can be heard; in connection with a **Rezone (ZC) and Preliminary Plat (S)** request for the Paloma Ridge Subdivision. Toll Southwest, LLC requests a Rezone for approx. 113.26 total acres from Agriculture to 9.08 ac. C-1 (Commercial), 58.86 ac. R-4 (Med. Density Res.), 34.14 ac. R-6 (Med. Density Res.) and 11.17 ac. R-8 (Med. Density Res.). Preliminary Plat approval has also been requested in order to subdivide the approx. 113.26 ac. into 388 total lots (5 Commercial, 341 Single-Family Residential, 42 Common); Gross Density 3.01 DUA, Net Density is approx. 5.20 DUA. Project is located on the SE corner of S Linder and W Columbia Roads; Township 2N, Section 12, Range 1W (APN: S1312223000).

Please do not contact the Commission or Council including the Mayor as this may jeopardize the public hearing process as it is considered ex parte. If you have any questions or require special accommodations, please contact Kuna Planning & Zoning Department prior to the meeting at (208) 922-5274.

The public is invited to provide written or oral testimony. Due to current health precautions associated with the Coronavirus, the City of Kuna is providing alternative ways for the community to submit comments at public hearings.

APPLICANT AND PUBLIC WRITTEN AND ORAL HEARING TESTIMONY PROCESS:

Written - In Advance to be included in the Agenda Packet that is distributed to the Commission.

1. Submit any option prior to 5:00 PM the Wednesday before Public Hearing meeting. Late submissions will not be included in the packet but will be provided at the meeting.

2. Submit testimony via our website on the Public Testimony Form. This form will email directly to the City for inclusion in the Agenda Packet.

3. Submit testimony via email to PublicHearingTestimony@KunaID.gov

4. Submit via mail to: City of Kuna, Planning & Zoning Department, PO Box 13, Kuna ID 83634

Written – Up to noon the day of the Public Hearing

1. Submit any option prior to noon the day of the Public Hearing meeting. Late submissions will not be included.

2. Submit testimony via our website on the Public Testimony Form

3. Submit testimony via email to PublicHearingTestimony@KunaID.gov

4. Submit via mail to: City of Kuna, Planning & Zoning Department, PO Box 13, Kuna ID 83634

Oral – Virtual Testimony during the Public Hearing. Due to the rise in COVID-19 cases and the Governor’s Order dated November 14, 2020: The Council Chambers is closed to the public. Members of the public wishing to testify may request the virtual hearing link from Planning and Zoning up to noon the day of the public hearing. All other persons may access the meeting via Live Streaming on the City of Kuna Facebook page, <https://www.facebook.com/CityofKunaIdaho/>. All persons wishing to testify must, state their name and residential address. A three (3) minute time limit will be placed on all testimonies.

Kuna Planning & Zoning Department

January 6, 2021

62970

City of Kuna
Planning and Zoning
PO Box 13
Kuna, ID 83634

**LEGISLATIVE
NOTICE**

City of Kuna
Paloma Ridge

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Suggestions For Testifying at the Public Hearing:

**Due to the rise in Covid-19 cases...
Under the Governor's Order dated
November 14, 2020, Council Chambers is
closed to the public. Virtual participation/
testimony via Zoom is available (please
see attached instructions for more
details). All other persons may access
the meeting via live streaming on the
City of Kuna's Facebook page.**

Be informed . . .

Review the proposal, staff report, applicable provisions of the ordinance, comprehensive plan and Idaho State Code (Title 67, Chapter 65).

All items pertaining to the application can be found the Friday prior to the hearing at <http://kunacity.id.gov/93/Agendas-Minutes>.

Be on time . . .

Although the item you are interested in may not be first on the agenda, you never know when it will be heard. The governing body has authority to adjust the schedule according to its discretion. Thus, anticipate attending from the beginning.

Speak to the point . . .

The governing body appreciates pertinent, well organized, factual and concise comments. Redundant testimony is prohibited. The developer or their representative is given 10 minutes to present their project. Others wishing to testify are given three (3) minutes. The developer (or their representative) is given additional time for rebuttal to address issues raised during public testimony. Long stories, abstract complaints, or generalities may not be the best use of time. Neighborhood groups are encouraged to organize testimony and have one (1) person speak on behalf of the group. The group representative will receive 10 minutes to make comments.

If you don't wish to speak, write . . .

Written testimony submitted by close of business the Wednesday prior to the hearing will be included in the packet that is distributed to the governing body prior to the hearing. Late submissions will be presented to the governing body at time of hearing. As a reminder, it is unreasonable to submit extensive written comments or information at the hearing and expect them to be reviewed prior to a decision.

Please submit all written testimony via mail, email or the City's website (<http://kunacity.id.gov/FormCenter/City-Clerk-13/Public-Testimony-Form-121>).



CITY OF KUNA
PLANNING & ZONING DEPARTMENT
 PO Box 13 • 751 W. 4th St • Kuna, Idaho • 83634
 Phone (208) 922-5274 • Fax: (208) 922-5989
 www.kunacity.id.gov

Dear Property Owner:

NOTICE IS HEREBY GIVEN that the **Planning & Zoning Commission** is scheduled to hold a public hearing on **January 26, 2021**, beginning at **6:00 PM** on the following case:

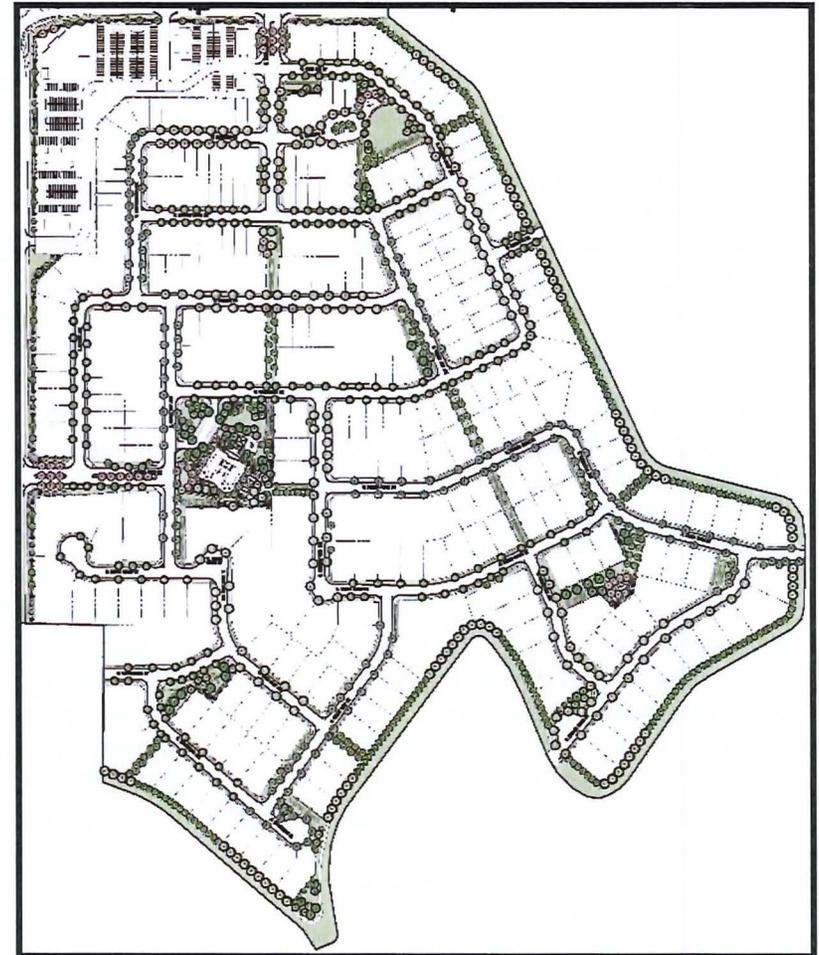
A **Rezone (ZC) and Preliminary Plat (S)** request for the **Paloma Ridge Subdivision**. Toll Southwest, LLC requests a Rezone for

approx. 113.26 total acres from Agriculture to 9.08 ac. C-1 (Commercial), 58.86 ac. R-4 (Med. Density Res.), 34.14 ac. R-6 (Med. Density Res.) and 11.17 ac. R-8 (Med. Density Res.). Preliminary Plat approval has also been requested in order to subdivide the approx. 113.26 ac. into 388 total lots (5 Commercial, 341 Single-Family Residential, 42 Common); Gross Density 3.01 DUA, Net Density is approx. 5.20 DUA. Project is located on the SE corner of S Linder and W Columbia Roads; Township 2N, Section 12, Range 1W (APN: S1312223000).



by the close of business on **January 20, 2021** will be included in the packet that is distributed to the governing body prior to the hearing. Late submissions will be presented to the governing body at time of hearing. Please submit written testimony via mail, email or the City's website (<http://kunacity.id.gov/FormCenter/City-Clerk-13/Public-Testimony-Form-121>).

All other persons may access the meeting via live streaming on the City of Kuna's Facebook page. Mail written comments to PO Box 13, Kuna, ID 83634. If you have questions or need special assistance, please contact the Planning and Zoning Division at (208) 922-5274.



Due to the rise in COVID-19 cases & the Governor's Order dated November 14, 2020, Council Chambers is closed to the public. The public is invited to provide written or oral testimony via the alternative options listed on the attached instructions. Written testimony received



With Council Chambers closed to the public due to COVID-19, the DECISION-MAKING BODY will be holding a virtual public hearing on Case Nos. 20-10-S (Preliminary Plat) & 20-07-ZC (Rezone) for Paloma Ridge Subdivision. The instructions and options available for public testimony are listed below.

APPLICANT PUBLIC WRITTEN AND ORAL HEARING TESTIMONY PROCESS:

Written - In Advance to be included in the Agenda Packet that is distributed to the Decision-Making body.

1. Submit any below stated option prior to 5:00 PM the Wednesday before Public Hearing meeting. *Late submissions will not be included in the packet but will be provided at the meeting.*
2. Submit testimony via our website on the [Public Testimony Form](#), [KunaCity.ID.gov](#) > *Doing Business* > *Forms & Applications* > *Frequently requested Applications and Forms* > *ONLINE Public Testimony Form*. This form will email directly to the City for inclusion in the Agenda Packet.
3. Submit testimony via email to PublicHearingTestimony@KunaID.gov
4. Submit via mail to:
City of Kuna
Attention: Planning and Zoning Department
PO Box 13
Kuna ID 83634

Written – Up to noon the day of the Public Hearing

1. Submit any below stated option prior to noon the day of the Public Hearing meeting. *Late submissions will not be included.*
2. Submit testimony via our website on the [Public Testimony Form](#) [Kunacity.id.gov](#) > *Doing Business* > *Forms and Applications* > *Frequently Requested Applications and Forms* > *ONLINE Public Testimony Form*
3. Submit testimony via email to PublicHearingTestimony@KunaID.gov

Oral – Due to the rise in COVID-19 cases and based on the Governor’s Order dated November 14, 2020, Council Chambers is closed to the public; oral testimony via Zoom will be allowed.

1. Submit request no later than noon the day of the Public Hearing meeting.
2. Email PublicHearingTestimony@KunaID.gov
 - ✓ Your name
 - ✓ Address
 - ✓ Phone Number you will be calling from to give testimony
 - ✓ Email Address
 - ✓ Date of Public Hearing
 - ✓ Case number or Identification of Public Hearing
3. Watch your email for a reply email with the information to join the meeting electronically. (Check your spam/junk folder as a precaution)
4. Follow the directions.
5. Call into the virtual lobby a minimum of 5 minutes prior to the meeting.



CITY OF KUNA
PLANNING & ZONING DEPARTMENT

751 West 4th Street
P.O. Box 13
Kuna, ID 83634
Phone: 208-922-5274
Fax: 208-922-5989
www.kunacity.id.gov

CERTIFICATE OF MAILING

Date: January 6, 2021
To: 300' Property Owners Other _____
Planner: Doug Hanson, Planner I
Case Name: 20-10-S & 20-07-ZC – Paloma Ridge Subdivision

I HEREBY CERTIFY that on this 6th day of January, 2021, I caused a true and correct copy of the foregoing instrument to be deposited in the United States mail, with prepaid postage.



Jessica Reid – P&Z Staff



Attest – Doug Hanson, Planner I



City of Kuna PROOF OF PROPERTY POSTING

City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

This notice shall confirm that the Public Hearing Notice for Paloma Ridge Subdivision
(**NAME OF SUBDIVISION OR ADDRESS**) was posted as required per Kuna City Ordinance
5-1A-8. Sign posted Wednesday, January 13th (**DAY OF THE WEEK, MONTH,
DATE AND YEAR**). This form is required to be returned three (3) calendar days
subsequent to posting and signs are to be removed from the site three (3) calendar
days after the hearing.

DATED this 13th day of January, 2021.

Signature,

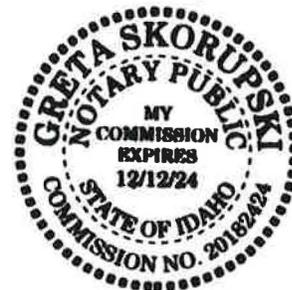
Owner/Developer

STATE OF IDAHO)
County of Ada) : ss
)

On this 13th day of January, 2021, before me the
undersigned, a Notary Public in and for said State, personally appeared before me
(Owner, Developer).

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal
the day and year in this certificate first above written.

Greta Skorupski
Notary Public
Residing at Meridian ID
Commission Expires 12.12.24



Public Hearing Notice

Kuna Planning and Zoning Commission

The City of Kuna will hold a public hearing on January 26, 2021 at 6:00p.m. at Kuna City Hall 751 W 4th Street, Kuna, ID 83634.

The public hearing and testimony will be virtual, contact the City regarding testimony submittal.

File Number: 20-07-ZC & 20-10-S Paloma Ridge Subdivision

PURPOSE: Rezone 113 acres to C-1, R-8, R-6 and R-4 with a preliminary plat for 341 single-family residential homes and 5 commercial lots.

PROPERTY LOCATION: Southeast intersection of Linder and Columbia Roads.

APPLICATION BY: Toll Southwest LLC

CITY CONTACT: Doug Hanson, 208-922-5274
dhanson@kunaID.gov with any questions.

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dhanson@kunalD.gov with any questions.



751 W 4th Street | Kuna, ID | 83634
(208) 922-5274 | www.kunacity.id.gov
EXHIBIT CHECKLIST



Case Name: Paloma Ridge West

Case Nos.: 20-11-S (Preliminary Plat), 20-08-ZC (Rezone) & 20-27-S (Design Review)

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City of Kuna

Planning and Zoning Commission

Staff Report

P.O. Box 13
 Phone: (208) 922-5274
 Fax: (208) 922-5989
www.Kunacity.id.gov

To: Planning and Zoning Commission
Case Numbers: 20-11-S (Preliminary Plat),
 20-08-ZC (Rezone) and
 20-27-DR (Design Review) –
Paloma Ridge West.

Site Location: Near the SWC of Linder
 and Columbia Roads
 Kuna, ID 83634

Planner: Doug Hanson, Planner II

Hearing Date: February 9, 2021

Owners: Patterson Family Enterprises
 4051 Mountain Vista Lane
 Filer, Idaho 83642
 208-371-8887
rpatterson@grouponesir.com

Applicant: Toll Southwest, LLC
 3103 W Sheryl Drive
 Meridian, ID 83642
 208.250.6161

Representative: Sabrina Durtschi
 3103 W Sheryl Drive
 Meridian, ID 83642
 208.250.6161
sdurtschi@tollbrothers.com

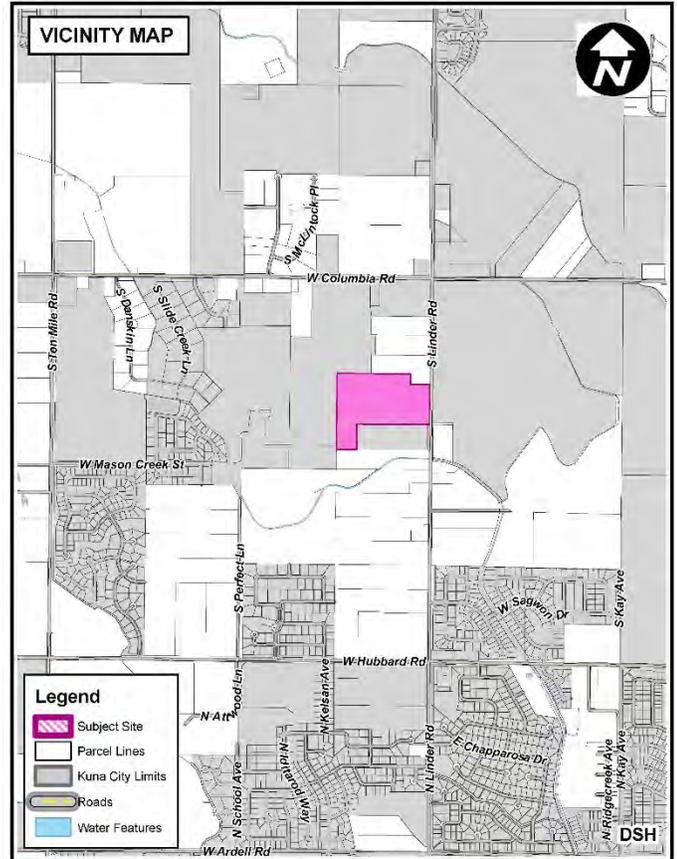


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| A. Process and Noticing | G. Proposed Findings of Fact and Conclusions of Law |
| B. Applicants Request | H. Proposed Comprehensive Plan Analysis |
| C. Site History | I. Proposed Kuna City Code Analysis |
| D. General Project Facts | J. Commission’s Recommendation |
| E. Staff Analysis | |
| F. Applicable Standards | |

A. Process and Noticing:

1. Kuna City Code (KCC), Title 1, Chapter 14, Section 3, states that Design Reviews are designated as *public meetings*, with the Planning and Zoning Commission (acting as the Design Review Board) as the decision-making body; and that Preliminary Plats and Rezones are designated as public hearings, with the Planning and Zoning Commission as a recommending body and City Council as the decision-making body. These land use applications were given proper public notice and followed the requirements set forth in Idaho Code, Chapter 65, Local Planning Act.

a. Notifications

- i. Neighborhood Meeting August 4, 2020 (Zoom)
August 6, 2020 (In Person)
- ii. Agency Comment Request November 20, 2020
- iii. 300' Property Owners Notice January 20, 2021
- iv. Kuna Melba Newspaper January 20, 2021
- v. Site Posted January 13, 2020

B. Applicant's Request:

Sabrina Durtschi on behalf of Toll Southwest, LLC request a rezone for approximately 22.1 acres from A (Agriculture) to R-6 (Medium Density Residential). The applicant also requests preliminary plat approval in order to subdivide the approximate 22.1 acres into 91 total lots (78 residential lots, 12 common lots and one shared driveway). The subject site is located near the SWC of Linder and Columbia Roads, Kuna, ID 83634, within Section 11, Township 2 North, Range 1 West; (APN: S1311141960).

C. Site History:

Historically these parcels have been used for agricultural purposes.

D. General Projects Facts:

1. **Comprehensive Plan Map:** The Future Land Use Map (FLUM) is intended to serve as a *guide* for the decision-making body for the City. The FLUM indicates land use designations generally speaking, it is not the actual zone. The Future Land Use Map identifies the approximately 22.1-acre site as Mixed Use.

2. **Recreation and Pathways Map:** The Recreation and Pathways Master Plan Map does not indicate a future pathway/trail/bike route through the subject site.

3. **Surrounding Land Uses:**

North	RR R-6	Rural Residential – Ada County Agriculture – Kuna City
South	RR A	Rural Residential – Ada County Agriculture – Kuna City
East	RR A	Rural Urban Residential – Ada County Agriculture – Kuna City
West	R-6	Medium Density Residential – Kuna City

4. **Parcel Sizes, Current Zoning, Parcel Numbers:**

Property Owner	Parcel Size:	Current Zone:	APN:
Patterson Family Enterprises	22.1	A (Agriculture)	S1311141960

5. **Services:**

- Sanitary Sewer– City of Kuna
- Potable Water – City of Kuna
- Pressurized Irrigation – City of Kuna (KMIS)
- Fire Protection – Kuna Rural Fire District
- Police Protection – Kuna Police (Ada County Sheriff's office)
- Sanitation Services – J & M Sanitation

6. **Existing Structures, Vegetation and Natural Features:**

The proposed project site has no existing structures. Vegetation on-site is consistent with that of crop fields. The sites have an estimated average slope of 1% to 1.4%. According to the USDA Soil Survey for Ada County, bedrock depth is estimated to be 20 to 40 inches across the proposed development area.

7. Transportation / Connectivity:

The applicant proposes to improve Linder Road along the property’s eastern frontage. Additionally, the project proposes to provide three (3) stub streets to adjacent parcels to the north, south and west of the subject site.

8. Environmental Issues:

Staff is not aware of any environmental issues, health or safety conflicts other than that of the project being within the nitrate priority area. The Idaho Department of Environmental Quality (DEQ) has provided recommendations for surface and groundwater protection practices and requirements for development of the site.

9. Agency Responses: The following responding agency comments are included as exhibits with this case file:

- Kuna Rural Fire District Exhibit B-2
- Department of Environmental Quality Exhibit B-3
- Central District Health Department Exhibit B-4
- Nampa Meridian Irrigation District Exhibit B-5
- COMPASS Exhibit B-6
- City Engineer Exhibit B-7
- Ada County Highway District Exhibit B-8

E. Staff Analysis:

On July 30, 2020 staff held a pre-application meeting with the applicant to discuss the project. The applicant held a virtual neighborhood meeting on August 4, 2020 there was no one in attendance. An on-site neighborhood meeting was held on August 6, 2020 there were three (3) attendees. Neighborhood meeting minutes as well as mailed materials have been provided as a part of this application.

The applicant is proposing to rezone an approximately 22.1-acre parcel from an A (Agriculture) to an R-6 (Medium Density Residential) zone. The 22.1 acres will be subdivided into 91 total lots (78 buildable lots and 12 common lots and one shared driveway). The overall gross density of the project is 3.53 dwelling units per acre (DUA), the net density is 5.65 DUA.

1.84 acres, or 8.4% of the project, is considered useable open space, as defined by Kuna City Code (KCC) 5-1-6-2. Included in the useable open space is a park with playground equipment and pathways for pedestrian connectivity. KCC 5-17 requires developments with a range of 50 to 100 homes/dwelling units to devote 7.50% of the development area to useable open space. Staff views the 8.4% useable open space provided to be in compliance with KCC.

The applicant is proposing improvements to S Linder Road running along the site’s eastern frontage. Linder Road is listed as a north south Minor Arterial on the City of Kuna Street Circulation Map. Ada County Highway District (ACHD) calls for the applicant dedicate additional right-of-way to total 50-feet from centerline. Staff would recommend that S Linder Road be improved with vertical curb, gutter and detached sidewalk installed in accordance with KCC 5-17-13 and 6-4-2 and ACHD Policy. Two streets within the proposed site S Barnhill Avenue and W Arya street are greater than 750-ft in length, ACHD policy requires that the roadways be redesigned to be less than 750-ft in length or provide traffic calming measures. The Kuna Rural Fire District (KRFD) does not want these traffic calming measures placed at roadway intersections. The applicant will be required to install a sign at the terminus of each proposed stub street stating that these roads will continue in the future. Staff will defer the applicant to comments provided by Ada County Highway District for preferred language. The project proposes one public access to the subdivision off of S Linder Road with three (3) stub streets. KRFD requires that a subdivision 30 homes or greater has two (2) public accesses. The applicant has expressed the intention of utilizing the stub street identified on the preliminary plat as W Hodor Street as its secondary public access connecting to phase 6 of the Silvertrail subdivision upon its construction. Staff has added the condition that the applicant come to an agreement with KRFD that the proposed subdivision will not construct more than 30 homes until the stub

street identified on the preliminary plat as W Hodor Street from phase 6 of the Silvertrail subdivision is available for connection.

The Paloma Ridge West Subdivision will convey its sewage directly to the Springhill Lift Station. Comments from the City Engineer in exhibit B-7 confirm that the Springhill Lift Station has the capacity to serve the 78 proposed EDU's.

The installation of streetlights is a required public improvement listed under Kuna City Code 6-4-2. The applicant shall be required to work with staff in order to comply with KCC and install street lights with a maximum spacing of 250 ft. The final location of street lights will be approved at the time of construction document review. Staff would note that these streetlights must be designed and installed according to "Dark Sky" standards.

A design review application for common area landscaping and open space was included as a part of the overall application. The proposed application includes internal pathways, staff will require the applicant comply with KCC 5-5-5-F and install "see-through" fence. Staff finds the proposed landscaping, buffers and common space to be in compliance with Kuna City Code. Additionally, staff notes that if this project is approved, at the time of civil plan development, landscaping cannot be placed within ten (10) feet of any and all meter pits, pressurized irrigation valves, and ACHD underground facilities. In the event that locations of landscaping are within the locations listed above, the landscaping in that area must be moved to an alternate location, and an updated landscape plan must be provided to staff prior to scheduling a final landscape inspection. The developer, owner and/or applicant is hereby notified that this project is subject to design review inspection fees. Required inspections (post construction), are to verify landscaping compliance prior to signature on the final plat.

Kuna's Comprehensive Plan (Comp Plan) encourages a variety of housing types for all income levels, open space and pathways numerous times throughout the document. Pertinent sections of the Comp Plan that address the above listed items are included below in Section "H" of this staff report. Staff has reviewed the proposed rezone and preliminary plat for technical compliance with KCC, and finds the pre-plat and landscape plan are in compliance Kuna City, Title 5 and Title 6 of the Kuna City Code; Idaho Statute § 67-6511; and the Kuna Comprehensive Plan. The applicant will be required to work with Kuna's staff, Ada County Highway District (ACHD), the Kuna Rural Fire District (KRFD) and any other applicable agencies to ensure conformance to each agency's requirements. Staff recommends that if the Planning and Zoning Commission recommends approval of case no. 20-11-S (Preliminary Plat) and 20-08-ZC (Rezone) and approves case no. 20-27-DR (Design Review), the applicant be subject to the conditions of approval listed in section "J" of this report, as well as any additional conditions requested by the Planning and Zoning Commission.

F. Applicable Standards:

1. City of Kuna Zoning Ordinance Title 5.
2. City of Kuna Subdivision Ordinance Title 6.
3. City of Kuna Comprehensive Plan.
4. Idaho Code, Title 67, Chapter 65- the Local Land Use Planning Act.

G. Proposed Findings of Fact and Conclusions of Law:

Based upon the record contained in Case Nos. 20-11-S, 20-08-ZC and 20-27-DR including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, including the exhibits, and the testimony during the public hearing, the Kuna Commission hereby (approves/conditionally approves/denies) Case No. 20-27-DR and recommends (*approval/denial*) of the Findings of Fact and Conclusions of Law, and conditions of approval for Case Nos. 20-11-S and 20-08-ZC, a request from Sabrina Durtschi and Toll Southwest, LLC to rezone an approximately 22.1-acre parcel from an A (Agriculture) to a R-6 (Medium Density Residential) zone and to subdivide the 22.1 acres will be into 91 total lots (78 buildable lots, 12 common lots and one shared driveway).

If the Planning and Zoning Commission wishes to approve, deny or modify specific parts of the Findings of Facts and Conclusions of Law as detailed below, those changes must be specified.

1. *Based on the evidence contained in Case Nos. 20-11-S, 20-08-ZC and 20-19-DR, this proposal does generally comply with the City Code.*

Staff Finding: *The applicant has submitted a complete application, and following staff review for technical compliance the application appears to be in general compliance with the design requirements, public improvement requirements, objectives and considerations listed in Kuna City Code Title 5 and Title 6.*

2. The public notice requirements have been met and the neighborhood meeting was conducted within the guidelines of applicable Idaho Code and City Ordinances.

Staff Finding: *The applicant held a neighborhood meeting on August 4, 2020 and August 6, 2020. A total of three (3) people attended the meeting. Neighborhood Notices were mailed out to residents within 300-FT of the proposed project site on January 20, 2021 and a legal notice was published in the Kuna Melba Newspaper on January 20, 2021. The applicant posted sign on the property on January 13, 2021.*

3. *Based on the evidence contained in Case Nos. 20-11-S, 20-08-ZC and 20-27-DR, this proposal does generally comply with the Comprehensive Plan.*

Staff Finding: *The Comp Plan has listed numerous goals for providing a variety of housing densities and types to accommodate various lifestyles, ages and economic group in Kuna, as well as the installation of pathways and open space. The project proposes R-6 (Medium Density Residential) zones, the Comp Plan Map designates the property as Mixed Use.*

4. The contents of the proposed preliminary plat and rezone applications do contain all of the necessary requirements as listed in Kuna City Code.

Staff Finding: *Review by staff of the proposed annexation confirms all technical requirements listed in KCC were provided.*

5. The availability of existing and proposed public services and streets *can* accommodate the proposed development.

Staff Finding: *Correspondence from ACHD confirms that the streets are suitable and adequate for this project. Per Kuna City Engineer comments (Exhibit B-7), it is expected that the development shall provide additional lift station and force main capacity if needed to serve the property.*

6. The proposed development *is* continuous with Master Utility Plans (Sewer/Water/Pressurized Irrigation).

Staff Finding: *Correspondence from Kuna Public Works recommends the applicant be required to conform to the Master Sewer Plan, Master Water Plan and Master Pressurized Irrigation Plan, therefore satisfying this requirement.*

7. The public *does* have the financial capability to provide supporting services to the proposed development.

Staff Finding: *Throughout the development of the project and beyond, connection fees, impact fees (Fire, police, Park and Ada County Highway District), and property taxes will be collected, therefore satisfying the financial capability to provide supporting services.*

8. The proposed project *does* consider health and safety of the public and the surrounding area's environment.

Staff Finding: Connection to City services, as well as other public improvements such as streetlights, fire hydrants, sidewalks, bike lanes, etc. are required to be implemented as a part of this project. No major wildlife habitats will be impacted by the proposed development.

9. The applicant and/or owner of the property have the right to request a written regulatory taking analysis.

Staff Finding: Pursuant to Idaho Code 67-8003, the owner of private property that is subject of such action may submit a written request for a regulatory taking analysis with the City Clerk. Not more than twenty-eight (28) days after the final decision concerning the matter at issue, the City shall prepare a written taking analysis concerning the action if requested.

H. Proposed Comprehensive Plan Analysis:

Kuna Planning and Zoning Commission may (accept or reject) the Comprehensive Plan components, and shall determine if the proposed annexation and preliminary plat requests for the site (*are/are not*) consistent with the following Comprehensive Plan components as described below:

Goal Area 2: Kuna will be a healthy, safe community.

- Goal 2.B: Maintain and expand parks and public gathering spaces.
 - Objective 2.B.1 Maintain and expand the parks system
 - Policy 2.B.1.b: Continue to require neighborhood park development through the subdivision development process.

Goal Area 3: Kuna's land uses will support a desirable, distinctive and well-designed community.

- Goal 3.D: Encourage development of housing options and strong neighborhoods.
 - Objective 3.D.1: Encourage development of housing options for all citizens.
 - Policy 3.D.1.a: Encourage preservation and development of housing that meets demand for household sizes, lifestyles and settings.
 - Objective 3.D.2: Create strong neighborhoods through preservation, new development, connectivity and programming.
 - Policy 3D.2.d: Work to ensure that all neighborhoods in Kuna benefit from good connectivity through sidewalk, pathway and trail, on-street and transit infrastructure.
- Goal 3.G: Respect and protect private property rights.
 - Objective 3.G.1: Ensure land use policies, restrictions, and fees do not violate private property rights.
 - Policy 3.G.1.b: Ensure City land use actions, decisions and regulations will not cause an unconstitutional regulatory taking of private property; and do not effectively eliminate all economic value of the subject property.
 - Policy 3.G.1.c: Ensure City land use actions, decisions and regulations do not prevent a private property owner from taking advantage of a fundamental property right. Ensure city actions do not impose a substantial and significant limitation on the use of the property.

Goal Area 4: Kuna will be a connected community through strong transportation and infrastructure systems.

- Goal 4.A: Use overlay districts create mixed-use entryway corridors with strong character and managed access.
 - Objective 4.A.2: Preserve Linder Road as a Neighborhood Entryway Corridor using a coordinated, planned approach.
 - Policy 4.A.2.a: Ensure adequate corridor width along Linder Road to support neighborhood connectivity, school bus routes and alternative bicycle and pedestrian routes.
- Goal 4.B: Increase sidewalk coverage and connectivity and invest in pedestrian facilities to increase walkability.
 - Objective 4.B.2: Maintain and expand sidewalks and pedestrian facilities within the community.
 - Policy 4.B.2b: Install detached sidewalks and/or protected pedestrian routes/facilities along high trafficked roads as development occurs.

- Policy 4.B.2.c: Promote the installation of off-system pedestrian pathways to create neighborhood connections and reduce the length of non-motorized transportation routes.
- Policy 4.B.2.g: Coordinate with developers to connect and/or enhance pedestrian facilities, including on and off-system pathways, footbridges (across canals, etc.), road bridges, sidewalks, pedestrian crossings and wayfinding signage.

I. Proposed Kuna City Code Analysis:

1. This request appears to be consistent and in compliance with all Kuna City Code (KCC).

Comment: The proposed applications (adhere/do not adhere) to the applicable requirements of Title 5 and Title 6 of KCC.

2. The Planning and Zoning Commission feels the site (*is/is not*) physically suitable for the proposed development.

Comment: The 22.1-acre (approximate) site (does/does not) appear to be suitable for the proposed development.

3. The preliminary plat, rezone and design review requests are not likely to cause substantial environmental damage or avoidable injury to wildlife or their habitat.

Comment: The land to be developed is not used as wildlife habitat. Roads, driveways, family units and open spaces are planned for construction according the City and ACHD requirements and best practices and will therefore not cause environmental damage or loss of habitat.

4. These applications (*are/are not*) likely to cause adverse public health problems.

Comment: The project would connect to public sewer and potable water systems, therefore eliminating the occurrence of adverse public health problems.

5. The application appears to avoid detriment to the present and potential surrounding uses; to the health, safety, and general welfare of the public taking into account the physical features of the site, public facilities and existing adjacent uses.

Comment: The preliminary plat, rezone and design review requests consider the location of the property and adjacent uses. The adjacent uses are medium density residential (Kuna City), agriculture (Kuna City) and rural residential (Ada County).

6. The existing and proposed street and utility services in proximity to the site (*are/are not*) suitable or adequate for a commercial development.

Comment: Correspondence from ACHD confirms that the streets are suitable and adequate for this project. Per Kuna City Engineer comments (Exhibit B-7), it is expected that the development shall provide additional lift station and force main capacity if needed to serve the property.

J. Commission's Recommendation:

Note: These motions are for the approval, conditional approval or denial of the design review application and the recommendation of approval, conditional approval or denial of the preliminary plat application to the City Council. However, if the planning and Zoning Commission wishes to approve or deny specific parts of these requests as detailed in the report, those changes must be specified.

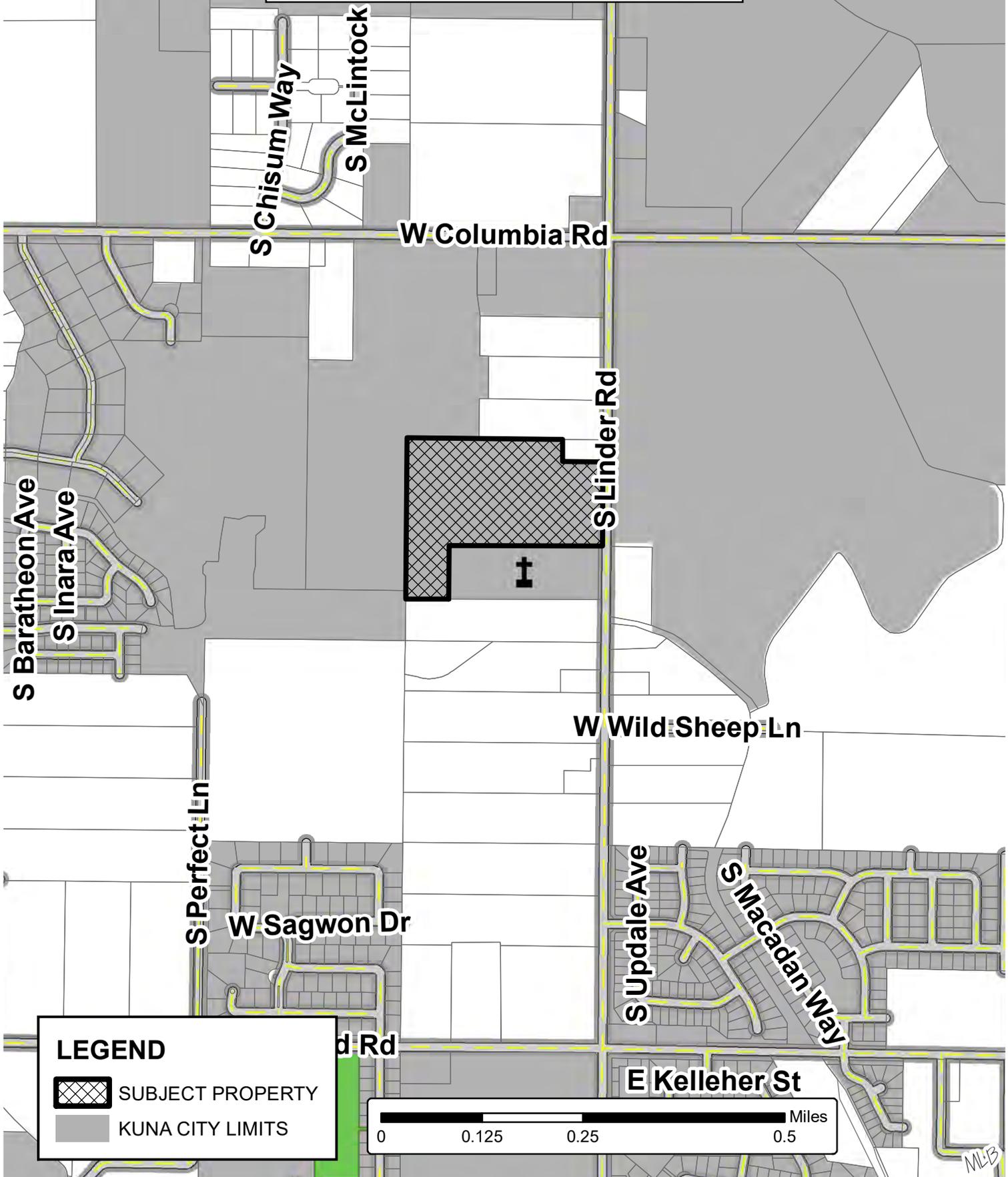
Based on the facts outlined in staff's report and public testimony as presented, the Planning and Zoning Commission of Kuna, Idaho, hereby recommends (*approval/conditional approval/denial*) of Case Nos. 20-11-S (Preliminary Plat) and 20-08-ZC (Rezone) a request from Sabrina Durtschi and Toll Southwest, LLC to rezone an approximately 22.1-acre parcel from an A (Agriculture) to a R-6 (Medium Density Residential) zone and to subdivide the 22.1 acres will be into 91 total lots (78 buildable lots, 12 common lots and 1 shared driveway); AND (*approves/conditionally approves/denies*) Case No. 20-27-DR (Design Review), subject to the following conditions of approval:

1. The applicant and/or owner shall obtain written approval on letterhead or may be written/stamped on the approved plans of the construction plans from the agencies noted below. All submittals are required to include the lighting, landscaping, drainage, and development plans. All site improvements are prohibited prior to approval of the following agencies:
 - a. The City Engineer shall approve the sewer hook-ups.
 - b. The City Engineer shall approve all civil plans. No construction, grading, filling, clearing or excavation of any kind shall be initiated until the applicant has received approval of the drainage plan.
 - c. Central District Health Department recommends the plan be designed and constructed in conformance with standards contained in, "Catalog for Best Management Practices for Idaho Cities and Counties".
 - d. The Kuna Fire District shall approve fire flow requirements and/or building plans. Installation of fire protection facilities as required by Kuna Fire District are required.
 - e. The Kuna Municipal Irrigation System and Boise Project Board of Control shall approve any modifications to the existing irrigation system.
 - f. Approval from Ada County Highway District (ACHD) shall be obtained and Impact Fees must be paid prior to *issuance* of any building permit(s).
 - g. All public rights-of-way shall be dedicated and constructed to standards of the City and Ada County Highway District. No public street construction may commence without the approval and permit from Ada County Highway District.
2. Installation of service facilities shall comply with the requirements of the public utility or irrigation district providing the services. All utilities shall be installed underground, see KCC 6-4-2-W.
3. Compliance with Idaho Code, Section §31-3805 pertaining to irrigation waters is required. Irrigation/drainage waters shall not be impeded by any construction on site. Compliance with the requirements of the Boise Project Board of Control is required.
4. When required, submit a petition to the City (as necessary, confirmed with the City engineer) consenting to the pooling of irrigation surface water rights for delivery purposes and request to annex the irrigation surface water rights appurtenant to the property over to the Kuna Municipal Pressure Irrigation system of the City (KMID).
5. Connection to City Services (Sewer, Water, Pressurized Irrigation) is required. The applicant shall conform all corresponding Master Plans.
6. The Developer/owner/applicant shall be required to participate, as determined by the City Engineer, in the development of additional sewer capacity.
7. Curb, gutter and sidewalk (attached and detached) shall be installed in accordance with Kuna City Code Title 5 Chapter 17 and Title 6 Chapter 4.
8. Applicant/Developer shall install a sign at the terminus of every proposed stub street stating these roads will continue in the future. Applicant/Developer shall obtain proper language from Ada County Highway District.
9. Applicant shall work with staff in order to provide final locations of street lights as required by Kuna City Code.
10. Street lights for the site shall be LED lighting and must comply with Kuna City Code and established Dark Sky practices.
11. Fencing within and around the site shall comply with Kuna City Code (Unless specifically approved otherwise and permitted).

12. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within 3 days or as the planting season permits as required to meet the standards of these requirements. Maintenance and planting within public rights-of-way shall be with approval from the public entities owning the property.
13. Landscaping shall not be placed within ten (10) feet of any and all meter pits, pressurized irrigation valves and/or ACHD underground facilities and must honor all vision triangles.
14. The applicant shall install sod wherever the landscape plan (dated September 21, 2020) identifies "Lawn" and provide staff an updated landscaping plan accommodating the requested change.
15. All signage within/for the project shall comply with Kuna City Code, and shall be approved through the applicable sign approval process listed in KCC 5-10.
16. If any revisions are made, the applicant shall provide the Planning and Zoning Staff with a revised copy of the preliminary plat.
17. Any revisions of the plat are subject to administrative determination to rule if the revision is substantial.
18. The land owner/applicant/developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the City Council, or seek amending them through public hearing processes.
19. Developer/owner/applicant shall follow staff, City Engineer and other agency recommended requirements as applicable.
20. Developer/owner/applicant shall comply with all local, state and federal laws.
21. Applicant shall not request final plat approval until the City's Public Works Director issues the Will-Serve Letter to the applicant that states the City's Memory Ranch Lift Station or some other City appurtenance has capacity to accept the wastewater discharged from the proposed subdivision.
22. In the event a Will-Serve Letter is not issued within the time the Applicant is required to record a final plat, the Applicant shall have good cause and be eligible to receive, pursuant to KCC 6-2-3 (J), a time extension to file a final plat up to and until a Will-Serve Letter has been issued.
23. Developer/owner/ applicant shall come to an agreement with KRFD that the proposed subdivision will not construct more than 30 homes until the stub street identified on the preliminary plat as W Hodor Street from phase 6 of the Silvertrail subdivision is available for connection.

DATED this 9th day of February, 2021.

PALOMA RIDGE WEST VICINITY MAP



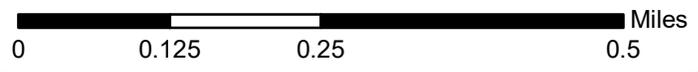
LEGEND



SUBJECT PROPERTY

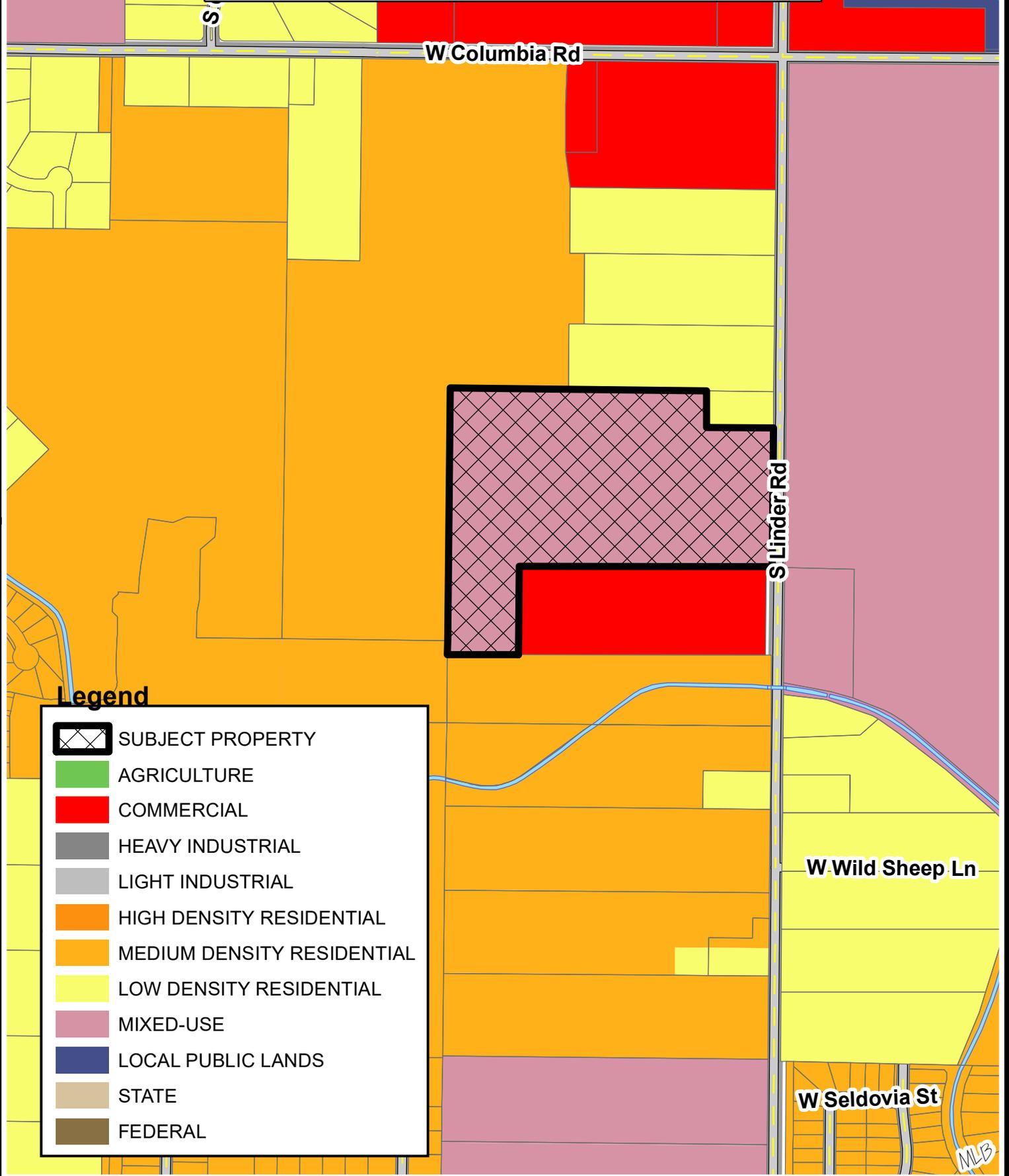


KUNA CITY LIMITS



MLB

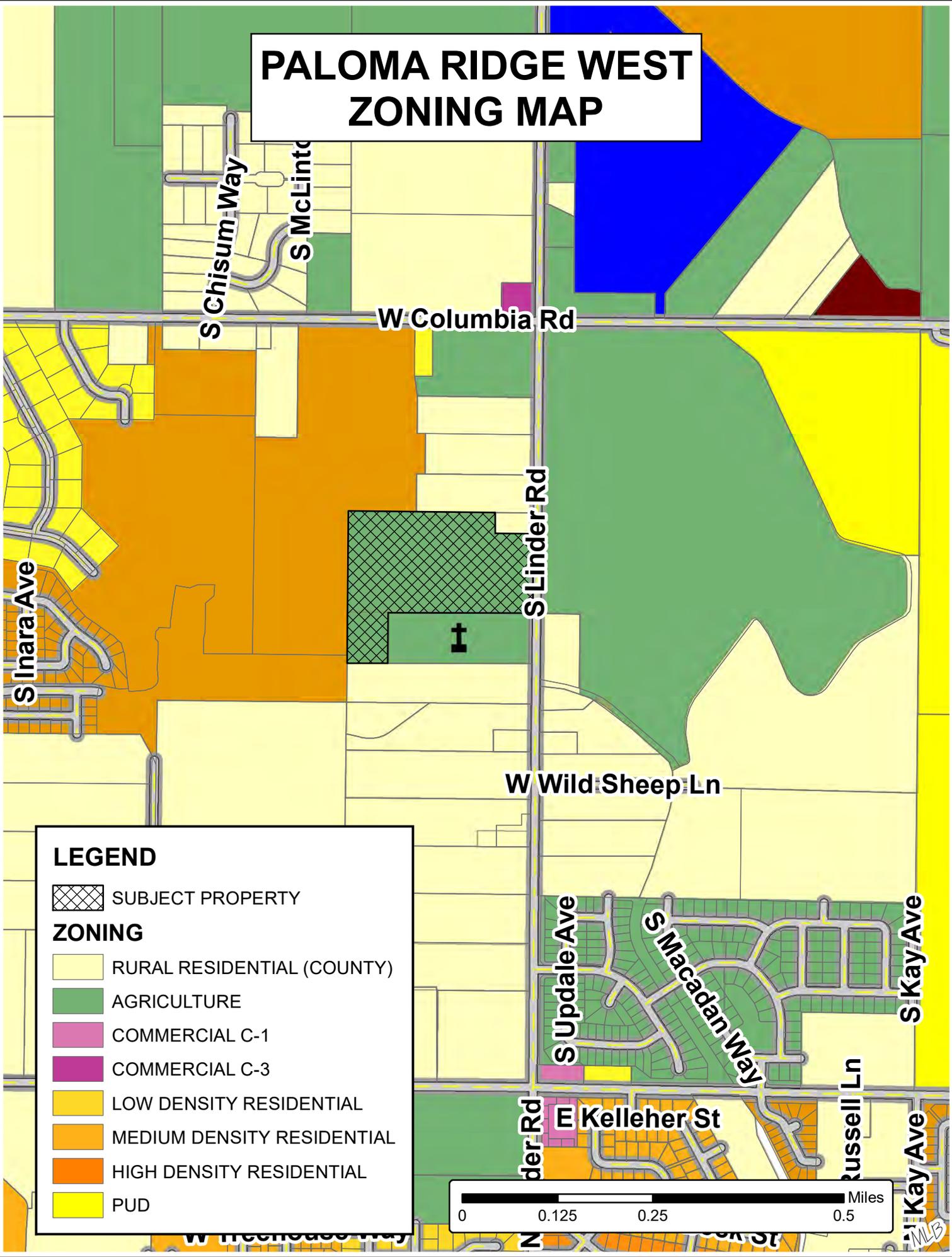
PALOMA RIDGE WEST COMPREHENSIVE PLAN MAP



Legend

-  SUBJECT PROPERTY
-  AGRICULTURE
-  COMMERCIAL
-  HEAVY INDUSTRIAL
-  LIGHT INDUSTRIAL
-  HIGH DENSITY RESIDENTIAL
-  MEDIUM DENSITY RESIDENTIAL
-  LOW DENSITY RESIDENTIAL
-  MIXED-USE
-  LOCAL PUBLIC LANDS
-  STATE
-  FEDERAL

PALOMA RIDGE WEST ZONING MAP



LEGEND



SUBJECT PROPERTY

ZONING



RURAL RESIDENTIAL (COUNTY)



AGRICULTURE



COMMERCIAL C-1



COMMERCIAL C-3



LOW DENSITY RESIDENTIAL



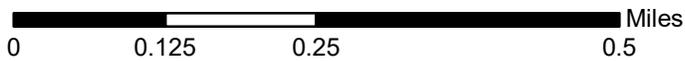
MEDIUM DENSITY RESIDENTIAL



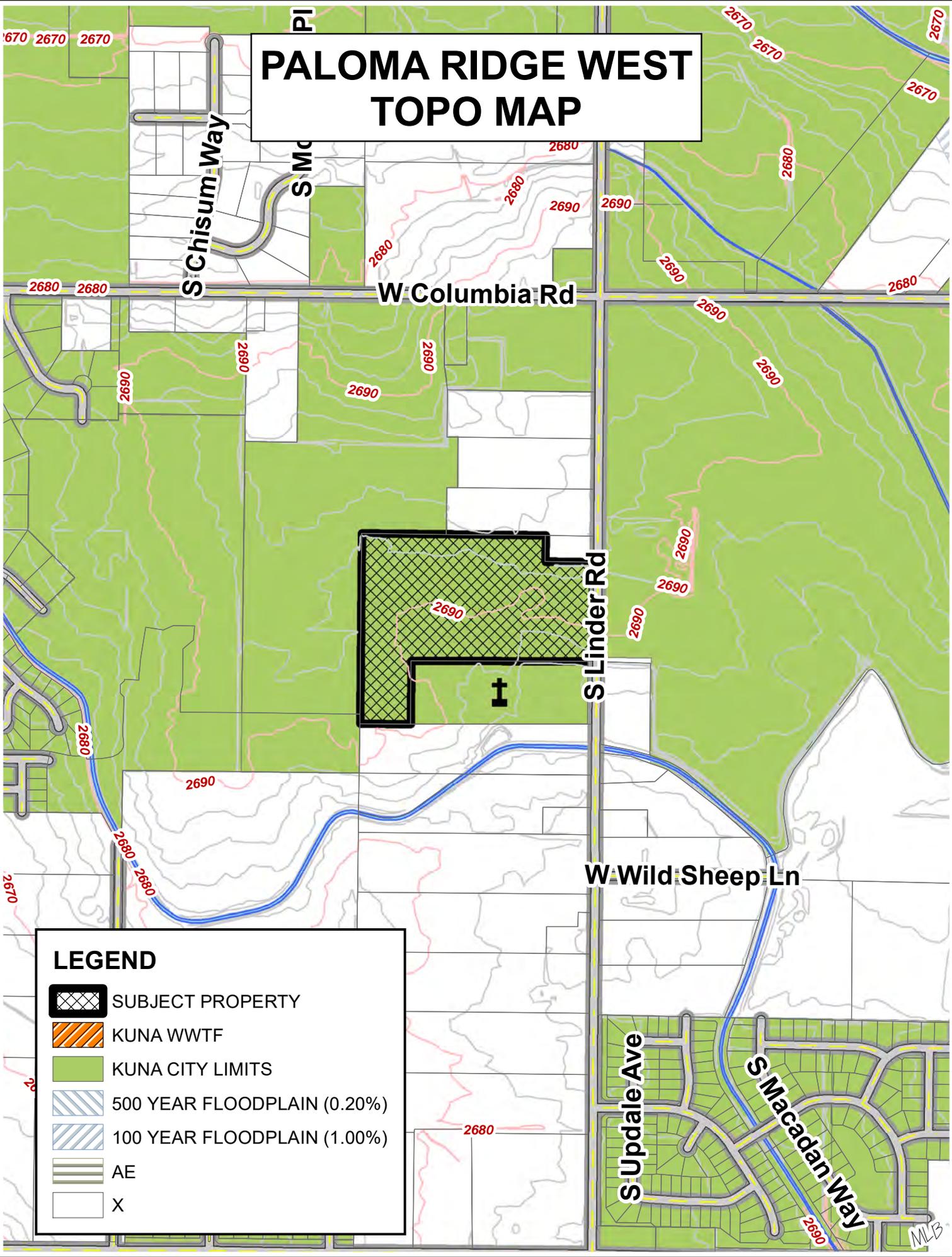
HIGH DENSITY RESIDENTIAL



PUD



PALOMA RIDGE WEST TOPO MAP



LEGEND

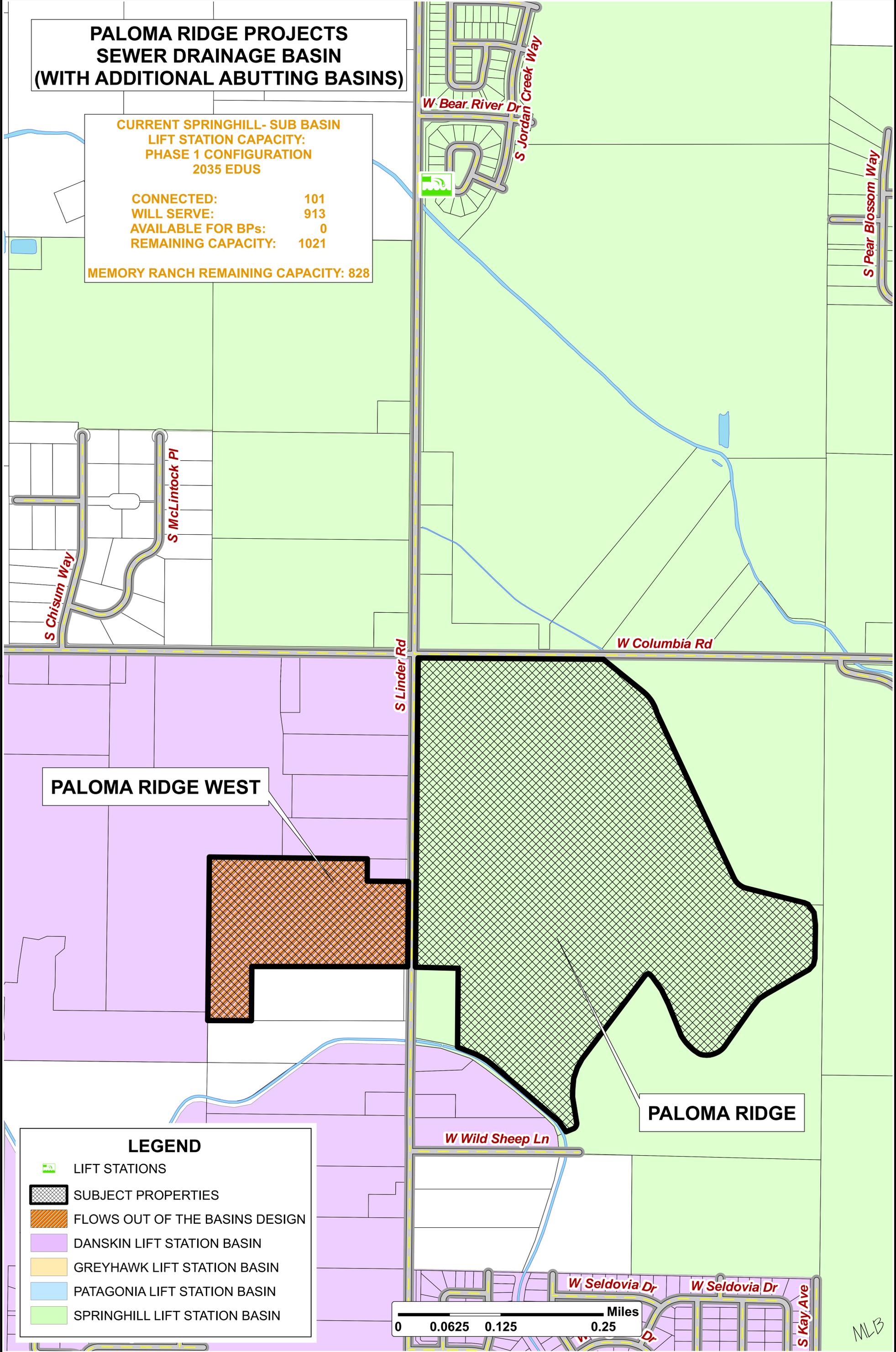
-  SUBJECT PROPERTY
-  KUNA WWTF
-  KUNA CITY LIMITS
-  500 YEAR FLOODPLAIN (0.20%)
-  100 YEAR FLOODPLAIN (1.00%)
-  AE
-  X

PALOMA RIDGE PROJECTS SEWER DRAINAGE BASIN (WITH ADDITIONAL ABUTTING BASINS)

**CURRENT SPRINGHILL- SUB BASIN
LIFT STATION CAPACITY:
PHASE 1 CONFIGURATION
2035 EDUS**

**CONNECTED: 101
WILL SERVE: 913
AVAILABLE FOR BPs: 0
REMAINING CAPACITY: 1021**

MEMORY RANCH REMAINING CAPACITY: 828



PALOMA RIDGE WEST

PALOMA RIDGE

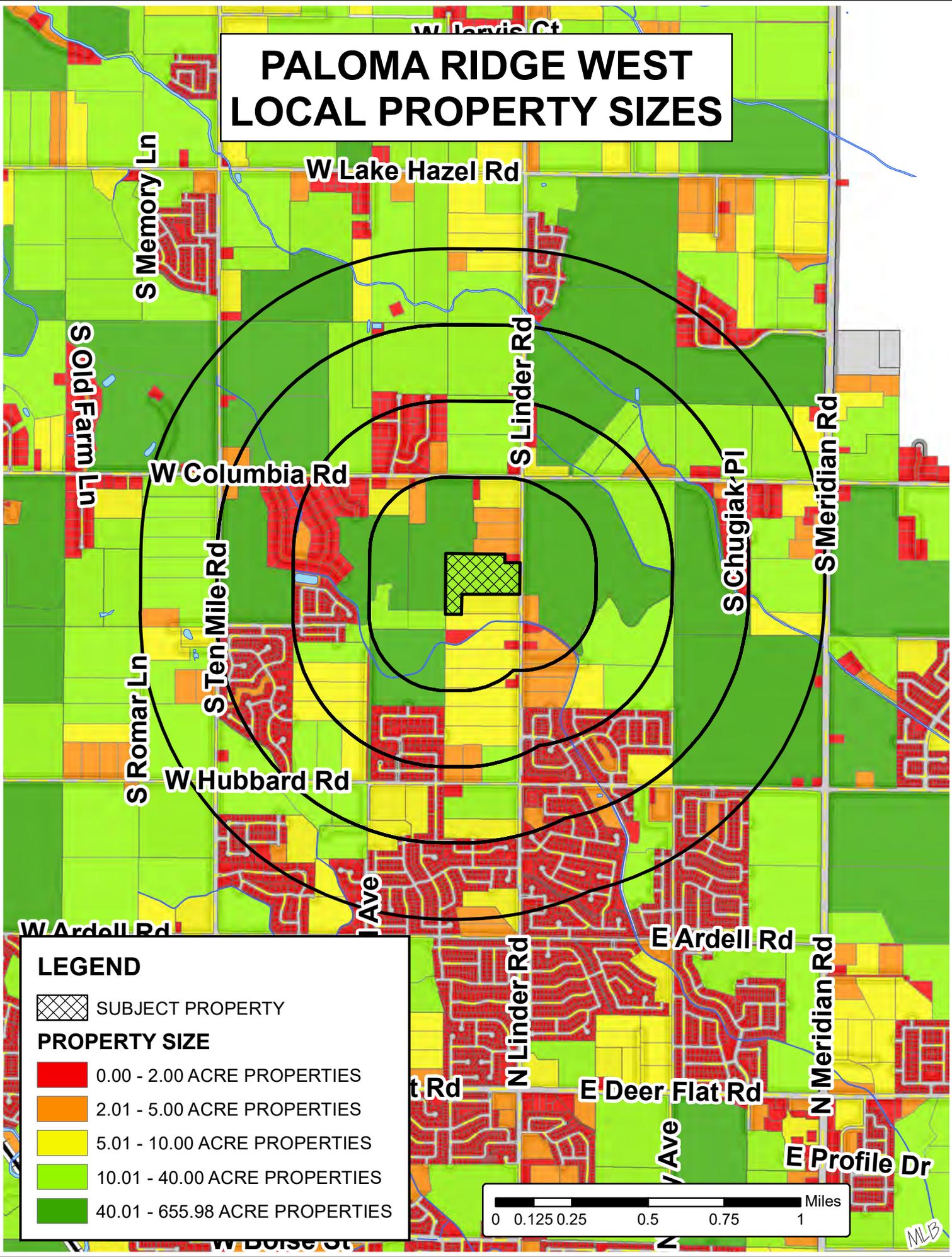
LEGEND

-  LIFT STATIONS
-  SUBJECT PROPERTIES
-  FLOWS OUT OF THE BASINS DESIGN
-  DANSKIN LIFT STATION BASIN
-  GREYHAWK LIFT STATION BASIN
-  PATAGONIA LIFT STATION BASIN
-  SPRINGHILL LIFT STATION BASIN



MLB

PALOMA RIDGE WEST LOCAL PROPERTY SIZES

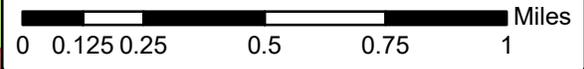


LEGEND

 SUBJECT PROPERTY

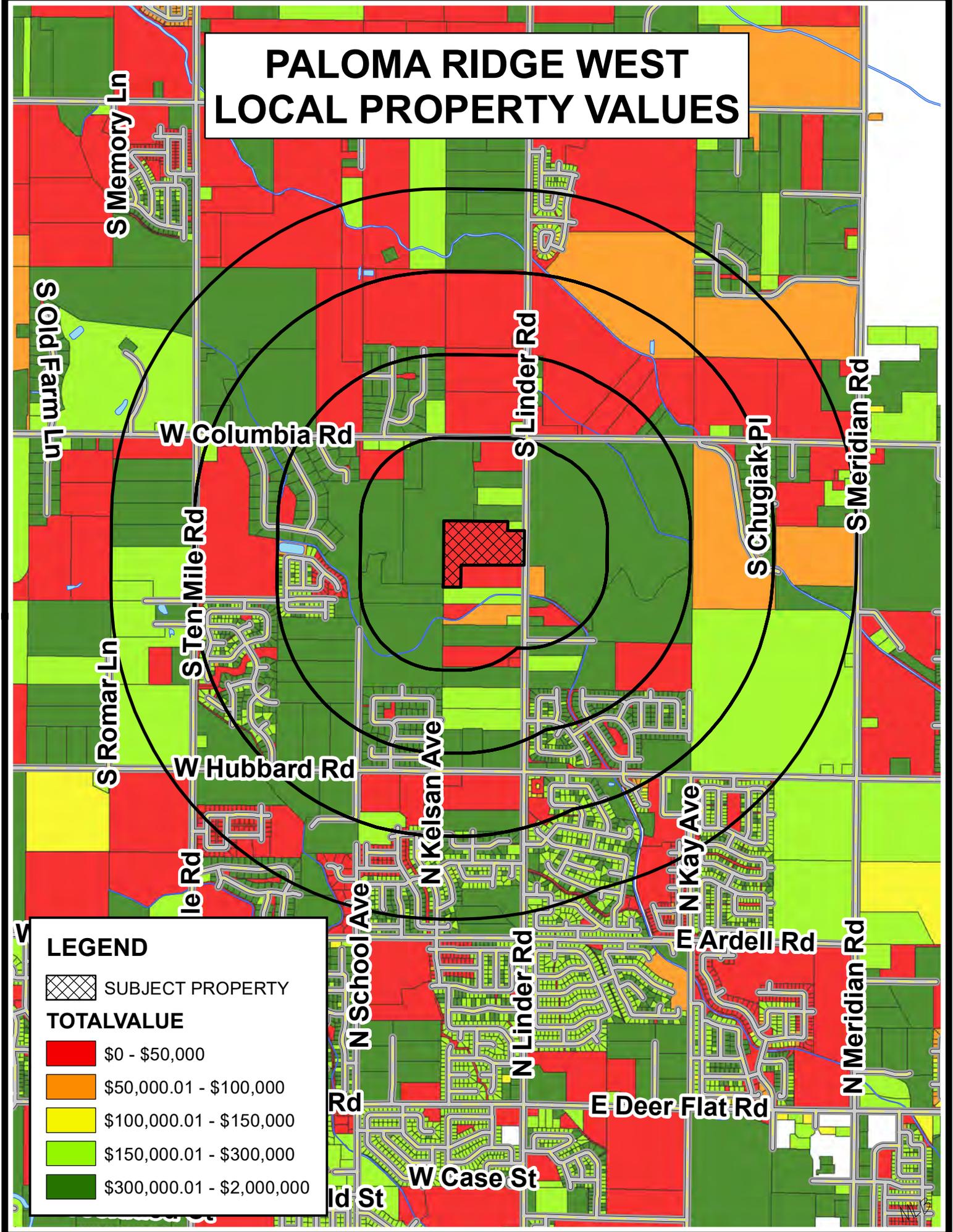
PROPERTY SIZE

-  0.00 - 2.00 ACRE PROPERTIES
-  2.01 - 5.00 ACRE PROPERTIES
-  5.01 - 10.00 ACRE PROPERTIES
-  10.01 - 40.00 ACRE PROPERTIES
-  40.01 - 655.98 ACRE PROPERTIES



MLB

PALOMA RIDGE WEST LOCAL PROPERTY VALUES



LEGEND

 SUBJECT PROPERTY

TOTAL VALUE

-  \$0 - \$50,000
-  \$50,000.01 - \$100,000
-  \$100,000.01 - \$150,000
-  \$150,000.01 - \$300,000
-  \$300,000.01 - \$2,000,000

S Memory Ln

S Old Farm Ln

W Columbia Rd

S Linder Rd

S Chugiak Pl

S Meridian Rd

S Romar Ln

S Ten-Mile Rd

W Hubbard Rd

N Kelsan Ave

N Kay Ave

Ile Rd

N School Ave

N Linder Rd

E Ardell Rd

N Meridian Rd

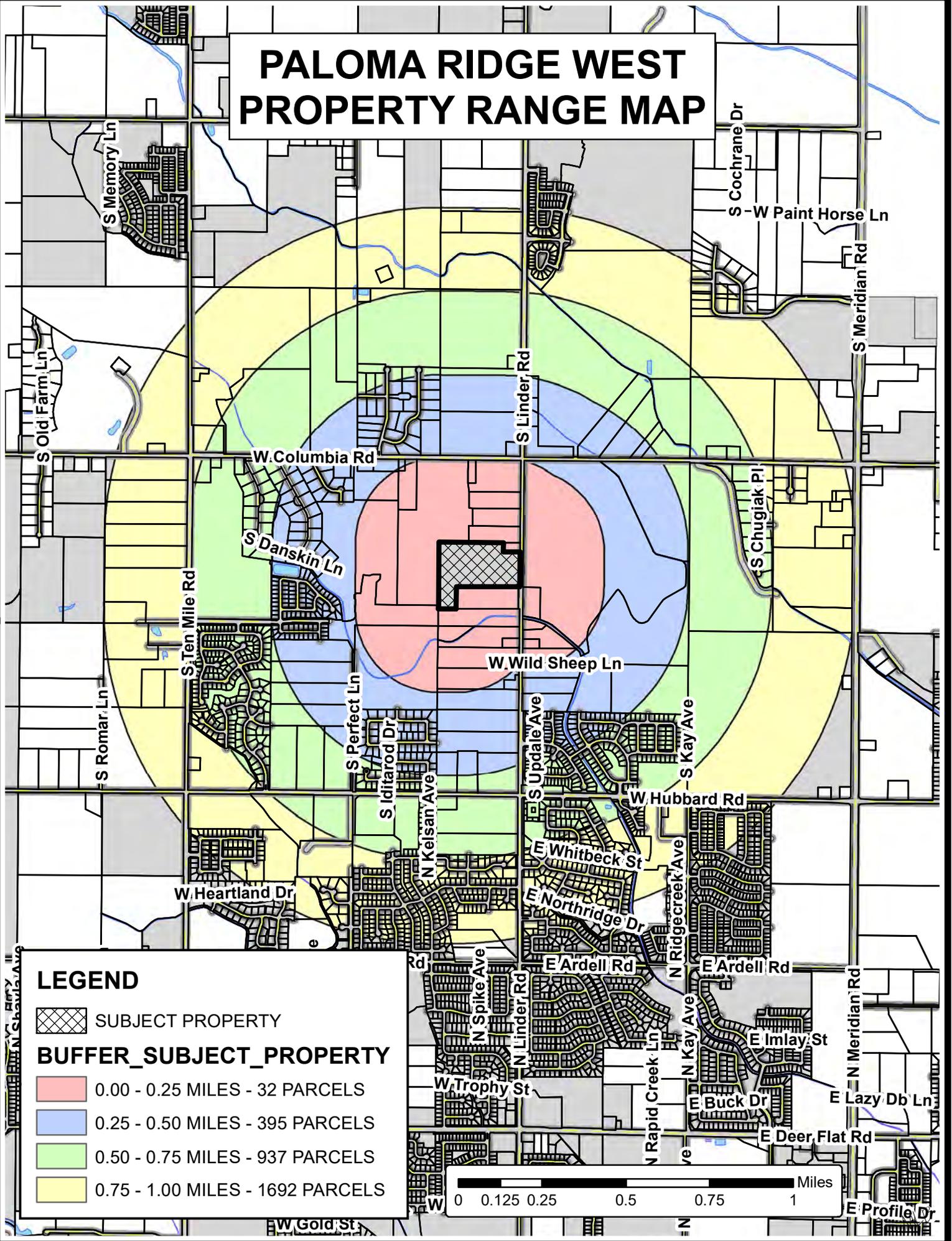
Rd

E Deer Flat Rd

W Case St

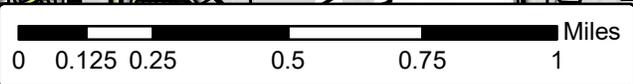
Id St

PALOMA RIDGE WEST PROPERTY RANGE MAP

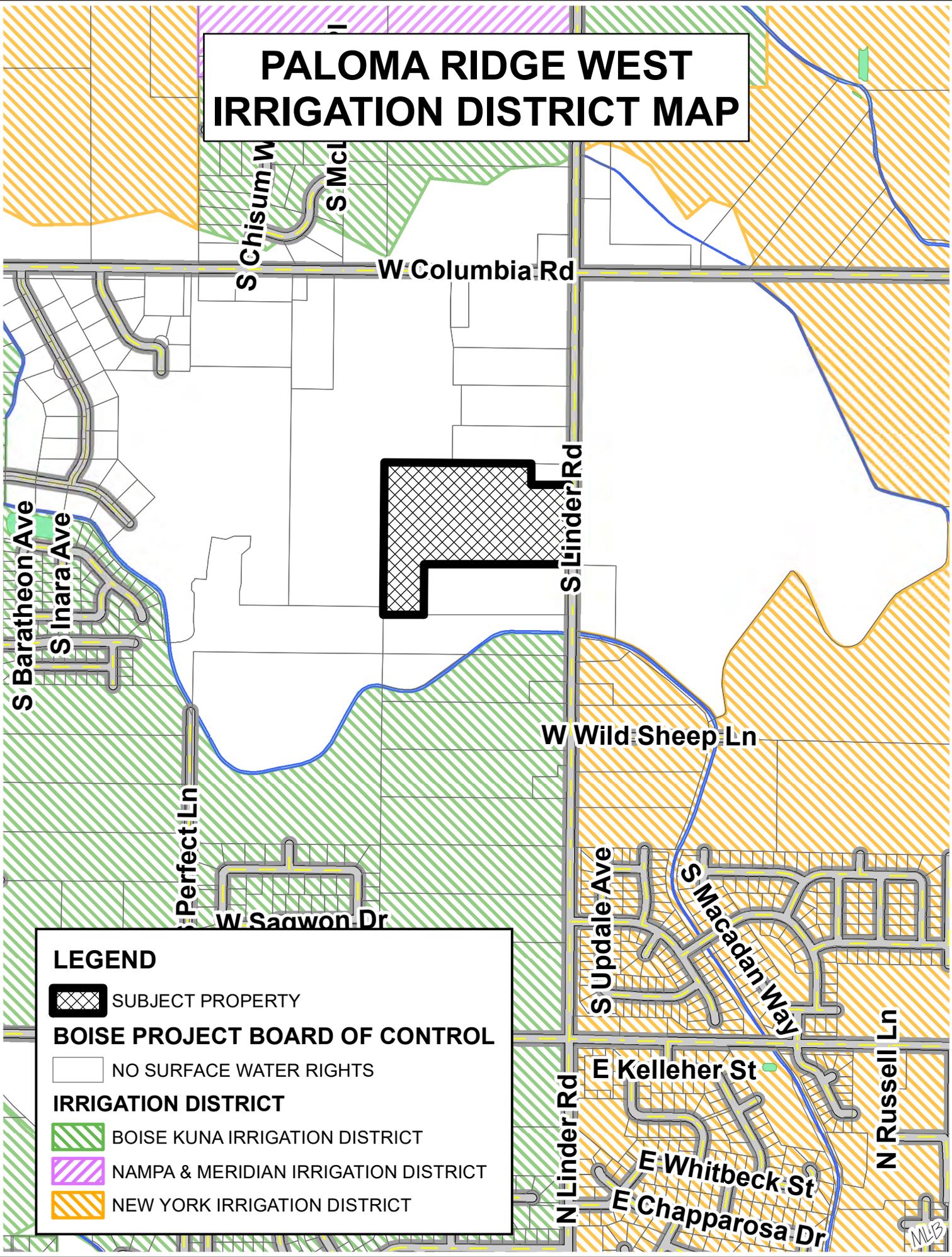


LEGEND

-  SUBJECT PROPERTY
- BUFFER_SUBJECT_PROPERTY**
-  0.00 - 0.25 MILES - 32 PARCELS
-  0.25 - 0.50 MILES - 395 PARCELS
-  0.50 - 0.75 MILES - 937 PARCELS
-  0.75 - 1.00 MILES - 1692 PARCELS



PALOMA RIDGE WEST IRRIGATION DISTRICT MAP



LEGEND



SUBJECT PROPERTY

BOISE PROJECT BOARD OF CONTROL



NO SURFACE WATER RIGHTS

IRRIGATION DISTRICT



BOISE KUNA IRRIGATION DISTRICT



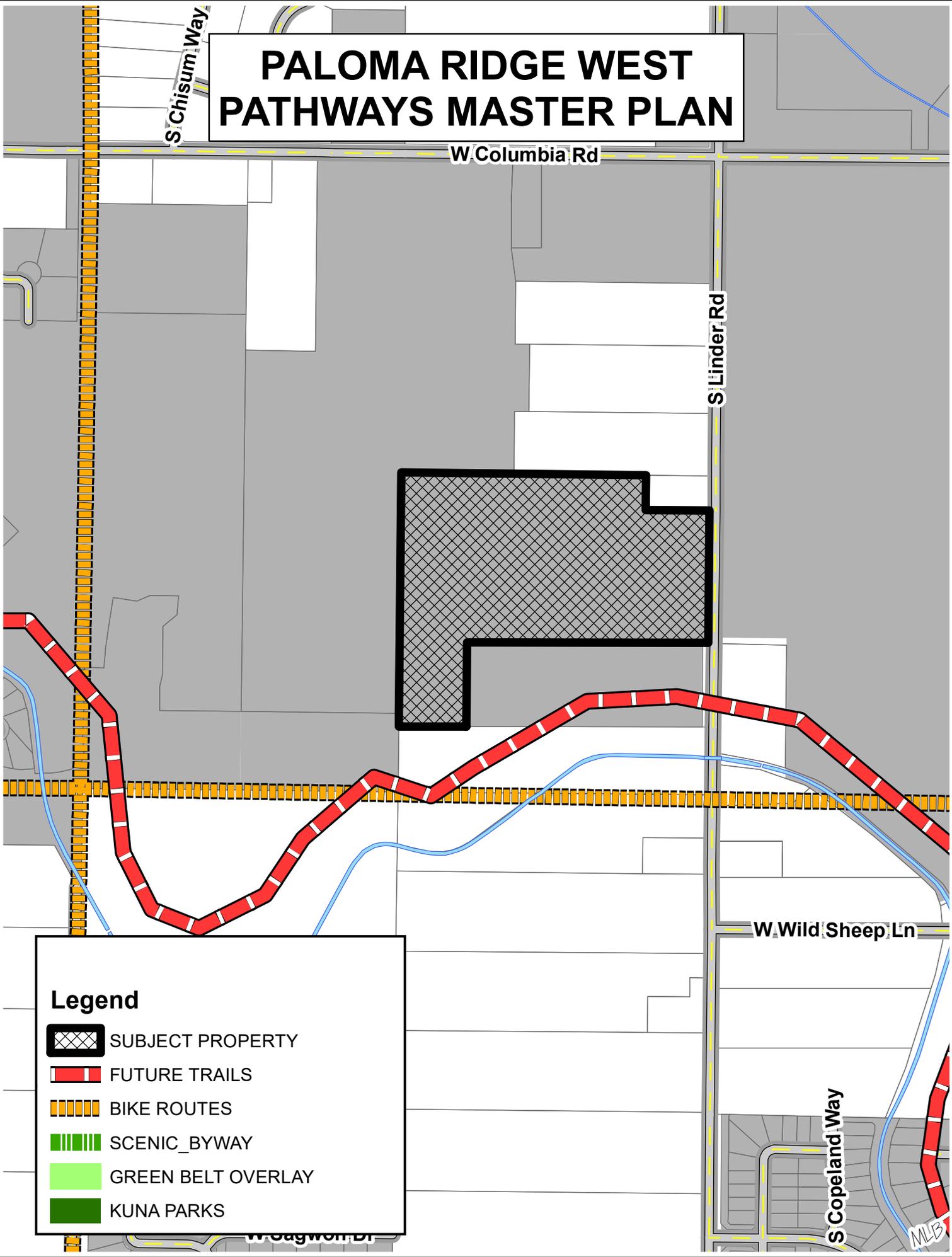
NAMPA & MERIDIAN IRRIGATION DISTRICT



NEW YORK IRRIGATION DISTRICT

MLB

PALOMA RIDGE WEST PATHWAYS MASTER PLAN



Legend

-  SUBJECT PROPERTY
-  FUTURE TRAILS
-  BIKE ROUTES
-  SCENIC_BYWAY
-  GREEN BELT OVERLAY
-  KUNA PARKS

PALOMA RIDGE WEST PRIME FARMLANDS

S Chisum Way

W Columbia Rd

S Linder Rd

Deep Ln

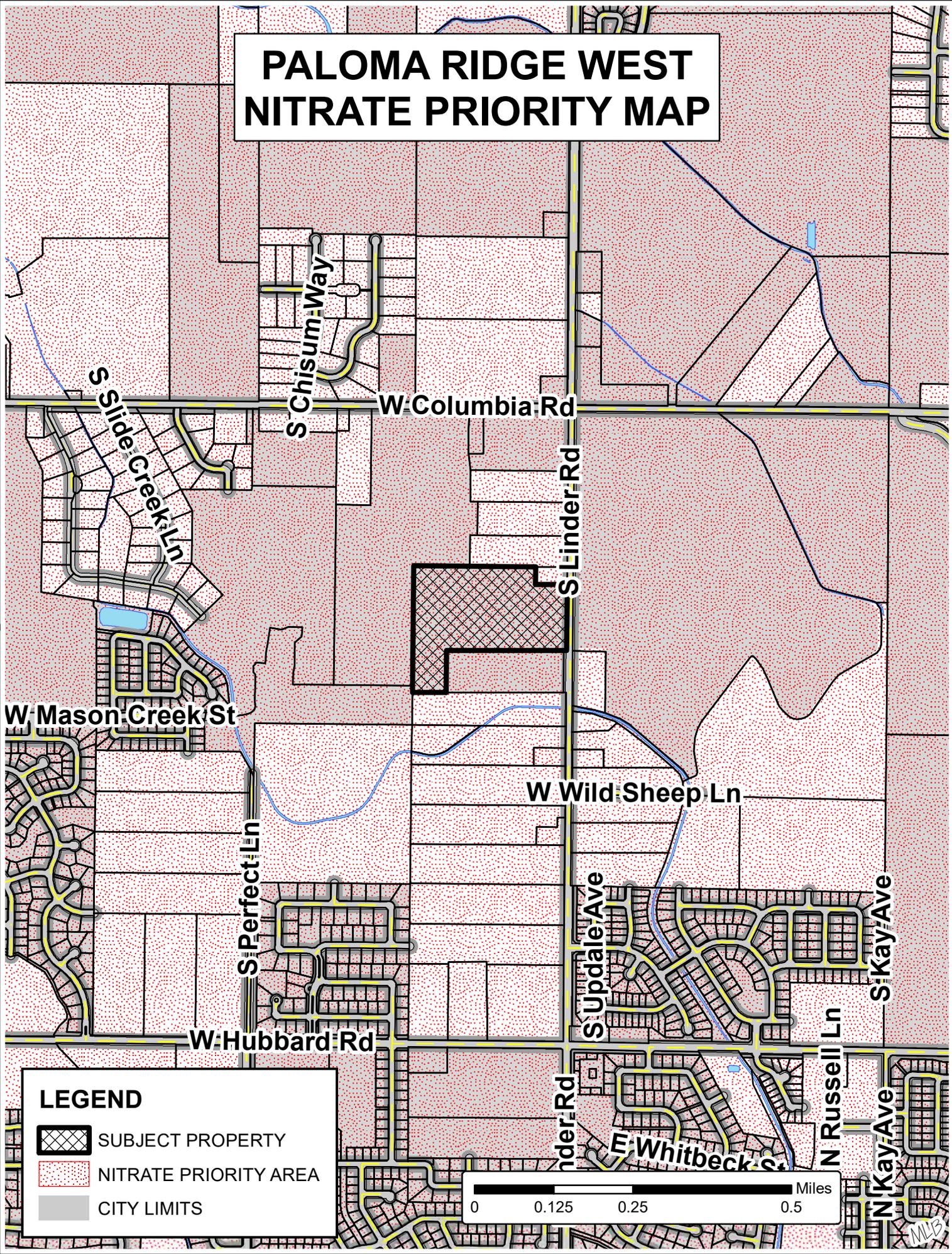
Legend

PRIME FARM GROUND

-  N/A ~ 530 ACRES
-  NOT PRIME
-  PRIME FARMLAND IF IRRIGATED AND SALTS REMOVED
-  PRIME FARMLAND IF IRRIGATED
-  FARMLAND OF STATEWIDE IMPORTANCE IF IRRIGATED AND SALTS REMOVED
-  FARMLAND OF STATEWIDE IMPORTANCE IF IRRIGATED

MLB

PALOMA RIDGE WEST NITRATE PRIORITY MAP



PALOMA RIDGE WEST SOILS MAP

S Chisum Way

W Columbia Rd

S Linder Rd

W Wild Sheep Ln

W Seldovia Dr

Updale Ave

Ln

n Dr

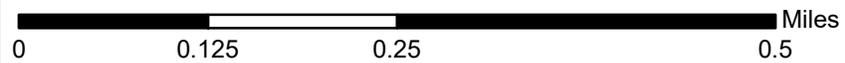
na

LEGEND

 SUBJECT PROPERTY

PROPERTY SOILS

-  Colthorp silt loam
-  Elijah silt loam
-  Power silt loam



MLB



City of Kuna
 Planning & Zoning
 Department
 P.O. Box 13
 Kuna, Idaho 83634
 208.922.5274
 Fax: 208.922.5989
 Website: www.kunacity.id.gov

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	20-11-S, 20-08-ZC 20-27-DR
Project name	Paloma West
Date Received	10.06.2020
Date Accepted/ Complete	11.20.2020
Cross Reference Files	
Commission Hearing Date	1.26.2020
City Council Hearing Date	

Contact/Applicant Information

Owners of Record: <u>Patterson Family Enterprises</u>	Phone Number: <u>208-371-8887</u>
Address: <u>4051 Mountain Vista Lane</u>	E-Mail: <u>rpatterson@grouponesir.com</u>
City, State, Zip: <u>Filer, Idaho 83328</u>	Fax #: _____
Applicant (Developer): <u>Toll Southwest LLC</u>	Phone Number: <u>208-371-8887</u>
Address: <u>3103 W Sheryl Drive</u>	E-Mail: <u>208-780-6726</u>
City, State, Zip: <u>Meridian, Idaho 83642</u>	Fax #: _____
Engineer/Representative: <u>Sabrina Durtschi</u>	Phone Number: <u>208-250-6161</u>
Address: <u>3103 W Sheryl Drive</u>	E-Mail: <u>sdurtschi@tollbrothers.com</u>
City, State, Zip: <u>Meridian Idaho 83642</u>	Fax #: _____

Subject Property Information

Site Address: <u>S Linder Road (Parcel Number S1311141960)</u>
Site Location (Cross Streets): <u>1500 feet SW of Intersection of Linder and Columbia</u>
Parcel Number (s): <u>1311141960</u>
Section, Township, Range: <u>Section 11, 2N, 1W</u>
Property size : <u>21.97 acres</u>
Current land use: <u>Agricultural</u> Proposed land use: <u>Medium Residential</u>
Current zoning district: <u>AG</u> Proposed zoning district: <u>R-6</u>

Project Description

Project / subdivision name: Paloma Ridge West

General description of proposed project / request: Rezone and preliminary plat for 74 single-Family lots.

Type of use proposed (check all that apply):

Residential _____

Commercial _____

Office _____

Industrial _____

Other _____

Amenities provided with this development (if applicable): Walking paths, open space and play ground equipment

Residential Project Summary (if applicable)

Are there existing buildings? Yes No

Please describe the existing buildings: _____

Any existing buildings to remain? Yes No

Number of residential units: 78 Number of building lots: 78

Number of common and/or other lots: 12

Type of dwellings proposed:

Single-Family _____

Townhouses _____

Duplexes _____

Multi-Family _____

Other _____

Minimum Square footage of structure (s): 1280 s.f.

Gross density (DU/acre-total property): 3.53 Net density (DU/acre-excluding roads): 5.65

Percentage of open space provided: 8.4 % Acreage of open space: 1.84 acres

Type of open space provided (i.e. landscaping, public, common, etc.): open useable space walking trails and playground

Non-Residential Project Summary (if applicable) N/A

Number of building lots: _____ Other lots: _____

Gross floor area square footage: _____ Existing (if applicable): _____

Hours of operation (days & hours): _____ Building height: _____

Total number of employees: _____ Max. number of employees at one time: _____

Number and ages of students/children: _____ Seating capacity: _____

Fencing type, size & location (proposed or existing to remain): _____

Proposed Parking:

a. Handicapped spaces: _____ Dimensions: _____

b. Total Parking spaces: _____ Dimensions: _____

c. Width of driveway aisle: _____

Proposed Lighting: _____

Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): _____

Applicant's Signature:  Date: 9-25-20



City of Kuna
 Planning & Zoning
 Department
 PO. Box 13
 Kuna, ID 83634
 208.922.5274
 www.kunacity.id.gov

Preliminary Plat Checklist

Preliminary Plats require public hearings with both the Planning & Zoning Commission and City Council. Public hearing signs will be required to be posted by the applicant for both meetings. Sign posting regulations are available online.

Project Name: Paloma Ridge West Subdivision Applicant: Toll Southwest LLC

All applications are required to contain on copy of the following:

Applicant (✓)	Description	Staff (✓)
<input checked="" type="checkbox"/>	Electronic copy of all required submittal items.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Completed and signed Commission & Council Review Application.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Vicinity map showing relationship of the proposed plat to the surrounding area with a 2-mile radius.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Homeowner's maintenance agreement for the care of landscaped common areas.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Legal description of the preliminary plat area: Include a metes & bounds description to the section line of all adjacent roadways stamped & signed by a registered professional land surveyor with a calculated closure sheet & a map showing the boundaries of the legal description.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Proof of ownership—A copy of your deed and Affidavit of Legal Interest (for all interested parties involved).	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Letter of intent indicating reasons and details for preliminary plat.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Commitment of Property Posting form signed by the applicant/agent.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	If preliminary plat includes 100 lots or more, please submit a traffic impact study.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	A letter from Ada County Engineer with the Subdivision Name reservation. A name change needs to be submitted and approved by the Planning & Zoning Director and Ada County Engineer.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Phasing Plan	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Landscape plan for subdivision entrances, buffers, common areas, etc.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Neighborhood meeting certification (certification & neighborhood meeting list forms shall accompany this application).	<input type="checkbox"/>
<input checked="" type="checkbox"/>	8 1/2 x 11 proposed preliminary plat.	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<p>Preliminary plat drawing on 24x36 quality paper drawn to scale of 1 to 100' or more. The following information shall be contained on the preliminary plat:</p> <ul style="list-style-type: none"> ◇ Topography at two-foot (2') intervals ◇ Land uses (location, layout, types & dimensions): residential, commercial & industrial land uses. ◇ Street right-of-way: dimensions of right-of-way dedication for all roadways, street sections, improvements, etc. ◇ Easements/common space: utility easements, parks, community spaces ◇ Lots: layout and dimensions of lots ◇ Preliminary improvement drawing: show water, sewer, drainage, electricity, irrigation, telephone, natural gas, proposed street lighting, proposed street names, proposed subdivision name, fire hydrant placement, storm water disposal, underground utilities, and sidewalks. 	<input type="checkbox"/>

*NOTE: One copy of the above items need to be submitted when applying for multiple applications. This application shall not be considered complete (nor will a public hearing be set) until staff has received **all required information**. Once the application is deemed complete, staff will notify the applicant of the scheduled hearing date, fees due, additional copies needed, etc.*



City of Kuna
 Planning & Zoning
 Department
 P.O. Box 13
 Kuna, Idaho 83634
 208.922.5274
 Fax: 208.922.5989
 Website: www.kunacity.id.gov

Rezone Checklist

Rezoning requires public hearings with both the Planning & Zoning Commission and City Council. Public hearing signs will be required to be posted by the applicant for both meetings. Sign posting regulations are available online.

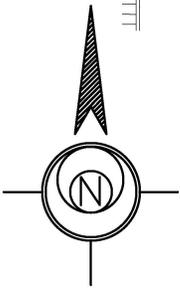
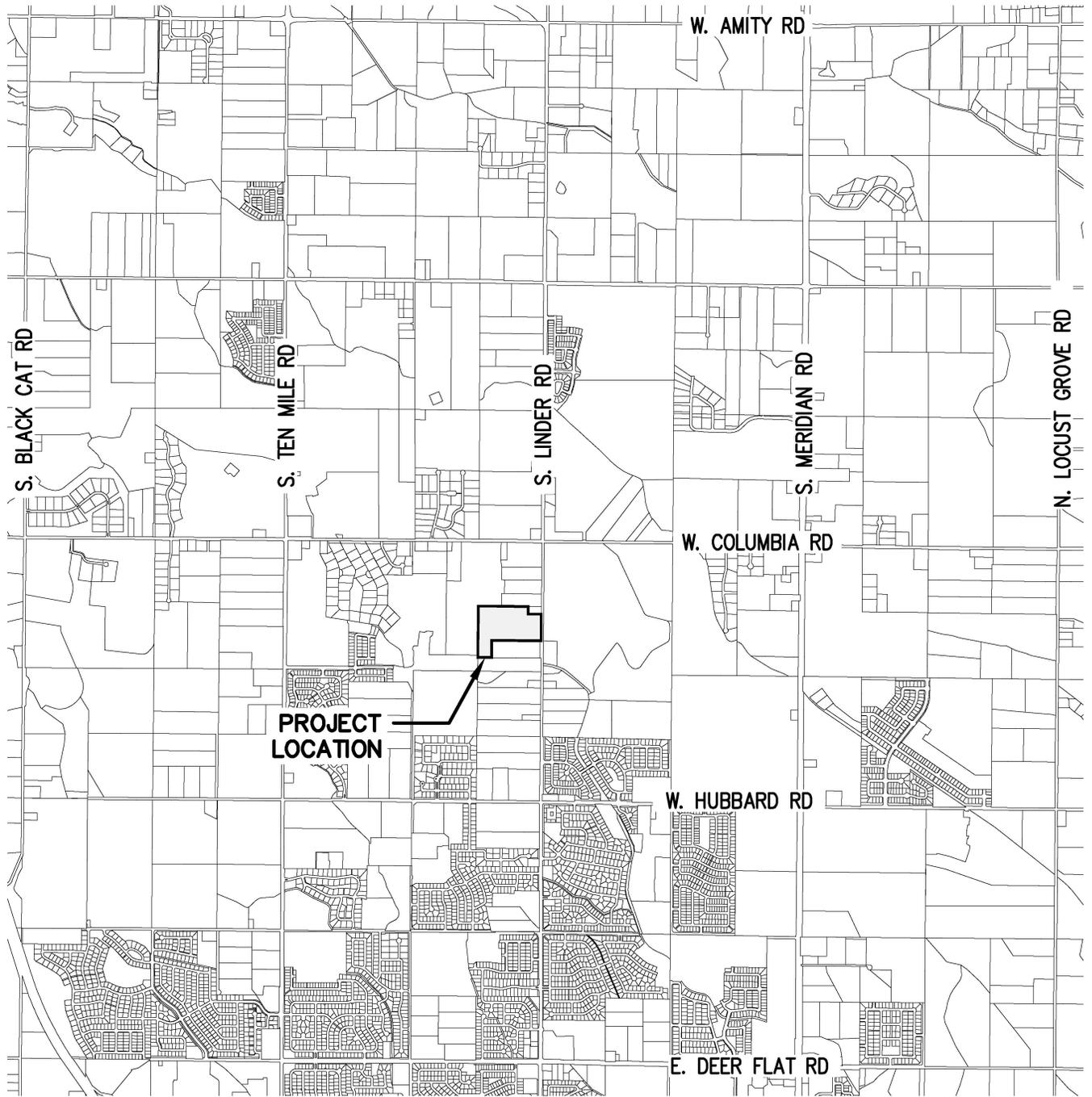
Project name: Paloma Ridge West Subdivision	Applicant: Toll Southwest LLC
---	---

All applications are required to contain one copy of the following:

Applicant (✓)	Description	Staff (✓)
✓	Completed and signed Commission & Council Review Application.	
✓	Letter of Intent indicating reasons for proposed rezoning.	
✓	Vicinity map drawn to scale, showing the location of the subject property. Map shall contain the following information: Shaded area showing the rezoning property, Street names and names of surrounding subdivisions.	
✓	Legal description of the rezoning area: Include a metes & bounds description to the section line of all adjacent roadways stamped & signed by a registered professional land surveyor with a calculated closure sheet & a map showing the boundaries of the legal description.	
N/A	Development Agreement & Development Agreement Checklist	
✓	Recorded warranty deed for the property.	
✓	Proof of ownership—A copy of your deed <u>and</u> Affidavit of Legal Interest. (All parties involved)	
✓	Neighborhood meeting certification (certification & neighborhood meeting list forms shall accompany this application).	
✓	Commitment of Property Posting form signed by the applicant/agent.	

Note: Only one copy of the above items need to be submitted when applying for multiple applications.

This application shall not be considered complete (nor will a Public Hearing be set) until staff has received all required information. Once the application is deemed complete, staff will notify the applicant of the scheduled hearing date, fees due, additional copies needed, etc.



ESE CONSULTANTS

ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.
 3103 W. Sheryl Drive • Suite 100 • Meridian, ID 83642
 T: 208-424-0020

VICINITY MAP

PALOMA RIDGE WEST SUBDIVISION

REV.	DATE	DESCRIPTION	DATE:	SCALE:	DESIGN:	DRAWN:	JOB NO.:	FILE NAME:	SHEET NO.:	1	OF	1
			8/17/2020	NTS	JB	KL	7636			1		1

**DECLARATION OF
COVENANTS, CONDITIONS
AND RESTRICTIONS
FOR
PALOMA RIDGE SUBDIVISION**

Toll Southwest LLC
3103 W. SHERYL DR., SUITE 100
MERIDIAN, IDAHO 83642
TELEPHONE: (208) 424-0020
FAX: (208) 424-0030
WWW.MYCOLEMANHOME.COM

5.1.5 Common Areas may be used by the public as established from time to time by Grantor on any portion of the Property by specifically describing such area as an area for public use on a recorded Plat, by granting or reserving it in a deed or other instrument or by designating it as such in this Declaration;

5.1.6 The Common Area cannot be mortgaged or conveyed without the approval of the Owners, excluding Grantor, of at least two-thirds (2/3) of the total voting power in the Association. If ingress or egress to any Lot is through the Common Area, any conveyance or encumbrance of the Common Area shall be subject to an easement of the Owners of such Lots for the purpose of ingress and egress.

5.2 Delegation of Right to Use. Any Owner may delegate, in accordance with the Project Documents, such Owner's right of enjoyment to the Common Area to the members of such Owner's family residing within the Owner's residence and/or to such Owner's contract purchasers who reside on such Owner's Lot. Only Grantor or the Association shall have the right to delegate the right of enjoyment to the Common Area to the general public, and such delegation to the general public shall be for a fee set by Grantor or the Association.

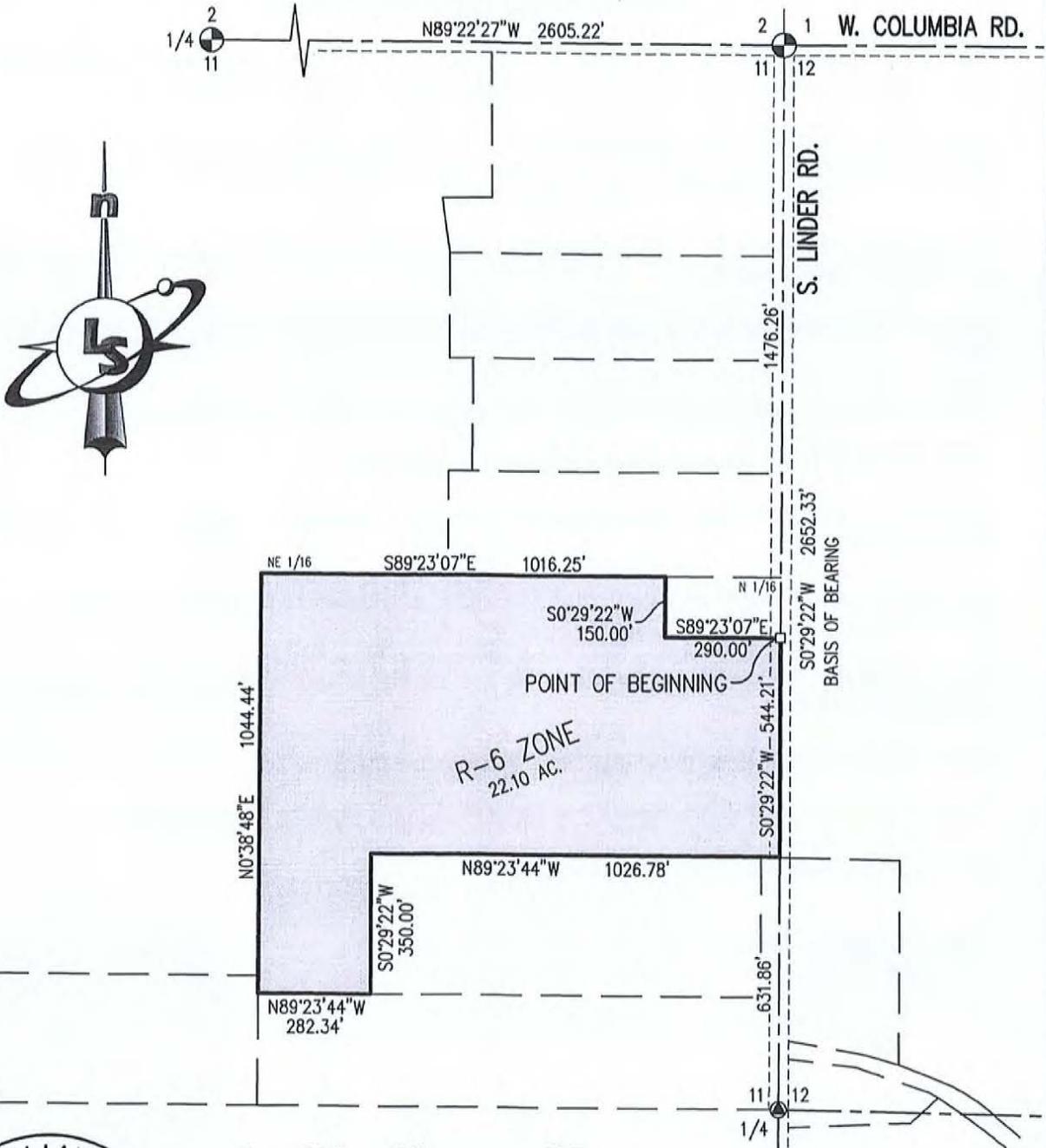
5.3 Damages. Each Owner shall be fully liable for any damage to any Common Area that may be sustained by reason of the negligence or willful misconduct of the Owner, such Owner's contract purchasers or such Owner's family and guests, both minor and adult. In the case of joint ownership of a Lot, the liability of such Owners shall be joint and several. The cost of correcting such damage shall be a Limited Assessment against the Lot and may be collected as provided herein for the collection of other Assessments.

5.4 Association's Responsibility. The Association shall maintain and keep the Common Area in good repair, such maintenance to be funded as provided in this Declaration. This maintenance shall include, without limitation, maintenance, repair and replacement, subject to any insurance then in effect, of all landscaping and other flora, structures, fencing installed by Grantor along exterior portions of the Property and other Improvements situated within the Common Area.

5.5 No Warranty for Improvements. Grantor makes no warranty, guarantee or undertaking, express or implied, oral or written, with respect to Common Area or the construction thereof. All warranties, guarantees and undertakings are hereby expressly disclaimed, including but not limited to the implied warranties of habitability, merchantability and fitness for a particular purpose.

5.6 Water Bodies. By acceptance of a deed to a Lot, each Owner acknowledges that the water levels of all water bodies may vary. There is no guarantee by the Grantor or the Association that water levels will be constant or aesthetically pleasing at any particular time. In fact, water levels may be non-existent from time to time. Without limiting the generality of the foregoing, this applies to the waters within the Common Area as well as any wetlands or riparian areas within the Common Areas or encroaching on Lots (if any).

PROPOSED CITY OF KUNA REZONE EXHIBIT
PALOMA RIDGE WEST SUBDIVISION - PROPOSED R-6 ZONE
 LOCATED IN THE SE 1/4 OF THE NE 1/4 OF SECTION 11, T.2 N., R.1 W., B.M.
 CITY OF KUNA, ADA COUNTY, IDAHO



LandSolutions
 Land Surveying and Consulting

231 E. 5TH ST., STE. A
 MERIDIAN, ID 83642
 (208) 288-2040 (208) 288-2557 fax
 www.landsolutions.biz

Legal Description
R-6 Zone
Paloma Ridge West Subdivision

A parcel of land being a portion of the SE ¼ of the NE ¼ of Section 11, Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho, more particularly described as follows:

Commencing at a Brass Cap Monument marking the Northeast corner of said Section 11, from which a 5/8 inch diameter iron pin monument marking the southeast corner of the NE ¼ of said Section 11 bears South 0°29'22" West a distance of 2652.33 feet;

Thence along the easterly boundary of said NE ¼ South 0°29'22" West a distance of 1476.26 feet to the **POINT OF BEGINNING**;

Thence continuing along said easterly boundary South 0°29'22" West a distance of 544.21 feet to a point;

Thence leaving said boundary N 89°23'44" West a distance of 1026.78 feet to a point;

Thence South 0°29'22" West a distance of 350.00 feet to a point;

Thence North 89°23'44" West a distance of 282.34 feet to a point on the westerly boundary of the SE ¼ of said NE ¼;

Thence along said westerly boundary North 0°38'48" East a distance of 1044.44 feet to the northwest corner of said SE ¼ of the NE ¼;

Thence along the northerly boundary of said SE ¼ of the NE ¼ South 89°23'07" East a distance of 1016.25 feet to a point;

Thence South 0°29'22" West a distance of 150.00 feet to a point;

Thence South 89°23'07" East a distance of 290.00 feet to the **POINT OF BEGINNING**.

Said parcel contains 22.10 acres, more or less.

Clinton W. Hansen, PLS
Land Solutions, PC
September 4, 2020





City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

City of Kuna AFFIDAVIT OF LEGAL INTEREST

State of Idaho)

) ss TWIN FALLS
County of Ada)

I, Keith F. Patterson
Name

Signing Member for Patterson Family Enterprises LLC

4051 Mountain Vista Lane
Address

Filer Idaho 83328
City State Zip Code

being first duly sworn upon oath, depose and say:

(If Applicant is also Owner of Record, skip to B)

A. That I am the record owner of the property described on the attached, and I grant my

Permission to Sabrina Durtschi with Toll Brothers 3103 W. Sheryl Drive, Meridian Idaho 83642
Name Address

to submit the accompanying application pertaining to that property.

B. I agree to indemnify, defend and hold City of Kuna and its employees harmless from any claim or liability resulting from any dispute as to the statements contained herein or as to the ownership of the property which is the subject of the application.

C. I hereby grant permission to the City of Kuna staff to enter the subject property for the purpose of site inspections related to processing said application(s).

Dated this 3rd day of August, 2020

Keith F. Patterson
Signature

Subscribed and sworn to before me the day and year first above written.

Krisjaan E Will
Notary Public for Idaho

Residing at: Westmark CU 524 Pole Line Rd Twin Falls

My commission expires: 11-5-2024



ADA COUNTY RECORDER Christopher D. Rich
BOISE IDAHO 01/27/11 08:08 AM
DEPUTY Lisa Batt
RECORDED - REQUEST OF
Patterson Family Ent

AMOUNT 28.00 7



7

QUITCLAIM DEED

FOR VALUE RECEIVED,

**Patterson Family Trust A
Patterson Family Trust B**

Do hereby convey, release, remise and forever quit claim unto

Patterson Family Enterprises, L.L.C., an Idaho Limited Liability Company

whose address is: 2664 West 5200 South, Rexburg, Idaho 83440-4302

the following described premises:

See Exhibit "A" and Exhibit "B"

TO HAVE AND TO HOLD the said premises, unto the said grantees, heirs and assigns forever.

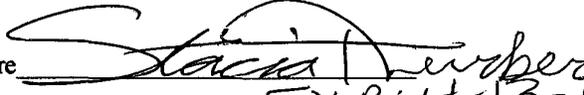
Date: January 24, 2011

By: Patterson Family Trust A and Patterson Family Trust B

 Trustee
Keith F. Patterson

State of Idaho
County of Madison

On this 24th day of January in the year 2011, before me, the undersigned, a notary public in and for said state personally appeared Keith F. Patterson, known or identified to me to be the person whose name is subscribed to the within instrument, as Trustee of the Patterson Family Trust A and the Patterson Family Trust B and acknowledged to me that he executed the same on behalf of said trusts.

Notary Signature 
EXP: 4-13-13

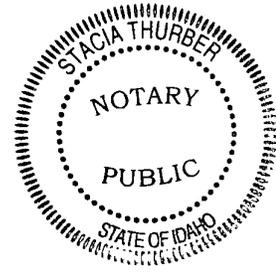




Exhibit A

A parcel of land being a portion of the Northwest $\frac{1}{4}$ and a portion of the Southwest $\frac{1}{4}$ of Section 12, Township 2 North, Range 1 West, Boise Meridian, Ada County, Idaho, and being more particularly described as follows:

BEGINNING at the Northwest corner of said Section 12, marked by a found Brass Cap monument, from which the North $\frac{1}{4}$ corner of said Section 12, marked by a found Aluminum Cap monument, bears South $89^{\circ}32'42''$ East, 2640.54 feet;

Thence, along the North line of said Section 12, South $89^{\circ}32'42''$ East, 1218.68 feet to the centerline of the Painter Lateral, marked by a found $\frac{5}{8}''$ iron pin tagged PLS 4431;

Thence, along the centerline of said Painter Lateral the following courses and distances:

South $00^{\circ}27'18''$ West, 28.14 feet;

South $50^{\circ}57'37''$ East, 340.35 feet;

Along a curve to the right 69.71 feet, said curve having a radius of 150.00 feet, a central angle of $26^{\circ}37'40''$, and a long chord bearing South $37^{\circ}38'49''$ East, 69.09 feet;

South $24^{\circ}20'02''$ East, 187.48 feet;

South $25^{\circ}20'02''$ East, 299.24 feet;

South $25^{\circ}10'02''$ East, 494.78 feet;

South $24^{\circ}30'02''$ East, 274.53 feet;

Along a curve to the left 109.27 feet, said curve having a radius of 122.00 feet, a central angle of $51^{\circ}19'01''$, and a long chord bearing South $50^{\circ}09'32''$ East, 105.65 feet;

South $75^{\circ}49'02''$ East, 345.64 feet;

South $75^{\circ}49'02''$ East, 39.98 feet;

South $66^{\circ}37'42''$ East, 25.41 feet;

South $35^{\circ}00'00''$ East, 65.28 feet;

South $07^{\circ}00'00''$ East, 80.00 feet;

South $01^{\circ}00'00''$ West, 215.00 feet;

South $12^{\circ}00'00''$ West, 42.00 feet;

South $42^{\circ}00'00''$ West, 44.00 feet;

South $60^{\circ}15'00''$ West, 315.00 feet;

South $56^{\circ}00'00''$ West, 56.00 feet;

Accurate Surveying & Mapping

A Professional Corporation



South 40°00'00" West, 68.00 feet;
South 35°00'00" West, 300.00 feet;
South 41°42'04" West, 44.95 feet;
South 59°01'54" West, 42.52 feet;
South 69°47'16" West, 34.78 feet;
North 82°00'00" West, 40.00 feet;
North 58°30'00" West, 56.00 feet;
North 45°30'00" West, 67.00 feet;
North 32°30'00" West, 55.00 feet;
North 22°40'00" West, 216.00 feet;
North 26°00'00" West, 104.00 feet;
North 35°45'00" West, 100.00 feet;
North 45°00'00" West, 22.00 feet;

Along a curve to the left 59.87 feet, said curve having a radius of 35.00 feet, a central angle of 98°00'03", and a long chord bearing South 86°00'00" West, 52.83 feet;

South 37°00'00" West, 674.00 feet;
South 28°05'27" West, 65.12 feet;
South 18°00'00" West, 72.00 feet;
South 05°00'00" West, 67.00 feet;
South 02°00'00" West, 50.00 feet;
South 09°00'00" East, 175.00 feet;

Along a curve to the left 38.83 feet, said curve having a radius of 40.32 feet, a central angle of 55°11'01", and a long chord bearing South 29°30'00" West, 37.35 feet;

South 68°00'00" West, 55.21 feet to the Northeasterly line of the Kuna Canal, from which a 1/2" iron pin witness corner bears North 33°55'37" West, 5.00 feet;

Thence, along the Northeasterly and Northerly line of said Kuna Canal the following courses and distances:

North 33°55'37" West, 80.33 feet, to a set 5/8" iron pin tagged PLS 11463;
North 49°27'31" West, 560.33 feet, to a set 5/8" iron pin tagged PLS 11463;

2

1602 W. Hays St., Suite 102 • Boise, ID 83702 • Phone: 208-863-4198 •
www accuratesurveyors.com

Accurate Surveying & Mapping

A Professional Corporation



Along a curve to the left 141.27 feet, said curve having a radius of 450.00 feet, a central angle of $17^{\circ}59'12''$, and a long chord bearing North $58^{\circ}15'57''$ West, 140.69 feet, to a set 5/8" iron pin tagged PLS 11463;

North $68^{\circ}52'04''$ West, 113.97 feet, to a set 5/8" iron pin tagged PLS 11463;

Thence, leaving said Northerly line of the Kuna Canal, parallel with the West line of said Section 12, North $00^{\circ}29'22''$ East, 509.61 feet, to a set 5/8" iron pin tagged PLS 11463;

Thence, parallel with the East and West centerline of said Section 12, North $88^{\circ}31'03''$ West, 300.00 feet to the West line of said Section 12, from which a set 5/8" iron pin witness corner tagged PLS 11463 bears South $88^{\circ}31'03''$ East, 25.00 feet;

Thence, along the West line of said Section 12, North $00^{\circ}29'22''$ East, 2022.33 feet to the **Point of Beginning**.

Said parcel contains 113.252 acres more or less.

Together with all water and water rights, ditches and ditch rights used thereon or appurtenant thereto, including, but not limited to, water and ditch rights under the New York Irrigation District and the Boise-Kuna Irrigation District, and also including, but not limited to, rights to underground water produced from wells located on the premises, especially under License Nos. 20704 and 25289.

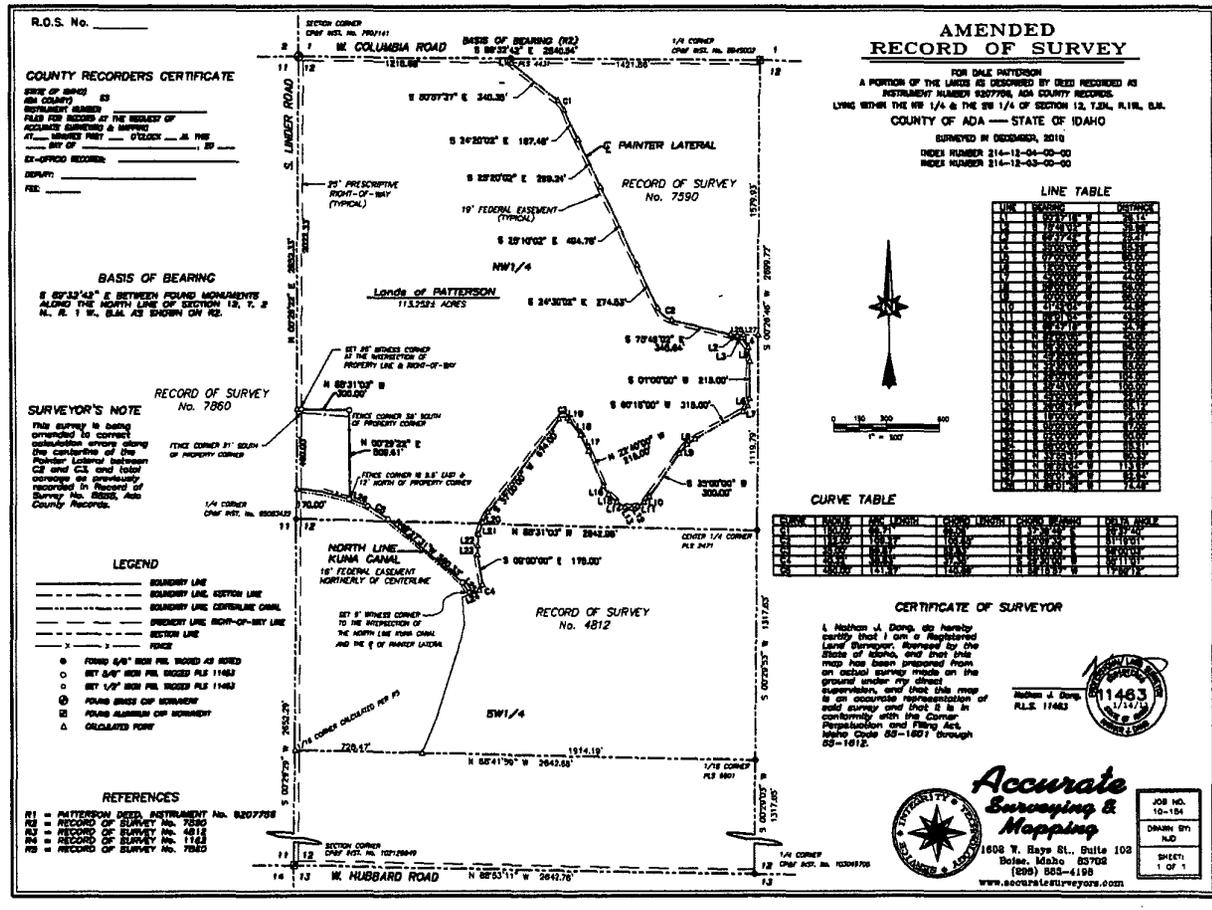
Subject to exceptions and reservations contained in patents from the United States.

Subject to existing easements for roads, highways, ditches, canals, laterals, and power and transmission lines.



3

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www accuratesurveyors.com





GPS, BOUNDARY,
 TOPOGRAPHIC AND A.L.T.A.
 SURVEYS
 CONSTRUCTION STAKING
 3D SCANNING

1121 E. State Street • Suite 105 • Eagle, Idaho 83616 • office: 1-208-939-7373 • fax: 1-208-939-7321

EXHIBIT B.

Job No. 04944
 J.B.F.
 9-20-05

LEGAL DESCRIPTION
 FOR
 PATTERSON

North Parcel

Part of the Southeast 1/4 of the Northeast 1/4 of Section 11, Township 2 North, Range 1 West of the Boise Meridian, Ada County, Idaho described as:

Commencing at the Northeast corner of Section 11, Township 2 North, Range 1 West of the Boise Meridian, Ada County, Idaho and running thence S00°00'00"E 1326.21 feet along the East line of said Section to the North 1/16 corner of said Section; thence S00°00'00"E 150.00 feet to the Point of Beginning; thence S00°00'00"E 544.21 feet along said East line; thence N89°53'06"W 1026.78 feet; thence S00°00'00"E 350.00 feet; thence N89°53'06"W 282.34 feet; thence N00°09'26"E 1044.44 feet; thence S89°52'29"E 1016.25 feet; thence S00°00'00"E 150.00 feet; thence S89°52'29"E 290.00 feet to the point of beginning.

Parcel contains 22.10 acres.

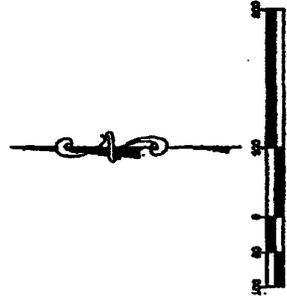


**RECORD OF SURVEY-BOUNDARY LINE ADJUSTMENT
PART OF THE SE 1/4 OF THE NE 1/4 OF
SECTION 11, T. 2 N., R. 1 W., B.M.
ADA COUNTY, IDAHO**

RECORDER'S CERTIFICATE

BOOK OF RECORDS S.S. INSTRUMENT NO. _____
COUNTY OF ADA
I, THE UNDERSIGNED, HEREBY CERTIFY THAT THIS INSTRUMENT WAS
FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF ADA COUNTY, IDAHO,
ON THIS _____ DAY OF _____, 2020.

J. DAVID ANDERSON, RECORDER



LEGEND

- Found Boundary Corner
- Found 1/2" x 3/4" Iron Nail
- Found 3/4" x 1" Iron Nail
- Found 1/2" Iron Rod
- Found Pin
- () Original Platting Measurements

SURVEYOR'S CERTIFICATE

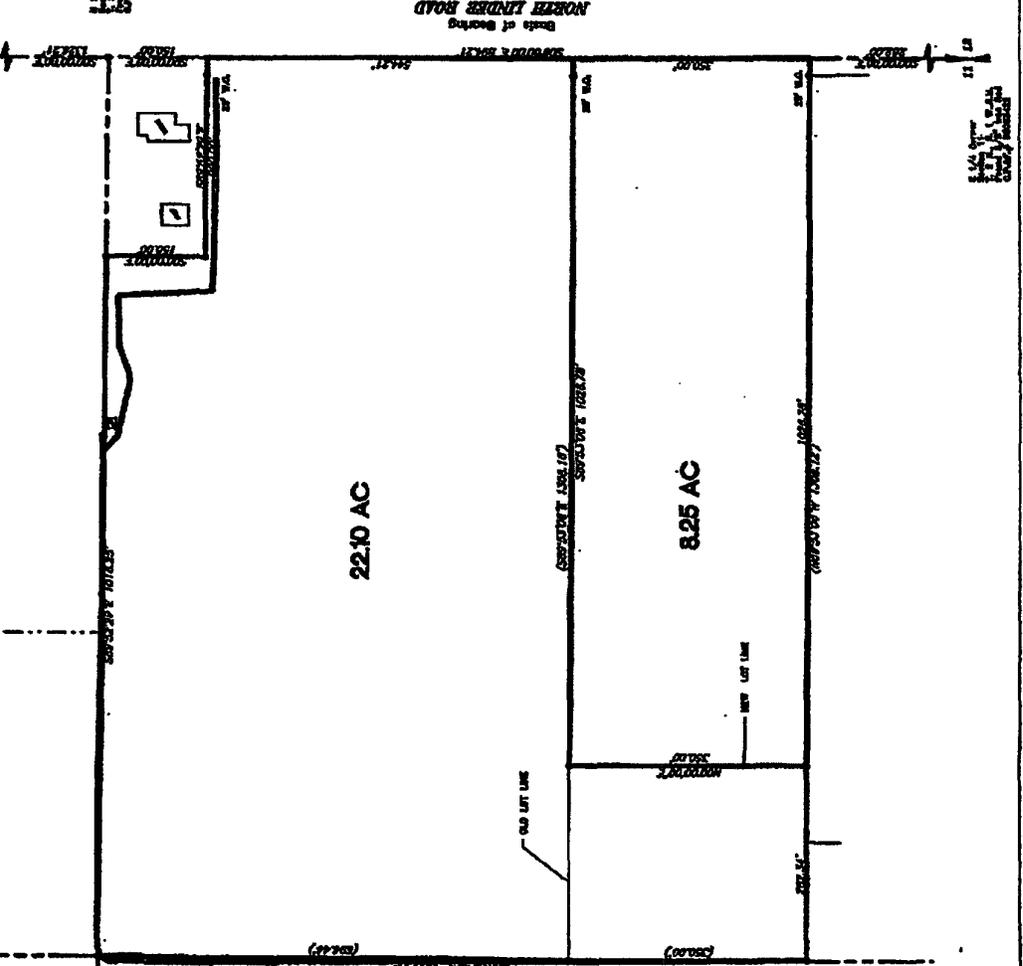
I, JEREMY S. FELDNER, MEMBER OF THE BOARD OF SURVEYORS AND PROFESSIONAL LAND SURVEYORS, LICENSED BY THE STATE OF IDAHO, AND
THAT THIS MAP WAS EXACTLY PREPARED FROM AN ORIGINAL SURVEY MADE BY THE
COMMISSIONERS OF SAID COUNTY, AND THAT THIS MAP IS AN ACCURATE
REPRODUCTION OF SAID ORIGINAL.



JEREMY S. FELDNER, P.L.S. GRAND LEASER NO. 7282

ARR-W
Land Surveying, Inc.
1000 E. 10th St., Boise, ID 83702
PHONE 208-333-1111 FAX 208-333-1112

RECORD OF SURVEY
NO. _____
PARTITION
SEC. 11, T. 2 N., R. 1 W., B.M.
BOOK _____ PAGE _____



P. 4

208-939-7321

Arrow Land

Sep 21 06 12:47p

Toll Brothers®

LAND DEVELOPMENT

PAVING THE WAY FOR AMERICA'S LUXURY HOMEBUILDER

September 25, 2020

City of Kuna
Community Development
751 W 4th Street
Kuna, Idaho 83634

RE: Rezone and Preliminary Plat for Paloma Ridge West Subdivision

Dear Troy Behunin,

Attached for your review are the applications for Rezone and Preliminary Plat for Paloma Ridge West Subdivision. The subject site is located 1500' southwest of the intersection of S. Linder Road and Columbia Road (S1311141960) and is approximately 22 acres. Based on City of Kuna's Comprehensive Plan, Zoning Code, and public agency input, we have thoughtfully designed 78 single-family residential lots for your consideration.

Table of Contents	Page Numbers
Site History and Characteristics	2
Comprehensive Plan Goal Analysis	2
Preliminary Plat	4
Open Space	5
Amenities	5
Garden Collection	6
Neighborhood Meetings	6
Summary	7
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Exhibit C – Open Space	10
Exhibit D – Pathway and Interconnectivity Map	11
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Exhibit F – Phasing Map	13
Exhibit G – Amenities	14
Exhibit H – Elevation of Garden Collection	15

Paloma Ridge West Subdivision is going to be a welcoming community. This application embodies all the same thoughtful elements and design as the project across the street known as Paloma Ridge. These two projects will cohesively and harmoniously fit together with matching transitional zoning and design. Paloma Ridge West will be a great fit for all ranges of families,

from young families just starting out, to people preparing for retirement and everyone in between who are ready to call Kuna their “forever home.”

Subject Site History and Site Characteristics

The subject site is located 1500’ southwest of the intersection of S. Linder Road and Columbia Road (S1311141960) and is currently annexed into the City of Kuna with an (A) Agriculture zoning classification.

Characteristics of the site include street frontage on Linder Road. The site is relatively flat with slight elevation changes, that vary from 2689 at the northwest corner, gradually sloping to 2687 in the middle, then finishes 2685 at the bottom southeast corner of the site. Historically this site has been farmed.

The City has approved several residential developments near the site. The following approved subdivision are directly adjacent or near the subject site:

- Silverstar Trail Addition Subdivision - is west of our site with a R-6 (Medium Density Residential) for a total of 421 buildable lots.
- Timbermist Subdivision – is south of our site and was approved for 253 residential lots with a R-4 (Medium Density Residential).
- Springhill Meadows - is northwest of our application and was approved for a total of 702 single family and multifamily units. This site has two zones of R-6 (Medium Density Residential) and R-20 (High Density/Multi-Family Residential).
- Whispering Meadows - is directly north of our site and was recently approved March of 2019. This site was rezoned to R-6 (Medium Density Residential) with a total of 310 single family residential lots.

Comprehensive Plan, Zoning and Goals

The subject site has been designated as Mixed Use from the Envision Kuna, Comprehensive Plan. Based on the Comprehensive Plan and the characteristics of the surrounding area, this application will be requesting one (1) zoning classification: R-6 Medium-Density residential. This zone request will match the zoning across the street for Paloma Ridge Subdivision, as well as the existing zone of R-6 with Silver Trail Subdivision that is directly west to the subject site. Paloma Ridge will overall meet the City of Kuna’s Comprehensive goals since residential land uses are encouraged within mixed-use designations.

In addition, the following Comprehensive Plan goals are being met with this application:

Goal 2.A. Maintain and expand an interconnected greenbelt, pathways and trail system (pg. 37)
Objective 2.A.2.d. Work with private developers and landowners to direct expansion of the trails and pathways system throughout Kuna

Paloma Ridge West will provide a network of pathways and detached sidewalks. Connecting Silver Trail Subdivision to the west and Paloma Ridge to the east, these connection points will provide a vital midway connection point between these two developments to allow connectivity and walkability for this area of Kuna.

Goal 3.D Encourage development of housing options and strong neighborhoods (pg. 68).

Objective 3.D.1.a. Encourage preservation and development of housing that meets demands for household sizes, lifestyles and settings.

Objective 3.D.2.c Ensure the Kuna's land use and zoning designations allow for and encourage "traditional neighborhood development" in mixed use areas.

Paloma Ridge West Subdivision has been designed to meet and exceed these land use goals for Kuna. Household size, lifestyle and income levels have been the foundation of what makes Paloma Ridge West so diversified in its housing options. From young families just starting out, to people preparing for retirement and everyone in between, the public will have a variety of housing options to meet their needs.

Goal 4.A Use overlay districts to create mixed-use entryway corridors with strong character and managed access (pg. 78).

Objective 4.A.2. Preserve Linder road as a Neighborhood Entryway Corridor using a coordinated, planned approach.

Objective 4.A.2.a. Ensure adequate corridor width along Linder Road to support neighborhood connectivity, school bus routes and alternative bicycle and pedestrian routes.

Objective 4.A 2.c. Ensure improvements to and along Linder Road incorporate community value elements.

Paloma Ridge West will provide the necessary right-of-way and landscape buffering to create a corridor that is safe and inviting.

Residents of Paloma Ridge West will have access to its sister development Paloma Ridge across the street. This will allow children to utilize the public pathways to safely walk to the Swan Falls High School north of Paloma Ridge. We will also be proposing a crosswalk for safe pedestrian crossing on Linder Road, between our two projects to ACHD.

Paloma Ridge West Subdivision

Goal 4. B Increase sidewalk coverage and connectivity and invest in pedestrian facilities to increase walkability (pg. 82).

Objective 4.B.2.b. Install detached sidewalks and/or protected pedestrian routes/facilities along high trafficked roads as development occurs.

Objective 4.B.2.c. Promote the installation of off-system pedestrian pathways to create neighborhood connections and reduce the length of non-motorized transportation routes.

Within Paloma Ridge West, all public streets will have detached sidewalks. this will create a visually pleasing streetscape, and help pedestrians feel safe while walking along our public roads.

As already noted, walkability and connectivity are a priority for this development and this development will be providing a vital midpoint connection between Silver Trail Subdivision to the west and Paloma Ridge to the east. This will provide a variety of protected pedestrian routes to interconnect the three neighborhood communities together.

Goal 4.F Ensure water, sewer, irrigation, street lighting, storm water and solid waste systems are capable of serving the current and future population, (pg. 91).

4.F.2.g. Comply with the most current zoning and engineering development requirements.

4.F.3.a. Install street lighting in accordance with most current city requirements.

4.F.4.c. Ensure developers employ stormwater mitigation strategies that retain storm waters onsite, expect for natural/historic pass through flows.

Paloma Ridge’s infrastructure will meet all requirements set forth by the City of Kuna and all public reviewing agencies.

Preliminary Plat

Paloma Ridge West Subdivision is a residential community that will consist of 78 residential lots, this application is not requesting any variances of dimensional standards. The breakdown of lots is as follows:

Overall Project Data	
Single Family Residential Lots	78
Common Lots	12

Paloma Ridge West Subdivision

Shared Driveway Lot	1
Single-Family Residential Area	13.81 acres
Common Lot Area	2.51 acres
Gross Density	3.53 dwelling units per acre
Net Density	5.65 dwelling units per acre
Minimum Residential Lots Size	4,828 s.f.
Average Residential Lot Size	9,854 s.f.

Table 1: Overall Project Data

Sewer for the site has been reviewed and coordinated with the City of Kuna’s Public Works Department. The site is proposing a gravity flow to the east of the site, connecting to Paloma Ridge Subdivision across the street. Water is existing and in Linder Road adjacent to the site.

All storm drainage run-off will be collected on site within common lots via underground seepage beds. The site does not have any existing surface water rights. Underground water rights are available and will be utilized for the development pressurized irrigation system. This system will be owned and maintained by the HOA.

Paloma Ridge West Subdivision will take ingress/egress from Linder Road. The site design is proposing three stub locations: (1) to the north, (2) connecting to the west with Silver Trail Subdivision and (3) to the south. All interior local streets will have a typical 47’ ROW with detached sidewalks

Paloma Ridge West Subdivision will provide Dark Sky outdoor lighting throughout the site to minimize glare and light pollution onto neighboring properties and throughout the immediate area.

A secondary fire access will be available from Linder Road until a permanent secondary fire access through Silver Trail Subdivision can be constructed. Paloma Ridge will be developed in two (2) phases, please refer to Exhibit F for the phasing map.

Open Space

Paloma Ridge West Subdivision will have approximately 1.84 acres of open space making the qualified percentage of open space 8.4 %. Lush landscape and useable open space can be seen throughout the site, as illustrated in Exhibit C – Open Space. Starting at the main entrance, all Paloma Ridge West proposed public roads will meet the City of Kuna’s standards and will have detached sidewalks that will be thoughtfully landscaped to provide a visually pleasing treelined roadway.

Paloma Ridge West Subdivision

Paloma Ridge West Subdivision Amenities

Within Paloma Ridge West’s 8.4% qualified usable open space, there are green spaces and pathways that create connectivity and a serene setting for residents. A central open space will be provided with children’s playground equipment for recreation and seating areas for neighbors to congregate with their children. This centralized amenity can be accessed by a network of pathways for residents to use.

Paloma Ridge West will also have full access to all the amenities from its sister development, Paloma Ridge Subdivision, including a pool, pool-house, various playgrounds and pickle-ball court.

As a commitment to residents and the City of Kuna, the primary amenity features are always constructed at the beginning every development that Toll Brothers does. This also guarantees a great community from the very beginning.

Garden Collection

Paloma Ridge West Subdivision will offer housing options from the Garden Collection. This collection offers numerous floorplans and elevation styles to choose from. The Garden Collection will range from 1200 to 2400 square feet and will offer function and charm throughout the design and finishes. Please refer to Exhibit H for elevation renderings. This collection helps ensure that Paloma Ridge West has many housing options available but also will be harmonious in appearance and transitions well with its sister development Paloma Ridge Subdivision across the street.

Neighborhood Meetings

Coordination and outreach with the surrounding neighbors were held on two different occasions.

Meeting	Date	Number in Attendance
1.	August 4 th – via zoom	0
2.	August 6 th – on site	0

Table 1: Neighborhood Meeting Information

With both meetings we did not have any attendance, nor receive any email correspondence or phone calls. While we currently haven’t had any correspondence from adjacent neighbors, Toll Brothers holds the highest commitment to our developments from the initial planning to the last house being built. And that commitment includes listening and being good neighbors to the existing residents. We will continue to notify and work closely with all surrounding neighbors throughout the development process.

Paloma Ridge West Subdivision

Summary

Toll Brothers has an unwavering commitment to the quality of product and design that goes into their communities and homes. Paloma Ridge West Subdivision will epitomize the vision and commitment that Toll Brothers has in making a community special. Amenities, open space, walkability and housing options are the key components making this community work. With the addition of its sister community Paloma Ridge across the street and its many amenities, this combination between the two developments will make a desirable and livable development that will be an asset for the City of Kuna.

Overall, we are extremely proud of our proposed community and look forward to working with staff on our applications. If you have any questions, please don't hesitate to contact me at sdurtschi@tollbrothers.com or at 208-780-6723.

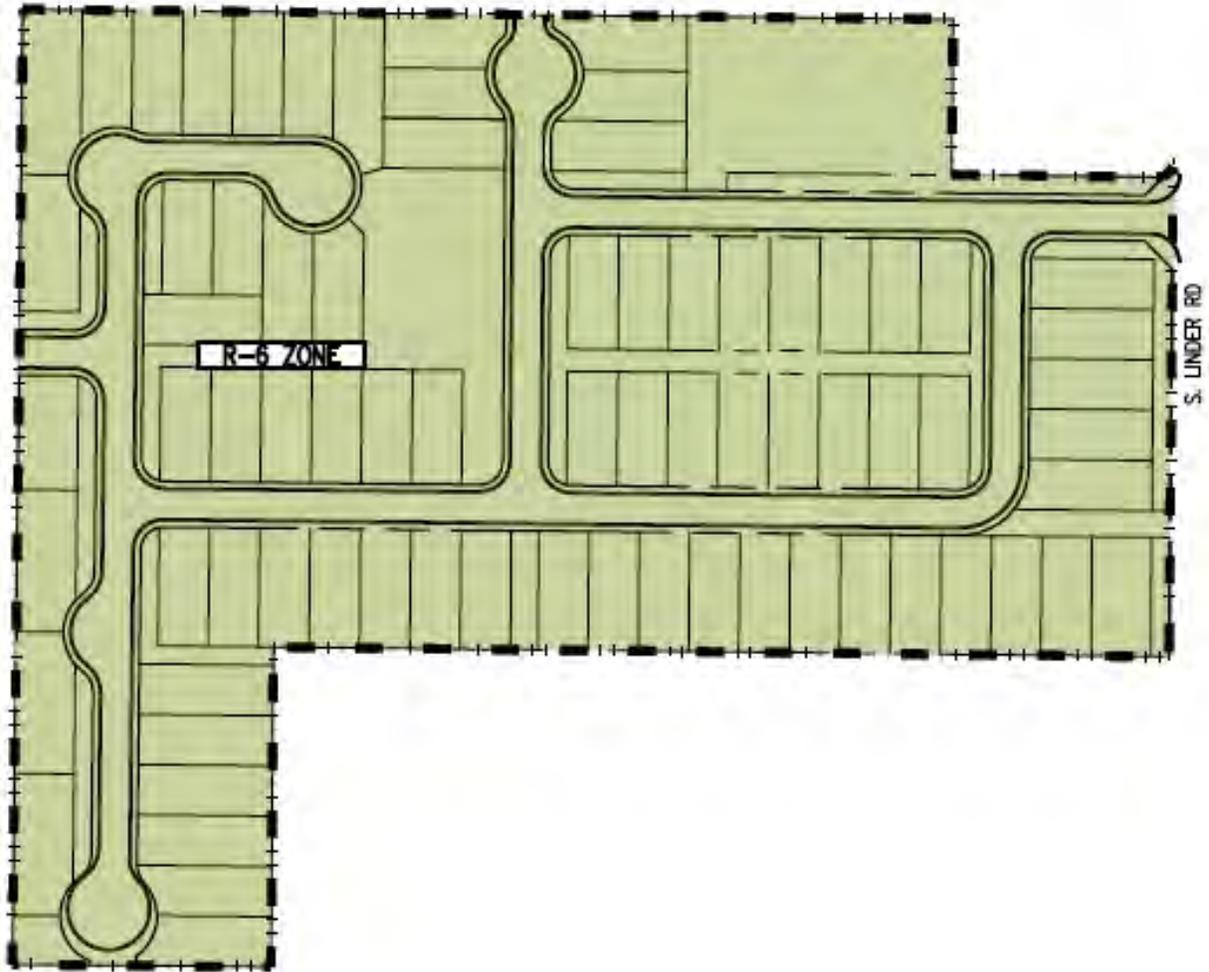
Thanks for your time, consideration and assistance with our applications.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sabrina Durtschi', with a long horizontal flourish extending to the right.

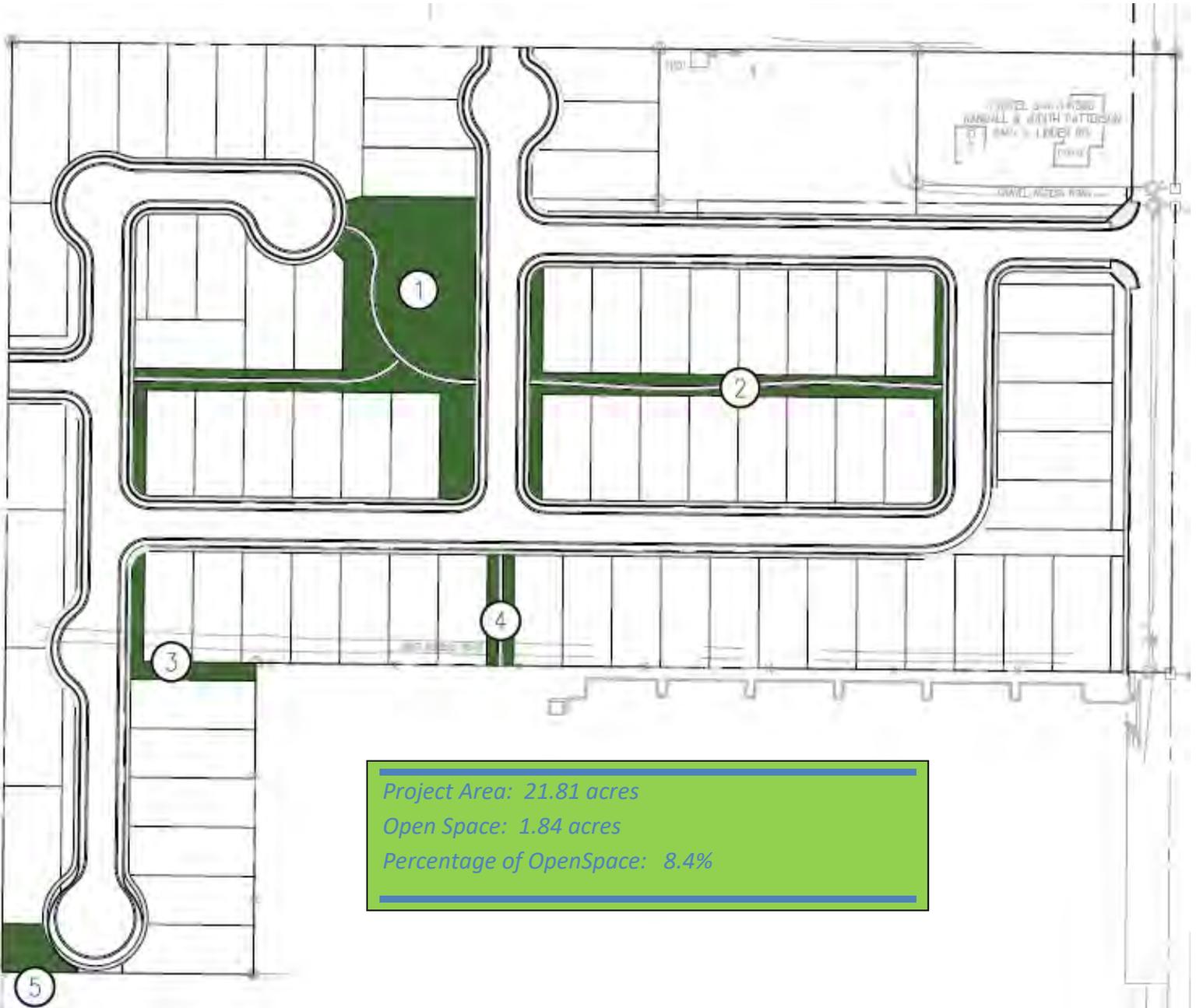
Sabrina Durtschi
Land Development Entitlement Manager

Exhibit B – Zoning Map Request



Paloma Ridge West Subdivision

Exhibit C – Open Space



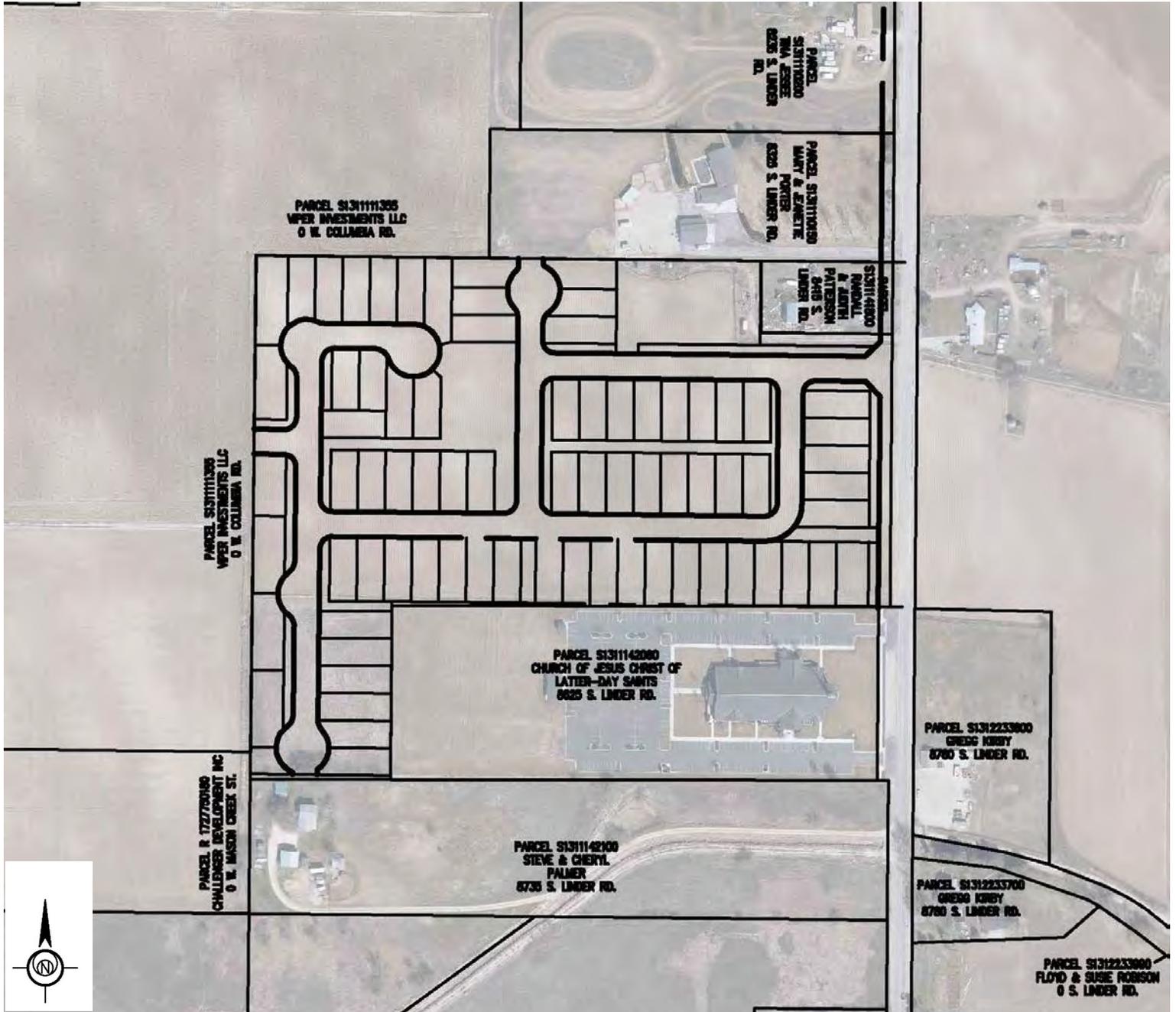
Paloma Ridge West Subdivision

Exhibit D – Pathways & Interconnectivity Map



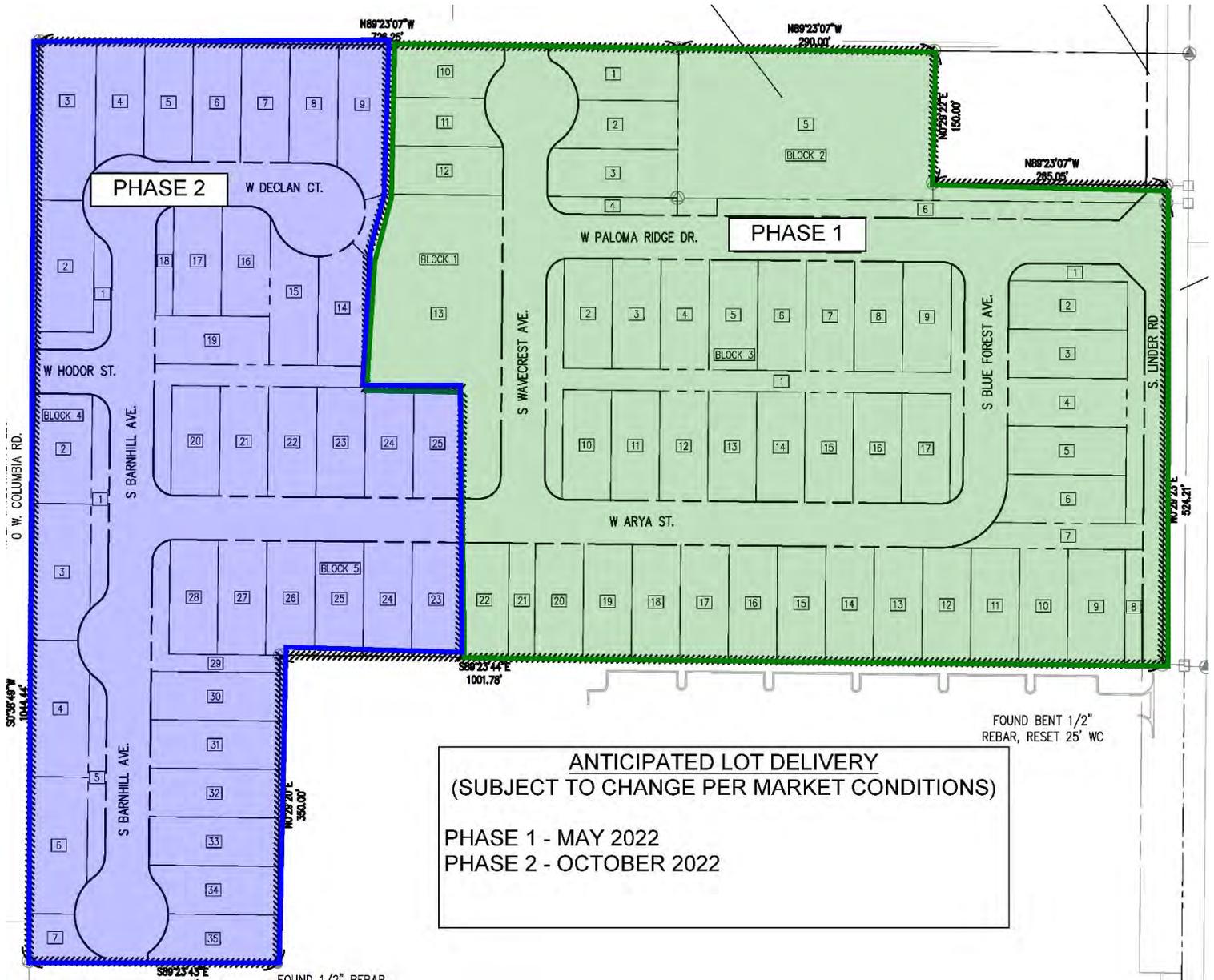
Paloma Ridge West Subdivision

Exhibit E – Aerial Map



Paloma Ridge West Subdivision

Exhibit F – Phasing Map



Paloma Ridge West Subdivision

Exhibit G - Amenities



Paloma Ridge West Subdivision

Exhibit H – Elevations of Garden Collection





City of Kuna
**COMMITMENT TO
PROPERTY POSTING**

City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

Per City Code 5-1A-8, the applicant for all applications requiring a public hearing shall post the subject property not less than ten (10) days prior to the hearing. The applicant shall post a copy of the public hearing notice or the application(s) on the property under consideration.

The applicant shall submit proof of property posting in the form of a notarized statement and a photograph of the posting to the City no later than seven (7) days prior to the public hearing attesting to where and when the sign(s) were posted. Unless such Certificate is received by the required date, the hearing will be continued.

The sign(s) shall be removed no later than three (3) days after the end of the public hearing for which the sign(s) had been posted.

I am aware of the above requirements and will comply with the posting requirements as stated in Kuna City Code 5-1A-8.

Applicant/agent signature:

8/28/20

Date:

August 7, 2020

Clint Hansen, Land Solutions
Sabrina Durtschi, Toll Brothers

RE: Subdivision Name Reservation: **PALOMA RIDGE WEST SUBDIVISION**

At your request, I will reserve the name **Paloma Ridge West Subdivision** for your project. I can honor this reservation only as long as your project is in the approval process. Final approval can only take place when the final plat is recorded.

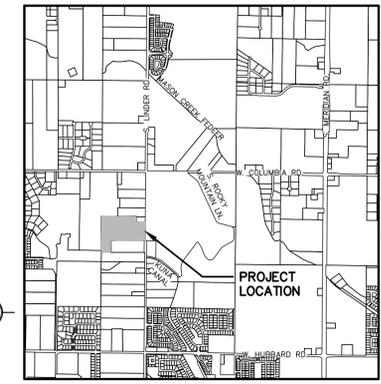
This reservation is available for the project as long as it is in the approval process unless the project is terminated by the client, the jurisdiction or the conditions of approval have not been met, in which case the name can be re-used by someone else.

Sincerely,



Glen Smallwood
Surveying Technician
Ada County Development Services
200 W. Front St., Boise, ID 83702
(208) 287-7926 *office*
(208) 287-7909 *fax*

PRELIMINARY PLAT FOR PALOMA RIDGE WEST SUBDIVISION



VICINITY MAP
N.T.S.

DRAWING INDEX	
SHEET	SHEET TITLE
1	COVER SHEET
2	PRELIMINARY PLAT
3	PRELIMINARY GRADING AND DRAINAGE PLAN

LAND USE SUMMARY

OVERALL PROJECT DATA	
Total Parcel Area:	22.1 Acres
Arterial Right of Way Dedication: (Linder Road)	6.12 Acres
Single Family Residential Lots:	78
Common Lots:	12
Shared Driveway Lots:	1
Single Family Residential Lot Area:	13.81 Acres
Common Lot Area:	2.51 Acres
Gross Density:	3.53 Units/Acre
Net Density:	5.65 Units/Acre
Minimum Residential Lot Size:	4,828 sf
Average Residential Lot Size:	9,854 sf

OPEN SPACE SUMMARY

Qualified Open Space Area:	1.84 Acres
Percent Qualified Open Space:	8.4%

BUILDING SETBACKS

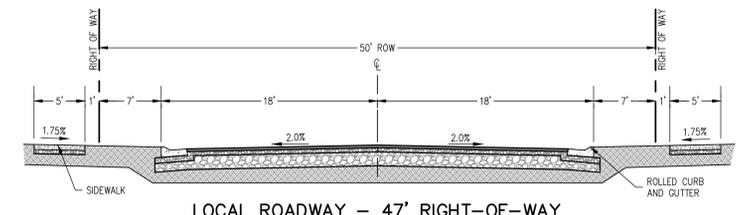
R-6 ZONE SETBACKS	
Front:	20 ft
Rear:	15 ft
Interior Side:	5 ft

LEGEND

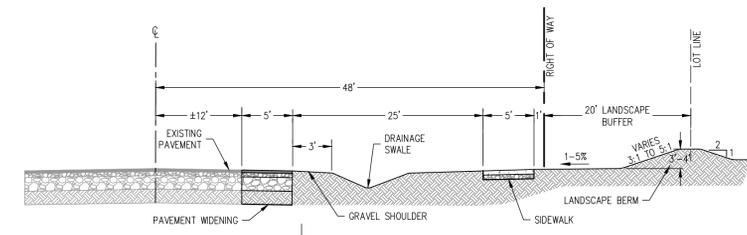
- FOUND BRASS CAP MONUMENT
- PROPERTY BOUNDARY LINE
- PLSS LINES
- RIGHT OF WAY LINE
- EXISTING PROPERTY LINE
- EASEMENT LINE
- VINYL FENCE LINE
- BARB WIRE FENCE LINE
- GAS LINE
- POWER LINE
- SANITARY SEWER LINE
- CABLE TV PER UTILITY MAP
- WATER LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- FLOOD ZONE "A" LIMITS
- CONCRETE AREA
- BUILDING AREA
- PROPOSED LOT LINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED ROAD CENTERLINE
-

PRELIMINARY PLAT NOTES

1. ANY RE-SUBDIVISION OF THIS PLAT SHALL CONFORM WITH THE APPLICABLE CITY OF KUNA ZONING REGULATIONS IN EFFECT AT THE TIME OF THE RE-SUBDIVISION.
2. ALL STREETS PROPOSED WITHIN THIS DEVELOPMENT ARE PUBLIC STREETS AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA COUNTY HIGHWAY DISTRICT STANDARDS (AHD).
3. DIRECT LOT ACCESS TO LINDER ROAD, AND COLUMBIA ROAD IS PROHIBITED.
4. LOT 7, BLOCK 5 IS A COMMON DRIVEWAY TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
5. LOTS 1, 13, AND 18, BLOCK 1; LOTS 4, AND 6, BLOCK 2; LOT 1, BLOCK 3; LOTS 1, 5 AND 7, BLOCK 4; LOT 1, 8, 21, AND 29, BLOCK 5; ARE COMMON LOTS AND SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
6. THIS DEVELOPMENT RECOGNIZES IDAHO CODE SECTION 22-4503, RIGHT TO FARM ACT, WHICH STATES, "NO AGRICULTURAL OPERATION, AGRICULTURAL FACILITY OR EXPANSION THEREOF SHALL BE OR BECOME A NUISANCE, PRIVATE OR PUBLIC, BY ANY CHANGED CONDITIONS IN OR ABOUT THE SURROUNDING NONAGRICULTURAL ACTIVITIES AFTER IT HAS BEEN IN OPERATION FOR MORE THAN ONE (1) YEAR, WHEN THE OPERATION, FACILITY OR EXPANSION WAS NOT A NUISANCE AT THE TIME IT BEGAN OR WAS CONSTRUCTED. THE PROVISIONS OF THIS SECTION SHALL NOT APPLY WHENEVER A NUISANCE RESULTS FROM THE IMPROPER OR NEGLIGENT OPERATION OF ANY AGRICULTURAL OPERATION, AGRICULTURAL FACILITY, OR EXPANSION THEREOF."
7. SANITARY SEWER SERVICE, DOMESTIC WATER SERVICE, AND FIRE PROTECTION WATER SHALL BE PROVIDED BY THE CITY OF KUNA.
8. IRRIGATION WATER SERVICE IS PROVIDED TO THIS PROPERTY BY AN EXISTING IRRIGATION WELL.
9. BUILDING SETBACKS AND DIMENSIONAL STANDARDS SHALL BE IN ACCORDANCE WITH THE CITY OF KUNA STANDARDS, AS SHOWN ON THIS PLAN.
10. STORMWATER RUNOFF GENERATED ON THIS SITE SHALL BE COLLECTED AND CONVEYED TO STORMWATER FACILITIES IN ACCORDANCE WITH AHD AND CITY OF KUNA REQUIREMENTS.



LOCAL ROADWAY - 47' RIGHT-OF-WAY
TYPICAL SECTION
N.T.S.

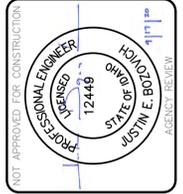
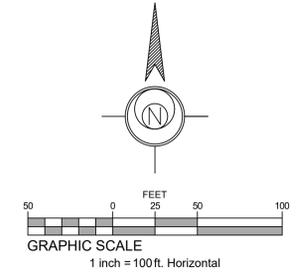
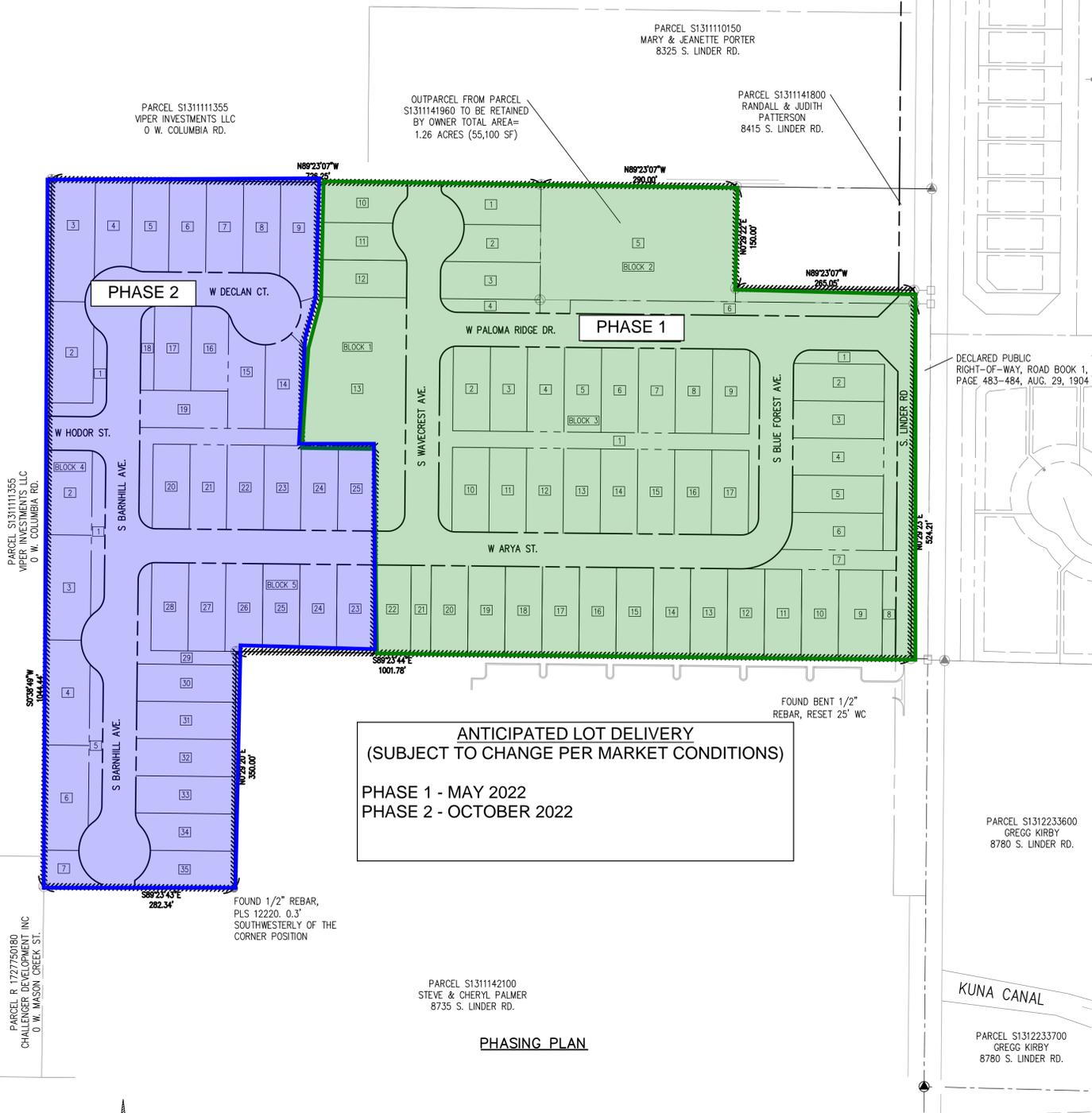


LINDER ROAD
TYPICAL SECTION
N.T.S.

ANTICIPATED LOT DELIVERY
(SUBJECT TO CHANGE PER MARKET CONDITIONS)

PHASE 1 - MAY 2022
PHASE 2 - OCTOBER 2022

PHASING PLAN



ESE CONSULTANTS
ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL
ESE Consultants, Inc.
3103 W. Sheryl Drive • Suite 100 • Meridian, ID 83642
T: 208-424-0020

REV.	DATE	DESCRIPTION

COVER SHEET
PALOMA RIDGE WEST
SUBDIVISION
SEC. 12, T. 2N., R. 1W., B.M., KUNA, ADA COUNTY, IDAHO

DATE: 9/17/2020	SCALE: AS NOTED
DESIGN: JEB	DRAWN: MGF/KL
JOB NO.: 7636	FILE NAME: 18-5-TITLE-WEST-PP
REF. NO.:	PP-1.1
SHEET NO.: 1	OF 3

DEVELOPER

TOLL SOUTHWEST LLC
ADAM CAPELL
3103 W. SHERYL DRIVE, SUITE 100
MERIDIAN, IDAHO 83642
ocapell@tollbrothers.com
Phone: (208) 424-0020
Fax: (205) 424-0030

PLANNER

TOLL BROTHERS
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sdurtschi@tollbrothers.com
Phone: (208) 424-0020
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ENGINEER

ESE CONSULTANTS, INC.
JUSTIN BOZOVICH, P.E.
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jbozovich@eseconsultants.com
Phone: (208) 424-0020
Fax: (205) 424-0030

SURVEYOR

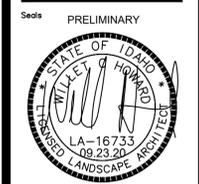
LAND SOLUTIONS
CLINT HANSEN, PLS
231 E. 5TH STREET, SUITE 4
MERIDIAN, IDAHO 83642
chansen@landsolutions.biz
Phone: (208) 288-2040
Fax: (208) 288-2557

N:\PROJECTS\IDAHO\7636 - PATTERSON\ENGINEERING\DRAWINGS\PREL1\WEST\7636-5-TITLE-WEST-PP-DWG-Karina_Lomoadrid-9/17/2020_3:27 PM

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NOT FOR CONSTRUCTION

PALOMA RIDGE WEST
 KUNA, ID

REVISIONS

MRK	DATE	Description
△	**	**

JOB NO: 20-1768
 DATE: 09.23.2020
 DRAWN BY: DW/VEV
 CHECKED BY: WH

DRAWING TITLE

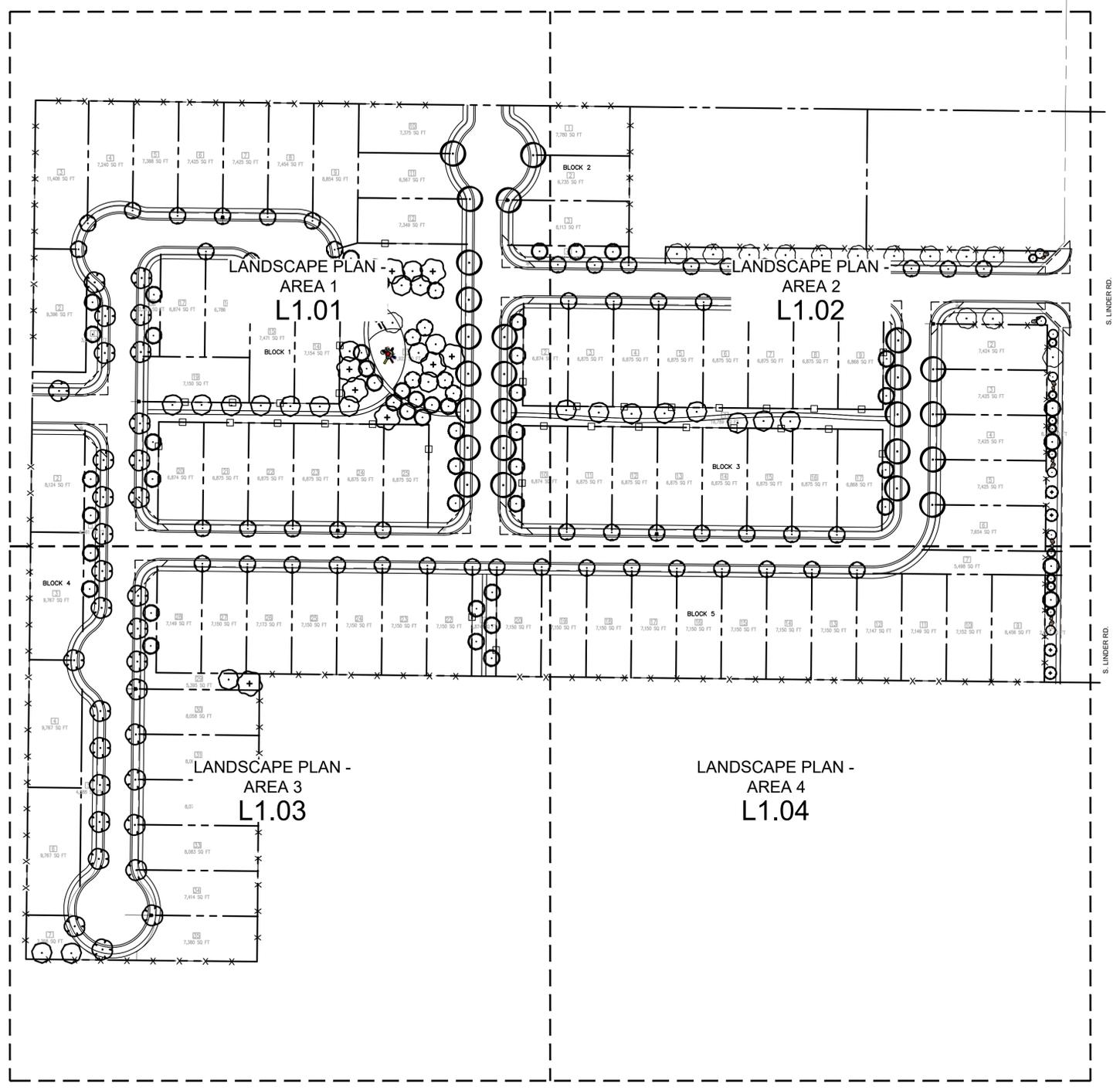
OVERALL LANDSCAPE PLAN

SHEET NUMBER
L1.00

LANDSCAPE NOTES:

1. REGULATIONS & STANDARDS
 - 1.1. All contractor work shall be conducted in accordance with ISPWC (Idaho Standard Public Works Construction), 2017; and Kuna, ID codes, standards and state and local regulations.
2. EXISTING CONDITIONS
 - 2.1. All utilities shall be located prior to construction and protected. Any damage to structures, utilities or concrete will be replaced at contractor's expense.
 - 2.2. The site has many existing improvements such as underground utilities, curb and gutter, light poles and sidewalks.
 - 2.3. See Engineer's plans for information about existing features; all drainage pipes and locations. Protect and retain drainage at all times.
3. GRADING & SITE PREPARATION
 - 3.1. Prepare finish grades for planting by grubbing and removing weeds. If necessary apply Round-Up (or equivalent herbicide), using a certified applicator. Remove rocks and other materials over 2".
 - 3.2. All gravel overprep to be removed and disposed of off site.
 - 3.3. Finish grade to be smooth transition to allow for entire site to be a natural flowing space.
 - 3.4. Refer to Engineer's plans for grading information & for all drainage pipes and locations. Protect and retain drainage at all times.
 - 3.5. No pooling or standing water will be accepted per industry standards.
4. SOILS
 - 4.1. All planter beds to receive a minimum of 18" depth of screened topsoil. Spread, compact, and fine grade to smooth and uniform grade 2.5" below adjacent surfaces.
 - 4.2. All lawn areas to receive a minimum of 12" depth of screened topsoil. Spread, compact, and fine grade topsoil to a smooth uniform grade 1" below adjacent surfaces.
 - 4.3. Reuse of existing topsoil that has been stockpiled on site is permitted if:
 - 4.3.1. Topsoil is tested and analyzed to ensure a proper growing medium. Provide additional amendments as determined by soil tests. And
 - 4.3.2. Topsoil is to be loose, friable sandy loam that is clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign materials.
 - 4.3.3. Topsoil should have a pH of 6.5 to 8.
 - 4.3.4. If on site topsoil does not meet these minimum standards contractor is responsible for providing approved imported topsoil or improving onsite topsoil per the approval of the project manager.
5. PLANTER BED MULCH
 - 5.1. All planter beds to receive 3" depth of tan mini rock mulch, or approved other. Install over commercial grade weed barrier fabric per manufacturer recommendations.
6. LAWN AREAS
 - 6.1. All lawn areas shall be hydro-seeded with tall turf-type fescue or approved other seed mix. Apply at standard rates.
 - 6.2. All lawn areas to have cut edge.
7. PLANTS
 - 7.1. All plant material shall be installed per industry standards.
 - 7.2. All plant material shall meet or exceed the minimum federal standards as regulated by ANSI z60.1, American Standard for Nursery Stock. Plants not meeting these standards for quality, or plants determined to be unhealthy by Owner's representative, will be rejected.
 - 7.3. All trees and shrubs to be installed per details.
 - 7.4. Fertilize all trees and shrubs with 'Agriform' planting tablets or approved equal. Apply per manufacturer's recommendations.
 - 7.5. All plants shall adhere to plant schedule, species & sizes. Any necessary substitutions due to availability or alternatives shall be coordinated to the landscape architect via submittal.
8. IRRIGATION
 - 8.1. Irrigation system shall be built to the following specifications:
 - 8.1.1. Adhere to city codes when connecting to city water.
 - 8.1.2. All irrigation material to be new with manufacturers' warranty fully intact.
9. CONTRACTOR RESPONSIBILITIES
 - 9.1. Estimated quantities are shown for general reference only. Contractor shall be responsible for all quantity estimates.
 - 9.2. All plant material and workmanship shall be guaranteed for a period of one year beginning at the date of Acceptance by Owner. Replace all dead or unhealthy plant material immediately with same type and size at no cost to Owner.
 - 9.3. Landscape contractor to turn in as built drawings at the end of project. Substantial completion will not be granted until 2 copies @ 1"=30' scale are turned in and approved by owner's representative. Substantial completion is not complete until seed is fully grown in.
 - 9.4. Stake fence during construction around seed areas.
 - 9.5. In the event of a discrepancy, notify the General Contractor.
10. All remote control valves (including master control valve) to have flow control device.
11. Install outdoor rated controller in pedestal. Provide lock box on pedestal and two keys. Coordinate with general contractor on exact location.
12. Controller to include On/Off rain switch or other rain shut off device that does not alter program.
13. Irrigation system piping to be minimum class 200 PVC or approved equal. Sleeves to be double the size of pipes located within, all wires to be contained in separate sleeves 1-1/2" dia min. Use common trenching where possible.
14. All PVC located under hardscapes to be schedule 40 PVC with same req's as above.
15. All mainline pipe and wires to be buried a minimum of 18" and all lateral piping to be buried a minimum of 12" below grade.
16. All wires to be 14 gauge direct bury wire at a minimum. Size wire for correct voltage loss. Supply a minimum of (2) spare wires to furthest valves from controller in all directions.
17. Sprinkler heads shall have a matched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.
18. Contractor is responsible complying with all codes and paying all permits necessary.
19. Sprinkler heads shall have a matched precipitation within each control circuit. Velocities shall not exceed 5 feet per second.

PLAN OVERVIEW:



LANDSCAPE REQUIREMENTS:

(PER KUNA MUNICIPAL CODE)

LANDSCAPE BUFFER REQUIREMENTS:

- * (2) 2" CAL. TREE PER 100 LF
- * (3) 6"-7" MIN HEIGHT EVERGREEN TREES PER 100 LF
- * (12) 2 GALLON POT MINIMUM SHRUBS PER 100 LF

STREET	LENGTH (MINUS CURB CUTS)	DECID. TREES REQ./PROVIDED	EVGRN. TREES REQ./PROVIDED	SHRUBS REQ./PROVIDED
S. LINDER RD.	448'	9 / 9	14 / 14	54 / 54

COMMON LOT LANDSCAPING

- * 1 TREE PER 800 SF

COMMON LOT	AREA (SF)	TREES REQUIRED	TREES PROVIDED
BLOCK 1 / LOT 1	3,646	5	5
BLOCK 1 / LOT 13	47,922	60	60
BLOCK 1 / LOT 18	2,367	3	3
BLOCK 2 / LOT 4	2,827	4	4
BLOCK 3 / LOT 1	19,759	25	25
BLOCK 4 / LOT 1	4,561	6	6
BLOCK 4 / LOT 5	4,388	5	5
BLOCK 4 / LOT 7	3,368	4	4
BLOCK 5 / LOT 21	3,874	5	5
BLOCK 5 / LOT 29	5,385	7	7

** REDUCED TREE COUNT DUE TO SEEPAGE BEDS LOCATIONS.

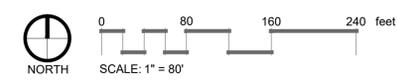
GENERAL REQUIREMENTS:

TREE SIZING:

SHADE TREES:	MIN 2" CAL. B&B
ORNAMENTAL TREES:	MIN 2" CAL. B&B
CONIFER TREES:	MIN 6" H. B&B

SHRUB SIZING:

WOODY SHRUBS	2 GAL
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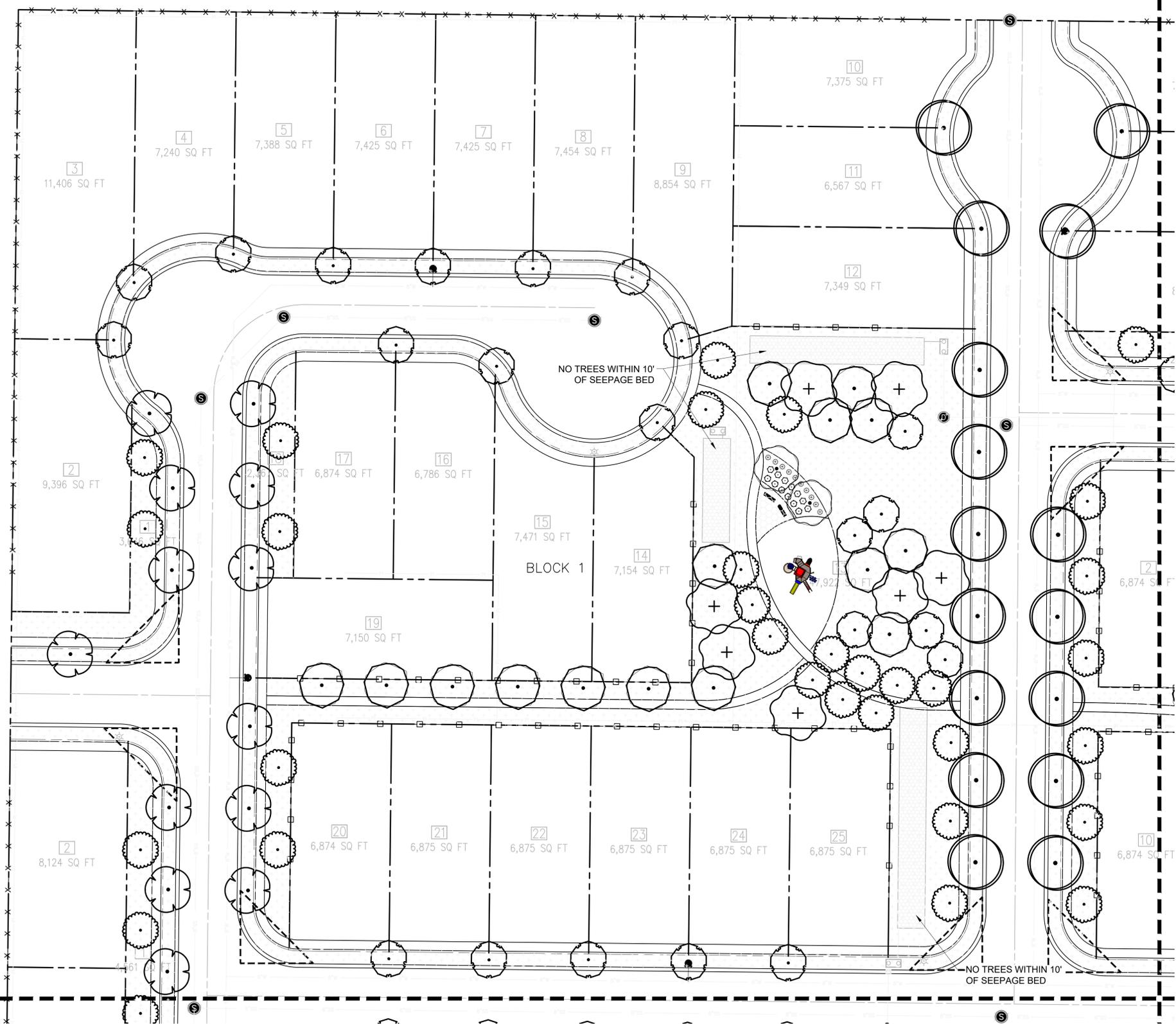
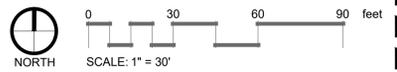
PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Columnar Broad' / Parkway Maple	B & B	2"		64	45' h x 25' w, Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		32	35' h x 25' w
	Carpinus betulus 'Franz Fontaine' / Franz Fontaine Hornbeam	B&B	2"		4	35' h x 15' w, Class II
	Cercis canadensis / Eastern Redbud	B&B	2"		15	30' h x 25' w
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B & B	2"		26	40' h x 20' w, Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		8	50' h x 30' w, Class II
	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7' H	10	30' h x 10' w
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7' H	7	25' h x 12' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B & B	2"		50	25' h x 20' w, Class II
	Tilia americana 'Redmond' / Redmond American Linden	B & B	2"		25	50' h x 30' w, Class II
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			50	5' h x 3' w
	Genista pilosa 'Gold Flash' / Pilosa Broom	2 gal			26	12' h x 3' w
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	2 gal			68	3' h x 3' w
	Perovskia atriplicifolia 'Blue Spires' / Russian Sage	2 gal			10	4' h x 4' w
	Pinus strobus 'Blue Shag' / Blue Shag White Pine	5 gal			75	3' h x 3' w
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			8	2' h x 6' w
	Rosa x 'Noaschnee' / Flower Carpet White Groundcover Rose	2 gal			6	3' H X 3' W

LANDSCAPE MATERIALS LEGEND:

- LAWN: SEED PER NOTE 6/L100
- LANDSCAPE MULCH PER NOTE 5/L100
- DECOMPOSED GRANITE SURFACING
- 6' CLOSED VISION FENCE
- 6' OPEN VISION FENCE
- SANDSTONE BOULDERS
BOULDERS ARE GRAPHIC REPRESENTATION ONLY, NO QUANTITY OR SIZE PROVIDED, AND THESE PLANS SHALL NOT BE HELD TO INSTALLING BOULDERS IF THEY BECOME COST PROHIBITIVE

NOTE: ALL PARKWAY LANDSCAPING INCLUDING TREES, LAWNS, IRRIGATION, AND CONCRETE APRONS ARE RESPONSIBILITY OF EACH LOTS BUILDER, NOT THE DEVELOPER



STACK ROCK GROUP
 LANDSCAPE ARCHITECTURE & MASTER PLANNING
 (208) 345-0500
 404 S 8th St. #154
 Boise, ID 83702
 StackRockGroup.com
 WILLET C HOWARD, PLA
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 WWW.STACKROCKGROUP.COM

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PALOMA RIDGE WEST
 KUNA, ID

REVISIONS

MRK	DATE	Description
△	**	**

JOB NO: 20-1768
 DATE: 09.23.2020
 DRAWN BY: DWIEV
 CHECKED BY: WH

DRAWING TITLE
LANDSCAPE PLAN - AREA 1
 SHEET NUMBER
L1.01

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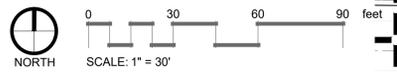
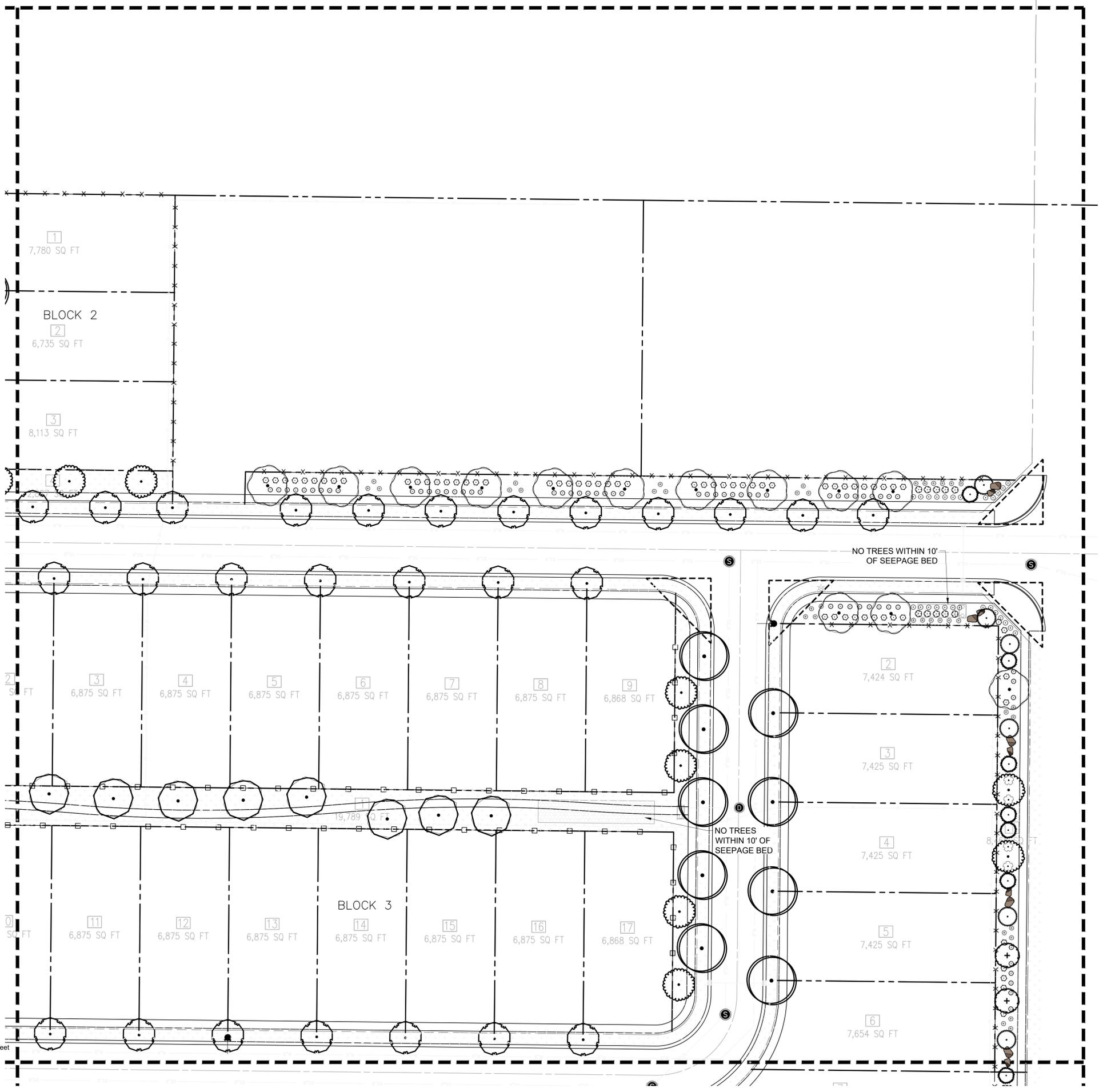
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- LAWN: SEED PER NOTE 6/L100
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Seals PRELIMINARY

NOT FOR CONSTRUCTION

PALOMA RIDGE WEST
KUNA, ID

REVISIONS

MRK	DATE	Description
△	**	**

JOB NO: 20-1768
DATE: 09.23.2020
DRAWN BY: DWIEV
CHECKED BY: WH

DRAWING TITLE
LANDSCAPE PLAN - AREA 2
SHEET NUMBER
L1.02

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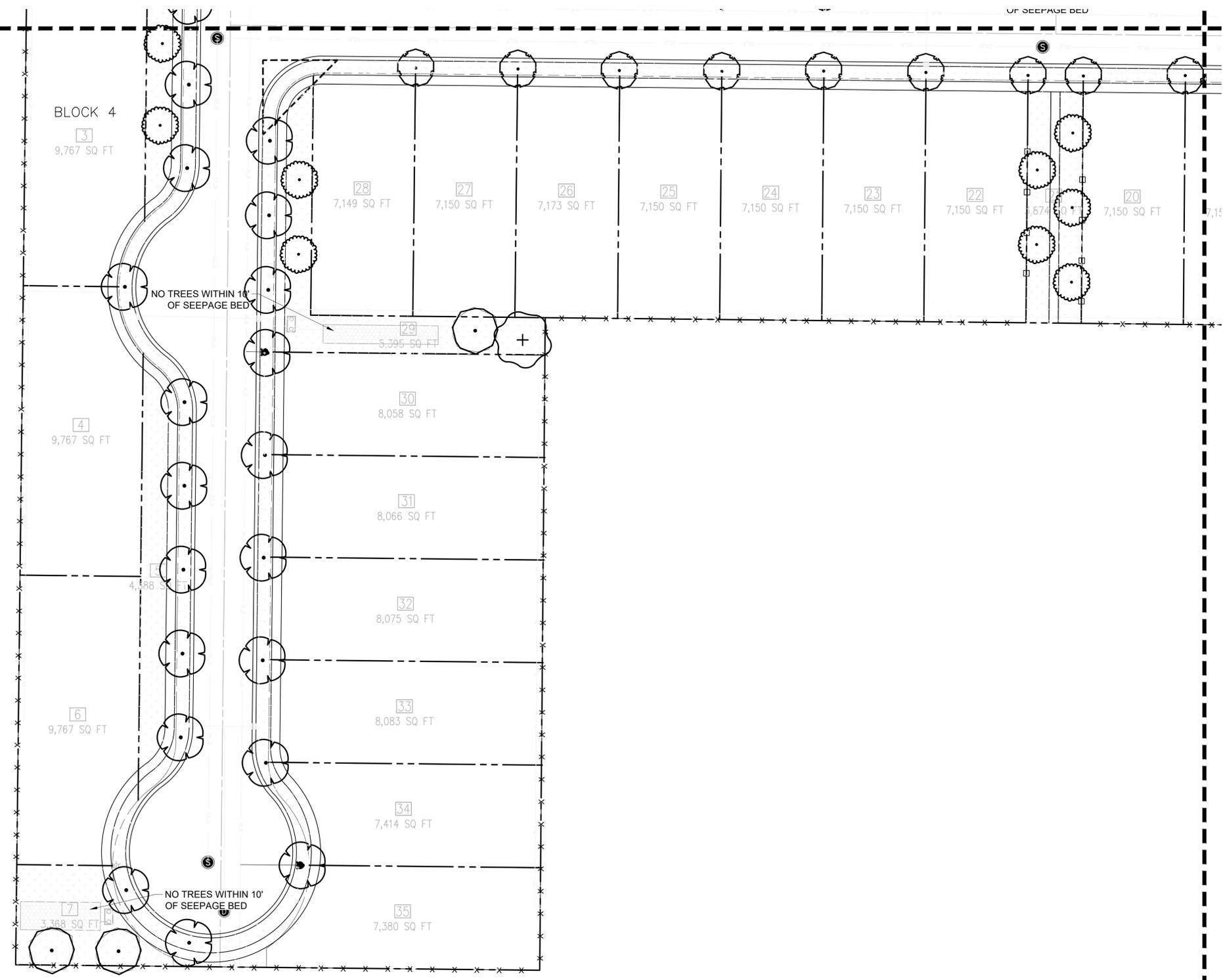
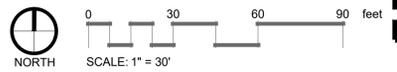
STACK ROCK GROUP - CITY REVIEW SET

PLANT SCHEDULE						
TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY	REMARKS
	Acer platanoides 'Columnar Broad' / Parkway Maple	B & B	2"		64	45' h x 25' w, Class II
	Acer truncatum 'Crimson Sunset' / Crimson Sunset Maple	B&B	2"		32	35' h x 25' w
	Carpinus betulus 'Franz Fontaine' / Franz Fontaine Hornbeam	B&B	2"		4	35' h x 15' w, Class II
	Cercis canadensis / Eastern Redbud	B&B	2"		15	30' h x 25' w
	Fraxinus pennsylvanica 'Patmore' / 'Patmore' Green Ash	B & B	2"		26	40' h x 20' w, Class II
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		8	50' h x 30' w, Class II
	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7' H	10	30' h x 10' w
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B & B		6'-7' H	7	25' h x 12' w
	Prunus virginiana 'Canada Red' / Canada Red Cherry	B & B	2"		50	25' h x 20' w, Class II
	Tilia americana 'Redmond' / Redmond American Linden	B & B	2"		25	50' h x 30' w, Class II
SHRUBS	BOTANICAL / COMMON NAME	CONT	FIELD2	SIZE	QTY	REMARKS
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal			50	5' h x 3' w
	Genista pilosa 'Gold Flash' / Pilosa Broom	2 gal			26	12' h x 3' w
	Pennisetum alopecuroides 'Moudry' / Black Flowering Fountain Grass	2 gal			68	3' h x 3' w
	Perovskia atriplicifolia 'Blue Spires' / Russian Sage	2 gal			10	4' h x 4' w
	Pinus strobus 'Blue Shag' / Blue Shag White Pine	5 gal			75	3' h x 3' w
	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			8	2' h x 6' w
	Rosa x 'Noaschnee' / Flower Carpet White Groundcover Rose	2 gal			6	3' H X 3' W

LANDSCAPE MATERIALS LEGEND:

- LAWN: SEED PER NOTE 6/L100
- LANDSCAPE MULCH PER NOTE 5/L100
- DECOMPOSED GRANITE SURFACING
- 6' CLOSED VISION FENCE
- 6' OPEN VISION FENCE
- SANDSTONE BOULDERS
BOULDERS ARE GRAPHIC REPRESENTATION ONLY, NO QUANTITY OR SIZE PROVIDED, AND THESE PLANS SHALL NOT BE HELD TO INSTALLING BOULDERS IF THEY BECOME COST PROHIBITIVE

NOTE: ALL PARKWAY LANDSCAPING INCLUDING TREES, LAWNS, IRRIGATION, AND CONCRETE APRONS ARE RESPONSIBILITY OF EACH LOTS BUILDER, NOT THE DEVELOPER



STACK ROCK GROUP
 LANDSCAPE ARCHITECTURE & MASTER PLANNING
 (208) 345-0500
 404 S 8th St. #154
 Boise, ID 83702
 StackRockGroup.com

WILLET C HOWARD, PLA
 OFFICE: (208) 345.0500 EMAIL: WILLET@STACKROCKGROUP.COM
 WWW.STACKROCKGROUP.COM

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NOT FOR CONSTRUCTION

PALOMA RIDGE WEST
 KUNA, ID

REVISIONS		
MRK	DATE	Description
△	**	**

JOB NO: 20-1768
 DATE: 09.23.2020
 DRAWN BY: DW/EV
 CHECKED BY: WH

DRAWING TITLE

LANDSCAPE PLAN - AREA 3

SHEET NUMBER
L1.03

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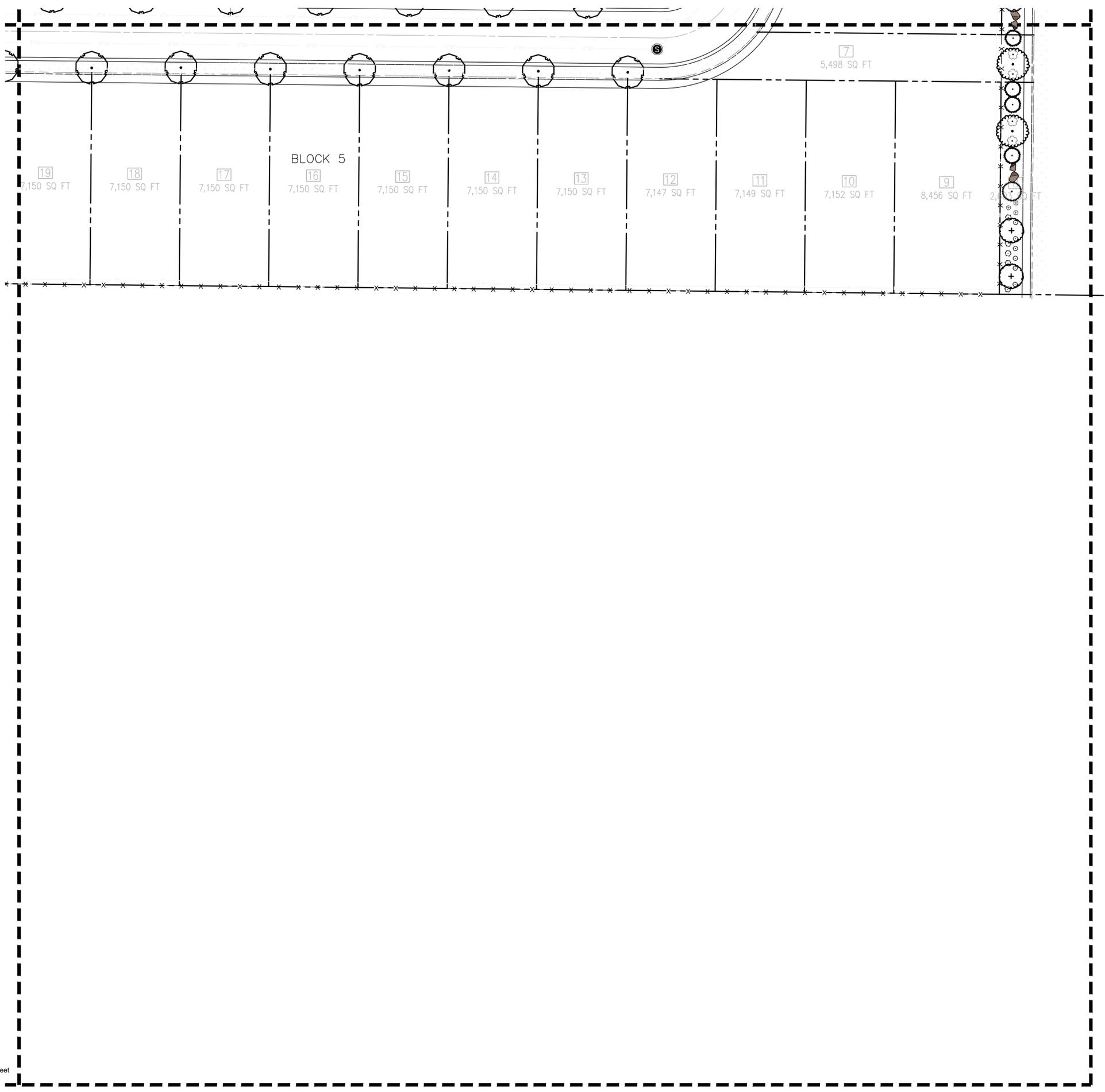
STACK ROCK GROUP - CITY REVIEW SET

PLANT SCHEDULE						
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	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B & B	2"		8	50' h x 30' w, Class II
	Picea omorika 'Bruns' / Bruns Spruce	B&B		6'-7' H	10	30' h x 10' w
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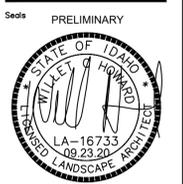


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NOT FOR CONSTRUCTION

PALOMA RIDGE WEST
KUNA, ID

MRK	DATE	Description
△	**	**

JOB NO: 20-1768
 DATE: 09.23.2020
 DRAWN BY: DW/EV
 CHECKED BY: WH

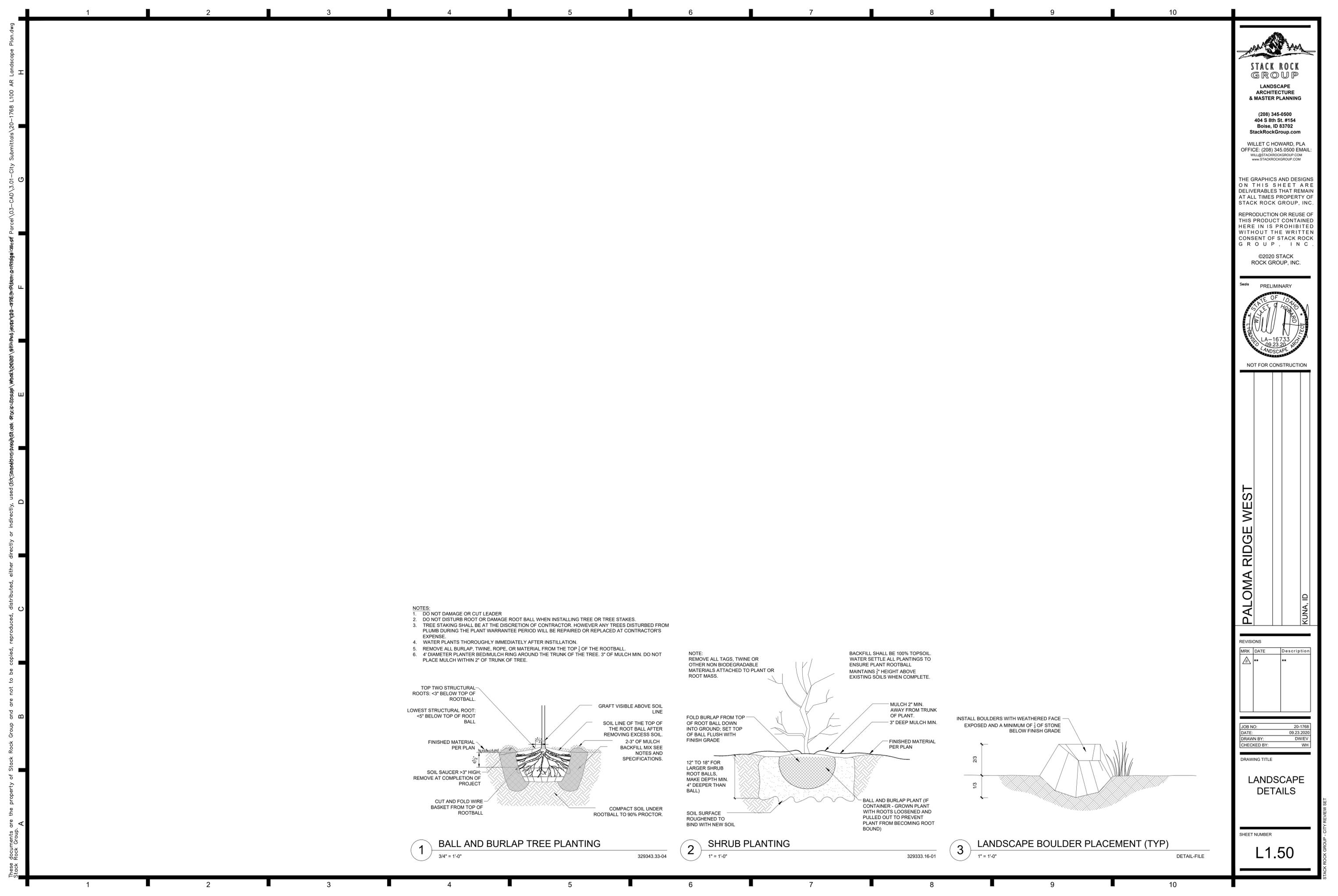
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LANDSCAPE PLAN - AREA 4

SHEET NUMBER
L1.04

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STACK ROCK GROUP - CITY REVIEW SET



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PALOMA RIDGE WEST

KUNA, ID

REVISIONS

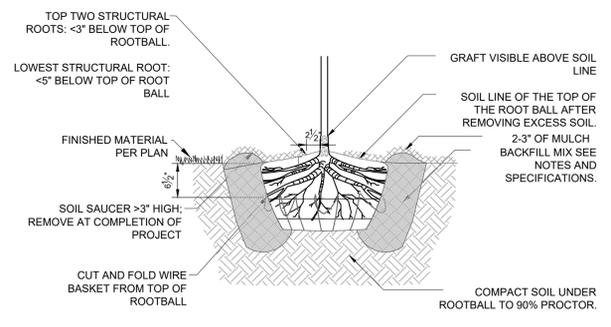
MRK	DATE	Description
▲	**	**

JOB NO: 20-1768
 DATE: 09.23.2020
 DRAWN BY: DW/EV
 CHECKED BY: WH

DRAWING TITLE
LANDSCAPE DETAILS

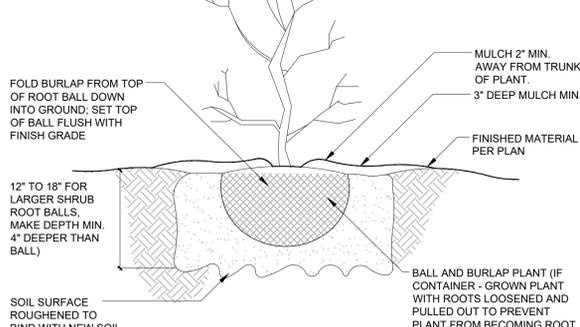
SHEET NUMBER
L1.50

- NOTES:
- DO NOT DAMAGE OR CUT LEADER
 - DO NOT DISTURB ROOT OR DAMAGE ROOT BALL WHEN INSTALLING TREE OR TREE STAKES.
 - TREE STAKING SHALL BE AT THE DISCRETION OF CONTRACTOR. HOWEVER ANY TREES DISTURBED FROM PLUMB DURING THE PLANT WARRANTY PERIOD WILL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE.
 - WATER PLANTS THOROUGHLY IMMEDIATELY AFTER INSTALLATION.
 - REMOVE ALL BURLAP, TWINE, ROPE, OR MATERIAL FROM THE TOP 1/4 OF THE ROOTBALL.
 - 4' DIAMETER PLANTER BED/MULCH RING AROUND THE TRUNK OF THE TREE. 3" OF MULCH MIN. DO NOT PLACE MULCH WITHIN 2" OF TRUNK OF TREE.



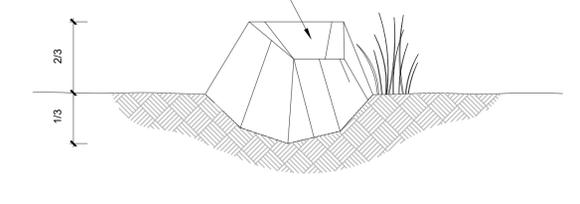
1 BALL AND BURLAP TREE PLANTING
 3/4" = 1'-0" 329343.33-04

- NOTE: REMOVE ALL TAGS, TWINE OR OTHER NON BIODEGRADABLE MATERIALS ATTACHED TO PLANT OR ROOT MASS.
- BACKFILL SHALL BE 100% TOPSOIL. WATER SETTLE ALL PLANTINGS TO ENSURE PLANT ROOTBALL MAINTAINS 1/2" HEIGHT ABOVE EXISTING SOILS WHEN COMPLETE.



2 SHRUB PLANTING
 1" = 1'-0" 329333.16-01

INSTALL BOULDERS WITH WEATHERED FACE EXPOSED AND A MINIMUM OF 1/3 OF STONE BELOW FINISH GRADE



3 LANDSCAPE BOULDER PLACEMENT (TYP)
 1" = 1'-0" DETAIL-FILE



Neighborhood Meeting Certification

CITY OF KUNA PLANNING & ZONING * 763 W. Avalon, Kuna, Idaho, 83634 * www.kunacity.id.gov * (208) 922-5274 * Fax: (208) 922-5989

GENERAL INFORMATION:

You must conduct a neighborhood meeting prior to application for variance, conditional use, zoning ordinance map amendment, expansion or extension of a nonconforming use, and/or a subdivision. Please see Section 5-1A-2 of the Kuna City Code or ask one of our planners for more information on neighborhood meetings.

The meeting must be held either on a weekend between 10 a.m. and 7 p.m., or a weekday between 6 p.m. and 8 p.m. Meetings cannot be conducted on holidays, holiday weekends, or the day before or after a holiday or holiday weekend. The meeting must be held at one of the following locations:

- The Subject Property;
- The nearest available public meeting place (Examples include fire stations, libraries and community centers);
- An office space within a 1-mile radius of the subject property.

The meeting cannot take place more than 2 months prior to acceptance of the application and the application will not be accepted before the neighborhood meeting is conducted. You are required to send written notification of your meeting, allowing a reasonable amount of time before your meeting for property owners to plan to attend. Contacting and/or meeting individually with residents will not fulfill Neighborhood Meeting requirements.

You may request a list of the people you need to invite to the neighborhood meeting from our department. This list includes property owners within 300 feet of the subject property. Once you have held your neighborhood meeting, please complete this certification form and include it with your application.

Please Note: The neighborhood meeting must be conducted in one location for attendance by all neighboring residents. Contacting and/or meeting individually with residents does not comply with the neighborhood meeting requirements.

Please include a copy of the sign-in sheet for your neighborhood meeting, so we have written record of who attended your meeting and the letter of intent sent to each recipient. In addition, provide any concerns that may have been addressed by individuals that attended the meeting.

Description of proposed project: Rezone and Preliminary Plat of 21 acres

Date and time of neighborhood meeting: (1) zoom meeting 8-4-20 (2) site meeting 8-6-20

Location of neighborhood meeting: Meeting (1) zoom and Meeting (2) on site

SITE INFORMATION:

Location: Quarter: _____ Section: 11 Township: 2N Range: 1W Total Acres: 22 acres

Subdivision Name: none Lot: _____ Block: _____

Site Address: _____ Tax Parcel Number(s): S1311141960

Please make sure to include **all** parcels & addresses included in your proposed use.

CURRENT PROPERTY OWNER:

Name: Patterson Family Enterprises LLC

Address: 4051 Mountain Vista City: Filler State: Idaho Zip: 83328-555

CONTACT PERSON (Mail recipient and person to call with questions):

Name: Sabrina Durtschi Business (if applicable): _____

Address: 3103 W Sheryl Drive City: Meridian State: Idaho Zip: 83642

PROPOSED USE:

I request a neighborhood meeting list for the following proposed use of my property (check all that apply):

Application Type

Brief Description

Annexation

Re-zone

Subdivision (Sketch Plat and/or Prelim. Plat)

Special Use

Variance

Expansion of Extension of a Nonconforming Use

Zoning Ordinance Map Amendment

to R-6

Site plan showing 78 lots

APPLICANT:

Name: Toll Southwest LLC

Address: 3103 W Sheryl Drive

City: Boise State: Idaho Zip: 83642

Telephone: 208-250-6161 Fax: _____

I certify that a neighborhood meeting was conducted at the time and location noted on this form and in accord with Section 5-1A-2 of the Kuna City Code

Signature: (Applicant)  Date 9-25-20

Toll Brothers® LAND DEVELOPMENT

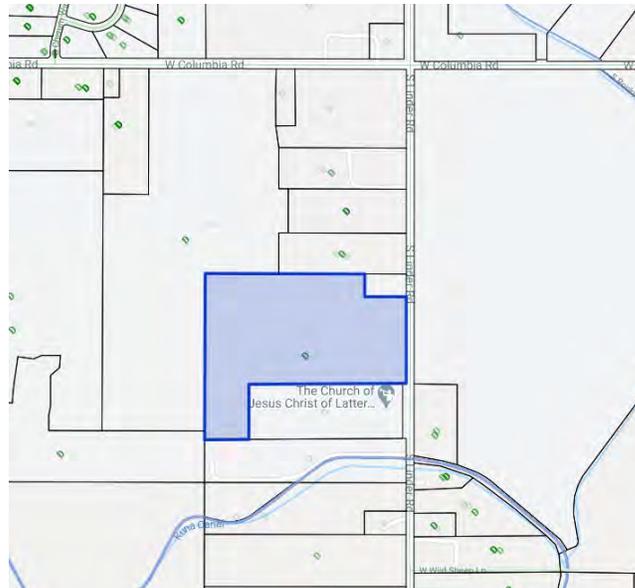
PAVING THE WAY FOR AMERICA'S LUXURY HOMEBUILDER

July 29, 2020

Paloma Ridge Subdivision – Neighborhood Meeting

Dear Property Owner,

On behalf of Toll Brothers, I would like to personally invite you to a neighborhood meeting for Paloma Ridge-West Subdivision. Our proposed development is located at **on S Linder Road (please see vicinity map below, site highlighted in blue)** and is across the street from the property we had a neighborhood meeting on in July. We will be requesting a rezone to R-6 and a preliminary plat on approximately 22 acres.



Due to COVID-19 we will be holding two neighborhood meetings (1) via Zoom and (2) on the property site.

1. The Zoom Meeting will be held Tuesday August 4th from 6:00 p.m. to 7:00 p.m.
Join Zoom Meeting at:

<https://tollbrothers.zoom.us/j/99453630086?pwd=Wm9ubGZxNzBKa3h0Q0Fkc29oZjE0UT09>

Meeting ID: 994 5363 0086

Password: 1493517

Toll Brothers®

LAND DEVELOPMENT

PAVING THE WAY FOR AMERICA'S LUXURY HOMEBUILDER

One tap mobile

+13462487799,,99453630086#,,,,,0#,,1493517# US (Houston)

+16699009128,,99453630086#,,,,,0#,,1493517# US (San Jose)

Dial by your location

+1 346 248 7799 US (Houston)

+1 669 900 9128 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 312 626 6799 US (Chicago)

+1 646 558 8656 US (New York)

+1 301 715 8592 US (Germantown)

Meeting ID: 994 5363 0086

Passcode: 1493517

2. An onsite meeting will be held at the LDS Parking lot that is adjacent to our proposed project. This meeting will be out back in the covered outdoor shelter of the parking lot – 8625 S Linder Road, Thursday August 6th from 6:00 p.m. to 7:00 p.m.

If those times or meeting styles don't suit you and you prefer to communicate with me individually, please contact me at 208-780-6723 or at sdurtschi@tollbrothers.com to set up a more convenient time/method of meeting.

I look forward to meeting with you and discussing our project.

Sabrina Durtschi
Land Entitlement Manager

NEIGHBORHOOD MEETING MINUTES

Meeting Date: August 4, 2020 Number of Attendees: 0

Meeting Location: Zoom Meeting

Description of Project Presented:

we had a zoom meeting from 6:00 to 7:00. No one attended.

Attendee's comments:

I hereby certify that the above information is complete and correct to the best of my knowledge.

Sabrina Durtschi

Printed Name



Signature

9-25-20

Date

NEIGHBORHOOD MEETING MINUTES

Meeting Date: 8-6-20 Number of Attendees: 3

Meeting Location: Adjacent church to property

Description of Project Presented:

No one attended the meeting the only people that attended was myself and the
property owners.

Attendee's comments:

I hereby certify that the above information is complete and correct to the best of my knowledge.

Sabrina Durtschi

Printed Name

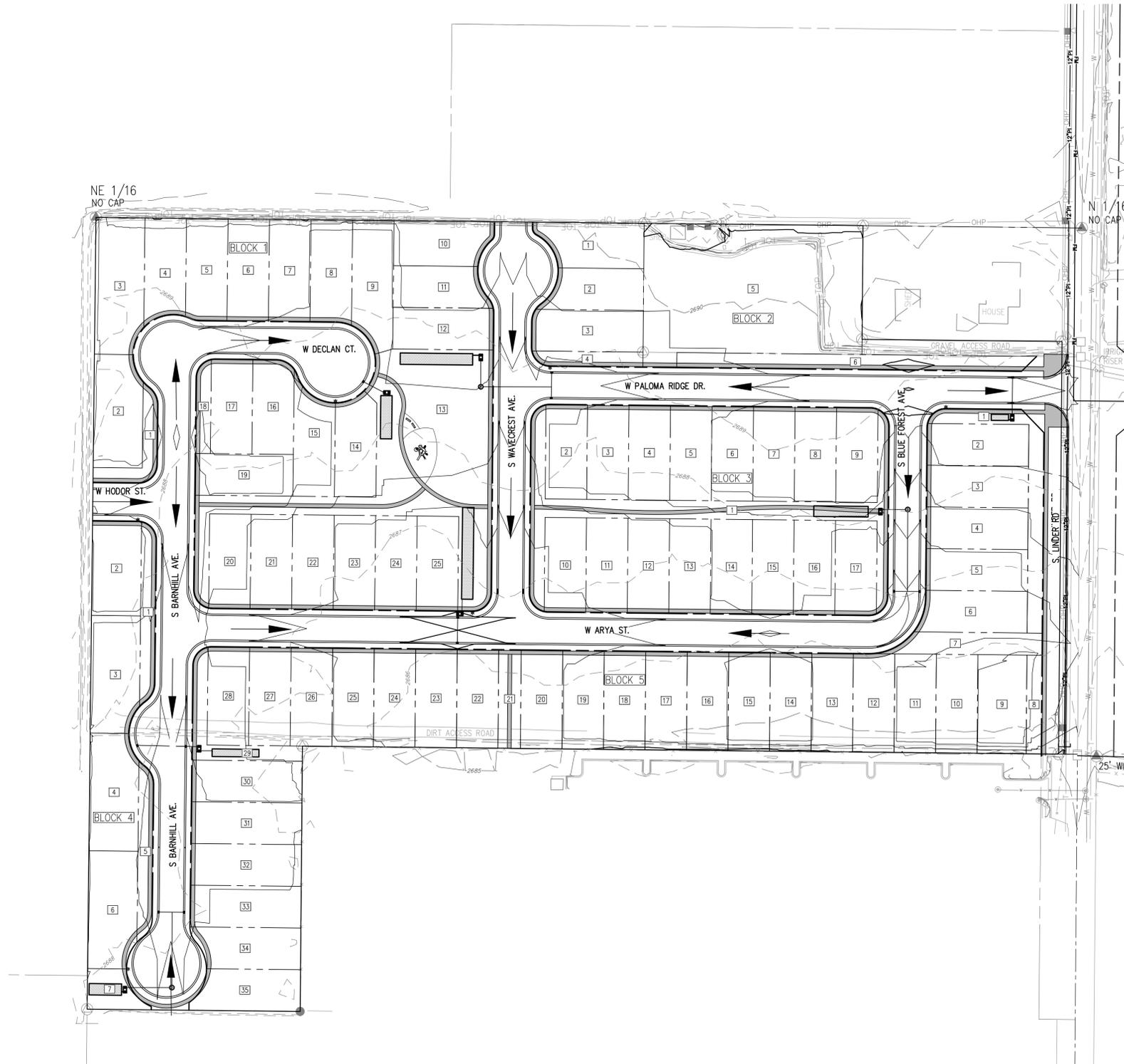


Signature

9-25-20

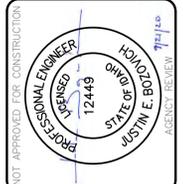
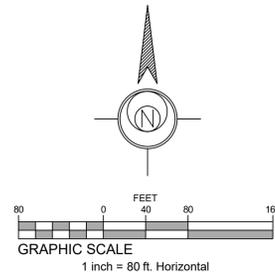
Date

N:\PROJECTS\IDAHO\7636 - PATTERSON\ENGINEERING\DRAWINGS\PREL\1 WEST\7636-S-GRAD-WEST-PP.DWG--Kerino Lomasrid-9/22/2020 5:07 PM



PRELIMINARY EARTHWORK QUANTITIES

CUT: 20,000 CY
 FILL: 20,000 CY
 NET: 0 CY



ESE CONSULTANTS
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL
 ESE Consultants, Inc.
 3103 W. Sheryl Drive • Suite 100 • Meridian, ID 83642
 T: 208-424-0020

REV.	DATE	DESCRIPTION	DRAWN

PRELIMINARY GRADING AND DRAINAGE PLAN
PALOMA RIDGE WEST SUBDIVISION
 SEC. 12, T. 2N., R. 1W., B.M., KUNA, ADA COUNTY, IDAHO

DATE: 9/17/2020	SCALE: AS NOTED
DESIGN: JEB	DRAWN: MGF/KL
JOB NO.: 7636	FILE NAME: 7636-S-GRAD-WEST-PP
REF. NO.:	PP-3.1
SHEET NO.:	3 OF 3



City of Kuna
Planning & Zoning Department

City of Kuna
P.O. Box 13
Kuna, Idaho 83634
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

Agency Transmittal

November 20, 2020

Notice is hereby given by the City of Kuna the following actions are under consideration:

FILE NUMBER:	20-08-ZC (Rezone) and 20-11-S (Preliminary Plat), for the proposed PALOMA RIDGE WEST Subdivision.
PROJECT DESCRIPTION	The applicant requests a rezone for approx. 21.97 total acres from A (Agriculture) to R-6 (Medium Density Residential). The applicant also requests preliminary plat approval in order to subdivide the approx. 21.97 ac into 90 total lots (78 residential lots, 12 common lots). The subject site is located near the SWC of Columbia and Linder Roads, within Section 11, Township 2 North, Range 1 West (APN: S1311141960).
SITE LOCATION	Near the SWC of Columbia and Linder Roads, Kuna, Idaho, 83634.
REPRESENTATIVE	Toll Southwest, LLC ; Sabrina Durtschi 3103 W. Sheryl Dr. Meridian, ID, 83642 sdurtschi@tollbrothers.com
SCHEDULED HEARING DATE	Tuesday, January 26, 2021 (<i>Tentative Date</i>) 6:00 P.M.
STAFF CONTACT	Doug Hanson DHanson@Kunald.Gov Phone: 922.5274 Fax: 922.5989

Enclosed is information to assist you with your consideration and response. **No response within 15 business days will indicate you have no objection or comments for this project.** We would appreciate any information as to how this action would affect the service(s) your agency provides. The hearing is scheduled to begin at 6:00 p.m. or as soon as it may be heard. Kuna City Hall is located at 751 W. 4th Street, Kuna, ID 83634. Please contact staff with questions. **If your agency needs different plans or paper copies to review, notify our office know and we will send them. Please notify our office who future packets should be sent to, included their email as well.** If your agency needs additional time for review, please let our office know ASAP.

Doug Hanson

From: Phil Roberts <proberts@kunafire.com>
Sent: Friday, November 20, 2020 2:47 PM
To: Doug Hanson
Cc: Reggie Edwards
Subject: RE: 20-08-ZC & 20-11-S Paloma Ridge West Sub Request for Comment

Doug, This subdivision as shown does not show two public entrances and exits out of the subdivision. It show several stub streets. If those stubbed connections aren't already connected at the time the subdivision is built they would be limited to a maximum of 30 units. I would not recommendation for approval until those details are addressed with KRFD. I believe we have had that specific conversation with them in the past.

Chief R.

Phil Roberts
Fire Chief
Kuna Rural Fire District
208-922-1144 Ext 101
208-922-1982 Fax
208-870-3057 Cell



From: Doug Hanson <dhanson@kunaid.gov>
Sent: Friday, November 20, 2020 10:05 AM
To: Ada County Engineer <agilman@adaweb.net>; Ada County Highway District <planningreview@achdidaho.org>; Adam Ingram <adam.ingram@cableone.biz>; Becky Rone - Kuna USPS Addressing <rebecca.i.rone@usps.gov>; Bob Bachman <bbachman@kunaid.gov>; Bobby Withrow <bwithrow@kunaid.gov>; Boise Project Board of Control (TRitthaler@boiseproject.org) <TRitthaler@boiseproject.org>; Brent Moore (Ada County) <bmoore@adacounty.id.gov>; Cable One t.v. <cheryl.goettsche@cableone.biz>; Catherine Feistner <cfeistner@kunaid.gov>; Central District Health Dept. CDHD <lbadigia@cdhd.idaho.gov>; COMPASS <cmiller@compassidaho.org>; David Reinhart <dreinhardt@kunaschools.org>; DEQ <BRO.Admin@deq.idaho.gov>; Eric Adolfson <eadolfson@compassidaho.org>; Idaho Power <PDickerson@idahopower.com>; Idaho Power Easements <easements@idahopower.com>; Idaho Power Easements 2 <kfunke@idahopower.com>; Intermountain Gas <bryce.ostler@intgas.com>; ITD <D3Development.Services@itd.idaho.gov>; J&M Sanitation - Chad Gordon <Chad.Gordon@jmsanitation.com>; Jim Obert <jim@kunaschools.org>; jmcdaniel@adaweb.net; Julie Stanely - Regional Address Mgmt. <Julie.R.Stanley@usps.gov>; Krystal Hinkle <khinkle@kunafire.com>; Kuna Postmaster - Marc C. Boyer <marc.c.boyer@usps.gov>; Lisa Holland <lholland@kunaid.gov>; Megan Leatherman <mleatherman@adaweb.net>; Megan Ronk (mronk@idahopower.com) <mronk@idahopower.com>; Mike Fratusco <mfratusco@adacounty.id.gov>; Nampa Meridian Irrigation District <nmid@nmid.org>; New York Irrigation <terri@nyid.org>; Paul Stevens <PStevens@kunaid.gov>; Phil Roberts <proberts@kunafire.com>; Planning Mgr: Ada County Development Services <jboal@adaweb.net>; Reggie Edwards <redwards@kunafire.com>; Wendy Howell <whowell@kunaid.gov>
Subject: 20-08-ZC & 20-11-S Paloma Ridge West Sub Request for Comment

November 20, 2020

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REPRESENTATIVE	Toll Southwest, LLC; Sabrina Durtschi 3103 W. Sheryl Dr. Meridian, ID, 83642 sdurtschi@tollbrothers.com
SCHEDULED HEARING DATE	Tuesday, January 26, 2021 (<i>Tentative Date</i>) 6:00 P.M.
STAFF CONTACT	Doug Hanson DHanson@Kunald.Gov Phone: 922.5274 Fax: 922.5989
Enclosed is information to assist you with your consideration and response. <i>No response within 15 business days will indicate you have no objection or comments for this project.</i> We would appreciate any information as to how this action would affect the service(s) your agency provides. The hearing is scheduled to begin at 6:00 p.m. or as soon as it may be heard. Kuna City Hall is located at 751 W. 4 th Street, Kuna, ID 83634. Please contact staff with questions. <i>If your agency needs different plans or paper copies to review, notify our office know and we will send them. Please notify our office who future packets should be sent to, included their email as well.</i> If your agency needs additional time for review, please let our office know ASAP.	

Best,

Doug Hanson
Planner 1
City of Kuna
751 W 4th St
Kuna, ID 83634



Doug Hanson

From: Reggie Edwards <redwards@kunafire.com>
Sent: Tuesday, December 22, 2020 1:10 PM
To: Sabrina Durtschi
Cc: Phil Roberts; Doug Hanson; Jace Hellman
Subject: RE: Paloma Ridge West - Fire Response

Sabrina,

I met and conferred with Chief Roberts about this. Chief Roberts stated that Since this subdivision is planned for 78 residential lots, (+12 common lots = 90 lots total) two public entrance/exit egress points are required. Chief Roberts referred to the *adopted 2015 International Fire Code (IFC) Appendix D Section D107 One-or Two-Family Residential Developments*

D107.1 Developments of one or two family dwellings where the number of dwelling units exceeds 30 shall be provided with two separate and approved fire apparatus access roads.

D107.2 Remoteness. Where two fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one-half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses.

Chief Roberts referred to the 'stub outs' on your plan showing that secondary egress roads *may* be connected in the future. The Chief is willing to give credit and include them as approved access roads if Kuna Fire is given 'in-writing' agreement and assurance that the 'stub-outs' will be connected to permanent roads from future development within a reasonable time frame. The Chief believes a reasonable time frame is (18) months.

With that agreement, the subdivision can build out the full 78 residential lots with only the inclusion of the *temporary 20' wide Emergency Access Lane*. (*Note; The location of the 20' wide Emergency Access Lane does not meet the above diagonal dimension requirement and is considered 'temporary' only*). If there are no assurances of the secondary entrance/exit egress road being constructed within (18) months, per the *adopted* fire code, Chief Roberts will only approve the construction of (30) homes maximum until such time the secondary egress is completed and approved. I hope this helps clarify this issue.

Please contact me via phone or email for any further comments or questions... or reply to Chief Roberts directly at the email address on the cc line above.

Reggie Edwards
Deputy Fire Marshal
208 996-4379

From: Sabrina Durtschi <sdurtschi@tollbrothers.com>
Sent: Tuesday, December 22, 2020 8:59 AM
To: Reggie Edwards <redwards@kunafire.com>
Subject: Re: Paloma Ridge West - Fire Response

Thanks!

Get [Outlook for iOS](#)

From: Reggie Edwards <redwards@kunafire.com>
Sent: Tuesday, December 22, 2020 8:57:49 AM
To: Sabrina Durtschi <sdurtschi@tollbrothers.com>
Subject: RE: Paloma Ridge West - Fire Response

EXTERNAL EMAIL : Use caution with links and attachments

Sabrina,

I will confer with the Chief again on this. He is the final say on these matters so I will clear this up.

Reggie

From: Sabrina Durtschi <sdurtschi@tollbrothers.com>

Sent: Tuesday, December 22, 2020 8:35 AM

To: Reggie Edwards <redwards@kunafire.com>

Subject: Paloma Ridge West - Fire Response

Hello Reggie,

Here is that email we received from the fire chief that contradicts what we got approved by you in August.

Thanks, Sabrina

Sabrina Durtschi

Land Development Entitlement Manager

Toll Brothers

3103 W Sheryl Drive, Suite 100

Office: (208) 780-6723 | Cell: (208) 250-6161

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6 YEARS IN A ROW

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Doug Hanson

From: Sabrina Durtschi <sdurtschi@tollbrothers.com>
Sent: Wednesday, January 27, 2021 9:17 AM
To: Reggie Edwards
Cc: Adam Capell; Lyle Dennison-Swisse; Deborah E. Nelson; proberts@kunafire.com; Doug Hanson; Jace Hellman
Subject: RE: Paloma Ridge West

Hi Reggie,

Thank you for your email and continued efforts on our application.

As was discussed in the 1/6/21 meeting with Adam, you, and the Chief, we cannot commit a third party development to a certain timeline or obtain such a commitment from them. But we can, as was agreed in that meeting, provide the facts to give the City and Kuna Fire a reasonable expectation of the timing for the future road connection.

Those facts are very helpful here: We do not plan to have occupancy of our first phase (38 lots) until mid-2023 and our second phase (36 lots) until mid-2024. Meanwhile, the adjacent development is already on phase 6 and has been building 1-2 phases per year. As shown on their preliminary plat we provided, phase 8 provides the road connection. So while we cannot guarantee their timing, based on our planned buildout and their approved plans and current development, they are on track to develop phase 8 with the road connection before occupancy of even our first phase and well ahead of our second phase.

This information is in addition to prior discussions with Toll, Kuna Fire, City planning staff, and ACHD to find a solution for temporary secondary access to this constrained site until the permanent secondary access is available. Through these discussions, we were able to provide a second temporary access onto Linder Road, based on examples approved on other properties in the City that had similar site constraints. This solution was approved by City planning staff, ACHD, and Kuna Fire Department and then incorporated into our site design and application.

We hope this additional explanation of the information we've provided, as discussed in our last meeting – specifically, our buildout timing and the adjacent development's approved phasing -- addresses Kuna Fire's concerns. If you have any further concerns or questions, we are happy to meet again with you and the Chief to discuss.

If you don't have additional questions, we kindly request you provide a letter to planning staff confirming Kuna Fire's approval of the temporary access on Linder until the secondary permanent access is completed.

Thanks again,
Sabrina

Sabrina Durtschi
Land Development Entitlement Manager
Toll Brothers
3103 W Sheryl Drive, Suite 100
Office: (208) 780-6723 | Cell: (208) 250-6161

From: Reggie Edwards <redwards@kunafire.com>
Sent: Monday, January 25, 2021 4:34 PM
To: Sabrina Durtschi <sdurtschi@tollbrothers.com>
Subject: RE: Paloma Ridge West

EXTERNAL EMAIL : Use caution with links and attachments

Sabrina,

A while back my Chief and I met with Adam Capell about Paloma Ridge West and my understanding is we had this all worked out. The issue was the secondary egress. Adam stated he had contacted CBH (Tim Eck) and they were going to develop the land to the west of this project (Silvertrail #6) at about the same time frame as your construction time frame. My Chief was good with that.

The only thing my Chief wanted on record was a written submittal/memo from your group stating that the secondary egress through Silvertrail #6 (that allows construction beyond the 30 homes) was researched and verified with CBH. Then we can initial or sign that memo....

With that, you should be able to proceed with your pre-application process, and submit your preliminary application without worries that we will hold it up.

Let me know if this is what you are looking for....

Reggie

PS: We were also looking for the "temporary" emergency access that we previously agreed to, to be in place until the secondary permanent egress is completed.

From: Sabrina Durtschi <sdurtschi@tollbrothers.com>
Sent: Tuesday, January 12, 2021 1:50 PM
To: Reggie Edwards <redwards@kunafire.com>
Subject: Paloma Ridge West

Hello Reggie,

Thanks for following back up with today. In your call you requested a punch list of where we are at in the process and what we need:

1. Back in October we submitted a rezone and preliminary plat application for Paloma Ridge and Paloma Ridge West with the City of Kuna.
2. Both applications will be heard by the Planning and Zoning Commission on January 26th.
3. We estimate to be in front of council end of February or 1st of March
4. Our construction time frame is the following for Paloma Ridge West:
 - Phase 1 (approx.. 38 lots):
 - Development: Complete mid to late-2022.
 - Begin Home Building: Late-2022.
 - Begin Occupancy: Mid-2023.
 - Phase 2 (approx. 36 lots):
 - Development: Complete early-2023.
 - Begin Home Building: Late-2023 or early-2024.

- Begin Occupancy: Mid-2024.

What I need is a letter approving our secondary access onto Linder Road for the next 18 months, until a secondary access can be complete. I have attached the pre-plat for your review and consideration. Please let me know if you need anything else.

Thanks again, Sabrina

Sabrina Durtschi
Land Development Entitlement Manager
Toll Brothers
3103 W Sheryl Drive, Suite 100
Office: (208) 780-6723 | Cell: (208) 250-6161



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STATE OF IDAHO
DEPARTMENT OF
ENVIRONMENTAL QUALITY

1445 N Orchard Street, Boise, ID 83706
(208) 373-0550

Brad Little, Governor
Jess Byrne, Director

November 27, 2020

By e-mail: DHanson@KunaId.Gov

Doug Hanson
City of Kuna
PO Box 13
Kuna, Idaho 83634

Subject: PALOMA RIDGE WEST Subdivision, 20-08-ZC (Rezone) and 20-11-S (Preliminary Plat)

Dear Mr. Hanson:

Thank you for the opportunity to respond to your request for comment. While DEQ does not review projects on a project-specific basis, we attempt to provide the best review of the information provided. DEQ encourages agencies to review and utilize the Idaho Environmental Guide to assist in addressing project-specific conditions that may apply. This guide can be found at: deq.idaho.gov/assistance-resources/environmental-guide-for-local-govts.

The following information does not cover every aspect of this project; however, we have the following general comments to use as appropriate:

1. AIR QUALITY

- Please review IDAPA 58.01.01 for all rules on Air Quality, especially those regarding fugitive dust (58.01.01.651), trade waste burning (58.01.01.600-617), and odor control plans (58.01.01.776).
- All property owners, developers, and their contractor(s) must ensure that reasonable controls to prevent fugitive dust from becoming airborne are utilized during all phases of construction activities per IDAPA 58.01.01.651.
- DEQ recommends the city/county require the development and submittal of a dust prevention and control plan for all construction projects prior to final plat approval. Dust prevention and control plans incorporate appropriate best management practices to control fugitive dust that may be generated at sites. Information on fugitive dust control plans can be found at: http://www.deq.idaho.gov/media/61833-dust_control_plan.pdf
- Citizen complaints received by DEQ regarding fugitive dust from development and construction activities approved by cities or counties will be referred to the city/county to address under their ordinances.
- Per IDAPA 58.01.01.600-617, the open burning of any construction waste is prohibited. The

property owner, developer, and their contractor(s) are responsible for ensuring no prohibited open burning occurs during construction.

For questions, contact David Luft, Air Quality Manager, at (208) 373-0550.

2. WASTEWATER AND RECYCLED WATER

- DEQ recommends verifying that there is adequate sewer to serve this project prior to approval. Please contact the sewer provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.16 and IDAPA 58.01.17 are the sections of Idaho rules regarding wastewater and recycled water. Please review these rules to determine whether this or future projects will require DEQ approval. IDAPA 58.01.03 is the section of Idaho rules regarding subsurface disposal of wastewater. Please review this rule to determine whether this or future projects will require permitting by the district health department.
- All projects for construction or modification of wastewater systems require preconstruction approval. Recycled water projects and subsurface disposal projects require separate permits as well.
- DEQ recommends that projects be served by existing approved wastewater collection systems or a centralized community wastewater system whenever possible. Please contact DEQ to discuss potential for development of a community treatment system along with best management practices for communities to protect ground water.
- DEQ recommends that cities and counties develop and use a comprehensive land use management plan, which includes the impacts of present and future wastewater management in this area. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

3. WASTEWATER AND RECYCLED WATER

- DEQ recommends verifying that there is adequate water to serve this project prior to approval. Please contact the water provider for a capacity statement, declining balance report, and willingness to serve this project.
- IDAPA 58.01.08 is the section of Idaho rules regarding public drinking water systems. Please review these rules to determine whether this or future projects will require DEQ approval.
- All projects for construction or modification of public drinking water systems require preconstruction approval.
- DEQ recommends verifying if the current and/or proposed drinking water system is a regulated public drinking water system (refer to the DEQ website at: deq.idaho.gov/water-quality/drinking-water.aspx). For non-regulated systems, DEQ recommends annual testing for total coliform bacteria, nitrate, and nitrite.
- If any private wells will be included in this project, we recommend that they be tested for total coliform bacteria, nitrate, and nitrite prior to use and retested annually thereafter.
- DEQ recommends using an existing drinking water system whenever possible or construction of

a new community drinking water system. Please contact DEQ to discuss this project and to explore options to both best serve the future residents of this development and provide for protection of ground water resources.

- DEQ recommends cities and counties develop and use a comprehensive land use management plan which addresses the present and future needs of this area for adequate, safe, and sustainable drinking water. Please schedule a meeting with DEQ for further discussion and recommendations for plan development and implementation.

For questions, contact Valerie Greear, Water Quality Engineering Manager at (208) 373-0550.

4. SURFACE WATER

- A DEQ short-term activity exemption (STAE) from this office is required if the project will involve de-watering of ground water during excavation and discharge back into surface water, including a description of the water treatment from this process to prevent excessive sediment and turbidity from entering surface water.
- Please contact DEQ to determine whether this project will require a National Pollution Discharge Elimination System (NPDES) Permit. A Construction General Permit from EPA may be required if this project will disturb one or more acres of land, or will disturb less than one acre of land but are part of a common plan of development or sale that will ultimately disturb one or more acres of land.
- If this project is near a source of surface water, DEQ requests that projects incorporate construction best management practices (BMPs) to assist in the protection of Idaho's water resources. Additionally, please contact DEQ to identify BMP alternatives and to determine whether this project is in an area with Total Maximum Daily Load stormwater permit conditions.
- The Idaho Stream Channel Protection Act requires a permit for most stream channel alterations. Please contact the Idaho Department of Water Resources (IDWR), Western Regional Office, at 2735 Airport Way, Boise, or call (208) 334-2190 for more information. Information is also available on the IDWR website at: <https://idwr.idaho.gov/streams/stream-channel-alteration-permits.html>
- The Federal Clean Water Act requires a permit for filling or dredging in waters of the United States. Please contact the US Army Corps of Engineers, Boise Field Office, at 10095 Emerald Street, Boise, or call 208-345-2155 for more information regarding permits.

For questions, contact Lance Holloway, Surface Water Manager, at (208) 373-0550.

5. HAZARDOUS WASTE AND GROUND WATER CONTAMINATION

- **Hazardous Waste.** The types and number of requirements that must be complied with under the federal Resource Conservation and Recovery Act (RCRA) and the Idaho Rules and Standards for Hazardous Waste (IDAPA 58.01.05) are based on the quantity and type of waste generated. Every business in Idaho is required to track the volume of waste generated, determine whether each type of waste is hazardous, and ensure that all wastes are properly disposed of according to federal, state, and local requirements.
- No trash or other solid waste shall be buried, burned, or otherwise disposed of at the project site. These disposal methods are regulated by various state regulations including Idaho's Solid Waste

Management Regulations and Standards, Rules and Regulations for Hazardous Waste, and Rules and Regulations for the Prevention of Air Pollution.

- **Water Quality Standards.** Site activities must comply with the Idaho Water Quality Standards (IDAPA 58.01.02) regarding hazardous and deleterious-materials storage, disposal, or accumulation adjacent to or in the immediate vicinity of state waters (IDAPA 58.01.02.800); and the cleanup and reporting of oil-filled electrical equipment (IDAPA 58.01.02.849); hazardous materials (IDAPA 58.01.02.850); and used-oil and petroleum releases (IDAPA 58.01.02.851 and 852).
- Petroleum releases must be reported to DEQ in accordance with IDAPA 58.01.02.851.01 and 04. Hazardous material releases to state waters, or to land such that there is likelihood that it will enter state waters, must be reported to DEQ in accordance with IDAPA 58.01.02.850.
- **Ground Water Contamination.** DEQ requests that this project comply with Idaho's Ground Water Quality Rules (IDAPA 58.01.11), which states that "No person shall cause or allow the release, spilling, leaking, emission, discharge, escape, leaching, or disposal of a contaminant into the environment in a manner that causes a ground water quality standard to be exceeded, injures a beneficial use of ground water, or is not in accordance with a permit, consent order or applicable best management practice, best available method or best practical method."

For questions, contact Albert Crawshaw, Waste & Remediation Manager, at (208) 373-0550.

6. ADDITIONAL NOTES

- If an underground storage tank (UST) or an aboveground storage tank (AST) is identified at the site, the site should be evaluated to determine whether the UST is regulated by DEQ. EPA regulates ASTs. UST and AST sites should be assessed to determine whether there is potential soil and ground water contamination. Please call DEQ at (208) 373-0550, or visit the DEQ website deq.idaho.gov/waste-mgmt-remediation/storage-tanks.aspx for assistance.
- If applicable to this project, DEQ recommends that BMPs be implemented for any of the following conditions: wash water from cleaning vehicles, fertilizers and pesticides, animal facilities, composted waste, and ponds. Please contact DEQ for more information on any of these conditions.

We look forward to working with you in a proactive manner to address potential environmental impacts that may be within our regulatory authority. If you have any questions, please contact me, or any of our technical staff at (208) 373-0550.

Sincerely,



Aaron Scheff
Regional Administrator
DEQ-Boise Regional Office

EDMS#: 2020AEK273



Ada County Transmittal
Division of Community and Environmental Health

Return to:

- ACZ
- Boise
- Eagle
- Garden City
- Meridian
- Kuna
- Star

Rezone # 20-08-7C

Conditional Use # _____

Preliminary / Final / Short Plat 20-11-5

Paloma Ridge West

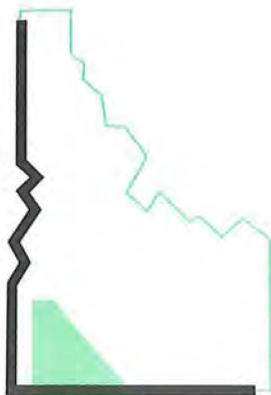
- 1. We have No Objections to this Proposal.
- 2. We recommend Denial of this Proposal.
- 3. Specific knowledge as to the exact type of use must be provided before we can comment on this Proposal.
- 4. We will require more data concerning soil conditions on this Proposal before we can comment.
- 5. Before we can comment concerning individual sewage disposal, we will require more data concerning the depth of:
 - high seasonal ground water
 - bedrock from original grade
 - waste flow characteristics
 - other _____
- 6. This office may require a study to assess the impact of nutrients and pathogens to receiving ground waters and surface waters.
- 7. This project shall be reviewed by the Idaho Department of Water Resources concerning well construction and water availability.
- 8. After written approvals from appropriate entities are submitted, we can approve this proposal for:
 - central sewage
 - interim sewage
 - individual sewage
 - community sewage system
 - central water
 - individual water
 - community water well
- 9. The following plan(s) must be submitted to and approved by the Idaho Department of Environmental Quality:
 - central sewage
 - sewage dry lines
 - community sewage system
 - central water
 - community water
- 10. This Department would recommend deferral until high seasonal ground water can be determined if other considerations indicate approval.
- 11. If restroom facilities are to be installed, then a sewage system MUST be installed to meet Idaho State Sewage Regulations.
- 12. We will require plans be submitted for a plan review for any:
 - food establishment
 - beverage establishment
 - swimming pools or spas
 - grocery store
 - child care center
- 13. Infiltration beds for storm water disposal are considered shallow injection wells. An application and fee must be submitted to CDH.
- 14. _____

Reviewed By: Joni Bandy
 Date: 12/1/2020

RECEIVED

DEC 21 2020

CITY OF KUNA



ORGANIZED 1904

Nampa & Meridian Irrigation District

1503 FIRST STREET SOUTH
FAX #208-463-0092

NAMPA, IDAHO 83651-4395
nmid.org

OFFICE: Nampa 208-466-7861
SHOP: Nampa 208-466-0663

December 15, 2020

Doug Hanson, Planner I
City of Kuna
751 W. 4th Street
Kuna, ID 83634

RE: 20-08-ZC & 20-11-S/ Paloma Ridge West Subdivision

Dear Doug:

Nampa & Meridian Irrigation District (NMID) has no comment on the above referenced application as it lies outside of our district boundaries. Please contact Thomas Ritthaler, Boise Project- Board of Control, at 208-344-1141 or 2465 Overland Road Room 202 Boise, ID 83705-3173.

All private laterals and waste ways must be protected. All municipal surface drainage must be retained on-site. If any surface drainage leaves the site NMID must review drainage plans. Developers must comply with Idaho Code 31-3805.

Sincerely,

David T. Duvall
Asst. Water Superintendent
Nampa & Meridian Irrigation District
DTD/ gnf

Cc:

Office/ file
T. Ritthaler, Board of Control



APPROXIMATE IRRIGABLE ACRES
RIVER FLOW RIGHTS - 23,000
BOISE PROJECT RIGHTS - 40,000

Communities in Motion 2040 2.0 Development Review

The Community Planning Association of Southwest Idaho (COMPASS) is the metropolitan planning organization (MPO) for Ada and Canyon Counties. COMPASS has developed this review as a tool for local governments to evaluate whether land developments are consistent with the goals of *Communities in Motion 2040 2.0* (CIM 2040), the regional long-range transportation plan for Ada and Canyon Counties. This checklist is not intended to be prescriptive, but rather a guidance document based on CIM 2040 2.0 goals.

Development Name: Paloma Ridge West

Agency: Kuna

CIM Vision Category: Future Neighborhoods

New households: 78

New jobs: 0

Exceeds CIM forecast: No

	<p>CIM Corridor: Linder Road Pedestrian level of stress: R Bicycle level of stress: R</p>	<p>Level of Stress considers facility type, number of vehicle lanes, and speed. Roads with G or PG ratings better support bicyclists and pedestrians of all ages and comfort levels.</p>
	<p>Housing within 1 mile: 950 Jobs within 1 mile: 180 Jobs/Housing Ratio: 0.2</p>	<p>A good jobs/housing balance – a ratio between 1 and 1.5 – reduces traffic congestion. Higher numbers indicate the need for more housing and lower numbers indicate an employment need.</p>
	<p>Nearest police station: 3.1 miles Nearest fire station: 2.3 miles</p>	<p>Developments within 1.5 miles of police and fire stations ensure that emergency services are more efficient and reduce the cost of these important public services.</p>
	<p>Farmland consumed: Yes Farmland within 1 mile: 897 acres</p>	<p>Farmland contributes to the local economy, creates additional jobs, and provides food security to the region. Development in farm areas decreases the productivity and sustainability of farmland.</p>
	<p>Nearest bus stop: >4 miles Nearest public school: 1.7 miles Nearest public park: 1 mile Nearest grocery store: 2.7 miles</p>	<p>Residents who live or work less than ½ mile from critical services have more transportation choices. Walking and biking reduces congestion by taking cars off the road, while supporting a healthy and active lifestyle.</p>

Recommendations

This location is still in a predominately farmland area and on the fringe of urban development. The nearest employment centers and other services are likely accessed only by vehicle and the site is not currently served by public transportation. ValleyConnect 2.0 proposes bus service along Linder Road from downtown Kuna to northwest Boise via downtown Meridian. Work with Valley Regional Transit on design that would accommodate future service.

More information about COMPASS and *Communities in Motion 2040 2.0*:

Web: www.compassidaho.org

Email info@compassidaho.org

More information about the development review process:

<http://www.compassidaho.org/dashboard/devreview.htm>



CITY OF KUNA
P.O. BOX 13
KUNA, ID 83634
www.kunacity.id.gov

Paul A. Stevens, P.E.
Kuna City Engineer

PRELIMINARY PLAT MEMORANDUM

Date: 6 January 2021

From: Paul A. Stevens, P.E.

Catherine Feistner, E.I.T.

To: Jace Hellman, Planning and Zoning Director

RE: Paloma Ridge West Subdivision – 20-11-S (Preliminary Plat), 20-08-ZC (Rezone)

The Paloma Ridge West Subdivision, located at 1500' southwest of the intersection of S. Linder Road and Columbia Road, preliminary plat and rezone with Planning and Zoning acceptance date of 20 November, 2020 has been reviewed. The applicant's proposed development has been formatted to comply with City of Kuna (City) R-6 (medium density residential) zone requirements. The rezone request rests with the Planning and Zoning Department. Review of civil design drawings is accomplished separately, when received.

These comments may be expanded or refined based on future land-use actions.

1. Inspection Fees

- a. An inspection fee will apply to inspect the final construction of water, sewer and irrigation facilities associated with this development.
- b. The developer shall retain a qualified responsible, Idaho registered professional engineer to provide sufficient inspection to certify to DEQ that the project was completed in accordance with approved plans and specifications and to provide accurate as-built drawings to the City.
- c. The developer's engineer and the City's inspector are permitted to coordinate inspections. The current inspection fee is \$1.00 per lineal foot of sewer, water and pressure irrigation pipe. *Payment is due and payable prior to the pre-construction meeting.*
- d. The Kuna Rural Fire District's current hydrant flow testing and plat base fee are \$300.00 and \$75.00 respectively for a total of \$375.00. *Payment is due and payable prior to the pre-construction meeting.*

2. General

- a. The development site consists of 21.97 acres with City of Kuna A- (Agriculture) zoning designation.
- b. Toll Brothers Land Development requests the entire development site be rezoned from A- (Agriculture) to R-6 (medium density residential) for 78 lots.
- c. Toll Brothers Land Development requests 78 lots for single family residential lots.
- d. Equivalent Dwelling Units (EDUs) are reckoned at approximately 3.18 people per household. The resultant projected population for this subdivision is approximately 248. This makes the realized

density approximately 12 people/acre. A commensurate impact on the City of Kuna's street infrastructure, pressurized irrigation, sewer, and water utilities will result.

- e. The preliminary plat shows one (1) total access to the subdivision, off of S. Linder Rd. There is potential for two (2) additional accesses in the future.
- f. At least two access points are required in Phase I per Kuna Rural Fire District (KRFD).
- g. A plan approval letter will be required if this project affects any local irrigation districts.
- h. Elevations shall be actual NAVD 88 datum elevations. A localized elevation system is not acceptable.
- i. All positional information shall be from the most recent state plane coordinate system.
- j. Provide engineering certification on all final engineering drawings.
- k. The City of Kuna requires streetlights in all subdivisions. Streetlights are required along arterial roads bordering the subdivision, at the entrances of the subdivision, at intersections, and at every 250' interval. Streetlights should be coincident with Fire Hydrants whenever possible. The streetlight standards drawing detail is K-1116 and can be located at <http://www.kunacity.id.gov/408/Engineering>
- l. KRFD requires fire hydrants at 500-foot intervals.

3. Right-of-Way

- a. Sufficient right-of-way for existing and future classified streets shall be provided pursuant to City & ACHD standards.
- b. Approaches onto classified streets must comply with ACHD approach policies.
- c. All street construction must meet or exceed City of Kuna and ACHD development standards.
- d. All city mainlines crossing proposed lots or located on the backs or sides of lots shall have easements that allow the City of Kuna to access and maintain the utilities.
- e. The KRFD Deputy Fire Marshal must approve fire access to the subdivision and any traffic calming measures.
- f. Roads must continue to and through to the next road connection to promote connectivity throughout the City.

4. Sanitary Sewer

- a. The applicant's property is not connected to City services and is subject to connection fees for the ultimate connected sewer load. City Code 6-4-2-O requires the subdivision to connect to the City sewer system. City code 5-16-3-B.2 states public sewer utilities shall be extended to each parcel when sewer is available within three hundred (300) feet of the parcels.
- b. The proposed Paloma Ridge West Subdivision must convey its associated sewage directly to the Springhill Lift Station; there are no pipeline connection points. Springhill Lift Station has capacity to serve the 78 proposed EDUs.
- c. All sewer infrastructure must meet or exceed City of Kuna requirements.
- d. The developer has committed to participate with sewer upgrades including the Mason Creek Gravity Trunkline.
- e. Sewer flow models will be required to verify pipe sizes.
- f. Sewer connection fees apply to each lot containing a home or other facility.
- g. All existing sewage treatment facilities (septic tank and drain field) must be decommissioned in accordance with Idaho Department of Environmental Quality requirements. Documentation shall be provided to the City of Kuna.

- h. This application shall conform to the sewer master plan as applicable. The sewer master plan specifies minimum pipe sizes and supports the “to and through” utility policy.

5. Potable Water

- a. The applicant’s property is not connected to City services and is subject to connection fees for the ultimate connected water demand. City Code 6-4-2-X requires the subdivision to connect to the City water system. City code 5-16-3-B.2 states public water utilities shall be extended to each parcel when water is available within three hundred (300) feet of the parcels.
- b. The nearest available water main line runs along the property site on S. Linder Rd.
- c. All water infrastructure must meet or exceed City of Kuna requirements.
- d. Water flow models will be required to verify adequate water supply and fire suppression.
- e. Water connection fees apply to each lot containing a home or other facility.
- f. All existing wells shall be abandoned in accordance with Idaho Department of Water Resources (IDWR) requirements. Documentation shall be provided to the City of Kuna.
- g. This application shall conform to the water master plan as applicable.
- h. Fire hydrants are required in a layout acceptable to the KRFD.

6. Pressurized Irrigation

- a. The applicant’s property does not possess any irrigation water rights. The subdivision must support their own PI system, and cannot connect to the City’s PI system.
- b. PI mainline must be constructed on the subdivisions’ frontage but the subdivision may not connect to it.
- c. Relying on drinking water for irrigation purposes is contrary to City Code 6-4-2-1.
- d. All pressurized irrigation infrastructure shall meet or exceed City of Kuna standards.
- e. Existing irrigation ditches (supply & drain) must be relocated as needed and as approved by the irrigation ditch company/users.
- f. Pressurized irrigation flow model will be required to verify adequate pressurized irrigation supply.
- g. This application shall be conditioned to conform to the Pressure Irrigation Master Plan where applicable.

7. Grading and Storm Drainage

- a. Provide a grading and drainage plan which supports and maintains all upstream drainage rights and all downstream irrigation delivery rights as they presently exist for this property.
- b. The City of Kuna relies on the ACHD Stormwater Policy Manual to establish the requirements for design of private storm water disposal systems.
- c. Sidewalk, curb and gutter, street widening and any related storm drainage facilities, consistent with city code and policies, shall be provided in connection with property development.
- d. Verify that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties. Slopes shall not be steeper than 3:1 on lots adjacent to a street or common lot and no steeper than 4:1 for lots with common rear lot lines.
- e. Verify that existing and proposed elevations match at property boundaries such that a slope burden is not imposed on adjacent properties.
- f. Runoff from public right-of-way is regulated by ACHD. On site storm water retention shall be reviewed in conjunction with the City’s Civil Engineering Construction Improvements Review. Provide a storm water disposal & treatment plan which accounts for increased on-site storm

water runoff volumes. Provide detailed drawings of drainage & treatment facilities with supporting calculations for review and approval.

8. As-Built Drawings

- a. As-built drawings are required at the conclusion of any public facility construction project and are the responsibility of the developer's engineer. The city may help track changes but will not be responsible for the finished product. As-built drawings will be required before occupancy or final plat approval is granted.

9. Property Description

- a. The applicant provided a preliminary plat and supporting documents as part of the application.

10. Exhibits

- a. The following exhibits are attached:
 - a. Vicinity Map
 - b. Comprehensive Plan Map
 - c. Zoning Map
 - d. Topographic Map
 - e. Utility Map
 - f. Sewer Drainage Basin Map
 - g. Local Property Sizes Map
 - h. Local Property Values Map
 - i. Property Range Map
 - j. Irrigation District Map
 - k. Pathways Master Plan Map
 - l. Prime Farmlands Map
 - m. Nitrate Priority Map
 - n. Soils Map



Project/File: Paloma Ridge West/ KPP20-0017 / 20-11-S/ 20-08-ZC

This is a rezone and a preliminary plat application to allow for the development of 90 lots on 22 acres. The site is located south of Columbia Road and west of Linder Road.

Lead Agency: City of Kuna

Site address: S. Linder Road
(S1311141960)

Staff Approval: January 29, 2021

**Applicant/
Representative:** Adam Capell
Sabrina Durtschi
Toll Southwest, LLC
3103 W. Sheryl Drive
Meridian, ID 83642

Owner: Patterson Family Enterprises
4051 Mountain Vista Lane
Filer, ID 83328



Staff Contact: Dawn Battles
Phone: 387-6218
E-mail: dbattles@achdidaho.org

A. Findings of Fact

1. **Description of Application:** The applicant is requesting approval of a rezone from A (Agricultural) to R-6 (Medium Density Residential) and a preliminary plat to allow for the development of 90 lots consisting of 78 residential lots and 12 common lots on 22 acres. The applicant’s rezone proposal is not consistent with the City of Kuna’s comprehensive plan which designates this site as mixed-use.

2. **Description of Adjacent Surrounding Area:**

Direction	Land Use	Zoning
North	Medium Density Residential & Rural Residential (Ada County)	R-6 & RR
South	Agriculture & Rural Residential (Ada County)	A & RR
East	Agriculture (Ada County)	A
West	Medium Density Residential	R-6

3. **Site History:** ACHD has not previously reviewed this site for a development application.

4. **Adjacent Development:** The following developments are pending or underway in the vicinity of the site:

- Paloma Ridge East, a mixed-use development consisting of 341 single family lots, 5 commercial lots and 42 common lots, located on the east side of Linder Road and was approved by ACHD in January 2021.
- CTE High School, proposed to be built in multiple phases is located northeast of the site and was approved by ACHD in October 2018.
- Whisper Meadows, a 310 single family residential subdivision with 38 common lots, located north of the site on the west side of Linder Road between Lake Hazel Road and Columbia Road was approved by ACHD in September 2018.
- Springhill, a subdivision consisting of 677 single family building lots and 30 common lots is located northeast of the site and was approved by ACHD in April 2018.
- Silver Trail, a 421 residential lot subdivision with 56 common lots, located west of the site was approved by ACHD in October 2016.

5. Transit: Transit services are not available to serve this site.

6. Pathway Crossings: United States Access Board R304.5.1.2 Shared Use Paths. In shared use paths, the width of curb ramps runs and blended transitions shall be equal to the width of the shared use path.

AASHTO's Guidelines for the Development of Bicycle Facilities 5.3.5 Other Intersection Treatments: The opening of a shared use path at the roadway should be at least the same width as the shared use path itself. If a curb ramp is provided, the ramp should be the full width of the path, not including any flared sides if utilized. . . . Detectable warnings should be placed across the full width of the ramp.

FHWA's "Designing Sidewalks and Trails for Access" (1999) reflected common ADA-related concepts: Chapter 6, Page 16-6: The width of the ramp should be at least as wide as the average width of the trail to improve safety for users who will be traveling at various speeds. In addition, the overall width of the trail should be increased, so the curb ramp can be slightly offset to the side. The increased width reduces conflict at the intersection by providing more space for users at the bottom of the ramp.

7. New Center Lane Miles: The proposed development includes 0.7 centerline miles of new public road.

8. Impact Fees: There will be an impact fee that is assessed and due prior to issuance of any building permits. The assessed impact fee will be based on the impact fee ordinance that is in effect at that time. The impact fee assessment will not be released until the civil plans are approved by ACHD.

9. Capital Improvements Plan (CIP)/ Integrated Five Year Work Plan (IFYWP):

- The intersection of Lake Hazel Road and Meridian Road (SH-69) is listed in the CIP to be widened to 6-lanes on the north leg, 6-lanes on the south, 7-lanes on the east and 7-lanes on the west leg and signalized between 2036 and 2040.

10. Roadways to Bikeways Master Plan: ACHD's Roadways to Bikeways Master Plan (BMP) was adopted by the ACHD Commission in May of 2009 and was update in 2018. The plan seeks to implement the Planned Bicycle Network to support bicycling as a viable transportation option for Ada County residents with a wide range of ages and abilities, maintain bicycle routes in a state of good repair in order to ensure they are consistently available for use, promote awareness of existing bicycle routes and features and support encouragement programs and to facilitate coordination and cooperation among local jurisdictions in implementing the Roadways to Bikeways Plan recommendations.

The BMP identifies Linder Road as a Level 3 facility that will be constructed as part of a future ACHD project.

B. Traffic Findings for Consideration

1. **Trip Generation:** This development is estimated to generate 736 vehicle trips per day; 78 vehicle trips per hour in the PM peak hour, based on the Institute of Transportation Engineers Trip Generation Manual, 10th edition.

2. Traffic Impact Study

Kittelson & Associates prepared a traffic impact study for the Paloma Ridge Subdivision located on the east side of Linder Road across from the site. The same findings and recommendations, as presented in the traffic impact study for Paloma Ridge East and the thresholds for improvements will be reported the same for Paloma Ridge West. The executive summary of the findings **as presented by Kittelson & Associates** can be found as Attachment 3. ACHD has reviewed the submitted traffic impact study for consistency with ACHD policies and practices and may have additional requirements beyond what is noted in the summary. ACHD Staff comments on the submitted traffic impact study can be found below under staff comments.

a. Policy

Mitigation Proposals: Mitigation recommendations shall be provided within the report. At a minimum, for each roadway segment and intersection that does not meet the minimum acceptable level of service planning threshold or v/c ratio, the report must discuss feasible measures to avoid or reduce the impact to the system. To be considered adequate, measures should be specific and feasible. Mitigation may also include:

- Revision to the Phasing Plan to coincide with the District's planning Capital Projects.
- Reducing the scope and/or scale of the project.

Alternative Mitigation Measures: 7106.7.3 states that if traditional mitigation measures such as roadway widening and intersection improvements are infeasible as determined by ACHD, the TIS may recommend alternative mitigation measures. Alternative mitigation measures shall demonstrate that impacts from the project will be offset.

- If the impacted roadway segments and/or intersections are programmed as funded in the Integrated Five Year Work Plan (IFYWP) or the Capital Improvements Plan (CIP); no alternative mitigation is required.
- If the impacted roadway segments and/or intersections are not programmed in either the IFYWP or the CIP; the applicant may (i) analyze the shoulder hour and (ii) provide a safety analysis to determine alternative mitigation requirements.
 - If the impacted roadway segments and intersections meet the minimum acceptable level of service planning thresholds in the shoulder hour the applicant may suggest feasible alternative mitigation such as: sidewalks, bike facilities, connectivity, safety improvements, etc. within 1.5 miles of the proposed development.
 - If the shoulder hour planning thresholds are exceeded the applicant may request to enter into a Development Agreement and pay into the Priority Corridor Fund an amount determined by the ACHD to offset impacts from the project.
- Alternative Mitigation may also include:
 - Revision to the Phasing Plan to coincide with the District's future Capital Projects.
 - Reducing the scope and/or scale of the project.

Level of Service Planning Thresholds: District Policy 7206.4.1 states that, Level of Service Planning Thresholds have been established for principal arterials and minor arterials within ACHD's Capital Improvement Plan and are also listed in section 7106. Unless otherwise required to provide a Traffic Impact Study under section 7106, a proposed development with site traffic less than 10% of the existing downstream roadway or intersection peak hour traffic shall not be required to provide mitigation for a roadway or intersection that currently exceeds the minimum acceptable level of service planning threshold or V/C ratio.

- a. **Staff Comments/Recommendations:** The TIS information that is included below lists the roadway segment and turn lane requirements that are applicable to Paloma Ridge West.

The TIS recommends mitigation measures for the following roadway segment to mitigate 2025 background and total traffic conditions. The percentage of site generated traffic under total traffic conditions (2025) in the PM peak hour is provided in parentheses.

Roadway Segment:

- Columbia Road from SH-69 to Linder Road (18.5%)
 - Widened to three lanes for 2025 background traffic
 - Widened to five lanes with the 210th residential unit plus 33,000 square feet of commercial land use for 2025 background and 2025 total traffic conditions

The roadway segment listed above is not scheduled for improvements in ACHD's IFYWP or CIP. The TIS recommends that this segment of Columbia Road be widened to 3-lanes or that a single lane roundabout be constructed at the Columbia Road/Linder Road intersection to accommodate the 2025 background traffic with the 50th residential unit. Subsequently the TIS recommends that this segment of Columbia Road be widened to 5-lanes to accommodate the 2025 background traffic with the development of the 210th residential unit and 33,000 square feet of commercial land use.

Staff would typically recommend that the applicant be required to improve this segment of Columbia Road since the site generated PM peak hour trips is anticipated to be 14.6% for phase 1 and 18.5% for phase 2 of the total traffic entering the roadway segment under 2025 total traffic conditions in the PM peak hour. However, improvements to this roadway segment may not be feasible since there is not enough right-of-way to allow for the recommended widening of Columbia Road to 3 or 5-lanes. To ensure that improvements are made when necessary and to allow for additional analysis such as for the shoulder hour, staff would recommend that an updated roadway segment analysis be provided when 50 single family building lots have final platted. However, staff does not believe there would be any new or relevant information with the final platting of the 50th building lot, as this will likely be with the first phase of the development. Because of this staff recommends that the applicant be required to submit an updated roadway segment analysis for Columbia Road from SH-69 to Linder Road prior to ACHD's approval of the final plat or plat that contains the 209th residential unit plus 33,000 square feet of commercial land use or the equivalent of 419 PM peak trips. The traffic impact study recommended the widening of Columbia Road to 5-lanes when 419 PM peak hour trips are generated by this development, as the PM peak our traffic count on Columbia Road is anticipated to be 730 under total traffic conditions, exceeding ACHD's level of service planning threshold for a 3-lane minor arterial by only 10 trips.

If it is determined through the review of the updated roadway segment analysis for Columbia Road that improvements are infeasible at that time, then alternative mitigation measures should be recommended in the updated traffic impact study. As an alternative, the applicant may stop final platting and wait for ACHD to make improvements to Columbia Road.

To verify the assumptions of the TIS and to ensure that improvements are made when necessary to serve the site the applicant should be required to submit an updated roadway segment analysis for Columbia Road from SH-69 to Linder Road prior to ACHD’s signature on the final plat that contains the 209th residential unit plus 33,000 square feet of commercial land use or the equivalent of 419 PM peak hour trips. A shoulder hour analysis should be provided per ACHD policy 7106.7.3 for Columbia Road from SH-69 to Linder Road, if necessary. Additional improvements may be required based on the findings of the updated traffic impact study.

Turn Lanes

The TIS notes a center turn lane is warranted at the Linder Road/Paloma Ridge Drive access.

Site Access Evaluation

- Site Access D, on Linder Road a proposed local street to be located 1,535-feet south of Columbia Road. The TIS notes a southbound left-turn lane is required, and this street is anticipated to operate acceptably as a full access and will primarily provide access to the residential portion of the site. Staff recommends approval of the location of the local street as it meets District policy.

3. Condition of Area Roadways

Traffic Count is based on Vehicles per hour (VPH)

Roadway	Frontage	Functional Classification	PM Peak Hour Traffic Count	PM Peak Hour Level of Service
Linder Road	544-feet	Minor Arterial	209	Better than “E”
Columbia Road	None	Minor Arterial	266	Better than “E”

* Acceptable level of service for a two-lane minor arterial is “E” (575 VPH).

4. Average Daily Traffic Count (VDT)

Average daily traffic counts are based on ACHD’s most current traffic counts.

- The average daily traffic count for *Linder Road south* of Columbia Road was 3,983 on April 10, 2019.
- The average daily traffic count for Columbia Road east of Linder Road was 4,212 on July 21, 2020.

C. Findings for Consideration

1. Area Development

The developer of this site has also submitted a preliminary plat application for Paloma Ridge East located on the east side of Linder Road across from the site. A TIS was required for Paloma Ridge East due to the site generated vehicle trips; however, Paloma Ridge West did not meet the criteria to complete a traffic impact study. However, the same findings and recommendations, as presented in the traffic impact study for Paloma Ridge East and the thresholds for improvements will be reported the same for Paloma Ridge East and Paloma Ridge West.

2. Linder Road

- Existing Conditions:** Linder Road is improved with 2-travel lanes, 24-feet of pavement and no curb, gutter or sidewalk abutting the site. There is 50-feet of right-of-way for Linder Road (25-feet from centerline).

b. Policy:

Arterial Roadway Policy: District Policy 7205.2.1 states that the developer is responsible for improving all street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Master Street Map and Typology Policy: District Policy 7205.5 states that the design of improvements for arterials shall be in accordance with District standards, including the Master Street Map and Livable Streets Design Guide. The developer or engineer should contact the District before starting any design.

Street Section and Right-of-Way Width Policy: District Policies 7205.2.1 & 7205.5.2 state that the standard 5-lane street section shall be 72-feet (back-of-curb to back-of-curb) within 96-feet of right-of-way. This width typically accommodates two travel lanes in each direction, a continuous center left-turn lane, and bike lanes on a minor arterial and a safety shoulder on a principal arterial.

Street Section and Right-of Way Width Policy: District Policy 7205.2.1 & 7205.5.2 states that the standard 3-lane street section shall be 46-feet (back-of-curb to back-of-curb) within 70 feet of right-of-way. This width typically accommodates a single travel lane in each direction, a continuous center left-turn lane, and bike lanes.

Right-of-Way Dedication: District Policy 7205.2 states that The District will provide compensation for additional right-of-way dedicated beyond the existing right-of-way along arterials listed as impact fee eligible in the adopted Capital Improvements Plan using available impact fee revenue in the Impact Fee Service Area.

No compensation will be provided for right-of-way on an arterial that is not listed as impact fee eligible in the Capital Improvements Plan.

The District may acquire additional right-of-way beyond the site-related needs to preserve a corridor for future capacity improvements, as provided in Section 7300.

Sidewalk Policy: District Policy 7205.5.7 requires a concrete sidewalk at least 5-feet wide to be constructed on both sides of all arterial streets. A parkway strip at least 6-feet wide between the back-of-curb and street edge of the sidewalk is required to provide increased safety and protection of pedestrians. Consult the District's planter width policy if trees are to be placed within the parkway strip. Sidewalks constructed next to the back-of-curb shall be a minimum of 7-feet wide.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Frontage Improvements Policy: District Policy 7205.2.1 states that the developer shall widen the pavement to a minimum of 17-feet from centerline plus a 3-foot wide gravel shoulder adjacent to the entire site. Curb, gutter and additional pavement widening may be required (See Section 7205.5.5).

ACHD Master Street Map: ACHD Policy Section 3111.1 requires the Master Street Map (MSM) guide the right-of-way acquisition, arterial street requirements, and specific roadway features required through development. This segment of Linder Road is designated in the MSM as a Residential Arterial with 5-lanes and on-street bike lanes, a 72-foot street section within 100-feet of right-of-way.

- c. **Applicant Proposal:** The applicant is proposing to dedicate additional right-of-way to total 48-feet from the centerline of Linder Road abutting the site.

The applicant is proposing to improve Linder Road with 17-feet of pavement from centerline, a 3-foot gravel shoulder and 5-foot wide detached concrete sidewalk abutting the site.

The applicant is proposing to construct an emergency access only driveway onto Linder Road located 145-feet north of the site's southeast property line.

The applicant has requested a crosswalk on Linder Road at the entrance to the site.

- d. **Staff Comments/Recommendations:** Consistent with the MSM, the applicant should be required to dedicate additional right-of-way to total 50-feet from centerline of Linder Road abutting the site. The applicant will not be compensated for this right-of-way dedication, as Linder Road is not listed in ACHD's IFYWP or CIP.

The applicant's proposal to improve Linder Road with 17-feet of pavement from centerline, a 3-foot gravel shoulder and 5-foot wide detached concrete sidewalk abutting the site meets District policy and should be approved as proposed. Locate the sidewalk a minimum of 43-feet from centerline of Linder Road. If street trees are desired, then an 8-foot wide planter strip should be provided.

Provide a permanent right-of-way easement to 2-feet behind back of sidewalk for any sidewalk placed outside of the dedicated right-of-way.

Consistent with the findings and recommendations of the traffic impact study, the applicant should be required to construct a center turn-lane on Linder Road at the entrance roadway, Paloma Ridge Drive. Coordinate the design of the turn lane with ACHD's Development Review staff.

The applicant's proposal to construct an emergency access only driveway onto Linder Road, located 145-feet north of the site's southeast property line meets District policy and should be approved as proposed. The emergency access only driveway should be restricted with a gate or bollards, located outside of the right-of-way, as determined by the appropriate fire department.

The applicant's proposal for a crosswalk on Linder Road is not approved. The applicant did not provide any supporting information for their request and a crosswalk in this location would not be warranted. Additionally, this site is located within close proximity to the existing crosswalk located at the signalized Columbia Road/Linder Road intersection. Staff recommends that pedestrians use the existing signalized intersection and crosswalk to cross Linder Road.

3. Internal Local Streets

- a. **Existing Conditions:** There are no local streets within the site.

- b. **Policy:**

Local Roadway Policy: District Policy 7207.2.1 states that the developer is responsible for improving all local street frontages adjacent to the site regardless of whether or not access is taken to all of the adjacent streets.

Street Section and Right-of-Way Policy: District Policy 7207.5 states that right-of-way widths for all local streets shall generally not be less than 47-feet wide and that the standard street section shall be 33-feet (back-of-curb to back-of-curb).

Standard Urban Local Street—33-foot Street Section and Right-of-way Policy: District Policy 7207.5.2 states that the standard street section shall be 33-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section

shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 47-feet of right-of-way.

For the City of Kuna and City of Star: Unless otherwise approved by Kuna or Star, the standard street section shall be 36-feet (back-of-curb to back-of-curb) for developments with any buildable lot that is less than 1 acre in size. This street section shall include curb, gutter, and minimum 5-foot wide concrete sidewalks on both sides and shall typically be constructed within 50-feet of right-of-way.

Continuation of Streets Policy: District Policy 7207.2.4 states that an existing street, or a street in an approved preliminary plat, which ends at a boundary of a proposed development shall be extended in that development. The extension shall include provisions for continuation of storm drainage facilities. Benefits of connectivity include but are not limited to the following:

- Reduces vehicle miles traveled.
- Increases pedestrian and bicycle connectivity.
- Increases access for emergency services.
- Reduces need for additional access points to the arterial street system.
- Promotes the efficient delivery of services including trash, mail and deliveries.
- Promotes appropriate intra-neighborhood traffic circulation to schools, parks, neighborhood commercial centers, transit stops, etc.
- Promotes orderly development.

Sidewalk Policy: District Policy 7207.5.7 states that five-foot wide concrete sidewalk is required on both sides of all local street, except those in rural developments with net densities of one dwelling unit per 1.0 acre or less, or in hillside conditions where there is no direct lot frontage, in which case a sidewalk shall be constructed along one side of the street. Some local jurisdictions may require wider sidewalks.

The sidewalk may be placed next to the back-of-curb. Where feasible, a parkway strip at least 8-foot wide between the back-of-curb and the street edge of the sidewalk is recommended to provide increased safety and protection of pedestrians and to allow for the planting of trees in accordance with the District's Tree Planting Policy. If no trees are to be planted in the parkway strip, the applicant may submit a request to the District, with justification, to reduce the width of the parkway strip.

Detached sidewalks are encouraged and should be parallel to the adjacent roadway. Meandering sidewalks are discouraged.

A permanent right-of-way easement shall be provided if public sidewalks are placed outside of the dedicated right-of-way. The easement shall encompass the entire area between the right-of-way line and 2-feet behind the back edge of the sidewalk. Sidewalks shall either be located wholly within the public right-of-way or wholly within an easement.

Cul-de-sac Streets Policy: District policy 7207.5.8 requires cul-de-sacs to be constructed to provide a minimum turning radius of 45-feet; in rural areas or for temporary cul-de-sacs the emergency service providers may require a greater radius. Landscape and parking islands may be constructed in turnarounds if a minimum 29-foot street section is constructed around the island. The pavement width shall be sufficient to allow the turning around of a standard AASHTO SU design vehicle without backing. The developer shall provide written approval from the appropriate fire department for this design element.

The District will consider alternatives to the standard cul-de-sac turnaround on a case-by-case basis. This will be based on turning area, drainage, maintenance considerations and the written

approval of the agency providing emergency fire service for the area where the development is located.

- c. **Applicant's Proposal:** The applicant is proposing to construct the internal local streets as 36-foot street sections with rolled curb, gutter and a 7-foot wide landscape strip within 50-feet of right-of-way, and 5-foot wide detached concrete sidewalk located outside of the right-of-way.

The applicant is proposing to construct a cul-de-sac at the terminus of Declan Court, Barnhill Avenue and Watercrest.

The applicant is proposing to construct two knuckles.

- d. **Staff Comments/Recommendations:** The applicant's proposal to construct the internal local streets as 36-foot wide local street sections with rolled curb, gutter and a 7-foot wide landscape strip within 50-feet of right-of-way, and 5-foot wide detached concrete sidewalk located outside of the right-of-way meets District policy and should be approved as proposed.

Provide a permanent right-of-way easement to 2-feet behind back of sidewalk for any sidewalk placed outside of the dedicated right-of-way.

The applicant should be required to construct the cul-de-sac at the terminus of Declan Court, Barnhill Avenue and Watercrest Avenue with a minimum 45-foot radius.

The applicant's proposal to construct two knuckles meets District policy and should be approved as proposed.

4. Roadway Offsets

- a. **Existing Conditions:** There are no roadways within the site.

- b. **Policy:**

Local Street Intersection Spacing on Minor Arterials: District policy 7205.4.3 states that new local streets should not typically intersect arterials. Local streets should typically intersect collectors. If it is necessary, as determined by ACHD, for a local street to intersect an arterial, the minimum allowable offset shall be 660-feet as measured from all other existing roadways as identified in Table 1a (7205.4.6).

Local Offset Policy: District policy 7207.4.2, requires local roadways to align or provide a minimum offset of 125-feet from any other street (measured centerline to centerline).

- c. **Applicant's Proposal:** The applicant is proposing to construct one new local roadway, Paloma Ridge Drive, to intersect Linder Road located 1,535-feet south of Columbia Road.

The applicant is proposing to construct all local internal streets to align or offset a minimum of 125-feet.

- d. **Staff Comments/Recommendations:** The applicant's proposal to construct one new local roadway, Paloma Ridge Drive, to intersect Linder Road located 1,535-feet south of Columbia Road meets District policy and should be approved, as proposed.

The applicant's proposal to construct all local internal streets to align or offset a minimum of 125-feet meets District policy and should be approved, as proposed.

5. Stub Streets

- a. **Existing Conditions:** There are no roadways within the site. There is one local road, Jared Street, proposed to stub to the site's west property line. This stub street is not constructed yet and was approved as part of ACHD's action on Silver Trail Subdivision located west of the site.

- b. **Policy:**

Stub Street Policy: District policy 7207.2.4.3 states that stub streets will be required to provide circulation or to provide access to adjoining properties. Stub streets will conform with the requirements described in Section 7207.2.4, except a temporary cul-de-sac will not be required if the stub street has a length no greater than 150-feet. A sign shall be installed at the terminus of the stub street stating that, "THIS ROAD WILL BE EXTENDED IN THE FUTURE."

In addition, stub streets must meet the following conditions:

- A stub street shall be designed to slope towards the nearest street intersection within the proposed development and drain surface water towards that intersection; unless an alternative storm drain system is approved by the District.
- The District may require appropriate covenants guaranteeing that the stub street will remain free of obstructions.

Temporary Dead End Streets Policy: District policy 7207.2.4.4 requires that the design and construction for cul-de-sac streets shall apply to temporary dead end streets. The temporary cul-de-sac shall be paved and shall be the dimensional requirements of a standard cul-de-sac. The developer shall grant a temporary turnaround easement to the District for those portions of the cul-de-sac which extend beyond the dedicated street right-of-way. In the instance where a temporary easement extends onto a buildable lot, the entire lot shall be encumbered by the easement and identified on the plat as a non-buildable lot until the street is extended.

c. Applicant Proposal: The applicant is proposing to construct 3 stub streets, one stub street to the north, one stub street to the south and one stub street to the east in the following locations:

- Watercrest Avenue, to the north, located 553-feet east of the west property line and has proposed to construct a cul-de-sac at the terminus of the roadway;
- Barnhill Avenue, to the south, located 110-feet east of the west property line and has proposed to construct a cu-de-sac at the terminus of the roadway; and
- Hodor Street to the west, located 375-feet south of the north property line and in alignment with the proposed stub street, Jared Street, that was approved as part of ACHD's action on the Silver Trail Subdivision.

d. Staff Comments/Recommendations: The applicant's proposal meets District policy and should be approved, as proposed.

A sign shall be installed at the terminus of the local stub streets Watercrest Avenue and Barnhill Avenue stating that, "THIS ROAD WILL BE EXTENDED IN THE FUTURE."

A cul-de-sac is proposed at the stub of Watercrest Avenue stub street location; therefore, a temporary turnaround is not required.

A cul-de-sac is proposed at the stub of Barnhill Street stub street location; therefore, a temporary turnaround is not required. The right-of-way should extend a minimum of 50-feet in width from the cul-de-sac to the site's south property line.

If Hodor Street is constructed prior to the stub street from Silver Trail Subdivision, the applicant should be required to install a sign at the terminus of the stub street stating, "THIS ROAD WILL BE EXTENDED IN THE FUTURE." A temporary turnaround is not required as the stub street is less than 150-feet in length.

6. Traffic Calming

- a. Speed Control and Traffic Calming Policy:** District policy 7207.3.7 states that the design of local street systems should discourage excessive speeds by using passive design elements. If the design or layout of a development is anticipated to necessitate future traffic calming implementation by the District, then the District will require changes to the layout and/or the

addition of passive design elements such as horizontal curves, bulb-outs, chokers, etc. The District will also consider texture changes to the roadway surface (i.e. stamped concrete) as a passive design element. These alternative methods may require maintenance and/or license agreement.

- b. **Applicant's Proposal:** The applicant is proposing to construct Arya Street and Barnhill Avenue to be greater than 750-feet in length.

Staff Comments/Recommendations: The applicant should be required to redesign, Arya Street and Barnhill Avenue to be less than 750-feet in length or provide traffic calming including the use of passive design elements approved by ACHD Traffic Services.

Stop signs, speed humps/bumps and valley gutters will not be accepted as traffic calming.

7. Tree Planters

Tree Planter Policy: Tree Planter Policy: The District's Tree Planter Policy prohibits all trees in planters less than 8-feet in width without the installation of root barriers. Class II trees may be allowed in planters with a minimum width of 8-feet, and Class I and Class III trees may be allowed in planters with a minimum width of 10-feet.

8. Landscaping

Landscaping Policy: A license agreement is required for all landscaping proposed within ACHD right-of-way or easement areas. Trees shall be located no closer than 10-feet from all public storm drain facilities. Landscaping should be designed to eliminate site obstructions in the vision triangle at intersections. District Policy 5104.3.1 requires a 40-foot vision triangle and a 3-foot height restriction on all landscaping located at an uncontrolled intersection and a 50-foot offset from stop signs. Landscape plans are required with the submittal of civil plans and must meet all District requirements prior to signature of the final plat and/or approval of the civil plans.

9. Other Access

Linder Road is classified as a minor arterial roadway. Other than the access specifically approved with this application, direct lot access is prohibited to this roadway and should be noted on the final plat.

D. Site Specific Conditions of Approval

1. Submit an updated roadway segment analysis for Columbia Road from SH-69 to Linder Road prior to ACHD's signature on the final plat for Paloma Ridge East and Paloma Ridge West that contains the 209th residential unit plus 33,000 square feet of commercial land use or the equivalent of 419 PM peak trips. If necessary, the analysis should include a shoulder hour analysis. Additional improvements may be required based on the findings of the updated roadway segment analysis.
2. Redesign, Arya Street and Barnhill Avenue to be less than 750-feet in length or provide traffic calming including the use of passive design elements for review and approval prior to plan submittal.
Stop signs, speed humps/bumps and valley gutters will not be accepted as traffic calming.
3. Dedicate additional right-of-way to total 50-feet from centerline of Linder Road abutting the site. Compensation will not be provided, as this roadway is not listed in the CIP.
4. Improve Linder Road with 17-feet of pavement from centerline, a 3-foot gravel shoulder and 5-foot wide detached concrete sidewalk abutting the site. Locate the sidewalk a minimum of 43-feet from centerline of Linder Road.
5. Construct a center turn-lane on Linder Road at Paloma Ridge Drive. Coordinate the design of the center turn lane with ACHD's Development Review staff.

6. Construct an emergency access only driveway onto Linder Road, located 145-feet north of the site's southeast property line restricted with a gate or bollards, located outside of the right-of-way, as determined by the appropriate fire department.
7. Construct the internal local streets as 36-foot wide local street sections with rolled curb, gutter and a 7-foot wide landscape strip within 50-feet of right-of-way, and 5-foot wide detached concrete sidewalk located outside of the right-of-way. If street trees are desired, then 8-foot wide planter strips should be provided.
8. Provide a permanent right-of-way easement to 2-feet behind back of sidewalk for any sidewalk placed outside of the dedicated right-of-way.
9. Construct a cul-de-sac at the terminus of Declan Court, Barnhill Avenue and Watercrest Avenue with a minimum 45-foot radius.
10. Construct two knuckles, as proposed.
11. Construct one new local roadway, Paloma Ridge Drive, to intersect Linder Road located 1,535-feet south of Columbia Road.
12. Construct all local internal streets to align or offset a minimum of 125-feet.
13. Construct 3 stub streets, one stub street to the north, one stub street to the south and one stub street to the east in the following locations:
 - Watercrest Avenue, to the north, located 553-feet east of the west property line with a cul-de-sac, as proposed;
 - Barnhill Avenue, to the south, located 110-feet east of the west property line and extend the right-of-way a minimum of 50-feet in width from the cul-de-sac to the site's south property line; and
 - Hodor Street to the west, located 375-feet south of the north property line and in alignment with the proposed stub street, Jared Street, that was approved as part of ACHD's action on the Silver Trail Subdivision.
14. Install a sign at the terminus of the local stub streets Watercrest Avenue and Barnhill Avenue stating that, "THIS ROAD WILL BE EXTENDED IN THE FUTURE."
15. If Hodor Street is constructed prior to the stub street from Silver Trail Subdivision, the applicant should be required to install a sign at the terminus of the stub street stating, "THIS ROAD WILL BE EXTENDED IN THE FUTURE."
16. Direct lot access is prohibited to Linder Road and should be noted on the final plat.
17. Submit civil plans to ACHD Development Services for review and approval. The impact fee assessment will not be released until the civil plans are approved by ACHD.
18. Payment of impact fees is due prior to issuance of a building permit.
19. Comply with all Standard Conditions of Approval.

E. Standard Conditions of Approval

1. All proposed irrigation facilities shall be located outside of the ACHD right-of-way (including all easements). Any existing irrigation facilities shall be relocated outside of the ACHD right-of-way (including all easements).
2. Private Utilities including sewer or water systems are prohibited from being located within the ACHD right-of-way.

3. In accordance with District policy, 7203.3, the applicant may be required to update any existing non-compliant pedestrian improvements abutting the site to meet current Americans with Disabilities Act (ADA) requirements. The applicant's engineer should provide documentation of ADA compliance to District Development Review staff for review.
4. Replace any existing damaged curb, gutter and sidewalk and any that may be damaged during the construction of the proposed development. Contact Construction Services at 387-6280 (with file number) for details.
5. A license agreement and compliance with the District's Tree Planter policy is required for all landscaping proposed within ACHD right-of-way or easement areas.
6. All utility relocation costs associated with improving street frontages abutting the site shall be borne by the developer.
7. It is the responsibility of the applicant to verify all existing utilities within the right-of-way. The applicant at no cost to ACHD shall repair existing utilities damaged by the applicant. The applicant shall be required to call DIGLINE (1-811-342-1585) at least two full business days prior to breaking ground within ACHD right-of-way. The applicant shall contact ACHD Traffic Operations 387-6190 in the event any ACHD conduits (spare or filled) are compromised during any phase of construction.
8. Utility street cuts in pavement less than five years old are not allowed unless approved in writing by the District. Contact the District's Utility Coordinator at 387-6258 (with file numbers) for details.
9. All design and construction shall be in accordance with the ACHD Policy Manual, ISPWC Standards and approved supplements, Construction Services procedures and all applicable ACHD Standards unless specifically waived herein. An engineer registered in the State of Idaho shall prepare and certify all improvement plans.
10. Construction use and property development shall be in conformance with all applicable requirements of ACHD prior to District approval for occupancy.
11. No change in the terms and conditions of this approval shall be valid unless they are in writing and signed by the applicant or the applicant's authorized representative and an authorized representative of ACHD. The burden shall be upon the applicant to obtain written confirmation of any change from ACHD.
12. If the site plan or use should change in the future, ACHD Planning Review will review the site plan and may require additional improvements to the transportation system at that time. Any change in the planned use of the property which is the subject of this application, shall require the applicant to comply with ACHD Policy and Standard Conditions of Approval in place at that time unless a waiver/variance of the requirements or other legal relief is granted by the ACHD Commission.

F. Conclusions of Law

1. The proposed site plan is approved, if all of the Site Specific and Standard Conditions of Approval are satisfied.
2. ACHD requirements are intended to assure that the proposed use/development will not place an undue burden on the existing vehicular transportation system within the vicinity impacted by the proposed development.

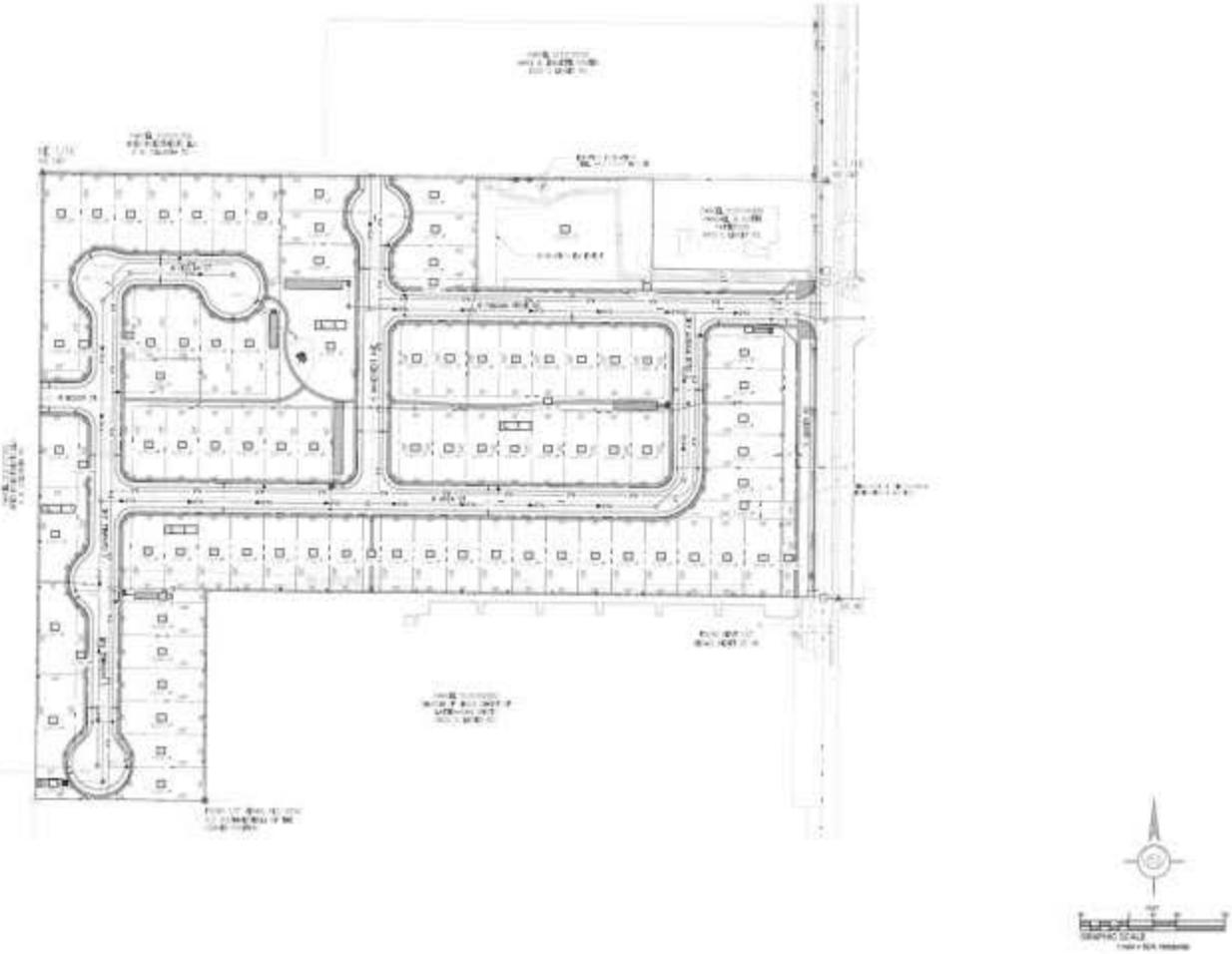
G. Attachments

1. Vicinity Map
2. Site Plan
3. TIS Executive Summary
4. Utility Coordinating Council
5. Development Process Checklist
6. Appeal Guidelines

VICINITY MAP



SITE PLAN



EXECUTIVE SUMMARY

The Paloma Ridge Development is located in the southeast quadrant of the Columbia Road/Linder Road intersection. The proposed site is currently 113.1 acres of vacant farmland and will be across Columbia Road from the new Kuna High School across Columbia Road. The site is currently in Kuna, Idaho and zoned Mixed Use. The development is planned to be built in two phases. The first phase will be approximately 350 single-family houses and the second phase will be approximately 6.46 acres of commercial retail uses. The anticipated buildout year of Phase 1 is 2025. Phase 2 will follow as market conditions allow, however, a buildout analysis year of 2025 was assumed for this study.

FINDINGS

Existing Conditions

- The study evaluated four off-site intersections during the a.m. and p.m. peak hour of a typical weekday.
- All study intersections were found to operate acceptably during the existing weekday a.m. and p.m. peak hours with the exception of:
 - **SH 69 / Lake Hazel Road (PM Peak Hour)**
 - The westbound through/right approach operates at $V/C = 0.94$ and LOS F during the weekday p.m. peak hour.
 - The overall the intersection operates at a 0.88 v/c ratio in the weekday p.m. peak hour, which is under ITD's desired 0.90 v/c ratio.
 - **Linder Road / Hubbard Road (AM and PM Peak Hour)**
 - The intersection operates at LOS F in the weekday p.m. peak hour. Several lane groups have a v/c greater than 1.0.
 - The intersection is projected to meet the 8-hour, 4-hour, and peak hour traffic signal volume warrants under 2020 existing conditions.
 - The intersection is shown as a future roundabout on the ACHD Master Street Map. In addition, an interim traffic signal with left-turn lanes or a single lane roundabout mitigates this intersection to meet ACHD standards.
- All ACHD study roadway segments operate at acceptable levels-of-service.
- Crash data at the study intersections and roadway segments for the most recent five years of complete data (2015-2019) were analyzed for any existing crash trends. The most common crash type was an angle crash at SH 69 / Lake Hazel Road. A traffic signal was installed in September 2018 at this intersection which should reduce angle crashes.

Year 2025 Background Traffic Conditions

- Year 2025 background traffic volumes were forecasted using a 3% compounded annual growth rate on SH 69 and Linder Road and a 6% compounded annual growth rate on all other roadways as well as the addition of in-process traffic from Whispering Meadows Subdivision and the new Kuna High School.
- Year 2025 background traffic analysis (without inclusion of site-generated traffic) found that none of the study intersections are expected to operate at acceptable operating standards during the weekday a.m. and p.m. peak hours.
 - **SH 69 / Lake Hazel Road (AM and PM Peak Hour)**
 - The intersection is operating with a $V/C = 0.95$ during the weekday a.m. peak hour with the following movements with a $V/C > 0.90$:
 - WBTR: $V/C = 0.96$
 - NBTR: $V/C = 0.94$
 - The intersection is operating with a $V/C = 0.98$ during the weekday p.m. peak hour with the following movements with a $V/C > 0.90$:
 - WBTR: $V/C = 1.02$
 - NBTR: $V/C = 0.97$
 - To meet ACHD operating standards, the following are required:
 - Westbound right-turn lane (it should be noted that some vehicles use the wide approach similar to a westbound right-turn lane)
 - To meet ITD operating standards an additional northbound and southbound through lane on SH 69 with a westbound right-turn lane is needed.
 - ITD is currently completing a corridor study for SH 69 in this area and the vision presented by that study identifies a future Median U Turn (MUT) intersection at this location along with widening of SH 69 to three lanes in each direction from Overland Road to Lake Hazel Road (likely through the intersection and then tapering to two lanes in each direction south of Lake Hazel Road).
 - **SH 69 / Columbia Road (AM Peak Hour)**
 - The intersection is operating with a v/c ratio of 0.89 overall but has the eastbound through-right movement operating with a v/c ratio of 0.94.
 - ITD is currently completing a corridor study for SH 69 in this area and the vision presented by that study identifies a future Median U Turn (MUT) intersection at this location.

- **Linder Road / Hubbard Road (AM and PM Peak Hour)**
 - As found in the 2020 existing traffic conditions, the intersection is operating over capacity and can be mitigated by an interim traffic signal with left-turn lanes or a single lane roundabout in the 2025 background conditions.
- All ACHD study roadway segments are projected to continue operating at acceptable levels of service except for Columbia Road between Linder Road and SH 69.
 - **Columbia Road (AM and PM Peak Hour)**
 - This section on roadway is not on ACHD's CIP, however the roadway will need to be widened to a three-lane cross section with a center turn lane to meet ACHD roadway segment operation standards under 2025 background or total traffic conditions.

Trip Generation and Distribution

- The *ITE Trip Generation Manual, 10th Edition* was used to estimate the trip generation for the proposed Paloma Ridge Development.
- The proposed Paloma Ridge Development is located on the southeast quadrant of Columbia Road / Linder Road.
 - The development is divided into two phases. The first phase proposes 350 single family homes. The second phase proposes 6.46 square acres of retail uses.
 - Phase 1 of the proposed Paloma Ridge Mixed-Use Development is estimated to generate a total of 3,214 daily net new trip ends, of these 253 are estimated to occur in the weekday a.m. peak hour (63 inbound / 190 outbound), and 338 are estimated to occur in the weekday p.m. peak hour (213 inbound / 125 outbound).
 - Phases 1 + 2 of the proposed Paloma Ridge Mixed-Use Development are estimated to generate a total of 5,435 daily net new trip ends, of these 427 are estimated to occur in the weekday a.m. peak hour (172 inbound / 255 outbound), and 465 are estimated to occur in the weekday p.m. peak hour (270 inbound / 195 outbound).
- The distribution pattern for site-generated trips was developed by evaluating a select zone analysis from COMPASS' regional travel demand model.

Year 2025 Total Traffic Conditions – Phase 1 (Residential)

- Phase 1 of the development only studied the following intersections:
 - SH 69 / Columbia Road
 - Linder Road / Columbia Road

- As under the 2025 background conditions, the year 2025 phase 1 total traffic analysis (with the inclusion of phase 1 site-generated traffic) found that the following study intersection is expected to exceed operational guidelines during the weekday a.m. and p.m. peak hours.
 - **SH 69 / Columbia Road (AM Peak Hour)**
 - This intersection is operating at LOS E in the weekday a.m. peak hour. The overall intersection operates with a v/c ratio of 0.94 and 0.92 in the weekday a.m. and p.m. peak hours, respectively. The eastbound left-turn lane group is over capacity while several other lane groups operate with a v/c ratio > 0.90.
 - ITD is currently completing a corridor study for SH 69 in this area and the vision presented by that study identifies a future Median U Turn (MUT) intersection at this location.
 - The Phase 1 development traffic is projected to be approximately 4.6% of the 2025 total traffic at this intersection. The MUT intersection is the planned 2040 horizon year mitigation so the development's proportional share for contributions for this intersection should be calculated based on the 2040 projected intersection volumes.

Year 2025 Total Traffic Conditions – Phases 1 + 2 (Residential + Commercial)

- As under the 2025 background conditions, the year 2025 phases 1 + 2 total traffic analysis (with the inclusion of phases 1 + 2 site-generated traffic) found that the following study intersections are expected to exceed operational guidelines during the weekday a.m. and p.m. peak hours.
 - **SH 69 / Lake Hazel Road (AM and PM Peak Hour)**
 - As found in the 2025 background traffic conditions, this intersection operates overcapacity.
 - ITD is currently completing a corridor study for SH 69 in this area and the vision presented by that study identifies a future Median U Turn (MUT) intersection at this location along with widening of SH 69 to three lanes in each direction from Overland Road to Lake Hazel Road (likely through the intersection and then tapering to two lanes in each direction south of Lake Hazel Road).
 - The Phase 2 total development traffic is projected to be approximately 1.8% of the 2025 total traffic at this intersection. The MUT intersection is the planned 2040 horizon year mitigation so the development's proportional share for contributions for this intersection should be calculated based on the 2040 projected intersection volumes.

- **SH 69 / Columbia Road (AM Peak Hour)**
 - This intersection is operating at LOS E and D in the weekday a.m. and p.m. peak hours, respectively. The overall intersection operates with a v/c ratio of 1.05 and 0.96 in the weekday a.m. and p.m. peak hours, respectively. The eastbound left-turn lane group is over capacity while several other lane groups operate with a v/c ratio > 0.90.
 - ITD is currently completing a corridor study for SH 69 in this area and the vision presented by that study identifies a future Median U Turn (MUT) intersection at this location.
 - The Phase 2 development traffic is an additional approximately 2.4% of the 2025 total traffic at this intersection (in addition to the 4.6% of Phase 1 traffic at this intersection). The MUT intersection is the planned 2040 horizon year mitigation so the development's proportional share for contributions for this intersection should be calculated based on the 2040 projected intersection volumes.
- **Linder Road / Hubbard Road (AM and PM Peak Hour)**
 - As found in the 2020 existing traffic conditions, the intersection does not meet standards and can be mitigated by an interim traffic signal with left-turn lanes or a single lane roundabout.
 - The proposed Phase 2 development traffic is projected to be approximately 2.0% of the 2025 total traffic at this intersection.
- The ACHD study roadway segments are projected to exceed operate at acceptable levels of service:
 - **Columbia Road (AM and PM Peak Hour)**
 - As under 2025 background conditions, this section on roadway is not on ACHD's CIP, however, needs to be widened in order to meet ACHD roadway segment level-of-service standards.
 - The key intersections on either side of this section will be either widened to include left-turn lanes or converted into a single lane roundabout which increases the capacity of the roadway.
 - **Linder Road (AM Peak Hour)**
 - This section of roadway barely doesn't meeting ACHD segment level-of-service standards. However, the key intersections along the site frontage of this section is already or will be widened to include left-turn lanes which increases the capacity of the roadway.

Site Access Evaluation

- The turn lane analysis using ACHD procedures resulted in turn lane warrants at the following site access streets:
 - Phase 1 (Residential)
 - Columbia Road / Site Access A
 - Westbound Left-Turn Lane
 - Linder Road / Site Access D
 - Southbound Left-Turn Lane
 - Phase 1 + 2 (Residential + Commercial)
 - Columbia Road / Site Access A
 - Westbound Left-Turn Lane
 - Columbia Road / Site Access B
 - Westbound Left-Turn Lane
 - Eastbound Right-Turn Lane
 - Linder Road / Site Access C
 - Southbound Left-Turn Lane
 - Linder Road / Site Access D
 - Southbound Left-Turn Lane
- The intersection sight distance evaluation identified that intersection sight distance can be achieved at all the site intersections. However, the following are recommendations for all site accesses when designed and constructed:
 - Remove miscellaneous vegetation and shrubbery, and potential obstructions along Columbia Road or Linder Road as necessary to obtain and maintain adequate intersection sight distance.
 - Site accesses are assumed to match the existing grade of the connected roadway at the intersection and back at least one car length. Significant changes to the approach grade could impact the sight distances.
 - Shrubby, weeds, and landscaping near the internal intersections and site access points should be maintained to ensure adequate sight distance.
 - If widening occurs along any of the site access road, care should be taken to ensure adequate grades and intersection sight distance is maintained.
 - Intersection sight distance should be analyzed as part of the final access design and roadway widening.
- The following access is the only access that doesn't meet ACHD Policy:
 - **Columbia Road / Site Access B**
 - This access, a proposed driveway, accesses Columbia Road approximately 500 feet east of Linder Road. The nearest access is Site Access A which is

approximately 340 feet to the east. ACHD's spacing criteria for a driveway on a minor arterial is 425 feet. Therefore, the proposed access does not meet spacing requirements for Columbia Road.

- Based on this evaluation, the access should be approved by ACHD for the following reasons:
 - If Access B is not allowed, the daily traffic of Site Access A and Site Access B combined would exceed ACHD's daily local road threshold of 2,000 vehicles.
 - Right-turn and left-turn lanes are proposed on Columbia Road, which will reduce any impacts to the through traffic on Columbia Road.
 - The proposed access will still function acceptably as an unsignalized right-in/right-out/left-in access (without turn lanes).
 - This access is proposed as a driveway and will serve mostly commercial trips, while Site Access A will primarily serve residential trips.
- Therefore, the driveway is recommended as a right-in/right-out/left-in access.
- Based on the ACHD bicycle plan, Linder Road and Columbia Road are projected to be Level 3 facilities, including buffered/protected/raised bike lanes, cycle track or multi-use pathway. Therefore, as these roadways are built to ACHD arterial standards, Level 3 bike facilities should be considered.

RECOMMENDATIONS

Based on the report's analyses and evaluation findings, recommendations were developed accordingly for time scenario's conditions.

Year 2020 Existing Traffic Condition Mitigations (Without the Proposed Development)

The following mitigations are recommended to accommodate the year 2020 existing traffic volume and meet ACHD policy.

Linder Road / Hubbard Road

- Construct an interim traffic signal with left-turn lanes on all approaches or a single-lane roundabout if right-of-way is obtained by ACHD. This intersection meets signal warrants and is over capacity in existing traffic conditions. The Phase 2 development traffic accounts for 2.0 percent of the projected 2025 total traffic at the intersection.

Year 2025 Background Traffic Condition Mitigations (Without the Proposed Development)

The following mitigations are recommended to accommodate the year 2025 background traffic volume and meet ACHD policy.

SH 69 / Lake Hazel Road

- Install a westbound right-turn lane. Note that the development can build up to approximately 350 units and 20,000 sq ft of commercial occupied before the westbound left-turn is required for all v/c ratios to remain ≤ 1.0 . The Phase 2 development traffic accounts for approximately 1.8 percent of the proposed traffic at the intersection.

Additional Year 2025 Mitigations Needed With the Paloma Ridge Mixed-Use Development Phase 1 (Residential)

The following mitigations are recommended due to the inclusion of Paloma Ridge Mixed-Use Development's Phase 1 (Residential) site generated trips.

Columbia Road / Site Access A

- Construct a westbound left-turn lane with approximately 100 feet of vehicle storage.

Linder Road / Site Access D

- Construct a southbound left-turn lane with approximately 100 feet of vehicle storage.

Additional Year 2025 Mitigations Needed With the Paloma Ridge Mixed-Use Development Phases 1 + 2 (Residential + Commercial)

The following mitigations are recommended due to the inclusion of Paloma Ridge Mixed-Use Development's Phases 1 +2 (Residential + Commercial) site generated trips.

Columbia Road / Site Access B

- Construct a westbound left-turn lane with approximately 100 feet of vehicle storage.
- Construct an eastbound right-turn lane with approximately 100 feet of vehicle storage.

Linder Road / Site Access C

- Construct a southbound left-turn lane with approximately 100 feet of vehicle storage.

All Site Accesses

- With approval from ACHD, construct all accesses to the development with the following designations:
 - All local streets within the development should be constructed with one travel lane in each direction.
 - Site driveways with access to public streets should provide sufficient stacking distance for four vehicles (100 feet) to ensure acceptable operation and accommodate larger vehicles, including utility service and delivery vehicles.
 - Site accesses along Linder Road and Columbia Road should match the existing grade or be higher at the intersection to ensure the best possible sight distance.
 - All accesses and internal streets should be designed to provide adequate intersection site distance. Shrubbery and landscaping near the intersection and site access point should be maintained to ensure adequate sight distance is maintained.

Ada County Utility Coordinating Council

Developer/Local Improvement District Right of Way Improvements Guideline Request

Purpose: To develop the necessary avenue for proper notification to utilities of local highway and road improvements, to help the utilities in budgeting and to clarify the already existing process.

- 1) **Notification:** Within five (5) working days upon notification of required right of way improvements by Highway entities, developers shall provide written notification to the affected utility owners and the Ada County Utility Coordinating Council (UCC). Notification shall include but not be limited to, project limits, scope of roadway improvements/project, anticipated construction dates, and any portions critical to the right of way improvements and coordination of utilities.
- 2) **Plan Review:** The developer shall provide the highway entities and all utility owners with preliminary project plans and schedule a plan review conference. Depending on the scale of utility improvements, a plan review conference may not be necessary, as determined by the utility owners. Conference notification shall also be sent to the UCC. During the review meeting the developer shall notify utilities of the status of right of way/easement acquisition necessary for their project. At the plan review conference each company shall have the right to appeal, adjust and/or negotiate with the developer on its own behalf. Each utility shall provide the developer with a letter of review indicating the costs and time required for relocation of its facilities. Said letter of review is to be provided within thirty calendar days after the date of the plan review conference.
- 3) **Revisions:** The developer is responsible to provide utilities with any revisions to preliminary plans. Utilities may request an updated plan review meeting if revisions are made in the preliminary plans which affect the utility relocation requirements. Utilities shall have thirty days after receiving the revisions to review and comment thereon.
- 4) **Final Notification:** The developer will provide highway entities, utility owners and the UCC with final notification of its intent to proceed with right of way improvements and include the anticipated date work will commence. This notification shall indicate that the work to be performed shall be pursuant to final approved plans by the highway entity. The developer shall schedule a preconstruction meeting prior to right of way improvements. Utility relocation activity shall be completed within the times established during the preconstruction meeting, unless otherwise agreed upon.

Notification to the Ada County UCC can be sent to: 50 S. Cole Rd. Boise 83707, or Visit iducc.com for e-mail notification information.

Development Process Checklist

Items Completed to Date:

- Submit a development application to a City or to Ada County
- The City or the County will transmit the development application to ACHD
- The ACHD **Planning Review Section** will receive the development application to review
- The **Planning Review Section** will do one of the following:
 - Send a “**No Review**” letter to the applicant stating that there are no site specific conditions of approval at this time.
 - Write a **Staff Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.
 - Write a **Commission Level** report analyzing the impacts of the development on the transportation system and evaluating the proposal for its conformance to District Policy.

Items to be completed by Applicant:

- For **ALL** development applications, including those receiving a “**No Review**” letter:
 - The applicant should submit one set of engineered plans directly to ACHD for review by the **Development Review Section** for plan review and assessment of impact fees. (Note: if there are no site improvements required by ACHD, then architectural plans may be submitted for purposes of impact fee assessment.)
 - The applicant is required to get a permit from Construction Services (ACHD) for ANY work in the right-of-way, including, but not limited to, driveway approaches, street improvements and utility cuts.
- Pay Impact Fees prior to issuance of building permit. Impact fees cannot be paid prior to plan review approval.

DID YOU REMEMBER:

Construction (Non-Subdivisions)

Driveway or Property Approach(s)

- Submit a “Driveway Approach Request” form to ACHD Construction (for approval by Development Services & Traffic Services). There is a one week turnaround for this approval.

Working in the ACHD Right-of-Way

- Four business days prior to starting work have a bonded contractor submit a “Temporary Highway Use Permit Application” to ACHD Construction – Permits along with:
 - a) Traffic Control Plan
 - b) An Erosion & Sediment Control Narrative & Plat, done by a Certified Plan Designer, if trench is >50’ or you are placing >600 sf of concrete or asphalt.

Construction (Subdivisions)

Sediment & Erosion Submittal

- At least one week prior to setting up a Pre-Construction Meeting an Erosion & Sediment Control Narrative & Plan, done by a Certified Plan Designer, must be turned into ACHD Construction to be reviewed and approved by the ACHD Stormwater Section.

Idaho Power Company

- Vic Steelman at Idaho Power must have his IPCO approved set of subdivision utility plans prior to Pre-Con being scheduled.

- Final Approval from Development Services is required** prior to scheduling a Pre-Con.

Request for Appeal of Staff Decision

1. **Appeal of Staff Decision:** The Commission shall hear and decide appeals by an applicant of the final decision made by the Development Services Manager when it is alleged that the Development Services Manager did not properly apply this section 7101.6, did not consider all of the relevant facts presented, made an error of fact or law, abused discretion or acted arbitrarily and capriciously in the interpretation or enforcement of the ACHD Policy Manual.
 - a. **Filing Fee:** The Commission may, from time to time, set reasonable fees to be charged the applicant for the processing of appeals, to cover administrative costs.
 - b. **Initiation:** An appeal is initiated by the filing of a written notice of appeal with the Secretary and Clerk of the District, which must be filed within ten (10) working days from the date of the decision that is the subject of the appeal. The notice of appeal shall refer to the decision being appealed, identify the appellant by name, address and telephone number and state the grounds for the appeal. The grounds shall include a written summary of the provisions of the policy relevant to the appeal and/or the facts and law relied upon and shall include a written argument in support of the appeal. The Commission shall not consider a notice of appeal that does not comply with the provisions of this subsection.
 - c. **Time to Reply:** The Development Services Manager shall have ten (10) working days from the date of the filing of the notice of appeal to reply to the notice of the appeal, and may during such time meet with the appellant to discuss the matter, and may also consider and/or modify the decision that is being appealed. A copy of the reply and any modifications to the decision being appealed will be provided to the appellant prior to the Commission hearing on the appeal.
 - d. **Notice of Hearing:** Unless otherwise agreed to by the appellant, the hearing of the appeal will be noticed and scheduled on the Commission agenda at a regular meeting to be held within thirty (30) days following the delivery to the appellant of the Development Services Manager's reply to the notice of appeal. A copy of the decision being appealed, the notice of appeal and the reply shall be delivered to the Commission at least one (1) week prior to the hearing.
 - e. **Action by Commission:** Following the hearing, the Commission shall either affirm or reverse, in whole or part, or otherwise modify, amend or supplement the decision being appealed, as such action is adequately supported by the law and evidence presented at the hearing.

LEGAL NOTICE**Case Nos. 20-08-ZC & 20-11-S:
Paloma Ridge West Subdivision; Rezone & Preliminary-Plat**

NOTICE IS HEREBY GIVEN the Planning & Zoning Commission will hold a public hearing via Zoom, **Tuesday, February 9, 2021, at 6:00 PM**, or as soon as can be heard; in connection with a Rezone (ZC) and Preliminary Plat (S) request for the Paloma Ridge West Subdivision. Toll Southwest, LLC requests a Rezone for approx. 21.97 ac. from Agriculture to R-6 (Med. Density Res.). Preliminary Plat approval is also requested in order to subdivide the approx. 21.97 ac. into 78 residential and 12 common lots. Subject site is located SE of S Linder and Columbia Roads (APN: S1311141960).

Please do not contact the Commission or Council including the Mayor as this may jeopardize the public hearing process as it is considered ex parte. If you have any questions or require special accommodations, please contact Kuna Planning & Zoning Department prior to the meeting at (208) 922-5274.

The public is invited to provide written or oral testimony. Due to current health precautions associated with the Coronavirus, the City of Kuna is providing alternative ways for the community to submit comments at public hearings.

**APPLICANT AND PUBLIC WRITTEN AND
ORAL HEARING TESTIMONY PROCESS:**

Written - In Advance to be included in the Agenda Packet that is distributed to the Commission.

1. Submit any option prior to 5:00 PM the Wednesday before Public Hearing meeting. Late submissions will not be included in the packet but will be provided at the meeting.
2. Submit testimony via our website on the Public Testimony Form. This form will email directly to the City for inclusion in the Agenda Packet.
3. Submit testimony via email to PublicHearingTestimony@KunaID.gov
4. Submit via mail to: City of Kuna, Planning & Zoning Department, PO Box 13, Kuna ID 83634

Written – Up to noon the day of the Public Hearing

1. Submit any option prior to noon the day of the Public Hearing meeting. Late submissions will not be included.
2. Submit testimony via our website on the Public Testimony Form
3. Submit testimony via email to PublicHearingTestimony@KunaID.gov
4. Submit via mail to: City of Kuna, Planning & Zoning Department, PO Box 13, Kuna ID 83634

Oral – Virtual Testimony during the Public Hearing. Due to the rise in COVID-19 cases and the Governor's Order dated November 14, 2020: The Council Chambers is closed to the public. Members of the public wishing to testify may request the virtual hearing link from Planning and Zoning up to noon the day of the public hearing. All other persons may access the meeting via Live Streaming on the City of Kuna Facebook page, <https://www.facebook.com/CityofKunaIdaho/>. All persons wishing to testify must, state their name and residential address. A three (3) minute time limit will be placed on all testimonies.

Kuna Planning & Zoning Department

January 20, 2021

67106

City of Kuna
Planning and Zoning
PO Box 13
Kuna, ID 83634

NEOPOST
01/20/2021
FIRST-CLASS MAIL
US POSTAGE \$000.00
ZIP 83634
041M1 1460992

NOTICE
City of Kuna

Suggestions For Testifying at the Public Hearing:

Social distancing due to COVID-19...

Under the authority of the Governor's partial Open Meeting Law Suspension Proclamation dated March 13, 2020, and due to required social distancing protocol, the Council Chambers Audience Occupancy Capacity is 15. All other persons may access the meeting via live streaming on the City of Kuna's Facebook page.

Be informed . . .

Review the proposal, staff report, applicable provisions of the ordinance, comprehensive plan and Idaho State Code (Title 67, Chapter 65).

All items pertaining to the application can be found the Friday prior to the hearing at <http://kunacity.id.gov/93/Agendas-Minutes>.

Be on time . . .

Although the item you are interested in may not be first on the agenda, you never know when it will be heard. The governing body has authority to adjust the schedule according to its discretion. Thus, anticipate attending from the beginning.

Speak to the point . . .

The governing body appreciates pertinent, well organized, factual and concise comments. Redundant testimony is prohibited. The developer or their representative is given 10 minutes to present their project. Others wishing to testify are given three (3) minutes. The developer (or their representative) is given additional time for rebuttal to address issues raised during public testimony. Long stories, abstract complaints, or generalities may not be the best use of time. Neighborhood groups are encouraged to organize testimony and have one (1) person speak on behalf of the group. The group representative will receive 10 minutes to make comments.

If you don't wish to speak, write . . .

Written testimony submitted by close of business the Wednesday prior to the hearing will be included in the packet that is distributed to the governing body prior to the hearing. Late submissions will be presented to the governing body at time of hearing. As a reminder, it is unreasonable to submit extensive written comments or information at the hearing and expect them to be reviewed prior to a decision.

Please submit all written testimony via mail, email or the City's website (<http://kunacity.id.gov/FormCenter/City-Clerk-13/Public-Testimony-Form-121>).



CITY OF KUNA
PLANNING & ZONING DEPARTMENT
PO Box 13 • 751 W. 4th St • Kuna, Idaho • 83634
Phone (208) 922-5274 • Fax: (208) 922-5989
www.kunacity.id.gov

Dear Property Owner:

NOTICE IS HEREBY GIVEN that the **Planning & Zoning Commission** is scheduled to hold a public hearing on **February 9, 2021**, beginning at **6:00 PM** at Kuna City Hall on the following case:
A Rezone (ZC) and Preliminary Plat (S) request for the Paloma Ridge WEST Subdivision. Toll Southwest, LLC requests a Rezone for approx. 21.97 ac. from Agriculture to R-6 (Med. Density Res.). Preliminary Plat approval is also requested in order to subdivide the approx. 21.97 ac. into 78 residential and 12 common lots. Subject site is located SE of S Linder and Columbia Roads (APN: S1311141960), Township 2N, Section 11, Range 1W.

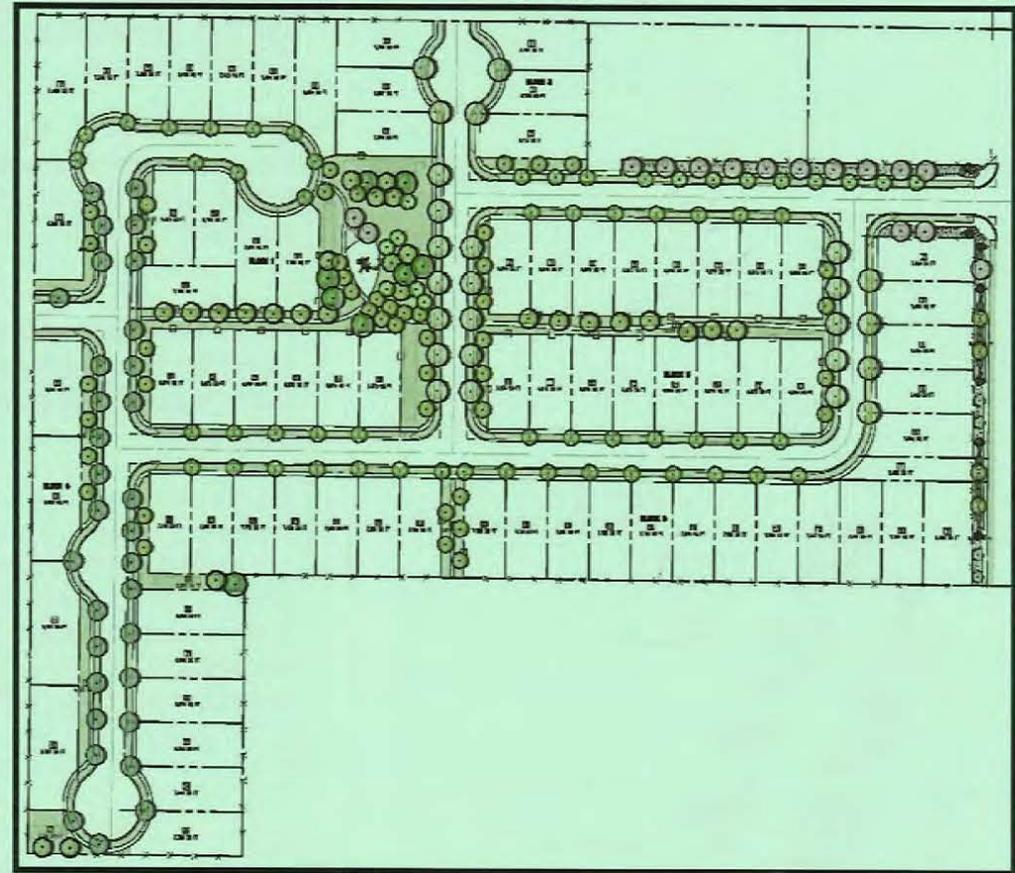


The public is invited to provide written or oral testimony via the options listed on the attached instructions. Written testimony received by the close of business on **February 3, 2021** will be included in the packet that is distributed to the governing body prior to the hearing. Late submissions will be presented to the governing body at time of hearing. Please submit written testimony via mail, email or the City's website

<http://kunacity.id.gov/FormCenter/City-Clerk-13/Public-Testimony-Form-121>

Due to social distancing protocol, the Council Chambers audience occupancy capacity is 15; social distancing and masks will be required. The first 15 persons who appear will be allowed in Council Chambers. All other persons may access the meeting via Live Streaming on the City of Kuna Facebook page, <https://www.facebook.com/CityofKunaidaho>.

If you have questions or need special assistance, please contact the Planning and Zoning Department at (208) 922-5274.



Mailed 01.20.2021



The public is invited to comment on Case Nos. 20-11-S (Preliminary Plat) & 20-08-ZC (Rezone) for Paloma Ridge West Subdivision. Due to social distancing protocol, the Council Chambers audience occupancy is 15. Instructions and options available for alternative public testimony options are listed below.

APPLICANT PUBLIC WRITTEN AND ORAL HEARING TESTIMONY PROCESS:

Written - In Advance to be included in the Agenda Packet that is distributed to the Decision-Making body.

1. Submit prior to 5:00 PM the Wednesday before Public Hearing meeting. *Late submissions will not be included in the packet but will be provided at the meeting.*
2. Submit testimony via our website on the [Public Testimony Form](#), [KunaCity.ID.gov](#) > *Doing Business* > *Forms & Applications* > *Frequently requested Applications and Forms* > *ONLINE Public Testimony Form*. This form will email directly to the City for inclusion in the Agenda Packet.
3. Submit testimony via email to PublicHearingTestimony@KunaID.gov
4. Submit via mail to:
City of Kuna
Attention: Planning and Zoning Department
PO Box 13
Kuna ID 83634

Written – Up to noon the day of the Public Hearing

1. Submit by noon the day of the Public Hearing meeting. *Late submissions will not be included.*
2. Submit testimony via our website on the [Public Testimony Form](#) [Kunacity.id.gov](#) > *Doing Business* > *Forms and Applications* > *Frequently Requested Applications and Forms* > *ONLINE Public Testimony Form*
3. Submit testimony via email to PublicHearingTestimony@KunaID.gov

Oral – Via electronic call during the Public Hearing

1. Submit request no later than noon the day of the Public Hearing meeting.
2. Email PublicHearingTestimony@KunaID.gov
 - ✓ Your name
 - ✓ Address
 - ✓ Phone Number you will be calling from to give testimony
 - ✓ Email Address
 - ✓ Date of Public Hearing
 - ✓ Case number or Identification of Public Hearing
3. Watch your email for a reply email with the information to join the meeting electronically. (Check your spam/junk folder as a precaution)
4. Follow the dial in information.
5. Call into the virtual lobby a minimum of 5 minutes prior to the meeting.

Oral – In Person Testimony during the Public Hearing

Due to social distancing protocol, the Council Chambers audience occupancy capacity is 15, social distancing and masks are required. The first 15 persons who appear will be allowed in Council Chambers. All other persons may access the meeting via Live Streaming on the City of Kuna Facebook page, <https://www.facebook.com/CityofKunaIdaho/>. All persons wishing to testify must, state their name and residential address. No person shall speak until recognized by the City Council President. A three (3) minute time limit will be placed on all testimonies.



CITY OF KUNA
PLANNING & ZONING DEPARTMENT

751 West 4th Street
P.O. Box 13
Kuna, ID 83634
Phone: 208-922-5274
Fax: 208-922-5989
www.kunacity.id.gov

CERTIFICATE OF MAILING

Date: January 20, 2021
To: 300' Property Owners Other _____
Planner: Jace Hellman, Planner II
Case Name: 20-11-S & 20-08-ZC – Paloma Ridge West Subdivision

I HEREBY CERTIFY that on this 20th day of January, 2021, I caused a true and correct copy of the foregoing instrument to be deposited in the United States mail, with prepaid postage.



Jessica Reid – P&Z Staff



Attest – Doug Hanson, Planner II



RECEIVED

JAN 19 2021

CITY OF KUNA

City of Kuna

PROOF OF PROPERTY POSTING

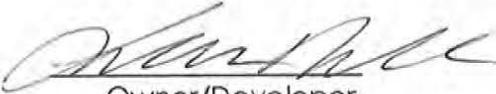
City of Kuna
P.O. Box 13
Kuna, Idaho 83634

Phone: (208) 922-5274
Fax: (208) 922-5989
Web: www.kunacity.id.gov

This notice shall confirm that the Public Hearing Notice for Paloma Ridge West Subdivision (**NAME OF SUBDIVISION OR ADDRESS**) was posted as required per Kuna City Ordinance 5-1A-8. Sign posted Wednesday, January 13th (**DAY OF THE WEEK, MONTH, DATE AND YEAR**). This form is required to be returned three (3) calendar days subsequent to posting and signs are to be removed from the site three (3) calendar days after the hearing.

DATED this 13th day of January, 2021.

Signature,

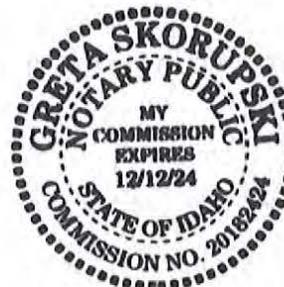

Owner/Developer

STATE OF IDAHO)
County of Ada) : ss

On this 13th day of January, 2021, before me the undersigned, a Notary Public in and for said State, personally appeared before me (Owner, Developer).

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.


Notary Public
Residing at Meridian, ID
Commission Expires 12.12.24



Public Hearing Notice

Kuna Planning and Zoning Commission

The City of Kuna will hold a public hearing on February 9, 2021 at 6:00p.m. at Kuna City Hall 751 W 4th Street, Kuna, ID 83634.

The public hearing and testimony will be virtual, contact the City regarding testimony submittal.

File Number: 20-08-ZC & 20-11-S Paloma Ridge West Subdivision

PURPOSE: Rezone 22 acres to R-6 with a preliminary plat for 78 single-family residential homes.

PROPERTY LOCATION: 1500' Southwest of the intersection of Linder and Columbia Roads.

APPLICATION BY: Toll Southwest LLC

CITY CONTACT: Doug Hanson, 208-922-5274
dhanson@kunaID.gov with any questions.

Public Hearing Notice

Kuna Planning and Zoning Commission

The City of Kuna will hold a public hearing on February 9, 2021 at 6:00p.m. at Kuna City Hall 751 W 4th Street, Kuna, ID 83634. The public hearing and testimony will be virtual, contact the City regarding testimony submittal.

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751 W 4th Street | Kuna, ID | 83634
(208) 922-5274 | www.kunacity.id.gov
EXHIBIT CHECKLIST



Case Name: Winfield Springs No. 5 Design Review Modification
Case No.(s): 21-01-DR

EXHIBITS		Page No.
1	Exhibit List	1
2	P&Z Commission Staff Report	2
3	Commission & Council Review Application	6
4	Design Review Application	8
5	Project Narrative	16
6	Winfield Springs No. 5 Final Plat Landscape Plan	17
7	Tiered Gabion Wall Plans & Elevations	20
8	Vicinity Map	25
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City of Kuna

Planning & Zoning Commission

Staff Report

P.O. Box 13
Phone: (208) 922-5274
Fax: (208) 922-5989
www.Kunacity.id.gov

To: Kuna Planning and Zoning Commission acting as the Design Review Committee

File Numbers: 21-01-DR (Design Review)
Winfield Springs No. 5 Design Review Modification

Location: W of the Ardell Road & Meridian Road Intersection (Ardell Road Frontage)
Kuna, ID 83634

Planner: Jessica Reid
Planning & Zoning Staff

Meeting Date: February 9, 2021

Owner: Toll ID, LLC
3103 W Sheryl Drive, Suite 100
Meridian, ID 83642
208.780.6737

Applicant: Lyle Dennison-Swisse
Toll ID, LLC
3103 W Sheryl Drive, Suite 100
Meridian, ID 83642
208.780.6737
ldennison-swisse@tollbrothers.com

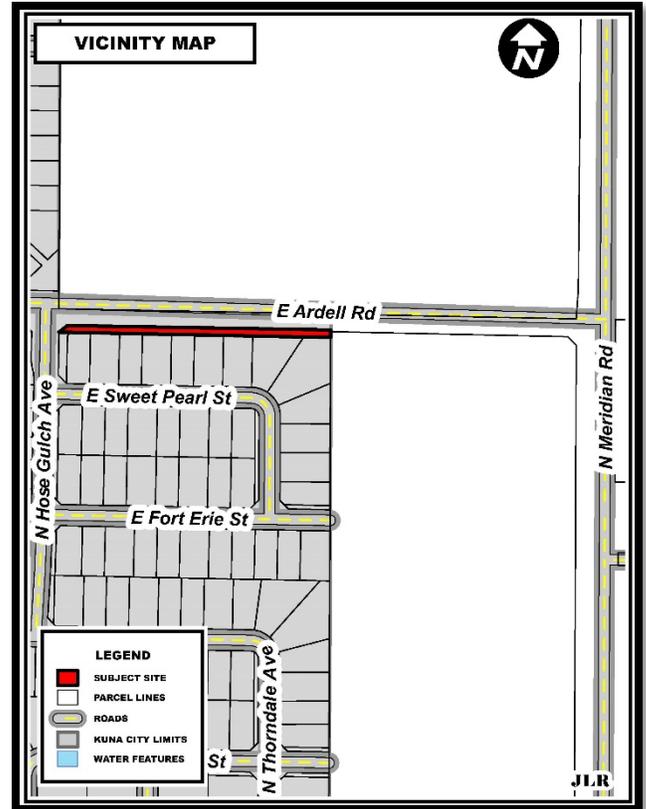


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|---------------------------------|---|
| A. Course Proceedings | E. Applicable Standards |
| B. Applicants Request | F. Proposed Findings of Fact |
| C. General Project Facts | G. Proposed Decision by the Commission |
| D. Staff Analysis | |

A. Course of Proceedings:

1. According to Kuna City Code (KCC) Title 5, Chapter 4, Section 14 (Design Review Modifications); an applicant may request a modification(s) to the approved development plans or conditions and are required to submit an application for review by the Planning and Zoning Commission. As a public meeting item, this action requires no formal public noticing actions.

a. Notifications

- | | |
|------------------------|------------------|
| i. Completeness Letter | February 2, 2021 |
| ii. Agenda | February 9, 2021 |

B. Applicants Request:

Lyle Dennison-Swisse of Toll ID, LLC requests approval of Design Review Modification to install tiered gabion walls along the Ardell Road frontage of Winfield Springs No. 5 to mitigate aggressive sloping not adequately addressed in the previously approved Design Review.

C. General Projects Facts:

1. Surrounding Land Uses:

North	RR	Rural Residential – Ada County
South	R-6	Medium Density Residential – Kuna City
East	R-20 C-2	High Density Multi-Family Residential – Kuna City Area Commercial – Kuna City
West	R-6	Medium Density Residential – Kuna City

2. Parcel Sizes, Current Zoning, Parcel Numbers:

- Approximately 0.295 acres
- Zoning: R-6 (Medium Density Residential)
- Parcel No. R9466271000

3. Existing Structures, Vegetation and Natural Features:

There are no structures and limited weed-like vegetation on the subject site.

4. Environmental Issues:

The subject site lies within the designated Nitrate Priority Area (NPA). Beyond the NPA, staff is not aware of any additional environmental issues, health or safety conflicts.

D. Staff Analysis:

The proposed Design Review Modification is for the E. Ardell Road frontage of Winfield Springs No. 5, as identified by APN: R946627100. The Applicant requests this modification to install tiered gabion walls in order to mitigate the aggressive sloping not addressed in the previous Design Review. This same request was made in Case No. 16-13-DR (Design Review) Winfield Springs Modification, in which tiered gabion walls were approved August 27, 2019, to be installed along the E. Deer Flat Road frontage.

Staff has reviewed the application and finds that the proposed Design Review Modification generally appears to conform to Kuna City Code 5-4 Design Review Overlay District, Kuna City Code 5-4-14 Modifications and Kuna City Code 5-17 Landscaping Requirements.

Staff notes the drainage and storm water retention plans have previously been reviewed and approved by the City Engineer and there are no proposed modifications to these plans with this Design Review Modification. The applicant is hereby notified that this project is subject to a Design Review inspection fee and post construction inspections, to verify Design Review compliance for the landscaping/gabion wall.

Staff has determined that this application complies with Kuna City Code; Kuna Comprehensive Plan; the Future Land Use Map; and Idaho Code. Staff recommends that if the Planning and Zoning Commission approves Case No. 21-01-DR (Design Review) Modification, the applicant be subject to the Conditions of Approval listed in section “F” of this report, as well as any additional conditions requested by the Planning and Zoning Commission.

E. Applicable Standards:

1. Kuna City Code, Title 5, Chapter 4 Design Review Overlay District
2. City of Kuna Comprehensive Plan
3. Idaho Code, Title 67, Chapter 65, Local Land Use Planning Act

F. Proposed Findings of Fact:

Based upon the record contained in Case No. 21-01-DR including the Comprehensive Plan, Kuna City Code, Staff's Memorandums, including the exhibits, the Planning and Zoning Commission hereby (*approves/approves conditionally/denies*) the Findings of Fact and Conclusions of Law, and conditions of approval for Case No. 21-01-DR (Design Review), a request for Design Review Modification approval for installation of tiered gabion walls on the Ardell Road frontage of Winfield Springs No. 5.

If the planning and Zoning Commission wishes to approve, deny or modify specific parts of the Findings of Facts and Conclusions of Law as detailed below, those changes must be specified.

1. Based on the evidence contained in Case No. 21-01-DR, the landscaping modification of tiered gabion walls, generally complies with Kuna City Code.

***Staff Finding:** The applicant has submitted a complete application, and following staff review for technical compliance, the application appears to be in general compliance with the design requirements listed in KCC 5-4.*

2. The contents of the proposed Design Review Modification application contains all of the necessary requirements as listed in KCC 5-4-9: - Design Review Application Required, and KCC 5-4-14: - Modifications.

***Staff Finding:** Review by Staff and the Commission of the proposed Design Review Modification confirms all applicable requirements listed in KCC 5-4-9 and KCC 5-4-14 were provided.*

3. The overall tiered gabion wall design, including landscaping materials, is appropriate for the subject site and the corresponding residential subdivision.

***Staff Finding:** The installation of tiered gabion walls and associated landscaping will mitigate the aggressive sloping and potential for erosion. This modification will also provide a consistency within the overall developments landscaping as the frontage along E Deer Flat Road also has tiered gabion walls and landscaping installed.*

4. The modification minimizes the impact of traffic by providing appropriate site distance.

***Staff Finding:** The design of this modification has provided for adequate site distance for all subdivision ingress/egress along E Ardell Road.*

5. The site landscaping minimizes the impact on adjacent properties.

***Staff Finding:** The applicant has proposed landscape buffer modification which includes tiered gabion walls, ornamental grasses, shrubs, and perennials. The proposed landscaping is in conformance with Kuna City Code, and minimizes impact on adjacent uses.*

6. On-site grading and drainage have been approved by the City Engineer and there are no grading/drainage modifications proposed.

***Staff Finding:** The applicant shall abide by the existing grading/drainage plans approved by the Kuna City Engineer.*

G. Proposed Decision by the Commission:

Note: This proposed motion is for approval, conditional approval or denial of this request. However, if the Planning and Zoning Commission wishes to change specific parts of the request as detailed in the report, those changes must be specified.

The decision is based on the facts outlined in the staff report, the case file, and the discussion at the public meeting. The Planning and Zoning Commission (acting as Design Review Committee) of Kuna, Idaho,

hereby *approves/denies* Case No. 21-01-DR, a Design Review Modification request by Lyle Dennison-Swisse of Toll ID, LLC, for installation of tiered gabion walls, with the following Conditions of Approval:

1. The Applicant shall follow all requirements for sanitary sewer, potable water, irrigation system connections, and all other requirements of the Kuna Public Works Department.
2. This Design Review Modification is subject to a landscape inspection; Design review inspection fees shall be paid prior to requesting staff inspection.
3. All required landscaping shall be permanently maintained in a healthy growing condition. The property owner shall remove and replace unhealthy or dead plant material within three days or as the planting season permits, as required by KCC 5-17-7 standards. Maintenance and planting within public rights-of-way shall be approved from the public entities owning the property.
4. The land Owner/Applicant/Developer and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the Commission, or seek amending them through the Design Review process.
5. The Applicant's proposed Landscape Plan dated December 15, 2020, shall be considered a binding site plan, or as modified and approved through the Design Review process.
6. The Owner/Applicant/Developer, and any future assigns having an interest in the subject property, shall fully comply with all conditions of development as approved by the Planning and Zoning Commission, or seek amending them through the Design Review process.
7. Applicant shall follow staff, City Engineer and other agency recommended requirements, as applicable.
8. Applicant shall comply with all local, state and federal laws.

DATED this 9th day of February, 2021.

Lee Young, Chairman
Kuna Planning & Zoning Commission

ATTEST:

Jessica Reid, Planning & Zoning Staff
Kuna Planning & Zoning Department



City of Kuna
 Planning & Zoning
 Department
 P.O. Box 13
 Kuna, Idaho 83634
 208.922.5274
 Fax: 208.922.5989
 Website: www.cityofkuna.com

Commission & Council Review Application

Note: Engineering fees shall be paid by the applicant if required.

*Please submit the appropriate checklist (s) with application

Type of Review (check all that apply):

- Annexation
- Appeal
- Comprehensive Plan Amendment
- Design Review
- Development Agreement
- Final Planned Unit Development
- Final Plat
- Lot Line Adjustment
- Lot Split
- Planned Unit Development
- Preliminary Plat
- Rezone
- Special Use
- Temporary Business
- Vacation
- Variance

For Office Use Only	
File Number (s)	21-01-DR
Project name	Winfield Springs No.5 DR Mod
Date Received	01.14.2021
Date Accepted/ Complete	
Cross Reference Files	
Commission Hearing Date	
City Council Hearing Date	

Contact/Applicant Information

Owners of Record: <u>TOLL 101, LLC</u>	Phone Number: <u>(208) 780-6737</u>
Address: <u>3103 W. SHERYL DR., SUITE 100</u>	E-Mail: <u>kdennison-swisse@tollbrothers.com</u>
City, State, Zip: <u>MERIDIAN, ID 83642</u>	Fax #: _____
Applicant (Developer): <u>TOLL 101, LLC</u>	Phone Number: <u>(208) 790-6737</u>
Address: <u>3103 W. SHERYL DR., SUITE 100</u>	E-Mail: <u>kdennison-swisse@tollbrothers.com</u>
City, State, Zip: <u>MERIDIAN, ID 83642</u>	Fax #: _____
Engineer/Representative: _____	Phone Number: _____
Address: _____	E-Mail: _____
City, State, Zip: _____	Fax #: _____

Subject Property Information

Site Address: <u>E ARDELL RD KUNA, ID 83634</u>	
Site Location (Cross Streets): <u>700' WEST OF MERIDIAN RD + ARDELL RD</u>	
Parcel Number (s): <u>R9466271000</u>	
Section, Township, Range: <u>2N1W13</u>	
Property size: <u>0.295 ACRES</u>	
Current land use: <u>RESIDENTIAL</u>	Proposed land use: <u>RESIDENTIAL</u>
Current zoning district: _____	Proposed zoning district: _____

Project Description

Project / subdivision name: Winfield Springs
General description of proposed project / request: Modify previously approved landscape plan to include gabion basket style retaining walls along the Ardell RD frontage.
Type of use proposed (check all that apply):
 Residential _____
 Commercial _____
 Office _____
 Industrial _____
 Other Landscape buffer along Ardell RD frontage.
Amenities provided with this development (if applicable): _____

Residential Project Summary (if applicable) - N/A

Are there existing buildings? Yes No
Please describe the existing buildings: _____
Any existing buildings to remain? Yes No
Number of residential units: _____ Number of building lots: _____
Number of common and/or other lots: _____
Type of dwellings proposed:
 Single-Family _____
 Townhouses _____
 Duplexes _____
 Multi-Family _____
 Other _____
Minimum Square footage of structure (s): _____
Gross density (DU/acre-total property): _____ Net density (DU/acre-excluding roads): _____
Percentage of open space provided: _____ Acreage of open space: _____
Type of open space provided (i.e. landscaping, public, common, etc.): _____

Non-Residential Project Summary (if applicable) N/A

Number of building lots: _____ Other lots: _____
Gross floor area square footage: _____ Existing (if applicable): _____
Hours of operation (days & hours): _____ Building height: _____
Total number of employees: _____ Max. number of employees at one time: _____
Number and ages of students/children: _____ Seating capacity: _____
Fencing type, size & location (proposed or existing to remain): _____
Proposed Parking: a. Handicapped spaces: _____ Dimensions: _____
b. Total Parking spaces: _____ Dimensions: _____
c. Width of driveway aisle: _____
Proposed Lighting: _____
Proposed Landscaping (berms, buffers, entrances, parking areas, common areas, etc.): _____

Applicant's Signature: [Signature] Date: 1/14/2021



City of Kuna Design Review Application

P.O. Box 13
Kuna, Idaho 83634
(208) 922.5274
Fax: (208) 922.5989
Website: www.cityofkuna.com

FILE NO.: 21-01-DR Winfield Springs No. 5 DR Mod
CROSS REF. _____
FILES: _____

The City of Kuna has adopted a Design Review process whose purpose is to make Kuna a pleasant and comfortable place to live and work. This Design Review process is based on standards and guidelines found in the Design Review Ordinance No. 2007-02 and the Architecture and Site Design Booklet. Both of these documents can be found online (www.cityofkuna.com) or are picked up in the City's Planning and zoning department is located at 763 W Avalon, Kuna ID. Staff is glad to assist you with your application form.

The Design Review application applies to the following land use actions:

- ▶ Multi- family dwellings (3 or more)
- ▶ Commercial
- ▶ Industrial
- ▶ Institutional
- ▶ Office
- ▶ Common Area
- ▶ Subdivision Signage
- ▶ Proposed Conversions
- ▶ Proposed changes in land use and/or building use or exterior remodeling
- ▶ Exterior restoration, and enlargement or expansion of existing buildings, signs or sites.

Application Submittal Requirements

Applicant Use		Staff Use
<input type="checkbox"/>	Date of pre- application meeting : <u>N/A</u> <i>Note: Pre-Applications are valid for a period of three (3) months.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	A complete Design Review Application form <i>Note: It is the applicant's responsibility to use a current application.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Detailed letter of explanation or justification for the application, describing the project and design elements, and how the project complies with Design Review standards.	<input type="checkbox"/>
<input type="checkbox"/>	One (1) Vicinity Map (8 1/2" x 11") at 1" = 300' scale (or similar), label the location of the property and adjacent streets. <u>-N/A</u>	<input type="checkbox"/>
<input type="checkbox"/>	One 8 1/2" x 11" colored aerial photo depicting proposed site, street names, and surrounding area within five-hundred feet (500'). <u>- N/A</u>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Copy of Deed; and, if the applicant is not the owner, an original notarized statement (affidavit of legal interest) from the owner (and all interested parties) stating the applicant is authorized to submit this application.	<input type="checkbox"/>

Detailed site, landscape, drainage plan, elevation and to scale. *(No smaller than 1"=30', unless otherwise approved.)*

One of each plan (site, landscape, drainage plan and elevations) is required to be submitted in the following plan sizes:

*(1) 24" X 36" TO SCALE COPIES
(1) 11" X 17" REDUCTIONS
(1) 8 1/2" x 11" REDUCTIONS*

Provide a color rendering and material sample board specifically noting where each color and material is to be located on the structure.
Note: Provide photo of the colored rendering and material samples board to City Staff electronically in a JPG or PDF format.

The Applicant is obligated to provide a site plan that graphically portrays the site and includes the following features:

Site Plan - N/A

Applicant Use

North Arrow

To scale drawings

Property lines

Name of "Plan Preparer" with contact information

Name of project and date

Existing structures, identify those which are to be relocated or removed

On-site and adjoining streets, alleys, private drives and rights-of-way

Drainage location and method of on-site retention / detention

Location of public restrooms

Existing / proposed utility service and any above-ground utility structures and their location

Location and width of easements, canals and drainage ditches

Location and dimension of off-street parking

Locations and sizes of any loading area, docks, ramps and vehicle storage or service areas

Trash storage areas and exterior mechanical equipment, with proposed method of screening

Sign locations *(a separate sign application must be submitted with this application)*

On-site transportation circulation plan for motor vehicles, pedestrians and bicycles

Locations and uses of ALL open spaces

Locations, types and sizes of sound and visual buffers *(Note: all buffers must be located outside the public right-of-way)*

Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle

Locations of subdivision lines *(if applicable)*

Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles

Location of walls and fences and indication of their height and material of construction

Roofline and foundation plan of building, location on the site

Location and designations of all sidewalks

Location and designation of all rights-of-way and property lines

Staff Use

Landscape and Streetscape Plan

The landscape and streetscape plans need to be drawn by the project architect, professional landscape architect, landscape designer, or qualified nurseryman for development's possessing more than twelve thousand (12,000) square feet of private land. The landscaped and streetscape plans must be colored. The Planning Director or City Forester may require the preparation of a landscape plan for smaller developments by one of the noted individuals if the lot(s) have unique attributes.

Applicant Use		Staff Use
<input checked="" type="checkbox"/>	North Arrow	<input type="checkbox"/>
<input checked="" type="checkbox"/>	To scale drawings	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Boundaries, property lines and dimensions	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of "Plan Preparer" with contact information	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Name of project and date	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Type and location of all plant materials and other ground covers. <i>Please review the City's plant list and rely upon it to identify the site's planting strategy. Include botanical and common name, quantity, spacing and sizes of all proposed landscape materials at the time of planting, and at maturity. A list of acceptable trees is available upon request from City Planning Staff. If there are any questions, please contact the City Forester, Natalie Reeder, at 208.880.0953</i>	<input type="checkbox"/>
<input type="checkbox"/>	Existing vegetation identified by specific size. Identify those which are proposed to be relocated or removed. <i>N/A</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Method of irrigation. <i>Note: All plant materials, except existing native plants not damaged during construction or xeriscape species shown not to require regular watering, shall be irrigated by underground sprinkler systems set on a timer in order to obtain proper watering duration and ease of maintenance.</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location, description, materials, and cross-sections of special features, including berming, retaining walls, hedges, fences, fountains street/pathway furniture (benches, etc.), etc. Sign locations <i>Note: A separate sign application must be submitted with this application</i>	<input type="checkbox"/>
<input type="checkbox"/>	Locations and uses for open spaces <i>N/A</i>	<input type="checkbox"/>
<input type="checkbox"/>	Parking layout including spaces, driveways, curb cuts, circulation patterns, pedestrian walks and vision triangle <i>N/A</i>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Illustration that demonstrates adequate sight distance is provided for motor vehicles, pedestrians and bicycles	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Location and designations of all sidewalks	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Engineered grading and drainage plans: A generalized drainage plan showing direction drainage with proposed on-site retention. Upon submission of building/construction plans for an approved design review application, a detailed site grading and drainage plan, prepared by a registered professional engineer (PE) shall be submitted to the City for review and approval by the City Engineer.	<input type="checkbox"/>

Building Elevations - N/A

Applicant Use

Detailed elevation plans of each side of any proposed building(s) or additions(s)
Note: Four (4) elevations to include all sides of development and must be in color

Staff Use

Identify the elevations as to north, south, east, and west orientation

Colored copies of all proposed building materials and indication where each material and color application is to be located

Note: Submit as 11"x17" reductions

Screening/treatment of mechanical equipment

Provide a cross-section of the building showing any roof top mechanical units and their roof placement

Detailed elevation plans showing the materials to be used in construction of trash enclosures

Lighting Plan - N/A

Applicant Use

Exterior lighting including detailed cut sheets and photometric plan (pedestrian, vehicle, security, decoration)

Staff Use

Types and wattage of all light fixtures

Note: The City encourages use of "dark sky" lighting fixtures

Placement of all light fixtures shown on elevations and landscaping plans

Roof Plans - N/A

Applicant Use

Size and location of all roof top mechanical units

Staff Use

Design Review Application

Applicant: Toll ID I, LLC Phone: (208) 780 - 6737

Owner Representative Fax/Email: _____

Applicant's Address: 3103 W Sheryl Drive, Suite 100

Meridian, ID Zip: 83642

Owner: Toll ID I, LLC Phone: (208) 780 - 6737

Owner's Address: 3103 W Sheryl Drive, Suite 100 Email: ldennison-swisse@tollbrothers.com

Meridian, ID Zip: 83642

Represented By: *(if different from above)* Lyle Dennison-Swisse Phone: (208) 780 - 6737

Address: 3103 W Sheryl Drive, Suite 100 Email: ldennison-swisse@tollbrothers.com

Meridian, ID Zip: 83642

Address of Property: E Ardell Road

Kuna, ID Zip: 83634

Distance from Major Cross Street: 700' West Street Name(s): Meridian RD X Ardell RD

Please check the box that reflects the intent of the application

BUILDING DESIGN REVIEW
 SUBDIVISION / COMMON AREA LANDSCAPE

DESIGN REVIEW MODIFICATION
 STAFF LEVEL APPLICATION

This Design Review application is a request to construct, add or change the following: *(Briefly explain the nature of the request.)*

We are requesting to change landscape plan from previously approved final plat landscape plan to incorporate gabion style retaining walls along the Ardell RD frontage.

All changes are to Lot 1, Block 16 that is the acting buffer between Ardell RD and residential lots. Our request is to reduce some of the large tree plantings to accommodate the retaining walls.

1. Dimension of Property: Approx 650' L X 20' W
2. Current Land Use(s): Residential (landscape buffer between Ardell RD and residential lots)
3. What are the land uses of the adjoining properties?
 - North: Agricultural
 - South: Residential
 - East: Agricultural
 - West: Residential
4. Is the project intended to be phased, if so what is the phasing time period? Late Winter/Early Spring 2021
 Please explain: The changed requested are planned for install upon the approval of DR MOD and building permit.

5. The number and use(s) of all structures: two (2) retaining walls that are gabion basket style. Lower wall will be approx. 4' tall and upper wall will be approx. 3' tall. Retaining walls are needed in this area to mitigate steep slopes needed between Phase 6 of Winfield Springs and Ardell RD

6. Building heights: N/A Number of stories: N/A
 The height and width relationship of new structures shall be compatible and consistent with the architectural character of the area and proposed use.

Note: The maximum building height for each zoning district is as follows:

L-O: 35'	C-2: 60'	CBD: 80'	M-2: 60'	P: 60'
C-1: 35'	C-3: 60'	M-1: 60'	M-3: 60'	

7. What is the percentage of building space on the lot when compared to the total lot area? N/A
8. Exterior building materials & colors: *(Note: This section must be completed in compliance with the City of Kuna Ordinance No. 2007-21A (as amended); found online at www.cityofkuna.com under the City Code.*

MATERIAL

COLOR

Roof: N/A / N/A

Walls: *(State percentage of wall coverage fro each type of building material below for each frontage wall) if there is not adequate space to identify the various building materials and applications, please list them on the attached sheet of this application. Please attach photos to support application types.*

Wall assembly consists of ArtWeld Gabions as identified on "Hilfiker Retaining Wall Design" and dark basalt rock produced by Winfield Springs site excavation for wet utilities.

- | | | | |
|--|------------|---|------------|
| % of Wood application: | <u>N/A</u> | / | <u>N/A</u> |
| % EIFS:
<i>(Exterior Insulation Finish System)</i> | <u>N/A</u> | / | <u>N/A</u> |
| % Masonry: | <u>N/A</u> | / | <u>N/A</u> |
| % Face Block: | <u>N/A</u> | / | <u>N/A</u> |
| % Stucco: | <u>N/A</u> | / | <u>N/A</u> |
| & other material(s): | <u>N/A</u> | / | <u>N/A</u> |
| List all other materials: | <u>N/A</u> | | |
| Windows/Doors:
<i>(Type of window frames & styles / doors & styles, material)</i> | <u>N/A</u> | / | <u>N/A</u> |
| Soffits and fascia material: | <u>N/A</u> | / | <u>N/A</u> |
| Trim, etc.: | <u>N/A</u> | / | <u>N/A</u> |

Other: N/A / N/A

9. Please identify Mechanical Units: N/A
Type/Height: N/A
Proposed Screening Method: N/A

10. Please identify trash enclosure: *(size, location, screening & construction materials)* N/A

11. Are there any irrigation ditches/canals on or adjacent to the property? No
If yes, what is the name of the irrigation or drainage provider? N/A

12. Fencing: *(Please provide information about new fencing material as well as any exiting fencing material)*
No deviation from originally approved fence plan is requested.
Type: N/A
Size: N/A
Location: N/A

(Please note that the City has height limitations of fencing material and requires a fence permit to be obtained prior to installation)

13. Proposed method of On-site Drainage Retention/Detention:
No deviation from originally approved on-site drainage retention/detention is requested.

14. Percentage of Site Devoted to Building Coverage: N/A
% of Site Devoted to Landscaping: N/A Square Footage: N/A
(Including landscaped rights-of-way)
% of Site that is Hard Surface: N/A Square Footage: N/A
(Paving, driveways, walkways, etc.)
% of Site Devoted to other uses: N/A
Describe: N/A
% of landscaping within the parking lot (landscaped islands, etc.): N/A

15. For details, please provide dimensions of landscaped areas within public rights-of-way:
N/A

16. Are there any existing trees of 4" or greater in caliper on the property? *(Please provide the information on the site plans.)*
If yes, what type, size and the general location? *(The City's goal is to preserve existing tree with greater than a four inch (4") caliper whenever possible):*
No

17. Dock Loading Facilities:
Number of docking facilities and their location: N/A
Method of screening: N/A

18. Pedestrian Amenities: *(bike racks, receptacles, drinking fountains, benches, etc.)* N/A

19. Setbacks of the proposed building from property lines:

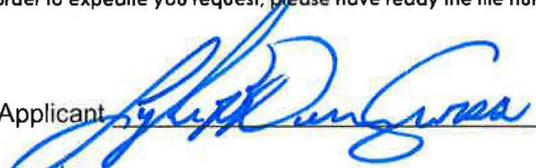
Front N/A -feet Rear N/A -feet Side N/A -feet Side N/A -feet

20. Parking requirements: N/A
Total Number of Parking Spaces: N/A Width and Length of Spaces: N/A
Total Number of Compact Spaces 8'x17'): N/A

21. Is any portion of the property subject to flooding conditions? Yes _____ No X

IF THE PLANNING DIRECTOR OR DESIGNEE, THE DESIGN REVIEW BOARD AND/OR THE CITY COUNCIL DETERMINE THAT ADDITIONAL AND/OR REVISED INFORMATION IS NEEDED, AND/OR IF OTHER UNFORESEEN CIRCUMSTANCES ARISE, ANY DATES OUTLINED FOR PROCESSING MAY BE RECHEDULED BY THE CITY. APPLICANT/REPRESENTATIVE MUST ATTEND THE DESIGN REVIEW BOARD MEETING/PLANNING AND ZONING MEETINGS.

The Ada County Highway District may also conduct public meetings regarding this application. If you have questions about the meeting date or the traffic that this development may generate or the impact of that traffic on streets in the area, please contact the Ada County Highway District at 208.387.6170. In order to expedite your request, please have ready the file number indicated in this notice.

Signature of Applicant  Date 1.14.2021

City staff comments:

Signature of receipt by City Staff _____ Date _____

FOR ADDITIONAL INFORMATION:
(Please list page number and item in reference)

Toll Brothers®

LAND DEVELOPMENT

PAVING THE WAY FOR AMERICA'S LUXURY HOMEBUILDER

January 13, 2021

Subject: Winfield Springs Design Review Modification

City of Kuna Planning and Zoning Department,

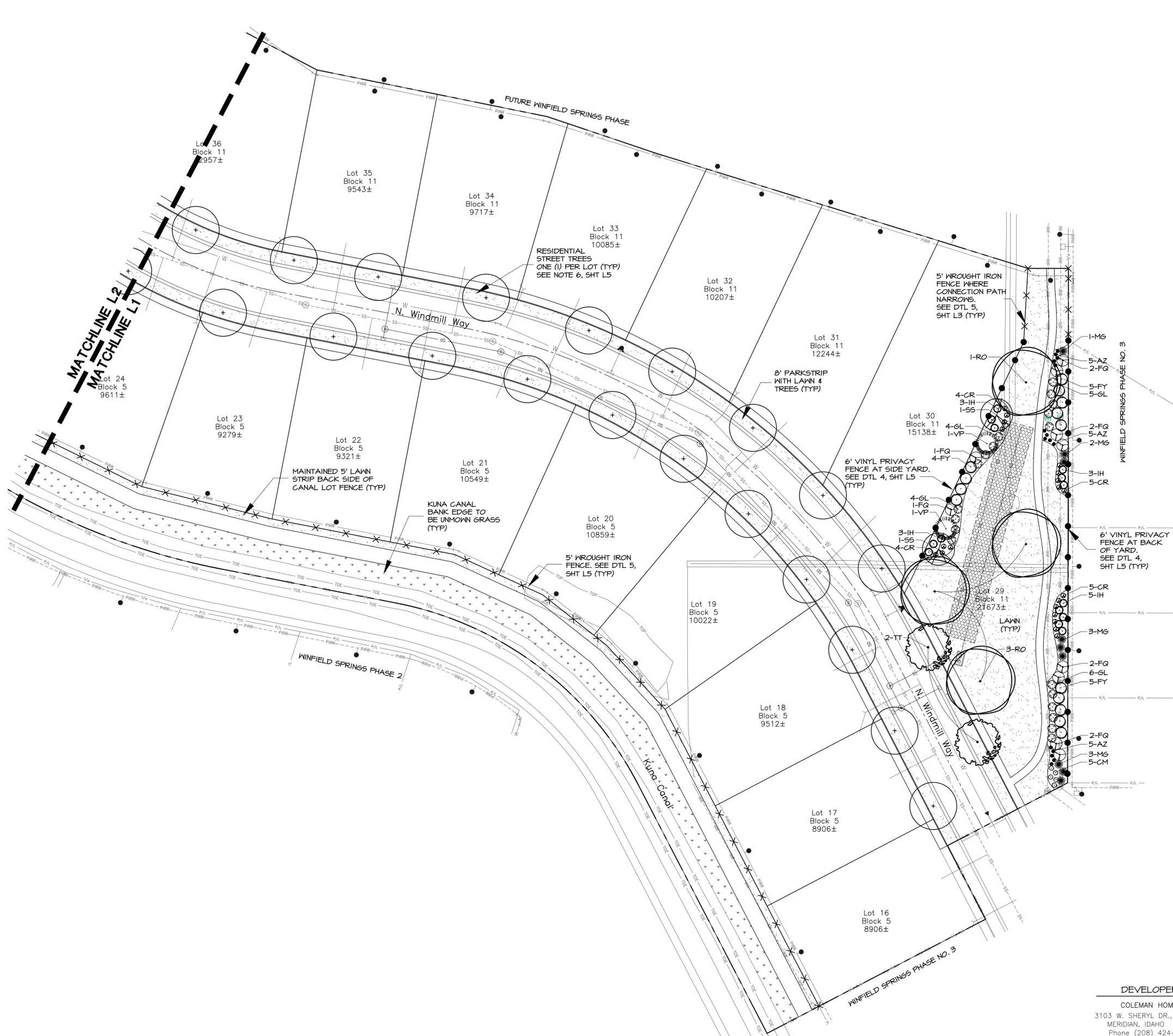
This letter is to request the approval of our revised landscape plans along the eastern section of Ardell Rd. frontage at Winfield Springs. We feel that the previously approved landscape plans do not adequately address the aggressive slope along the Eastern section of our community's Ardell Rd. frontage. The original plan did not account for the grade changes from Ardell Rd to our Phase 6 residential lots. To better transition in this area, we are intending to install tiered gabion basket walls that will complement our entry monument on the opposite community entrance along Deer Flat Rd. Our design will also utilize ornamental grasses, perennials, and shrubs in place of trees to prevent undue maintenance and potential slope instability along the frontage slope. The addition of the tiered gabion will tie in nicely to our community and complement the other frontage along Deer Flat. This design, to our knowledge, complies with all design review standards.

Should you have any questions or need further documentation, please do not hesitate to contact me.

Respectfully Submitted,



Lyle Dennison-Swisse
Land Development Manager
Toll Brothers Land Development
(208) 780 - 6737
Ldennison-swisse@tollbrothers.com



PLANT SCHEDULE

(REFERENCE SHT L5)

SYM COMMON NAME

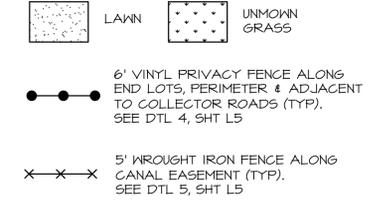
EVERGREEN TREES	
BS	BLUE SPRUCE
NS	NORWAY SPRUCE
SR	SKY ROCKET JUNIPER
VP	VANDERWOLF'S PINE
SHADE TREES (CLASS III)	
LF	LONDON PLANETREE
RO	NORTHERN RED OAK

APPROVED RESIDENTIAL STREET TREE SELECTION LIST:

STREET TREES (CLASS II)	
AP	AUTUMN PURPLE ASH
GL	GREENSPIRE LINDEN
HL	SKYLINE HONEYLOCUST
PA	PATMORE ASH
RP	REDSPICE PEAR
SG	MORAIN SWEETGUM
TT	TULIP TREE

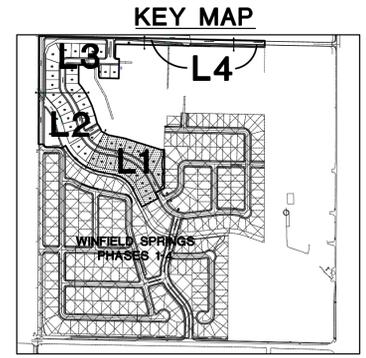
ORNAMENTAL TREES (CLASS I)	
AM	AMUR MAPLE
RR	ROYAL RAINDROP CRABAPPLE
SS	SPRING SNOW CRABAPPLE

SHRUBS/ORNAMENTAL GRASSES/PERENNIALS	
AZ	ARIZONA SUN BLANKET FLOWER
BA	BLONDE AMBITION BLUE GRAMA GRASS
BE	BLACK EYED SUSAN
BL	BLACK LAGE ELDERBERRY
CB	CRIMSON PYGMY BARBERRY
CF	PURPLE CONEFLOWER
CM	JUNIOR WALKER CATMINT
CR	RED FLOWER CARPET ROSE
DL	STELLA D'ORO DAYLILLY
EB	ELIJAH BLUE FESCUE
FL	FINE LINE BUCKTHORN
FQ	SUPER RED FLOWERING QUINCE
FY	MEADOWLARK FORSYTHIA
GL	GRO-LOW SUMAC
GS	GOLDSPLASH EUONYMUS
IH	IVORY HALO DOGWOOD
KF	KARL FOERSTER REED GRASS
LD	LITTLE DEVIL NINEBARK
MG	MAIDEN GRASS
SM	SLOWMOUND MUGO PINE
SN	SUMMERWINE NINEBARK
WP	DWARF EASTERN WHITE PINE



NOTES

- REFER TO SHT L5 FOR PLANT SCHEDULE, LANDSCAPE NOTES, DETAILS, AND LANDSCAPE CALCULATIONS.
- REFER TO SHT L6 FOR LANDSCAPE SPECIFICATION AND IRRIGATION PERFORMANCE SPECIFICATION.



DEVELOPER
 COLEMAN HOMES
 3103 W. SHERYL DR., STE. 100
 MERIDIAN, IDAHO 83642
 Phone (208) 424-0020
 Fax (208) 424-0030



Issue	Description	Date
ISSUE		2-18-19
SD REVISIONS		2-26-19
SD REVISIONS		1-6-20
GABION WALL		12-15-20



Site Planning
 Landscape Architecture
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 Boise, Idaho 83706
 Ph. (208) 343-7175
 www.jensenbelts.com

WINFIELD SPRINGS NO. 5

FINAL PLAT LANDSCAPE PLAN

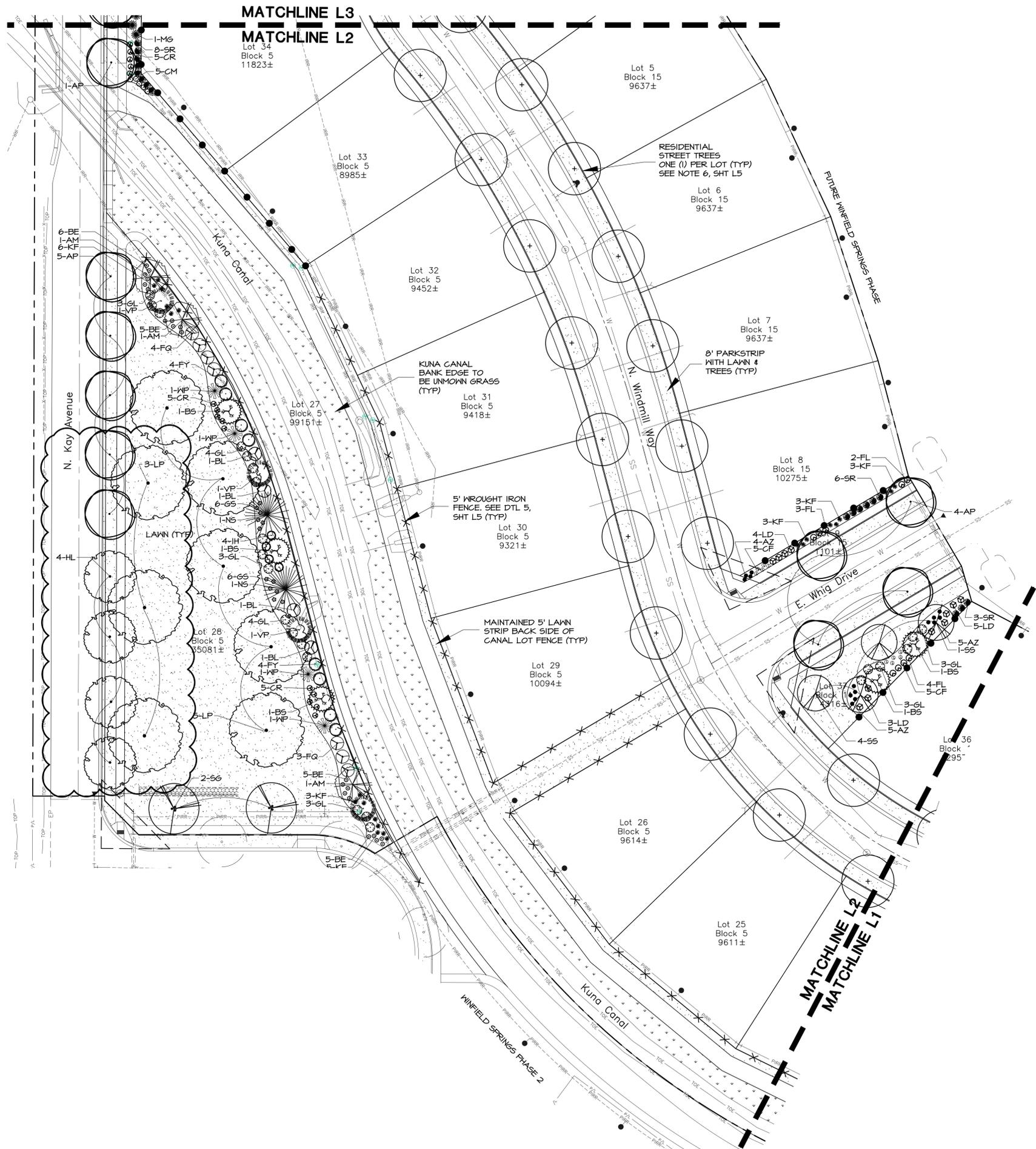
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Job Number 1888

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Sheet Title
LANDSCAPE PLAN

Sheet Number
L1
 Of 6 Sheets



PLANT SCHEDULE

(REFERENCE SHT L5)

SYM COMMON NAME

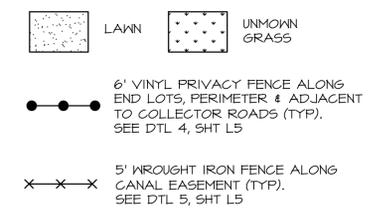
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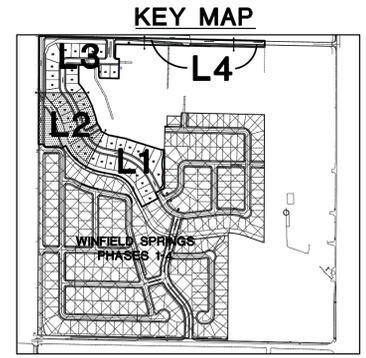
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ADD TREES	6-4-20
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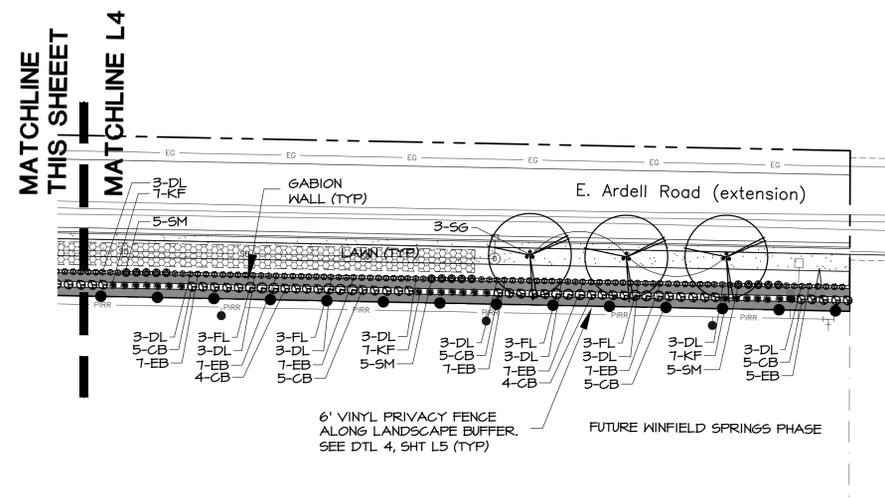
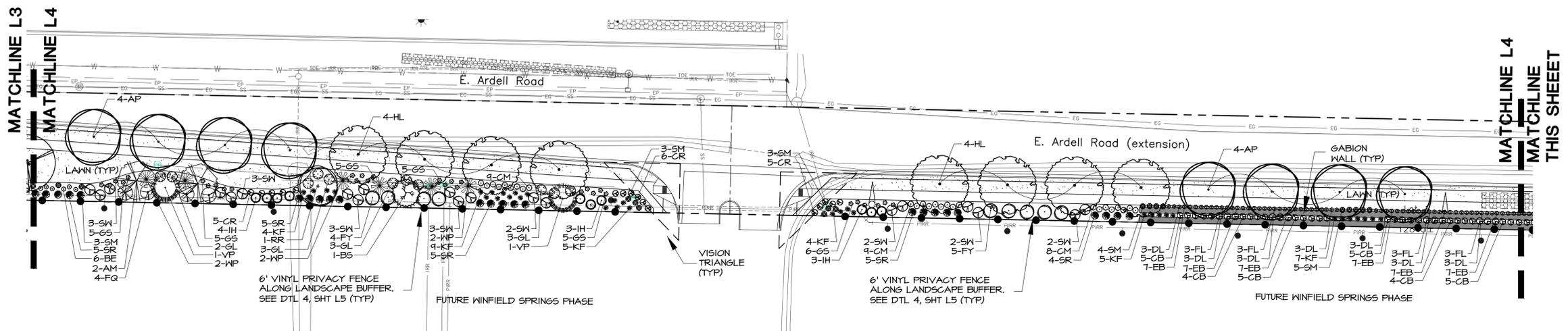
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Sheet Title
LANDSCAPE PLAN

Sheet Number
L2
 Of 6 Sheets



PLANT SCHEDULE

(REFERENCE SHT L5)

SYM COMMON NAME

EVERGREEN TREES
 BS BLUE SPRUCE
 NS NORWAY SPRUCE
 SR SKY ROCKET JUNIPER
 VP VANDERKNOFF'S PINE

SHADE TREES (CLASS III)
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 RF REDSPIRE PEAR
 SG MORaine SWEETGUM
 TT TULIP TREE

ORNAMENTAL TREES (CLASS I)
 AM AMUR MAPLE
 RR ROYAL RAINDROP CRABAPPLE
 SS SPRING SNOW CRABAPPLE

●●●●● 6' VINYL PRIVACY FENCE ALONG END LOTS, PERIMETER & ADJACENT TO COLLECTOR ROADS (TYP). SEE DTL 4, SHT L5

SYM COMMON NAME

SHRUBS/ORNAMENTAL GRASSES/PERENNIALS

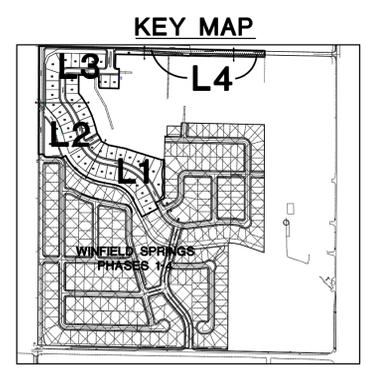
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 KF KARL FOERSTER REED GRASS
 LD LITTLE DEVIL NINEBARK
 MG MAIDEN GRASS
 SM SLOWMOUND MUGO PINE
 SN SUMMERWINE NINEBARK
 WP DWARF EASTERN WHITE PINE

■ LAWN ■ UNKNOWN GRASS

××××× 5' WROUGHT IRON FENCE ALONG CANAL EASEMENT (TYP). SEE DTL 5, SHT L5

NOTES

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KUNA, IDAHO

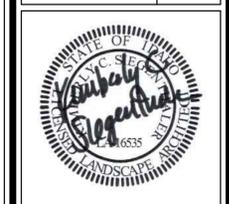
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LANDSCAPE PLAN

Sheet Number
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FINAL PLAT LANDSCAPE PLAN
KUNA, IDAHO

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Drawn JUN JUN
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Scale AS SHOWN

Sheet Title
LANDSCAPE PLAN

Sheet Number
L5
Of 6 Sheets

PLANT SCHEDULE

SYM	COMMON NAME	BOTANICAL NAME	SIZE	MATURE SIZE
EVERGREEN TREES				
B5	BLUE SPRUCE	PICEA PUNGENS 'MOERHEIM'	6-8' HT B4B	30' HT x 15' W
N5	NORWAY SPRUCE	PICEA ABIES	6-8' HT B4B	70' HT x 40' W
5R	SKY ROCKET JUNIPER	JUNIPERUS SCOPULORUM 'SKYROCKET'	6-8' HT B4B	15' HT x 3' W
VP	VANDERWOLF'S PINE	PINUS FLEXILIS 'VANDERWOLFS'	6-8' HT B4B	30' HT x 15' W

SHADE TREES (CLASS III)				
LP	LONDON PLANETREE	PLATANUS x ACERIFOLIA 'BLOODGOOD'	2' CAL B4B	60' HT x 50' W
RO	NORTHERN RED OAK	QUERCUS RUBRA	2' CAL B4B	60' HT x 40' W

APPROVED RESIDENTIAL STREET TREE SELECTION LIST:				
STREET TREES (CLASS II)				
AP	AUTUMN PURPLE ASH	FRAXINUS AMERICANA 'AUTUMN PURPLE'	2' CAL B4B	45' HT x 35' W
	GREENSPIRE LINDEN	TILIA CORDATA 'GREENSPIRE'	2' CAL B4B	45' HT x 30' W
HL	SKYLINE HONEYLOCUST	GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	2' CAL B4B	40' HT x 40' W
	PATMORE ASH	FRAXINUS PENNSYLVANICA 'PATMORE'	2' CAL B4B	30' HT x 25' W
	REDSPIRE PEAR	PYRUS CALLERYANA 'REDSPIRE'	2' CAL B4B	40' HT x 40' W
SG	MORAIN SWEETGUM	LIQUIDAMBER STYRACIFLUA 'MORAIN'	2' CAL B4B	50' HT x 30' W
TT	TULIP TREE	LIRIODENDRON TULIFIFERA	2' CAL B4B	50' HT x 30' W

ORNAMENTAL TREES (CLASS I)				
AM	AMUR MAPLE	ACER GINNALA 'FLAME'	2' CAL B4B	20' HT x 25' W
RR	ROYAL RAINDROP CRABAPPLE	MALUS x 'ROYAL RAINDROP'	2' CAL B4B	20' HT x 20' W
SS	SPRING SNOW CRABAPPLE	MALUS x 'SPRING SNOW'	2' CAL B4B	20' HT x 20' W

SHRUBS/ORNAMENTAL GRASSES/PERENNIALS				
AZ	ARIZONA SUN BLANKET FLOWER	GAILLARDIA x 'ARIZONA SUN'	1 GAL	1' HT x 2' W
BA	BLONDE AMBITION BLUE GRAMA GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 GAL	2.5' HT x 3' W
BE	BLACK EYED SUSAN	RUDBECKIA FULGIDA 'GOLDSTRUM'	1 GAL	2' HT x 2' W
BL	BLACK LACE ELDERBERRY	SAMBUCUS NIGRA 'EVA'	7 GAL	8' HT x 8' W
CB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'CRIMSON PYGMY'	3 GAL	2' HT x 3' W
CF	PURPLE CONEFLOWER	ECHINACEA PURPUREA	1 GAL	2' HT x 2' W
CM	JUNIOR WALKER CATMINT	NEPETA x FAASSENII 'NOVANEJUN'	1 GAL	1.5' HT x 2.5' W
CR	RED FLOWER CARPET ROSE	ROSA 'FLOWER CARPET- NOARE'	3 GAL	3' HT x 3' W
DL	STELLA D'ORO DAYLILLY	HEMEROCALLIS x 'STELLA D'ORO'	1 GAL	1.5' HT x 1.5' W
EB	ELIJAH BLUE FESCUE	FESTUCA GLAUCA 'ELIJAH BLUE'	1 GAL	1' HT x 1' W
FL	FINE LINE BUGTHORN	RHAMNUS FRAGULA 'RON WILLIAMS'	5 GAL	6' HT x 2.5' W
FQ	SUPER RED FLOWERING QUINCE	CHAENOMELES JAPONICA 'MONED'	5 GAL	8' HT x 8' W
FY	MEADOWLARK FORSYTHIA	FORSYTHIA x 'MEADOWLARK'	5 GAL	8' HT x 10' W
GL	GRO-LOW SUMAC	RHUS AROMATICA 'GRO-LOW'	5 GAL	2.5' HT x 6' W
GS	GOLDSPLASH EUONYMUS	EUONYMUS FORTUNEI 'ROEMERTNO'	3 GAL	2' HT x 2' W
IH	IVORY HALO DOGWOOD	CORNUS ALBA 'BAILHALO'	5 GAL	5' HT x 6' W
KF	KARL FOERSTER REED GRASS	CALAMAGROSTIS ARUNDINACEA 'K.F.'	1 GAL	4' HT x 2' W
LD	LITTLE DEVIL NINEBARK	PHYSCARPUS OPULIFOLIUS 'DONNA MAY'	5 GAL	3' HT x 3' W
MG	MAIDEN GRASS	MISCANTHUS SINENSIS 'GRACILLIMUS'	1 GAL	7' HT x 5' W
SM	SLOWMOUND MUGO PINE	PINUS MUGO 'SLOWMOUND'	5 GAL	3' HT x 3' W
SN	SUMMERWINE NINEBARK	PHYSCARPUS OPULIFOLIA 'SEWARD'	5 GAL	6' HT x 6' W
NP	DWARF EASTERN WHITE PINE	PINUS STROBUS 'NANA'	7 GAL	6' HT x 8' W



NOTES

- ALL LANDSCAPE SHALL BE INSTALLED IN ACCORDANCE WITH KUNA CITY ORDINANCE REQUIREMENTS. ALL LOTS WILL COMPLY WITH KUNA CITY ORDINANCE REQUIRING ONE (1) TREE PER LOT (PROVIDED BY BUILDER AND/OR DEVELOPER).
- REFER TO THIS SHT FOR LANDSCAPE DETAILS AND SHT L6 - SPEC SECTION 02900 FOR LANDSCAPE SPECIFICATIONS.
- ALL PLANTING AREAS TO BE WATERED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. REFER TO IRRIGATION PERFORMANCE SPEC SECTION 02810, SHT L6.
- TREES SHALL NOT BE PLANTED WITHIN THE 10'-CLEAR ZONE OF ALL ACHD STORM DRAIN PIPE, STRUCTURES, OR FACILITIES. SEEPAGE BEDS MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
- NO TREES SHALL IMPEDE THE 40' STREET AND DEPARTURE VISION TRIANGLES AT ALL INTERSECTIONS. NO CONIFEROUS TREES OR SHRUBS OVER 3' HIGH AT MATURITY WILL BE LOCATED WITHIN VISION TRIANGLE OR ACHD ROW. AS TREES MATURE, THE OWNER SHALL BE RESPONSIBLE FOR PRUNING TREE CANOPIES TO MEET ACHD REQUIREMENTS FOR MAINTAINING CLEAR VISIBILITY WITHIN 40' STREET AND DEPARTURE VISION TRIANGLE. TREES SHALL BE PLANTED NO CLOSER THAN 50' FROM STOP SIGNS.
- LANDSCAPE AND TREES IN FRONT OF BUILDING LOTS ON INTERIOR STREETS TO BE COMPLETED DURING CONSTRUCTION OF THESE LOTS. TREE SPECIES TO BE SELECTED BY HOME OWNER/BUILDER FROM APPROVED RESIDENTIAL STREET TREE SELECTION LIST AS SHOWN IN PLANT SCHEDULE. TREE LOCATIONS MAY BE ALTERED TO ACCOMMODATE DRIVEWAYS AND UTILITIES. TREES SHALL NOT BE PLANTED WITHIN 5' OF WATER METERS OR UTILITY LINES.
- PLANT LIST IS REPRESENTATIVE AND SUBJECT TO SUBSTITUTIONS OF SIMILAR SPECIES BY OWNER, SUBJECT TO CITY FORESTER'S PRE-APPROVAL. PLANTING BED DESIGN AND QUANTITIES MAY BE ALTERED DURING FINAL PLAT LANDSCAPE PLAN DESIGN. BURLAP AND WIRE BASKETS TO BE REMOVED FROM ROOT BALL AS MUCH AS POSSIBLE, AT LEAST HALFWAY DOWN THE BALL OF THE TREE. ALL NYLON ROPES TO BE COMPLETELY REMOVED FROM TREES.

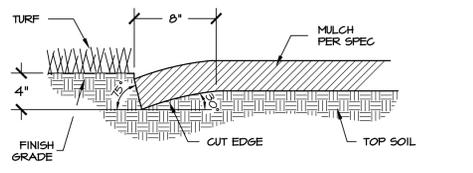
LANDSCAPE CALCULATIONS

LANDSCAPE BUFFER ARE REQUIRED TO BE PLANTED WITH THE FOLLOWING PLANTS PER 100 LINEAR FEET: TWO (2) SHADE TREES, THREE (3) EVERGREEN TREES, AND TWELVE (12) SHRUBS. EACH REQUIRED SHADE TREE MAY BE SUBSTITUTED FOR TWO (2) FLOWERING/ORNAMENTAL TREES.

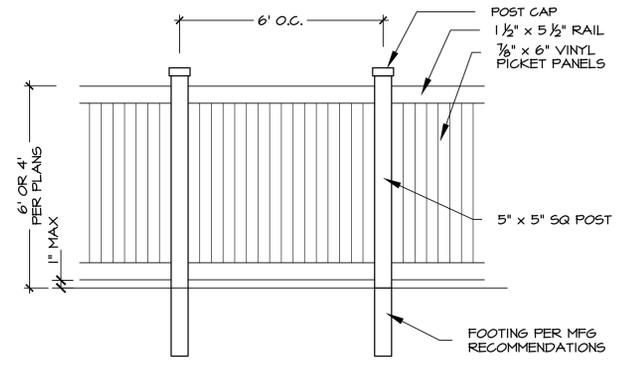
LOCATION	BUFFER WIDTH	LENGTH	REQUIRED	PROVIDED
E. ARDELL RD.	VARIES	1800' / 100' =	36 TREES	55 TREES (31 SHADE TREES + 18 ORNAMENTAL TREES)
			54 EVERGREENS 216 SHRUBS	76 EVERGREENS 530 SHRUBS
N. KAY AVE.	20'	845' / 100' =	17 TREES	22 TREES (20 SHADE TREES + 2 ORNAMENTAL TREES)
			26 EVERGREENS 102 SHRUBS	26 EVERGREENS 118 SHRUBS
NUMBER OF TREES PROVIDED ON BUFFERS:			174	
NUMBER OF TREES PROVIDED ON COMMON LOTS:			75	
NUMBER OF TREES PROVIDED ON RESIDENTIAL STREETS:			52	
TOTAL NUMBER OF TREES:			306	

THERE ARE NO EXISTING TREES ON SITE.

DEVELOPER
COLEMAN HOMES
3103 W. SHERYL DR., STE. 100
MERIDIAN, IDAHO 83642
Phone (208) 424-0020
Fax (208) 424-0030

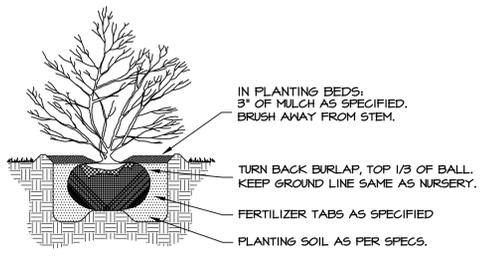


1 PLANTER CUT BED EDGE
NOT TO SCALE



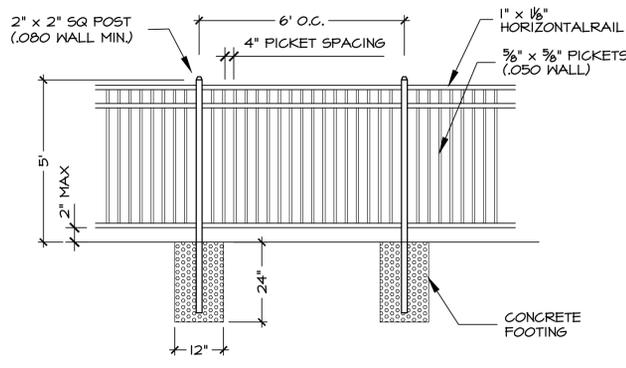
- NOTES:
- FENCE STYLE AND COLOR TO MATCH EXISTING WINFIELD SPRINGS SUBDIVISION FENCING.
 - FENCE TO STEP DOWN TO 3' HEIGHT 20' FROM ROW.
 - 6" WIDE ROCK MULCH MOW STRIP TO BE INSTALL AT BASE OF FENCE ON COMMON LOT SIDE.

4 VINYL PRIVACY FENCE
NOT TO SCALE



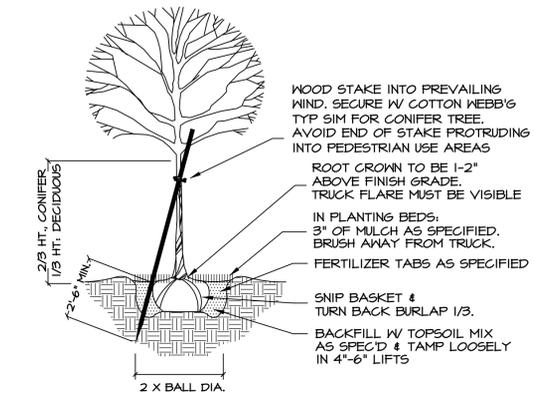
NOTE: DIG HOLE TWICE THE SIZE OF ROOTBALL.

2 SHRUB PLANTING
NOT TO SCALE



- NOTES:
- FENCE STYLE AND COLOR TO MATCH EXISTING WINFIELD SPRINGS SUBDIVISION FENCING.
 - FENCE TO STEP DOWN TO 3' HEIGHT 20' FROM ROW.

5 WROUGHT IRON FENCE
NOT TO SCALE



- NOTES:
- REMOVE ALL TWINE, ROPE, OR BINDINGS FROM ALL TRUNKS.
 - REMOVE BURLAP AND WIRE BASKETS FROM THE TOP 1/3 OF ALL ROOT BALLS AFTER PLANTING.
 - IF SYNTHETIC WRAP/BURLAP IS USED, IT MUST BE COMPLETELY REMOVED.

3 TREE PLANTING/STAKING
NOT TO SCALE

SECTION 32 90 00 - LANDSCAPE WORK

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

A. Drawings and general provisions of Contract, including General and Supplementary Conditions and Division 1 Specification Sections.

1.2 SUMMARY

A. This Section includes provisions for the following items:

- 1. Trees.
2. Shrubs; Ground cover.
3. Lawns.
4. Topsoil and Soil Amendments.
5. Miscellaneous Landscape Elements.

6. Initial maintenance of landscape materials.

B. Related Sections: The following sections contain requirements.

- 1. Underground sprinkler system is specified in Section 32 84 00. "Irrigation System."

1.3 QUALITY ASSURANCE

A. Subcontract landscape work to a single firm specializing in landscape work.

B. Source Quality Control.

- 1. General: Ship landscape materials with certificates of inspection required by governing authorities. Comply with regulations applicable to landscape materials.
2. Do not make substitutions. If specified landscape material is not obtainable, submit proof of non-availability to Architect, with proposal for use of equivalent material.

3. Analysis and Standards: Package standard products with manufacturer's certified analysis. For other materials, provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Agriculture Chemists, wherever applicable.

4. Trees, Shrubs and Groundcovers: Provide trees, shrubs, and groundcovers of quantity, size, genus, species, and variety shown and scheduled for work complying with recommendations and requirements of ANSI Z60.1 "American Standard for Nursery Stock". Provide healthy, vigorous stock, grown in recognized nursery in accordance with good horticultural practice and free of disease, insects, eggs, larvae, and defects such as knots, sun-scald, injuries, abrasions, or discoloration.

5. Label at least one tree and one shrub of each variety with attached waterproof tag with legible designation of botanical and common name.

a. Where formal arrangements or consecutive order of trees or shrubs are shown, select stock for uniform height and spread.

6. Inspection: The Architect may inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size, and quality. Architect retains right to further inspect trees and shrubs for size and condition of balls and root systems, insects, injuries and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Remove rejected trees or shrubs immediately from project site.

1.4 SUBMITTALS

A. General: Submit the following in accordance with Conditions of Contract and Division 1 Specification Sections.

B. Plant and Material Certifications:

- 1. Certificates of inspection as required by governmental authorities.
2. Manufacturer's or vendor's certified analysis for soil amendments and fertilizer materials.
3. Label data substantiating that plants, trees, shrubs and planting materials comply specified requirements.
4. Seed vendor's certified statement for each grass seed mixture required, stating botanical and common name, percentages by weight, and percentages of purity, germination, and weed seed for each grass seed species.
5. Mulch: Submit 1 gal bag of mulch sample for approval.

1.5 DELIVERY, STORAGE AND HANDLING

A. Seed shall be delivered to site in unopened container, with seed and inert material content clearly marked on outside of container. Container shall be stored on site for tally.

B. Sod: Time delivery so that sod will be placed within 24 hours after stripping. Protect sod against drying and breaking of rolled strips.

C. Trees and Shrubs: Provide freshly dug trees and shrubs. Do not prune prior to delivery unless otherwise approved by Architect. Do not bend or bind-tie trees or shrubs in such manner as to damage bark, break branches, or destroy natural shape. Provide protective covering during delivery. Do not drop balled and burlapped stock during delivery.

D. Deliver trees and shrubs after preparations for planting have been completed and plant immediately. If planting is delayed more than 6 hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist by covering with mulch, burlap or other acceptable means of retaining moisture.

E. Do not remove container-grown stock from containers until planting time.

F. Do not drop or dump materials from vehicles during delivery or handling. Avoid any damage to roadways during deliver, storage and handling.

1.6 JOB CONDITIONS

A. Utilities: Determine location of underground utilities and work in a manner which will avoid possible damage. Hand excavate, as required. Maintain grade stakes until removal is mutually agreed upon by parties concerned.

B. Excavation: When conditions detrimental to plant growth are encountered, such rubble fill, adverse drainage conditions, or obstructions, notify Architect before planting.

C. Adjacent Landscape: Protect planted areas adjacent to construction area. Replace or recondition to prior conditions at project completion.

1.7 SEQUENCING AND SCHEDULING

A. Planting Time: Proceed with, and complete landscape work as rapidly as portions of site become available, working within seasonal limitations for each kind of landscape work required.

1. Plant or install all plant materials during normal planting seasons from 15 March to 15 November.

2. Correlate planting with specified maintenance periods to provide maintenance from date of substantial completion.

B. Coordination with Lawns: Plant trees and shrubs after final grades are established and prior to planting of lawns, unless otherwise acceptable to Architect. If planting of trees and shrubs occurs after lawn work, protect lawn areas and promptly repair damage to lawns resulting from planting operations.

1.8 SPECIAL PROJECT WARRANTY

A. Warranty lawns through specified lawn maintenance period, until Final Project Acceptance. B. Warranty trees and shrubs, for a period of one year after date of substantial completion, against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others, or unusual phenomenon or incidents beyond Landscape Installer's control.

C. Remove and replace trees, shrubs, or other plants dead or in unhealthy condition during warranty period. Make replacements during growth season following end of warranty period. Replace trees and shrubs which are in doubtful condition at end of warranty period; unless, in opinion of Architect, it is advisable to extend warranty period for a full growing season.

PART 2 - PRODUCTS

2.1 TOPSOIL

A. If deemed usable, native topsoil shall be stockpiled for re-use in landscape work. Topsoil shall be fertile, friable, natural, loose, surface soil, reasonable free of subsoil, clay lumps, brush, weeds, roots, stumps, stones larger than 1 inch in any dimension, and other extraneous or toxic matter harmful to plant growth.

1. Contractor shall send a minimum of three (3) representative topsoil samples for testing. See testing requirements below. Contractor is responsible for whatever soil additives are recommended by the tests. Submit to Architect for approval. Compost will be added to other additives and added regardless of test results.

B. If quantity of stockpiled topsoil is insufficient, contractor to provide imported topsoil that is fertile, friable, natural, loose, surface soil, reasonably free of subsoil, clay lumps, brush, weeds and other litter, and free of roots, stumps, stones larger than 1 inches in any dimension, and other extraneous or toxic matter harmful to plant growth.

1. Obtain topsoil from local sources or areas with similar soil characteristics to that of project site. Obtain topsoil only from naturally well-drained sites where topsoil occurs in a depth of not less than 4 inches. Do not obtain from bogs or marshes.

2. Composition: Topsoil shall contain from 1 to 20% organic matter as determined by the Organic Carbon, 6A, Chemical Analysis Method described in USDA Soil Survey Investigation Report No. 1. Maximum particle size, 3/4-inch, with maximum 3% retained on 1/4-inch screen.

Other components shall conform to the following limits:

Table with 2 columns: Component (pH, Soluble Salts, Silt, Clay, Sand) and Limit (6.5 to 7.5, 600 ppm maximum 25-50%, 10-30%, 20-50%)

3. Contractor shall submit representative soil report on imported topsoil proposed for use for approval. Report shall meet standards below. Contractor is responsible for whatever soil additives are recommended by the test. Compost will be in addition to other additives and added regardless of test results.

C. Soil Testing

1. Soil tests are required for this project (see above for requirements). Test shall be provided as follows:

- a. Provide certified analysis at time of sample submitted (three samples imported topsoil). Amend soils per chemist's recommendations and as herein specified unless otherwise approved by Architect.
2. Test shall include, but not limited to recommendations on chemical distributions, organic contents, pH factors, and sieve analysis as necessary. Test #1T by Western Laboratories (1-800-658-3858) is required.
3. Contractor is responsible for whatever soil additives are recommended by the soil testing laboratory.
4. Contractor shall coordinate, obtain and pay for all soil tests.
5. If regenerative noxious weeds are present in the soil, remove all resultant growth including roots throughout one-year period after acceptance of work, at no cost to Owner.

2.2 pH ADJUSTERS

A. When pH does not comply with this specification, commercial grade aluminum sulfate shall be used to adjust soil pH.

2.3 SOIL AMENDMENTS

A. Compost: Compost: "Cascade Compost" from Cloverdale Nursery (208) 375-5262 and NuSoil Compost (208) 629-6912 or approved equal in equal amounts by volume.

B. Commercial Fertilizer: Fertilizer shall be complete, standard commercial brand fertilizer. It shall be free-flowing and packaged in new water-proof, non-overlaid bags clearly labeled as to weight, manufacturer, and content. Protect materials from deterioration during delivery and while stored at site.

1. Commercial fertilizer "A" for trees and shrubs during planting; slow release Agriform Planting 5-gram tablets 20-10-5 type or equal.

2. Commercial fertilizer "B" for lawn areas, applied to bed prior to seeding or sodding, to be 16-16-17 applied at the rate of ten pounds per acre.

3. Commercial fertilizer "C" for lawn areas three to four weeks after planting (sod) or after first mowing (seed). Organic Fertilizer Milorganite (6-0-2) type or equal.

C. Herbicide: Pre-emergent for topical application in planting beds. Oxidiazon 2G brand or pre-approved equal. Use in accordance with manufacturer's recommendation on all planting beds.

2.4 PLANT MATERIALS

A. Quality: Provide trees, shrubs, and other plants of size, genus, species, and variety shown for landscape work and complying with recommendations and requirements of ANSI Z60.1 "American Standard for Nursery Stock".

B. Deciduous Trees: Provide trees of height and caliper scheduled or shown with branching configuration recommended by ANSI Z60.1 for type and species required. Single stem trees except where special forms are shown or listed.

C. Deciduous Shrubs: Provide shrubs of the height shown or listed, not less than minimum number of cans required by ANSI Z60.1 for type and height of shrub.

D. Coniferous and Broadleafed Evergreens: Provide evergreens of sizes shown or listed. Dimensions indicate minimum spread for spreading and semi-spreading type evergreens and height for other types, such as globe, dwarf, cone, pyramid, broad upright, and columnar. Provide normal quality evergreens with well balanced form complying with requirements for other size relationships to the primary dimension shown.

2.5 GRASS MATERIALS

A. Lawn sod: Provide strongly rooted sod, not less than 1 growing season old, and free of weeds and undesirable native grasses. Provide only sod capable of growth and development when planted (viable, not dormant).

1. Provide sod of uniform pad sizes with maximum 5% deviation in either length or width. Broken pads or pads with uneven ends will not be acceptable. Sod pads incapable of supporting their own weight when suspended vertically with a firm grasp on upper 10% of pad will be rejected.

B. Provide sod composed of: Rhizomatous Tall Fescue (RTF) from The Turf Company, Meridian, ID (208) 888-3760 or approved equal.

C. Unknown Grass Seed

Table with 3 columns: Species (Festuca rubra communata, Festuca ovina 'Covar', Festuca longifolia), Quantity (Chewing Fescue 8.0lbs/acre, Covar Sheep Fescue 8.0lbs/acre, Hard Fescue 8.0lbs/acre), Total (24.0lbs/acre)

2.6 MISCELLANEOUS LANDSCAPE MATERIALS

A. Anti-Desiccant: Emulsion type, film-forming agent designed to permit transpiration, but retard excessive loss of moisture from plants. Deliver in manufacturer's fully identified containers and mix in accordance with manufacturer's instructions.

B. Mulch: Mulch for planting beds shall be rock mulch, to match existing subdivision rock mulch, consistent in appearance, and shall contain no toxic substance detrimental to plant life.

C. Stakes and Guys: Provide stakes and deadmen of sound new hardwood, treated softwood, or redwood, free of knot holes and other defects. Provide wire ties and guys of 2-strand, twisted, pliable galvanized iron wire, not lighter than 12 ga. with zinc-coated turnbuckles.

Provide not less than 2 inch diameter rubber or plastic hose, cut to required lengths and of uniform color, material, and size to protect tree trunks from damage by wires.

PART 3 - EXECUTION

3.1 PREPARATION - GENERAL

A. General Contractor shall be responsible for excavating planting areas to appropriate depths for placement of topsoil as specified herein.

B. Lay out individual tree and shrub locations and areas for multiple plantings. Stake locations and outline areas and secure Architect's acceptance before start of planting work. Make minor adjustments as may be required.

3.2 PREPARATION OF PLANTING SOIL

A. Before mixing, clean topsoil of roots, plants, sod, stones, clay lumps, and other extraneous materials harmful or toxic to plant growth.

B. Mix specified compost and fertilizers with topsoil at rates specified. Delay mixing fertilizer if planting will not follow placing of planting soil in a few days.

Compost: Lawn Areas: 1/4 compost, 3/4 topsoil. Shrub Areas: 1/3 compost, 2/3 topsoil. Fertilizer: Per soil test and manufacturer's recommendations.

C. For shrub and lawn areas, mix planting soil either prior to planting or apply on surface of topsoil and mix thoroughly before planting.

3.3 PREPARATION FOR PLANTING LAWNS

A. After excavating and removing surface material to proper depth, loosen subgrade of lawn areas to a minimum depth of 4 inches. Remove stones measuring over 1-1/2 inches in any dimension. Remove sticks, roots, rubbish, and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.

1. Spread topsoil mix to minimum depth of 4 inches for sodded lawns as required to meet lines, grades, and elevations shown, after light rolling, addition of amendments, and natural settlement. Place approximately 1/2 of total amount of topsoil required. Work into top of loosened subgrade to create a transition layer and then place remainder of planting soil. Add specified soil amendments as required and mix thoroughly into upper 4 inches of topsoil.

3.4 PREPARATION FOR SEEDING

A. Loosen subgrade of planting areas to a minimum depth of 4 inches. Remove stones measuring over 1-1/2 inches in any dimension. Remove sticks, roots, rubbish, and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.

1. Spread topsoil mix to required depth to meet lines, grades, and elevations shown, after light rolling and natural settlement (where required). Topsoil shall be 6" deep minimum in all seeded areas.

2. Place approximately 1/2 of total amount of topsoil required. Work into top of loosened subgrade to create a transition layer and then place remainder of planting soil. Add recommended nutrients, fertilizers and 1-1/2" thickness of specified compost over entire area and mix thoroughly into upper 4 inches of topsoil.

B. Fine grade areas to smooth, even surface with loose, uniformly fine texture. Roll, rake, and drag areas, remove ridges and fill depressions, as required to meet finish grades. Limit fine grading to areas which can be planted immediately after grading.

C. Moisture prepared areas before planting if soil is dry. Water thoroughly and allow surface moisture to dry before planting. Do not create a muddy soil condition.

D. Restore areas to specified condition, if eroded or otherwise disturbed, after fine grading and prior to planting.

E. Maintain and protect all surfaces from wind and water erosion until final acceptance.

3.5 PREPARATION OF PLANTING BEDS

A. Loosen subgrade of planting areas to a minimum depth of 6 inches using a culti-mulcher or similar equipment. Remove stones measuring over 1 1/2 inches in any dimension. Remove sticks, stones, rubbish, and other extraneous matter.

B. Spread planting soil mixture to minimum 12 inch depth required to meet lines, grades, and elevations shown, after light rolling and natural settlement. Add 1 1/2 inches of specified compost over entire planting area and mix thoroughly into upper 6 inches of topsoil. Place approximately 1/2 of total amount of planting soil required. Work into top of loosened subgrade to create a transition layer, then place remainder of the planting soil.

C. Apply Pre-Emergent per manufacturer's recommendation.

3.6 PLANTING TREES AND SHRUBS

A. Set balled and burlapped (B&B) stock on layer of compacted planting soil mixture, plumb and in center of pit or trench with top of ball at same elevation as adjacent finished landscape grades. Remove burlap from sides of balls, retain on bottoms. When set, place additional backfill around base and sides of ball, and work each layer to settle backfill and eliminate voids and air pockets. Place fertilizer tablets in excavated area per manufacturer's written instructions. When excavation is approximately 2/3 full, water roughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill. Remove all ties from around base of trunk.

B. Set container grown stock, as specified, for balled burlapped stock, except cut cans on 2 sides with an approved can cutter and remove can; remove bottoms of wooden boxes after partial backfilling so as not to damage root balls.

C. Dish top of backfill to allow for mulching.

D. Mulch pits, and planted areas. Provide not less than following thickness of mulch, and work into top of backfill and finish level with adjacent finish grades.

1. Provide 3 inches thickness of mulch.

E. If season and weather conditions dictate, apply anti-desiccant, using power spray, to provide an adequate film over trunks, branches, stems, twigs and foliage.

F. Prune, thin out, and shape trees and shrubs in accordance with standard horticultural practice. Prune trees to retain required height and spread. Unless otherwise directed by Architect, do not cut tree leaders, and remove only injured or dead branches from flowering trees, if any. Prune shrubs to retain natural character.

G. Remove and replace excessively pruned or misformed stock resulting from improper pruning.

H. Guy and stake trees immediately after planting, as indicated.

I. Apply approved herbicide to all shrub bed areas at manufacture specified rate. Re-apply as necessary for elimination of weeds.

3.7 SODDING NEW LAWNS

A. General: Install lawn sod in all areas designated on the drawings.

B. Soil Preparation

1. Any sod lawn areas that may have become compacted prior to sodding must be scarified to a depth of eight (8) inches by approved means, then finish graded as hereinbefore described.

C. Lay sod within 24 hours from time of stripping. Do not plant dormant sod or if ground is frozen.

D. Sod Placement

1. Sod will be brought onto lawn areas by wheeled means with proper protection of sod beds. Sod layers shall be experienced, or if inexperienced, shall be constantly supervised by an experienced foreman. The Contractor shall insure that the base immediately ahead of sod layer is moist. Sod shall be laid tight with not gaps. Allowance shall be made for shrinkage. Lay sod with long edges perpendicular to primary slope.

2. Lay to form a solid mass with tightly fitted joints. Butt ends and sides of strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work on boards to avoid damage to subgrade or sod. Tamp or roll lightly to ensure contact with subgrade. Work sifted soil into minor cracks between pieces; remove excess to avoid smothering adjacent grass.

3. Sod shall be rolled with two hundred (200) pound roller after installation to insure proper contact between soil and sod. Final rolling must provide a uniform surface. After final rolling, the sod lawn shall be mowed and watered. Approval of sod lawns shall be based on uniform, healthy and vigorous growth with no dry or dead spots.

4. Add fertilizer "B" at the manufacturer's recommended application rate.

E. Water sod thoroughly with a fine spray immediately after planting.

F. Sodded Lawn Establishment

1. The Contractor shall be responsible for first mowing, subsequent mowings and fertilizing of sod lawn areas until Final Acceptance of the project.

2. Mowing shall be done by an approved "reef" type mower. Mower blades shall be set at two (2) inches high for all mowings.

3. Subsequent fertilizing shall occur three to four weeks after installation. Apply fertilizer as per the Manufacturer's recommended application rate. Verify all methods of application. Contractor shall notify the Architect in writing that the fertilizer applications have occurred and on what dates.

3.8 SEEDING

A. General

1. Seeding for irrigated areas shall be accomplished in the spring (after March 15) or fall (before October 1) of the year and/or when weather conditions are favorable for proper working of the soil and seed germination.

2. Seed shall be spread by approved mechanical (hopper or culti-packer) or hydroseed methods only.

3. Seeding shall be done only after topsoil mix placement, finish grading, adjacent construction and plantings have been completed and approved by Architect.

B. Soil Preparation: Any seeded lawn area that has become compacted prior to seeding must be scarified to a depth of eight (8) inches by approved means, then finish graded as hereinbefore described.

C. Seeding - Mechanical Method

1. Apply fertilizer at the manufacturer's recommended application rate. Thoroughly mix six (6) inches deep, taking care not to incorporate subsoil into topsoil mix. After mixing is complete, remove any debris or rocks over one (1) inch in size. Rake to true grade and roll for firmness. If soil is dry, lightly sprinkle prior to rolling. Grades after rolling to be approved by Architect prior to seeding.

2. Seed Application Rate: See "Products".

3. Seed Application Method

a. Using a hopper type seeder, seeding shall be done on a still day, with one-half (2) of the seed to reach area being sown in a direction at right angles to the other half. After seeding, the surface shall be lightly raked parallel to the contours such that half or more of the seed is lightly covered by soil, then rolled once with a roller weighing not less than one hundred (100) pounds per linear foot, and finally watered with a fine spray.

b. A culti-packer or approved similar equipment may be used to drill, cover, and firm the seed bed in one operation.

4. After seeding, raking and rolling, lawn areas shall be covered with a one (1) inch loose layer of clean wheat or oat straw. Straw shall be kept moist until the lawn is established. Remove loose straw from site.

D. Seeding - Hydroseed Method

1. No hydroseeding after a rain or when the wind exceeds five (5) miles per hour.

2. Use only where slopes exceed 5:1.

3. Spray the mixture of water, seed, mulch and commercial fertilizer evenly over the planting area.

E. Seeding Areas Establishment

1. The Contractor shall be responsible for the first mowing and subsequent mowings, watering and fertilizing of seeded areas until Final Acceptance of the project. Subsequent mowings shall be the Owner's responsibility.

2. First mowing shall be done when lawn areas are well established; when germination approaches ninety percent and height exceeds two and one-half (2 1/2) inches as approved by the Architect. Set mower height at two (2) inches high for first and subsequent mowings.

3. Fertilizing shall occur after the first mowing. Apply fertilizer as per the manufacturer's recommended application rate.

4. Seed beds must achieve ninety (90) percent germination and be uniform in appearance, free of weeds and/or other undesirable plant species as approved by the Architect.

5. Check for barren areas in seed bed approximately twenty-one (21) days after seeding and overseed as originally specified at the time or at such time as weather and season permit for seed germination or as approved by the Architect. The Architect shall determine and approve the necessity and extent of overseeding in order to achieve the ninety (90) percent germination uniformly throughout the seed bed areas necessary for Final Acceptance.

6. Seeded areas shall be established as specified above at time of substantial completion.

3.9 MAINTENANCE

A. Begin landscape maintenance immediately after planting. Maintenance shall continue until Project Final Acceptance.

B. Maintain trees, shrubs, and other plants by pruning, cultivating, and weeding as required for healthy growth. Restore planting saucers. Tighten and repair stake and guy supports and reset trees and shrubs to proper grades or vertical position as required. Restore or replace damaged wrappings. Spray as required to keep trees and shrubs free of insects and disease.

C. Maintain lawns by watering, fertilizing, weeding, mowing, trimming, and other operations such as tolling, regrading and replanting as required to establish a smooth, acceptable lawn, free of eroded or bare areas.

D. Maintain lawns for no less than period stated above, or longer as required to establish acceptable lawn. If seeded in fall and not given full 60 days of maintenance before Final Acceptance, or if not considered acceptable at that time, continue maintenance the following spring until acceptable lawn is established.

3.10 CLEANUP AND PROTECTION

A. During landscape work, keep premises clean and work area in an orderly condition.

B. Protect landscape work and materials from damage due to landscape operations, operations by other contractors and trades, and trespassers. Maintain protection during installation and maintenance periods. Treat, repair, or replace damaged landscape work as directed.

3.11 INSPECTION AND ACCEPTANCE

A. When landscape work is completed, including maintenance, Architect will, upon request, make an inspection to determine acceptability.

B. When inspected landscape work does not comply with requirements, replace rejected work and continue specified maintenance until reinspected by Architect and found to be acceptable. Remove rejected plants and materials promptly from project site.

END OF SECTION

SECTION 32 84 00 - SPRINKLER IRRIGATION (TWO-WIRE PERFORMANCE)

PART 1 - GENERAL

1.1 CONDITIONS AND REQUIREMENTS:

A. General and Supplementary Conditions, and Division 1 General Requirements.

1.2 SUMMARY

A. Work included:

- 1. Provide and install a complete and operating automatic irrigation system for all lawn and planting areas.
2. Connect to main water supply at existing site stubout as provided.
3. Steeving under paved areas (by others)

4. Obtain and pay for all permits and fees for the work of this section.

5. Perform work on a design/construct basis, subject to the requirements of the Contract Documents, applicable codes, and good design practice.

6. Winterization of system.

1.3 SUBMITTALS

A. Within 30 days after Contractor's receipt of Owner's Notice to Proceed, submit: 1. Manufacturer's printed product information and catalog cut sheets for all system components; five copies.

B. Shop Drawings: Submit shop drawings for underground irrigation system including plan layout and details illustrating location and type of head, type and size of valve, piping circuits, circuit GPM, pipe size, controls, and accessories.

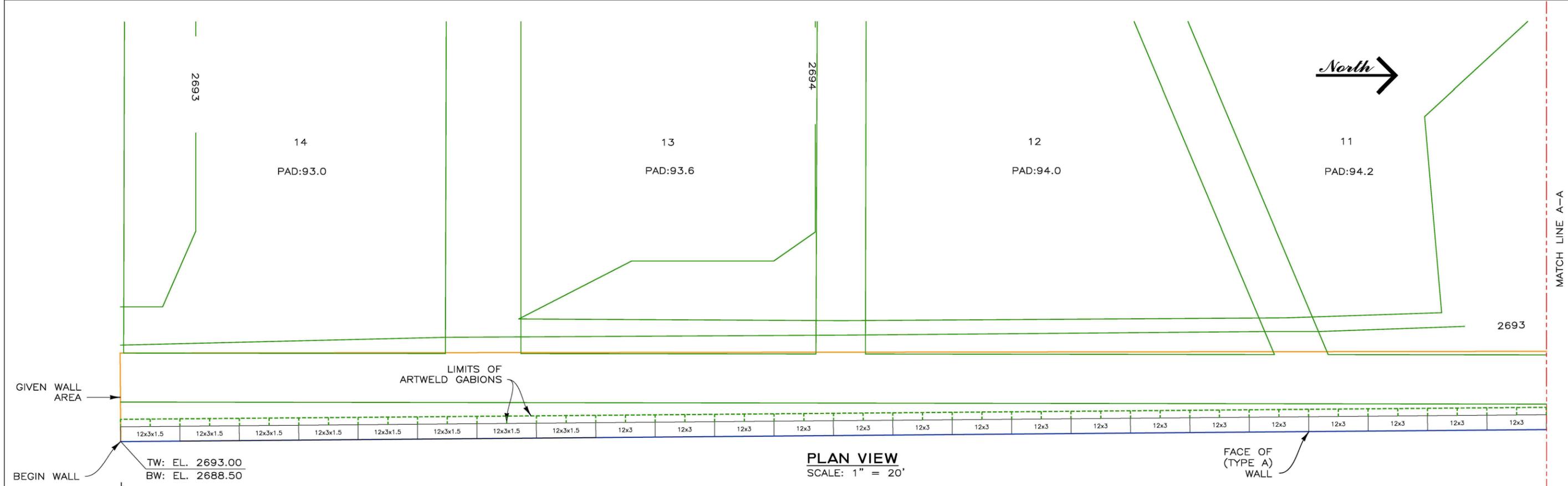
C. Record Drawings: At completion of this work, submit to the Contractor: 1. Schedule indicating required open valve time to produce given precipitation amounts and seasonal adjustments.

2. Operations and Maintenance information (2 copies), including: a. Information including descriptive details, parts list, specifications, maintenance schedules and procedures for system components. b. Operation, adjustment of system and components instructions. c. Winterization procedures.

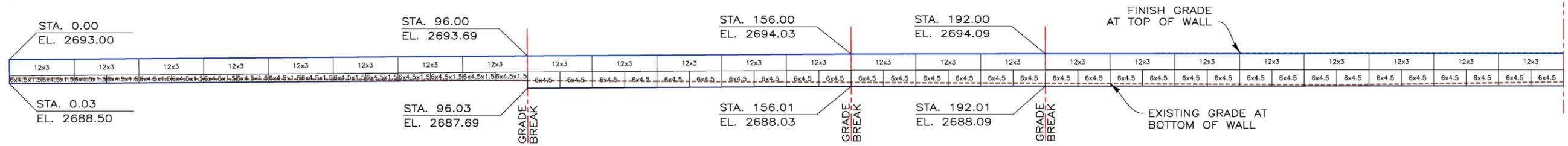
d. Schedule indicating required open valve time to produce given precipitation amounts and seasonal adjustments. e. Warranties and guarantees.

1.4 GUARANTEE

A. Guarantee in writing all materials, equipment and workmanship furnished to be free of all defects of



PLAN VIEW
SCALE: 1" = 20'
(TYPE A)
(SEE SHEET 4 FOR DETAILS)



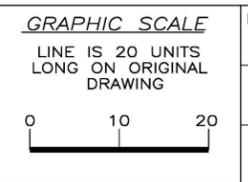
DEVELOPED ELEVATION
SCALE: 1" = 20'

ESTIMATED QUANTITIES			
SIZE LxWxH	CY	REQUIRED AMOUNT	TOTAL CY
12x3x3	4.00	68	272 CY
9x3x3	3.00	1	3 CY
6x4.5x3	3.00	44	132 CY
6x4.5x1.5	1.50	16	24 CY
6x3x4	2.66	78	207.48 CY
3x3x4	1.33	1	1.33 CY
3x3x3	1.00	1	1 CY
TOTALS			640.81 CY

200623CG WINFIELD SPRINGS SUBDIVISION NO.6

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REV. NO.	DATE	BY	DESCRIPTION
2	10 AUG 20	AH	ADJUSTED PLAN, ELEVATION AND SECTION TO ALLOW FOR 3' STEP BACK FOR UPPER TIER ON NORTH SIDE OF WALL ONLY
3	12 AUG 20	AH	ADJUSTED PLAN, ELEVATION AND SECTIONS TO ALLOW FOR 5' STEP BACK FOR UPPER TIER ON NORTH SIDE OF WALL ONLY



PROJ. MGR. HKH
ENGINEER
CADD BY AH

HILFIKER RETAINING WALLS

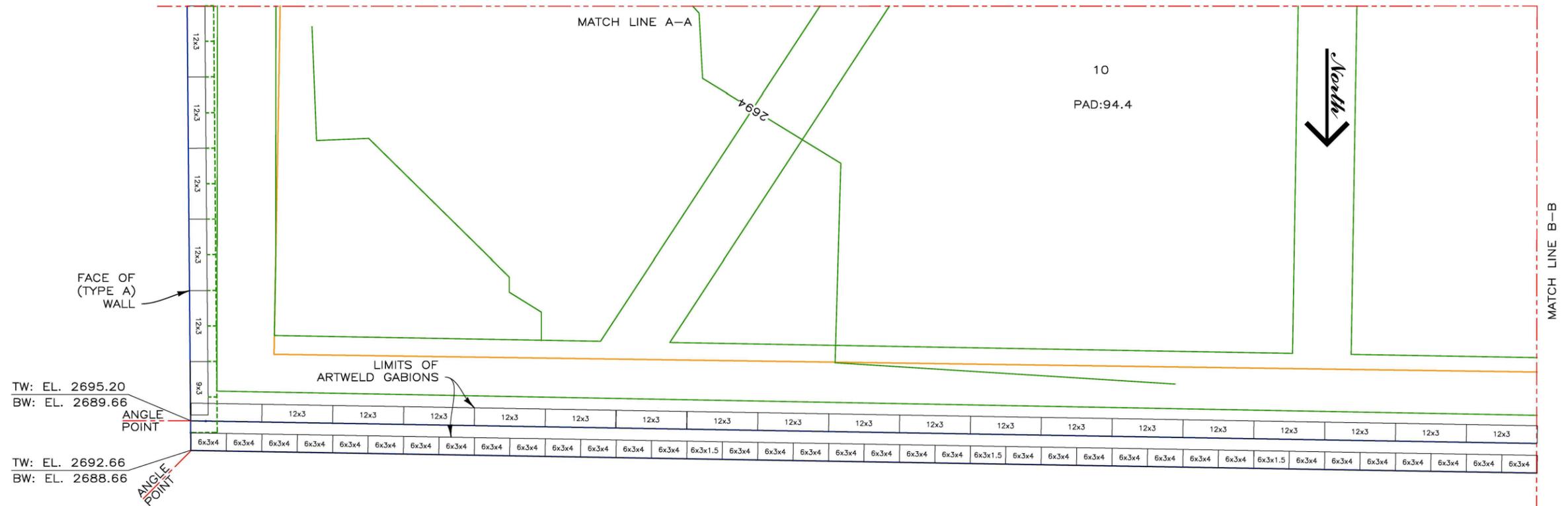
 1902 Hilfiker Lane
 Eureka, CA 95503-5711
 TOLL-FREE 800.762.8962
 PH 707.443.5093 FAX 707.443.2891
 WEB SITE www.hilfiker.com E-MAIL info@hilfiker.com


DWG DATE 29 JUN 20
REVISION DATE 12 AUG 20
SCALE NOTED

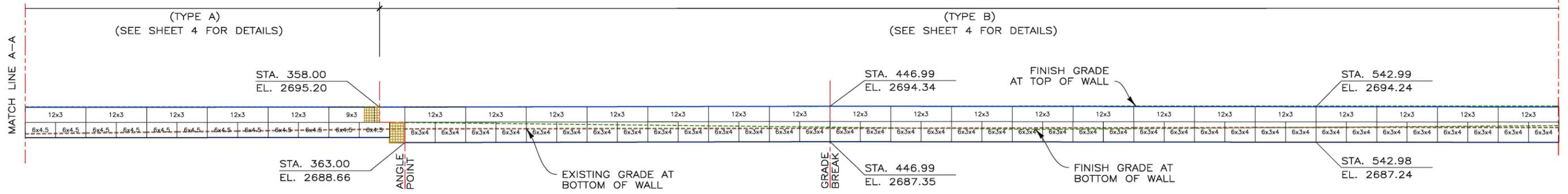
FOR BIDDING PURPOSES ONLY
 ARTWELD GABION
WINFIELD SPRINGS SUBDIVISION NO. 6
 TOLL BROTHERS
 ARDELL RD., KUNA, IDAHO
 PLAN AND ELEVATION VIEW

PROJECT NO. 200623CG
SHEET 1 OF 5

200623CG WINFIELD SPRINGS SUBDIVISION NO.6



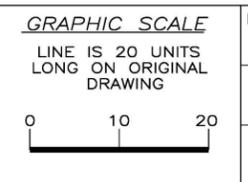
PLAN VIEW
SCALE: 1" = 20'



DEVELOPED ELEVATION (CONTINUED)
SCALE: 1" = 20'

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PROJ. MGR.
HKH
ENGINEER
CADD BY
AH

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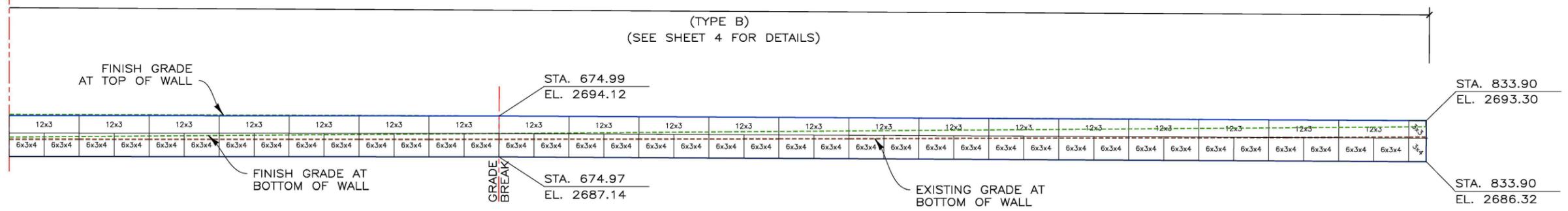
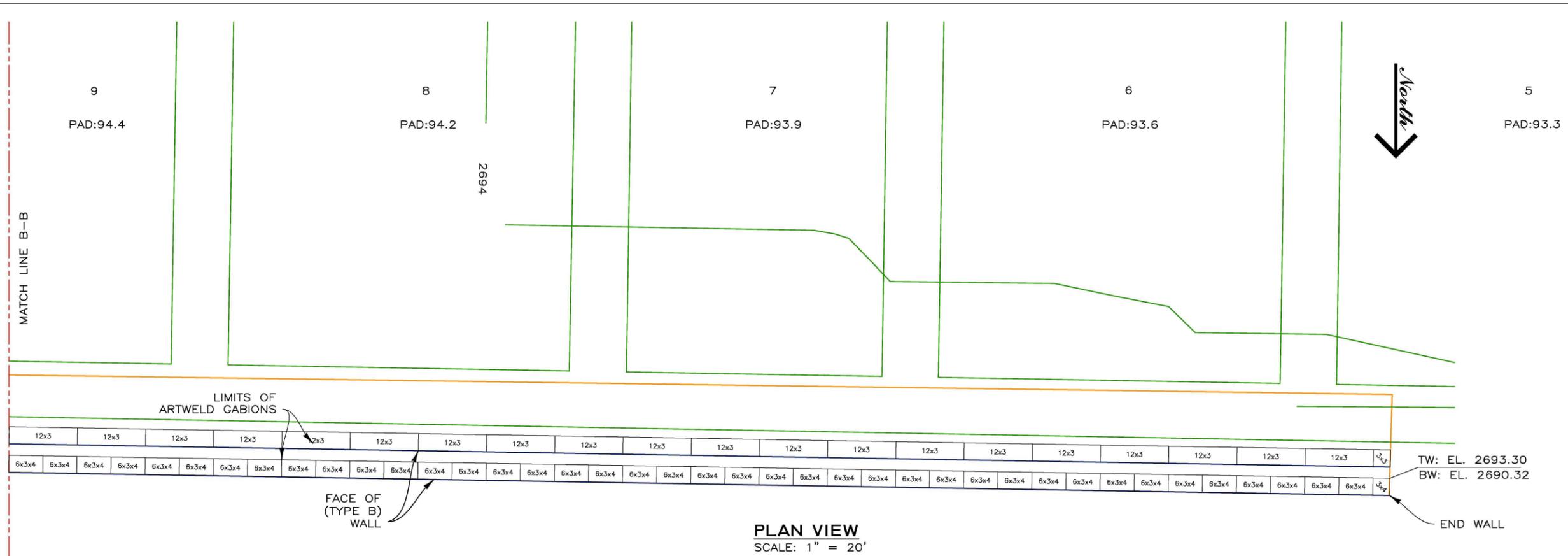
DWG DATE
29 JUN 20
REVISION DATE
12 AUG 20
SCALE
NOTED

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ARTWELD GABION
WINFIELD SPRINGS SUBDIVISION NO.6
TOLL BROTHERS
ARDELL RD., KUNA, IDAHO

PLAN AND ELEVATION VIEW

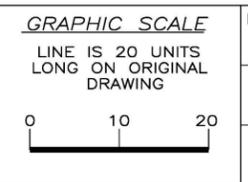
PROJECT NO.
200623CG
SHEET
2
OF 5



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ENGINEER
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AH

DEVELOPED ELEVATION
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SINCE 1902 QUALITY PRODUCTS

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REVISION DATE
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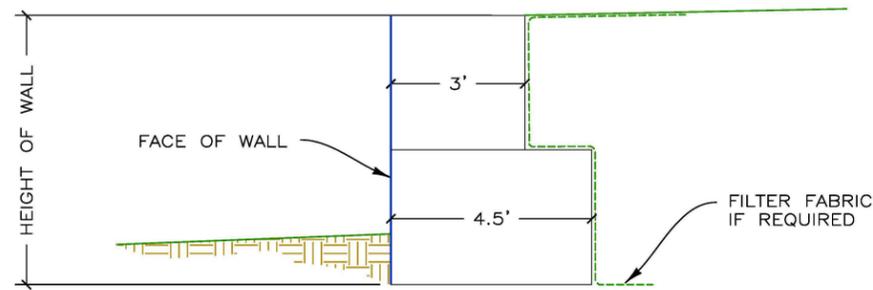
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ARTWELD GABION
WINFIELD SPRINGS SUBDIVISION NO. 6
TOLL BROTHERS
ARDELL RD., KUNA, IDAHO

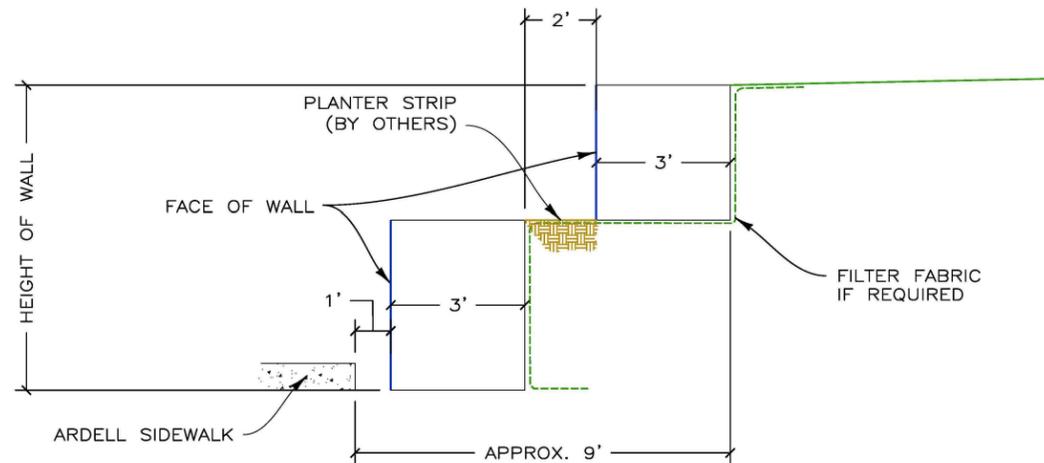
PLAN AND ELEVATION VIEW

PROJECT NO.
200623CG
SHEET
3
OF 5

200623CG WINFIELD SPRINGS SUBDIVISION NO.6



(TYPE A) GABION WALL SECTION AT EASTERN BOUNDARY
 (RUNNING NORTH TO SOUTH)
 SCALE: 1" = 4'



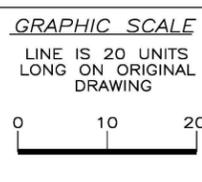
(TYPE B) GABION WALL SECTION AT ARDELL FRONTAGE
 (RUNNING EAST TO WEST)
 SCALE: 1" = 4'

PROJECT-SPECIFIC NOTES:

1. REFERENCE DRAWINGS: BASED OFF DRAWINGS FROM J-U-B ENGINEERS, INC. SHEETS C-201 AND C-309 USED. DATED 5/14/2020.
2. BLACK AND WHITE REPRODUCTION OF THIS COLOR ORIGINAL MAY REDUCE ITS EFFECTIVENESS AND LEAD TO INCORRECT INTERPRETATION.
3. IT IS ASSUMED THAT ALL MATERIALS, BACKFILL AND CONSTRUCTION METHODS FOR HILFIKER ARTWELD GABIONS WILL CONFORM TO HILFIKER'S SPECIFICATIONS AND/OR THOSE OF THE HILFIKER ENGINEERING CONSULTANT.
4. THIS IS NOT AN ENGINEERED SUBMITTAL. ALL INFORMATION HEREON IS DERIVED FROM THE REFERENCE DRAWINGS, AND IS SUBJECT TO GEOMETRIC AND GEOTECHNICAL CONFIRMATION. THE APPLICABLE HILFIKER CONSTRUCTION GUIDE AND SPECIFICATIONS ARE AN INTEGRAL PART OF THIS SUBMITTAL.
5. UPON ENGINEERED DESIGN, HILFIKER RETAINING WALLS SHALL BE RESPONSIBLE ONLY FOR THE INTERNAL STABILITY OF THE RETAINING WALL, AND NOT FOR GLOBAL STABILITY OR FOUNDATION BEARING CAPACITY. THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JOB SITE DRAINAGE, SAFETY AND FALL PROTECTION PROVISIONS FOR WORKERS IN COMPLIANCE WITH OSHA AND ANY OTHER APPLICABLE REQUIREMENTS.
6. WALL DESIGN SHALL REQUIRE A NON-SATURATED BACKFILL. SURFACE AND SUBSURFACE DRAINAGE CONTROL MAY BE REQUIRED TO PREVENT SATURATION OF THE BACKFILL OR TO RELIEVE HYDROSTATIC PRESSURES. DRAINAGE CONTROL SHALL BE AS SPECIFIED IN THE OWNER'S PROJECT PLANS AND SPECIFICATIONS, OR AS DIRECTED BY THE OWNER'S ENGINEER.
7. FOR BID DRAWINGS, IT IS ASSUMED THAT BASE DEPTHS AND WALL HEIGHTS ARE SUBJECT TO CHANGE BY THE FINAL PROJECT DESIGN.

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HKH
ENGINEER
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DWG DATE	29 JUN 20
REVISION DATE	12 AUG 20
SCALE	NOTED

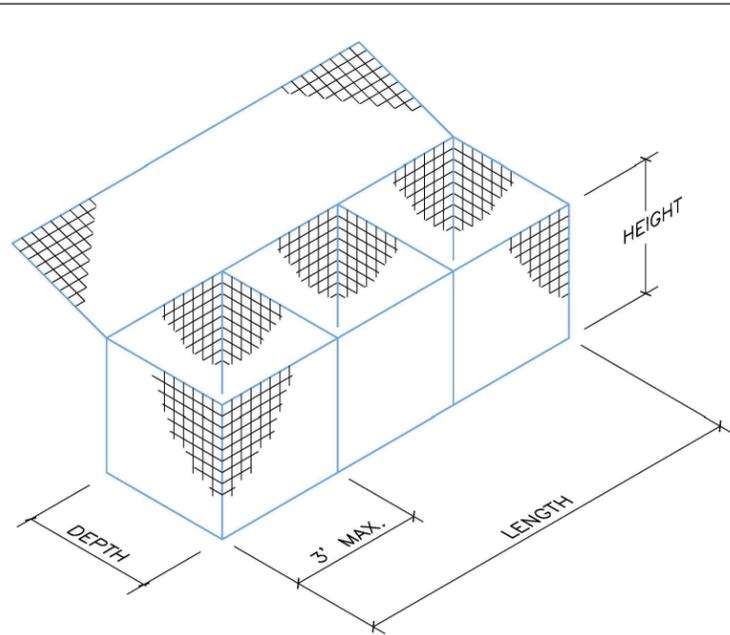
FOR BIDDING PURPOSES ONLY

ARTWELD GABION
WINFIELD SPRINGS SUBDIVISION NO.6
 TOLL BROTHERS
 ARDELL RD., KUNA, IDAHO

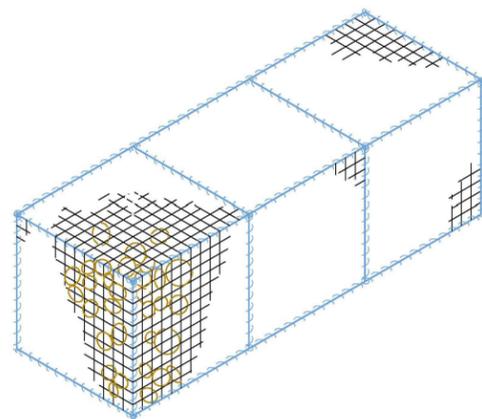
TYPICAL SECTION AND NOTES

PROJECT NO.
200623CG

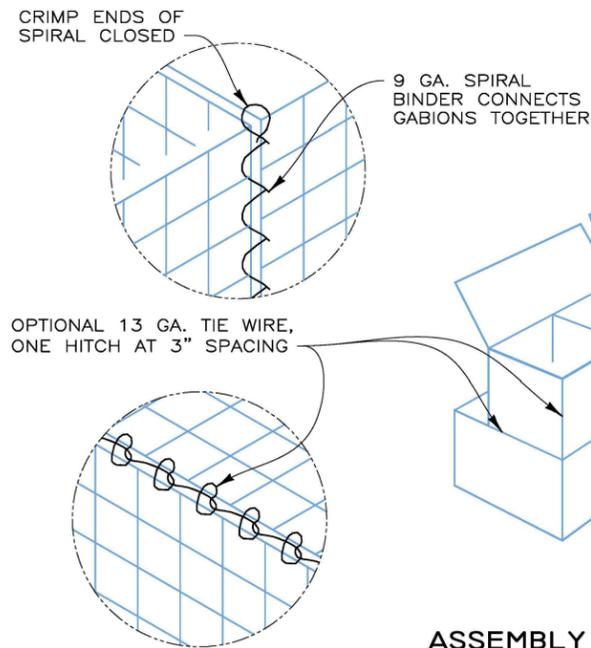
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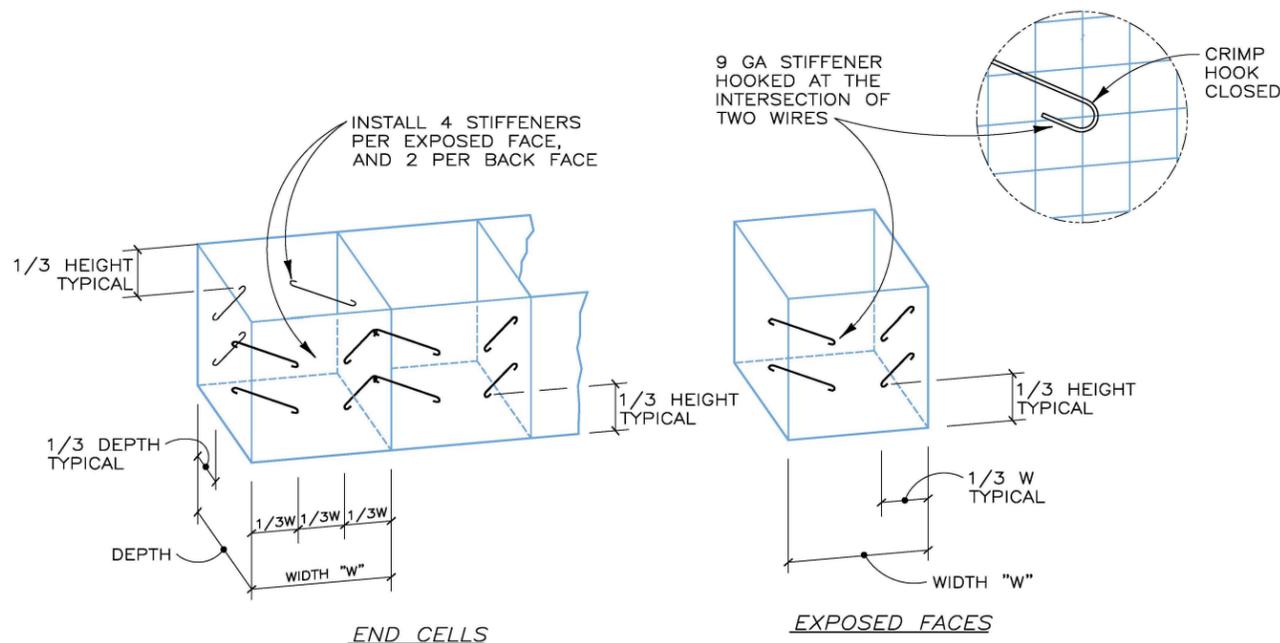
TYPICAL GABION
NOT TO SCALE



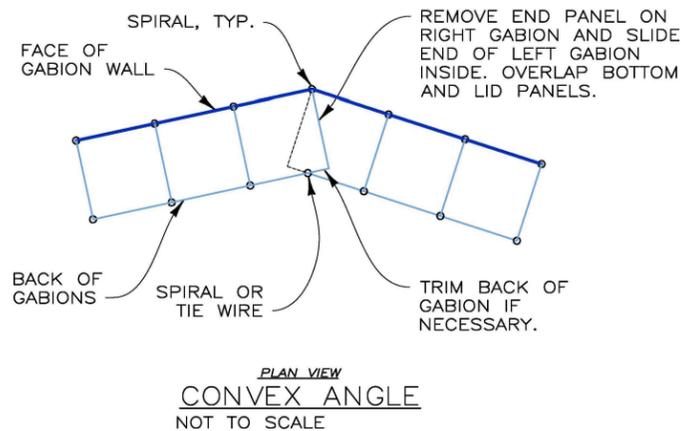
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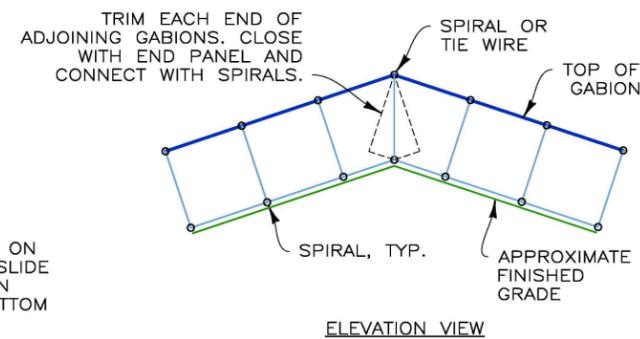
ASSEMBLY DETAILS - VERTICAL WALL
NOT TO SCALE



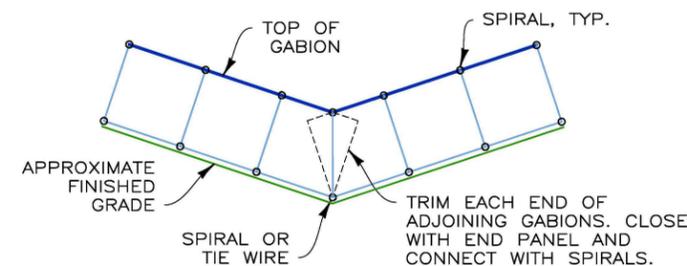
STIFFENER DETAILS
NOT TO SCALE



PLAN VIEW
CONVEX ANGLE
NOT TO SCALE



ELEVATION VIEW



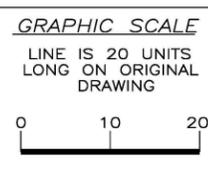
ELEVATION VIEW

GABIONS ON GRADE
NOT TO SCALE

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ARTWELD GABION

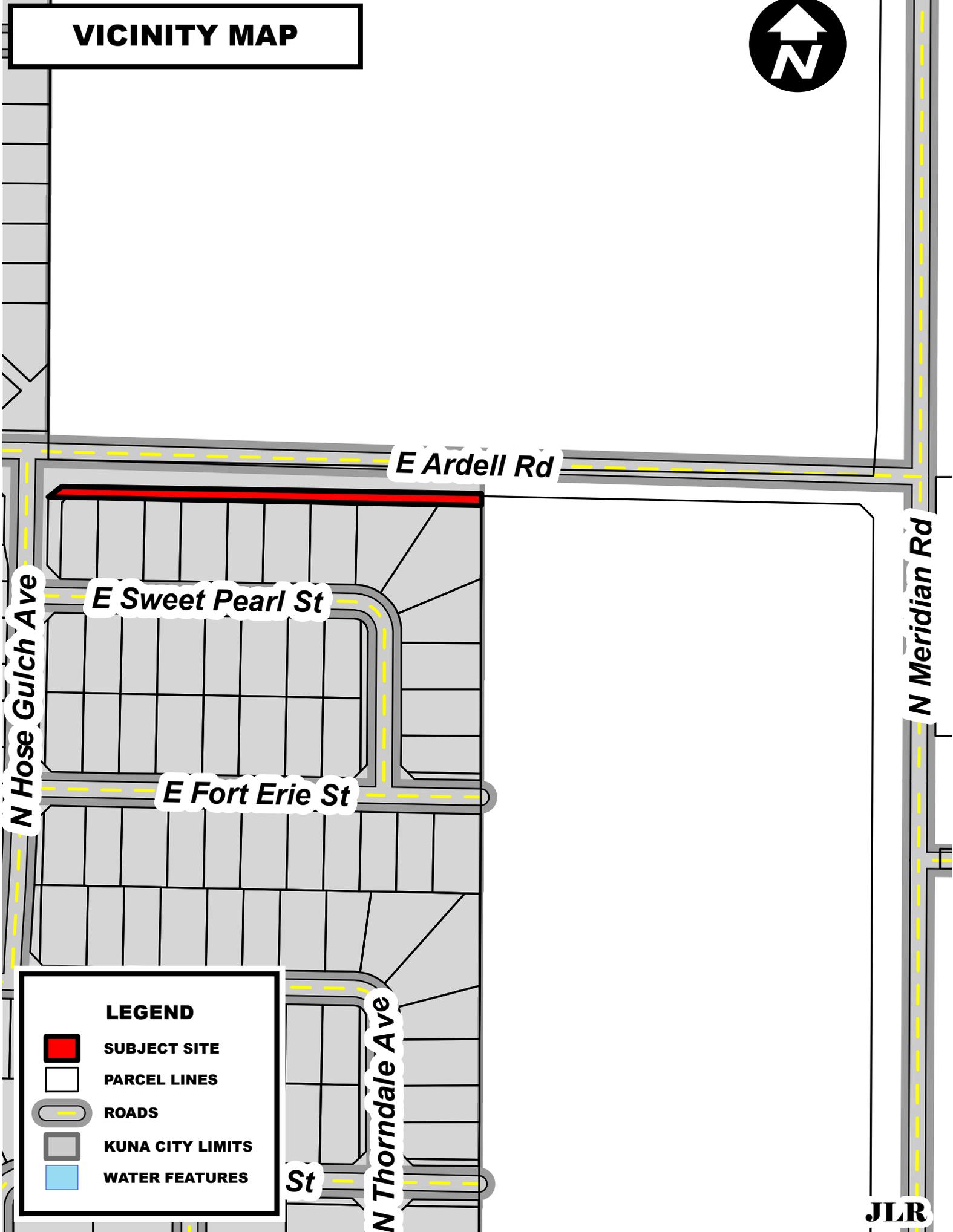
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TOLL BROTHERS
ARDELL RD., KUNA, IDAHO

CONSTRUCTION SEQUENCE AND DETAILS

PROJECT NO.
200623CG
SHEET
5
OF 5

VICINITY MAP



E Ardell Rd

E Sweet Pearl St

E Fort Erie St

N Hose Gulch Ave

N Meridian Rd

N Thorndale Ave

St

LEGEND

-  SUBJECT SITE
-  PARCEL LINES
-  ROADS
-  KUNA CITY LIMITS
-  WATER FEATURES

LEGEND

- ① UPPER TERRACE PLAYGROUND - TRADITIONAL (6,500 SF)
- ② LOWER TERRACE PLAYGROUND - NATURE PLAY (2,825 SF)
- ③ INDIVIDUAL GROUP PICNIC SHELTER - (5) 10' x 10' (TYP.)
- ④ PARKING LOT - APPROX. 32 STALLS
- ⑤ PARKING LOT - APPROX. 200 STALLS
- ⑥ WALKING TRAIL (TYP.)
- ⑦ TENNIS/PICKLEBALL (3 COURTS)
- ⑧ SOFTBALL FIELD
- ⑨ NATIVE/DROUGHT TOLERANT PLANT DEMONSTRATION AREA
- ⑩ LARGE GROUP PAVILION - (2) 40' x 60'
- ⑪ OUTDOOR EXERCISE AREA - ELLIPTICAL AND BIKE EQUIPMENT
- ⑫ RESTROOM (2)
- ⑬ HELEN ZAMZOW MEMORIAL
- ⑭ FUTURE ACHD ROAD
- ⑮ FUTURE ACHD ROAD EXTENSION
- ⑯ FUTURE ROUNDABOUT



HELEN ZAMZOW PARK - PREFERRED ALTERNATIVE

NOTE: SECURITY LIGHTING AND CAMERAS SHALL BE INSTALLED IN THE PARK FOR ADDED PUBLIC SAFETY

